

EXHIBIT H
CITY PLANNING DEVELOPMENT PROJECT APPLICATION
DATED JUNE 23, 2023



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

ED 1 Eligible

Case Number ADM-2023-4274-DB-VHCA-EDI

Env. Case Number N/A

Application Type EDI

Case Filed With (Print Name) Ryan Ly Date Filed 6/23/23

Application includes letter requesting:

Waived hearing Concurrent hearing Hearing not be scheduled on a specific date (e.g., vacation hold)

Related Case Number(s):

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Refer to the Department of City Planning Application Filing Instructions (CP-7810) for more information.

1. PROJECT LOCATION

Street Address¹ 8217 N Winnetka Avenue Unit/Space Number _____
 Legal Description² (Lot, Block, Tract) Lot 1 TR 22430; Lot PT 811 TR 1000
 Assessor Parcel Number 2107001067, 2107002074 Total Lot Area 63,766

2. PROJECT DESCRIPTION

Present Use Elementary school/day care
 Proposed Use Multifamily Residential
 Project Name (if applicable) _____

Describe in detail the characteristics, scope and/or operation of the proposed project Demolition of all existing buildings; New construction of a 7-story, 360 unit 100% affordable residential housing project with 269 parking stalls and 236,181 sf (FAR/RFAR). Project provides 80% Low Income and 20% Moderate Income, and therefore qualifies for ED 1 processing.

Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

- Site is undeveloped or unimproved (i.e., vacant)
- Site has existing buildings (provide copies of building permits)
- Site is/has been developed with uses that could release hazardous materials on soil and/or groundwater (e.g., dry cleaning, gas station, auto repair, industrial)
- Site is located within 500 feet of a freeway or railroad
- Site is located within 500 feet of a sensitive use (e.g., school, park)
- Site has special designation (e.g., National Historic Register, Survey LA)

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)

² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Removal of any on-site tree
- Removal of any street tree
- Removal of protected trees onsite / public right-of-way
- Grading
- Haul Route

- New construction: 236,181 square feet
- Additions to existing buildings
- Interior tenant improvement
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing 0 – Demolish(ed)³ 0 + Adding 360 = Total 360
 Number of Affordable Units⁴ Existing 0 – Demolish(ed) 0 + Adding 359 = Total 359
 Number of Market Rate Units Existing 0 – Demolish(ed) 0 + Adding 1 = Total 1
 Mixed Use Projects, Amount of Non-Residential Floor Area: 0 square feet

Public Right-of-Way Information

Have you submitted the Planning Case Referral Form to BOE? (required) YES NO

Is your project required to dedicate land to the public right-of-way? YES NO

If so, what is/are your dedication requirement(s)? 5 feet

If you have dedication requirements on multiple streets, please indicate: Winnetka (only along RD2 portion)

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing Code Section 12.22-A.25

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: Ministerial Density Bonus Compliance review for a 100% affordable project with 360 units. Requests include unlimited density and zero parking per AB 1763, four on/off menu incentives and waivers (see attached)

Authorizing Code Section _____

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: _____

Additional Requests Attached YES NO

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) _____

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. _____

Ordinance No.: _____

- Condition Compliance Review
- Modification of Conditions
- Revision of Approved Plans
- Renewal of Entitlement
- Plan Approval subsequent to Main Conditional Use

- Clarification of Q (Qualified) Condition
- Clarification of D (Development) Limitation
- Amendment to T (Tentative) Classification

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City: _____

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

Specialized Requirement Form N/A

Geographic Project Planning Referral N/A

Case Consultation Referral Form N/A

Redevelopment Project Area – Administrative Review and Referral Form N/A

HPOZ Authorization Form N/A

Affordable Housing Referral Form PAR-2023-924-AHRF-ED1

Transit Oriented Communities Referral Form N/A

Preliminary Zoning Assessment Referral Form (Plan Check #) B23LA02143

Optional HCA Vesting Preliminary Application PAR-2023-1802-VHCA-ED1

Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form N/A

Mello Form N/A

Citywide Design Guidelines Compliance Review Form N/A

GPA Initiation Request Form N/A

Expedite Fee Agreement N/A

Department of Transportation (DOT) Referral Form N/A

Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) 202200769

Hillside Referral Form (BOE) N/A

Building Permits and Certificates of Occupancy N/A

Order to Comply N/A

Low Impact Development (LID) Referral Form (Stormwater Mitigation) #959

Replacement Unit Determination (LAHD) HIMS #23-130335

Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ Name _____

Company/Firm Bedrock Properties Group, LLC dba Uncommon Developers (c/o Leon Benrimon)

Address 9220 Winnetka Ave Unit/Space Number _____

City Chatsworth State CA Zip Code 91311

Telephone (310) 980-7206 E-mail leon@uncommondevelopers.com

Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant

Name (if different from applicant) 8217 Winnetka LLC (c/o Jason Larian)

Address 9220 Winnetka Ave Unit/Space Number _____

City Chatsworth State CA Zip Code: 91311

Telephone (310) 980-7206 E-mail: jason@uncommondevelopers.com

Agent/Representative Name Dave Rand and Olivia Joncich

Company/Firm Rand Paster & Nelson LLP

Address 633 W. Fifth Street Unit/Space Number 64th Fl

City Los Angeles State CA Zip 90071

Telephone (213) 557-2703 E-mail dave@rpnllp.com, olivia@rpnllp.com

Other (Specify Architect, Engineer, CEQA Consultant etc.) _____

Name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail _____

Primary Contact for Project⁶ Owner Applicant

(Select only one. Email address and phone number are required.) Agent/Representative Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e., usually not the agent/representative).

⁶ As of June 8, 2022, the Primary Contact for Project is required to have an Angeleno Account and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section 49.7.37(A)(6). An email address and phone number shall be required on the DCP Application Form, and the email address provided shall match the email address used to create the Angeleno Account.


PROPERTY OWNER

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC, or trust, a disclosure identifying an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC, or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g., John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC, or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature  _____
Print Name JASON LARIAN _____

Date 5/17/23 _____

Signature _____
Print Name _____

Date _____

Space Below for Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On May 18, 2023 before me, Daniel Barcenas, Notary Public
(Insert Name of Notary Public and Title)

personally appeared Jason Larian, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

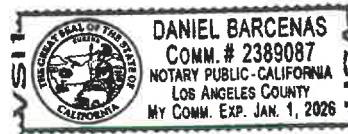
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Handwritten Signature]

Signature

(Seal)



APPLICANT

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - j. I understand that the City is protected by numerous statutory immunities from liability for damages that may be caused by its land use regulatory actions, as set forth in Government Code, section 818, et seq. For instance, the City cannot be held liable for personal or property injuries or damages allegedly caused by its approval and issuance of any discretionary permit, entitlement or approval (Gov. Code § 818.4), or its failure to inspect or its negligence in inspecting a property for the purpose of determining whether the property complies with or violates any permit, entitlement or approval or contains or constitutes a hazard to health or safety (Gov. Code § 818.6).
 - k. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: 

Date: 5/17/23

Print Name: LEON BENRIMON

8217 WINNETKA AVE - ATTACHMENT "A"
PROJECT DESCRIPTION AND FINDINGS

PROJECT LOCATION: 8127 N. Winnetka Avenue (APN 2107001067, 2107002074)

PROPOSED PROJECT: The project involves the construction, use, and maintenance of a new seven-story residential building with 360 affordable multi-family apartment units with associated parking. Of the 360 units, 72 units will be reserved for Moderate Income households, 287 units will be reserved for Low Income households and one unit will be unrestricted for a manager.

PROJECT REQUESTS

1. Pursuant to LAMC Section 12.22.A.25 and Government Code Section 65915 (as updated by AB 1763, AB 2334, and AB 2345), a Ministerial Density Bonus Compliance Review to permit unlimited density resulting in a 360 unit, 100% affordable project with the following development incentives:
 - A. An on-menu incentive to permit averaging of density, FAR, parking, open space and access across the RD2-1 and RA-1 zones;
 - B. An on-menu incentive to permit a 20% reduction in the southerly side yard to permit 8 feet in lieu of the otherwise required 10 feet in the RA-1 zone;
 - C. An off-menu incentive to permit up to a 40% reduction of the front yard in the RD2 zone, allowing 9 feet in lieu of 15 feet, and a 27% reduction of the front yard in the RA zone and the existing 25 foot building line (Ordinance 108,814), allowing 18 feet, 4 inches in lieu of 25 feet;.
 - D. An off-menu incentive for 30% reduction in required bicycle parking;

Pursuant to LAMC Section 12.22 A.25(g)(3), a review of the following Waivers of Development Standards:

- E. Waiver of Development Standard for a reduction of the rear yard in the RA zone, to permit a rear yard of 15 feet in lieu of the otherwise required 25 feet;
- F. Waiver of Development Standard for an increase in height to permit 80 feet, 3 inches across both zones in lieu of the otherwise permitted 30 feet in the RA-1 zone and 45 feet in the RD2-1 zone;
- G. Waiver of Development Standard to permit a total floor area of 236,181 sf (FAR and RFAR) in lieu of the otherwise permitted 3:1 FAR (or 81,882 sf) in the RD2 zone and 20% of lot area for RFAR (or 6,381.6 sf) in the RA zone;

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- H. Waiver of Development Standard to permit a 73.2% reduction in the required open space to permit 10,031 sf in lieu of 37,425 square feet as required by LAMC 12.21 G;
 - I. Waiver of Development Standard for relief from LAMC 12.21 A.5(c), to permit up to 69% percent of the provided parking to be compact.
2. The Project is statutorily exempt from the California Environmental Quality Act (CEQA) as a ministerial project, pursuant to Public Resources Code Section 21080(b)(1).

The Project qualifies for a ministerial review, pursuant to Resolution (CF 22-1545) relative to the Declaration of Local Emergency by the Mayor, dated December 12, 2022, concerning homelessness in the City of Los Angeles, pursuant to the provisions of the Los Angeles Administrative Code (LAAC) Section 8.27, adopted by the City Council on December 13, 2022 and Executive Directive 1 dated December 16, 2022.

SB 330 Vesting Rights

In accordance with the Housing Crisis Act of 2019 (Government Code Section 65941.1, “SB 330”) the applicant submitted a Vesting Preliminary Application on March 15, 2023. The preliminary application was signed by City staff on March 22, 2023 and established September 18, 2023 as the last day to file a City Planning Application.

As the project is being filed within the 180 day time limit and the proposed project does not include a total density or square footage of construction that is revised more than 20 percent from the preliminary application, the project is vested according to SB 330. The project may utilize the ordinances, standards, and policies in effect at the time the preliminary application was submitted and paid for on March 15, 2023. The project seeks to utilize the standards and policies established by Executive Directive 1, issued by the Mayor of Los Angeles on December 16, 2022, which exempts qualifying 100% affordable projects from discretionary review as implemented by the guidelines set forth in the Department of City Planning’s February 9, 2023 memorandum titled “Implementation Guidelines for Executive Directive 1.”

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Subject Property

The project site is located in the Canoga Park - Winnetka - Woodland Hills - West Hills Community Plan Area and is comprised of two legal lots (APN 2107001067 and 2107002074, which are already tied together through Affidavit 43299 recorded in 1977) with a total area of approximately 63,766 square feet (“sf”). The project site is split zoned, one lot designated as RD2-1 and one lot designated as RA-1. The entire project site is designated for Low Medium II Residential land use, which corresponds to the RD1.5, RD2, RW2, RZ2.5 zones. The RD2 zone portion of the project site comprises approximately 31,859 sf and the RA portion comprises approximately 31,908 sf.

The project site has a frontage of approximately 217 feet along Winnetka Avenue. The project site located in a liquefaction area and is not located within a designated hillside area, very high fire hazard severity zone, flood zone, landslide, or tsunami inundation zone. The project site is currently improved with four separate buildings which were previously used as an elementary school and day care. The school use is no longer active on the property and the buildings are now vacant. There are no existing housing units on the project site that will be removed as part of the project. The project is located within one half mile of a major transit stop at Roscoe Boulevard and Winnetka Avenue, where the LADOT DASH Canoga Park bus and Metro Bus 152 lines intersect.

Project Description

The project is the construction of a new seven-story, residential development measuring 80 feet and three (3) inches in height with 360 dwelling units. Of the total units, 80 units will be studios, 243 will be one-bedrooms, 27 will be two-bedrooms, and 10 units will be three-bedrooms. Of the 360 units, 72 units will be reserved for Moderate Income households, 287 units will be reserved for Low Income households and one unit will be unrestricted for a manager. The project will have a total zoning code floor area of 236,181 sf.¹ As an 100% affordable housing project, exclusive of a manager’s unit, within one half mile of transit, no residential parking is required, but the project provides 269 residential parking spaces.

The project site includes a 10-foot storm drain easement along the north property line, which is incorporated into the project and the building does not encroach into the easement area (Document Number 79-948408). A portion of this area will be paved as an emergency fire lane on the north side of the project.

The project will also include a 5-foot dedication in the RD2 zone lot (APN 2107001067), in order to complete the required 55 foot right of way required for Winnetka Avenue. The dedication will

¹ In the RA-1 zone, floor area is measured as “Residential Floor Area Ratio (RFAR)” per LAMC 12.03. In the RD2-1 zone, floor area is measured as “Floor Area (FAR)” per LAMC 12.03. This project utilizes the definition of RFAR and FAR to determine base allowances.

not be required to be applied to the RA zone lot (APN 2107002074) as a dedication is not required per LAMC 12.37 in zones more restrictive than R3.

Ministerial Review

Executive Directive 1 (ED-1) went into effect on December 16, 2022 to facilitate the expeditious processing of shelters and 100% affordable housing projects to address the homelessness crisis in the City of Los Angeles. A 100% Affordable Housing Project is defined as “A project with at least 5 units that has at least two-thirds residential square footage, with all units affordable at 80% of Area Median Income (HUD) levels, OR affordable at mixed income with up to 20% of units at 120% AMI (HCD rents) and the balance at 80% AMI or lower (HUD rents) as technically described here: A housing development project defined in Government Code Section 65589.5 that includes 100% restricted affordable units (excluding any manager’s units) for which rental or mortgage amounts are limited so as to be affordable to and occupied by Lower Income households, as defined by CA Health and Safety Code 50079.5, or that meets the definition of a 100% affordable housing development in CA Gov. Code 65925(b)(1)(G)2, as determined by the Los Angeles Housing Department (LAHD)”. For 100% affordable housing projects and shelters, the review shall be complete within 60 days after the application is complete.

Density Bonus Incentives or Concessions

State Density Bonus Law (Government Code Section 65915), adopted on January 1, 2017, outlines the types of relief that minimize restrictions on the size of the project. The requested incentives allow the developer to expand the building envelope so the additional and affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased. These incentives support the applicant’s decision to set aside the specified number of dwelling units for Affordable Income Households for 55 years.

The applicant proposes to utilize Los Angeles Municipal Code (“LAMC”) Section 12.22 A.25 (Affordable Housing Incentives – Density Bonus), which implements Government Code Section 65915, to set aside 287 dwelling units for Low Income household (HUD/TCAC) occupancy and 72 dwelling units for Moderate Income household (HCD/State) occupancy for a period of 55 years. LAHD will confirm and determine the affordable housing units, income category and rent schedules with 20% of the units set aside to HCD rent schedules (Schedule 6). Per AB 2334, up to 20% of the units may be moderate at HCD rent schedules.

In exchange for providing affordable units, the Density Bonus Ordinance grants various incentives/concessions to deviate from development standards in order to facilitate the provision of affordable housing at the site. Because the applicant is providing 100% of the dwelling units (exclusive of the manager’s unit) as affordable, the project is eligible for four On- and Off-Menu Density Bonus Incentives: averaging of floor area, density, parking, open space, and access, reduction of the southerly side yard setback, a reduction of the front yard in both zones, and a reduction in bicycle parking.

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The project is located within one half mile of a major transit stop at Roscoe Boulevard and Winnetka Avenue, where the LADOT DASH Canoga Park bus and Metro Bus 152 lines intersect; each bus runs at an interval of 15 minutes or less during the AM and PM peak periods. Pursuant to State Density Bonus Law under Government Code Section 65915 (AB 1763 and AB 2345), a project located within one-half mile of a Major Transit Stop, as defined in subdivision (b) of Section 21155 of the Public Resources Code qualifies for unlimited density. Pursuant to the State Density Bonus Law under Government Code Section 65915 (AB 2334), the project may utilize the “maximum allowable density” to establish a base density, which is the highest density permitted by the land use designation, the zoning, and any applicable specific plan. The project site is designated for Low Medium II Residential land use, which corresponds to the RD1.5 density (one dwelling unit per 1,500 sf of lot area) according to the Canoga Park - Winnetka - Woodland Hills - West Hills Community Plan area land use map. As the project site has an area of 63,766 sf, the base density is calculated as:

$$63,766 / 1,500 = 42.51 = 43 \text{ units}$$

(all calculations are rounded up per State Density Bonus law)

The project proposes 360 dwelling units, which is an approximate 837 percent increase in density. In addition, there is no minimum parking requirement for projects that meet these criteria. As such, the project qualifies as an Eligible Housing Development that consists of 100% On-Site Restricted Affordable units, exclusive of a building manager’s unit with unlimited density and 269 parking spaces. Therefore, the project is eligible for Density Bonus Base and Additional Incentives.

The project is eligible for the following Density Bonus and parking option, which are granted by-right for eligible Density Bonus projects:

a. **Density.** An unlimited increase in permitted density. Pursuant to the State Density Bonus Law under Government Code Section 65915 (AB 2334), the project may utilize the “maximum allowable density” to establish a base density, which is the highest density permitted by the land use designation, the zoning, and any applicable specific plan. The project site is designated Low Medium II Residential by the Community Plan, which corresponds to RD1.5 (one unit per 1,500 sf of lot area) density according to the Canoga Park - Winnetka - Woodland Hills - West Hills Community Plan area land use map. As the project site has an area of 63,766 sf, the base density is calculated as:

$$63,766 / 1,500 = 42.51 = 43 \text{ units}$$

(all calculations are rounded up per State Density Bonus law)

The project proposes 360 dwelling units, which is an approximate 837 percent increase in density. Pursuant to AB 2345, the maximum permitted density for a 100% affordable project within one-half mile of a major transit stop is unlimited. The project proposes 180 studios, 243 one-bedrooms, 27 two-bedrooms, and 10 three-bedrooms which is consistent with the allowable density under the Density Bonus regulations.

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b. **Parking.** Pursuant to AB 2345, Eligible Housing Development consisting of 100% On-site restricted Affordable Units, exclusive of a manager's unit, and is within one-half mile of a major transit stop, no automobile parking is required for all residential units. The project is proposing 269 parking spaces.

Pursuant to LAMC 12.22 A.25, the project is eligible for the following Density Bonus On- and Off-Menu Incentives:

- a. **Averaging (On Menu).** LAMC 12.22-A.25(f)(8) provides that a housing project that is located on two or more contiguous parcels may average the floor area, density, open space and parking over the project site, and permit vehicular access from a less restrictive zone to a more restrictive zone, provided that the project includes 20% of the units for Low Income households, the proposed use is permitted by the underlying zones of each parcel, and no further subdivision is proposed. The project meets these conditions as it provides 80% of the total units as Low Income, permits residential uses on each parcel at the maximum allowable densities permitted, and does not propose a further subdivision. The project requests to average floor area, density, open space, access and parking over the project site in order to allow for a more efficient building design that spans the entire site instead of being divided into two buildings that conform to each zone. By providing a more efficient building and floor plan layout, the project may dedicate more area to residential units and generate design efficiencies that will reduce costs and provide for affordable housing costs of 359 units and one manager's unit.
- b. **South Side Yard (On-Menu).** LAMC 12.22-A.25(f)(1) allows for an on-menu incentive to permit Up to 20% decrease in the required width or depth of any individual yard or setback except along any property line that abuts an R1 or more restrictively zoned property provided that the landscaping for the Housing Development Project is sufficient to qualify for the number of landscape points equivalent to 10% more than otherwise required by Section 12.40 of this Code and Landscape Ordinance Guidelines "O." The project will provide the required landscape points and does not abut an R1 zone along the southerly property line, where it requests an on-menu 20% reduction in the required side yard. The proposed project is a seven-story multiple-family residential development located in the RD2-1 and RA-1 zones. The RA-1 zone requires a minimum 5-foot side yard setback with one-foot added for each story over the second story. As such, the project is required to provide a 10-foot side yard setback along the south property line. The applicant has requested a 20% reduction in the required northerly side yards, allowing 8 feet in lieu of 10 feet otherwise required in the RA Zone, which is consistent with the On-Menu incentive permitted by LAMC 12.22-A.25(f)(1). The request for incentive is necessary to expand the building envelope so the additional and affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased, thus resulting in cost reductions necessary to provide for affordable housing costs.
- c. **Front Yard (Off-Menu).** The proposed project is a seven-story multiple-family residential development located in the RD2-1 and RA-1 zones. The RD2-1 zone requires a front yard

June 23, 2023

setback of 15 feet and the RA zone requires a setback of 25 feet. Additionally, there is an existing building line that applies to the RA zone lot only (Ordinance 108,814). The building line mandates a 25 foot setback, which aligns with the front yard requirement of the RA zone. The project includes a request for a 40% reduction in the RD2 zone front setback requirement, allowing for a 9 foot setback and a 27.4% reduction in the RA zone front setback, allowing a 18 foot 4 inch setback. This setback is larger in the RA zone in order to provide adequate area for the required electrical transformers as mandated by LADWP. The request for incentive is necessary expand the building envelope so the additional and affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased, thus resulting in cost reductions necessary to provide for affordable housing costs.

- d. **Reduction in Bike Parking (Off-Menu).** Per LAMC 12.21-A.16, the project is required to provide long term bicycle parking as one bicycle parking stall per unit for the first 25 units, one stall per 1.5 units for following 75 units, one stall per 2 units for the following 100 units and short term parking as one stall per 10 units for the first 25 units, one stall per 15 units for the following 75 units, and one stall per 20 units for the following 100 units. With 360 units, the project would require 165 long term stalls and 17 short term stalls. The project will utilize an incentive to permit a reduction allowing 117 long term stalls and 17 short term stalls (approximately a 30% reduction). This reduction in bicycle parking will result in cost reductions for the project as fewer square feet are required to be constructed for code-compliant bicycle parking, reducing the overall construction costs and allowing the project to provide 360 affordable units.

Pursuant to LAMC 12.22 A.25, the project is eligible for the following Waivers of Development Standards:

Per California Government Code Section 65915(e)(1) and Section 12.25-A,25(g) of the LAMC, a Housing Development Project may also request other “waiver(s) or reduction(s) of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria...at the densities or with the concessions or incentives permitted under [State Density Bonus Law]”. In addition to the Off-Menu Incentives, the project has requested three (3) Waivers of Development Standards, as follows:

- A. **Rear Yard in RA Zone.** The project requests a reduction of the rear yard in the RA zone, to permit a rear yard of 15 feet in lieu of the otherwise required 25 feet. The project provides a 15 foot rear yard across both zones. In the RD2 zone, a 15 foot rear yard is required and provided. In order to utilize the RA lot and extend the same building design and setback, a waiver of the rear yard in the RA zone is required to allow for a 40% reduction in setback from 25 feet to 15 feet. Without this reduction, the building would be cut back in the RA zone and the project would be physically precluded from providing the proposed 360 residential units, including 359 affordable units.

June 23, 2023

- B. **Height.** A Waiver of Development Standard for an increase in height to permit 80 feet, three (3) inches in lieu of the otherwise permitted 45 feet in the RD2-1 zone and 30 feet in the RA-1 zone. The project as proposed is seven-stories. Without the waiver, to permit height in excess of 35 feet three inches to 50 feet and three inches, the project would be limited to 30-45 feet (permitting approximately three to four stories) and would be physically precluded from constructing 360 units, including 359 affordable units, and associated ancillary parking and residential amenities. The waiver to permit additional height is necessary to physically allow for the project as proposed.
- C. **Floor Area.** Waiver of Development Standard to permit a total floor area of 236,181 sf (FAR and RFAR) in lieu of the otherwise permitted 3:1 FAR (or 81,882 sf) in the RD2 zone and 20% of lot area for RFAR (or 6,381.6 sf) in the RA zone. The RD2 zone portion of the project site comprises approximately 31,859 sf and would permit an FAR of 3:1 or 81,882 sf and the RA portion comprises approximately 31,908 sf and would permit an RFAR 20% of lot area or 6,381.6 sf. Together, the zoning would only permit a total area (FAR and RFAR) of 88,263.6 sf. The project proposes a total floor area of 236,181 sf to allow for the construction of 360 units and associated open space, circulation, and other amenities. Without the waiver, the project would be severely limited in available floor area (limited to about one third of the proposed size) for residential units and would be physically precluded from providing 360 units, including 359 affordable units.
- D. **Open Space.** Pursuant to LAMC 12.21-G, multiple-family developments with six or more residential units are required to provide 100 square feet of open space for each unit having less than three habitable rooms, 125 square feet of open space for each unit have three habitable rooms, and 175 square feet of open space for each unit have more than three habitable rooms. The proposed 360 unit project would be required to provide 37,425 square feet of open space. The applicant has requested a 73.2% reduction to allow the provision of 10,031 square feet of open space in lieu of 37,425 square feet otherwise required. The provided open space consists of interior recreation rooms and several courtyards, providing a variety of open space options. If the project were required to improve additional spaces as qualifying open space in “open to sky” or interior recreation areas, the overall area provided for residential units would be reduced and the project would be physically precluded from providing 360 units, including 359 affordable units.
- E. **Compact Parking.** The project does not require any parking, however the applicant is providing parking in order to accommodate the anticipated needs of future residents. The project requests a waiver to provide relief from LAMC 12.21 A.5(c), which would require “In each parking area or garage devoted to parking for dwelling uses all parking stalls in excess of one parking stall per dwelling unit may be designed as compact parking stalls to accommodate compact cars”. The project only proposes 269 parking spaces, which would all have to be designed as standard under LAMC 12.21 A.5(c). The project includes a waiver to permit up to 69% percent of the

provided parking to be compact. Without the waiver for compact automobile parking stalls, the existing limitation would physically preclude space for structural elements and required project amenities, including the stairwells, elevator shaft, recycling room, and trash areas all of which are necessary for the construction of affordable units.

Housing Replacement (SB 8 Determination)

On October 9, 2019, the Governor signed into law the Housing Crisis Act of 2019 (SB 330). SB 330 creates a new state laws regarding the production, preservation, and planning for housing, and establishes a statewide housing emergency until January 1, 2025. This was subsequently amended by SB 8 on September 16, 2021. During the duration of the statewide housing emergency, SB 330, among other things, create new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant “Protected Units” unless the proposed housing development project replaces those units.

The Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 8) Replacement Unit Determination, dated March 30, 2023, that the project site has been improved as a commercial school or day care center since at least 2018. The project will not involve the demolition of any housing and no SB 8 replacement is required per the Housing Crisis Act of 2019 (SB 8).

79- 948408

Recording Requested by
CITY OF LOS ANGELES

When Recorded Mail to
CITY CLERK'S MAIL BOX

FREE **6N**

above space for Recorder's use

R/W 31889-1DF
C.D. No.
D.M. No. 7513
Drainage Easement

Documentary Transfer Tax Not
Required: Sec. 11922 Revenue
and Taxation Code 8-23-79

Date offer filed with the Bureau
of Right of Way and Land *M. Selena*

IRREVOCABLE OFFER TO DEDICATE

The undersigned hereby certifies that I/we am/are the legal owner__ of or are parties having an interest in the hereinafter described real property, and the undersigned, for themselves, their heirs, successors and assigns, do hereby designate and set aside for future ~~street~~ ^{drainage}, and irrevocably offer to dedicate to The City of Los Angeles, an easement for public ~~street~~ ^{drainage} purposes, in, over, along, upon and across the hereinafter described real property located in The City of Los Angeles, County of Los Angeles, State of California, described as follows, to wit:

The northerly 10 feet of Lot 1, Tract No, 22430,
as per map recorded in Book 771, pages 97 and 98 of Maps,
in the office of the County Recorder of Los Angeles County,

RECORDED IN OFFICIAL RECORDS
OF LOS ANGELES COUNTY, CA
47 MIN. PAST 1 P.M. AUG 24 1979
Recorder's Office

Description Approved
Bureau of Engineering
by DONALD C. TILLMAN
JUL 20 1979 *D. Backe*

Approved for Recordation
ms

FORM 967 (revised)

79- 948408

R/W 31889-1DF

This irrevocable offer to dedicate shall continue in full force and effect until the City Council accepts or rejects such offer.

If the irrevocable offer to dedicate is rejected by the City Council, the Bureau of Right of Way and Land shall issue a release from such offer which shall be recorded in the office of the County Recorder of Los Angeles County.

The dedication of the land described hereinbefore for public street or highway purposes shall be deemed to be completed upon acceptance of the offer to dedicate by the City Council of The City of Los Angeles, and shall thereby become a part of the public street or highway system of The City of Los Angeles.

IN WITNESS THEREOF, the undersigned have hereunto set their hands this 3rd day of August, 1979.

Ernest N. Anast
ERNEST N. ANAST and
Sophie Anast
SOPHIE ANAST, husband and wife,

Owners.

TRUST FUND Series
Irrevocable Offer to Dedicate

R/W 31889-1DF

The undersigned Beneficiary, under Deeds of Trust recorded on January 3, 1973; respectively as Document Nos. 969 and 970, Official Records in the office of the County Recorder of Los Angeles County; does hereby consent to the offer to dedicate the easement herein described, and hereby subordinates the liens of said Deeds of Trust thereto.

Alice Louise Metzger
ALICE LOUISE METZGER, Beneficiary.

79- 948408

(Individual)

STATE OF CALIFORNIA,

COUNTY OF Los Angeles

} SS.

79- 948408

4/

On August 22, 1979 before me, the undersigned, a Notary Public, in and for said State, personally appeared Alice Louise Metzger

....., known to me to be the person whose name is subscribed to the within instrument and acknowledged that she executed the same.

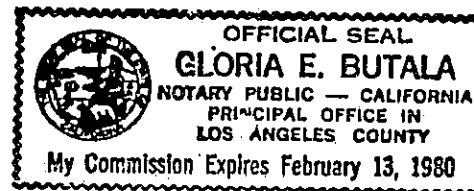
WITNESS my hand and official seal.

Signature

Gloria E. Butala

Gloria E. Butala

Name (Typed or Printed)



(This area for official notarial seal)

(Individual)

STATE OF CALIFORNIA,

COUNTY OF Los Angeles

} SS.

79- 948408

On August 3, 1979 before me, the undersigned, a Notary Public, in and for said State, personally appeared Ernest N. and Sophie Adast

....., known to me to be the person whose name all subscribed to the within instrument and acknowledged that they executed the same.

WITNESS my hand and official seal.

Signature

Laurie Engelhart

LAURIE ENGELHART

Name (Typed or Printed)



(This area for official notarial seal)

90131

CERTIFICATE OF ACCEPTANCE

This is to certify that the within Offer to Dedicate to The City of Los Angeles is hereby accepted for recordation under authority of the City Council of The City of Los Angeles, pursuant to Ordinance No. 123555, approved January 23, 1968; and the City of Los Angeles consents to the recordation thereof by its duly authorized officer

BY



DATE

AUG 24 1979

City Planning Case Referral



Project Information

LA Sanitation Case Referral #: 959

Date: 3/8/2023

<p>Site Information</p> <p>Project Address: <u>8217 Winnetka Ave</u></p> <p>APN: <u>2107001067</u></p> <p>Type of Project: <input checked="" type="checkbox"/> New / <input type="checkbox"/> Redevelopment</p> <p>• <input checked="" type="checkbox"/> Res <input type="checkbox"/> Comm <input type="checkbox"/> Indus. <input type="checkbox"/> Mixed Use</p> <p>• Other: _____</p> <p>Hillside Grading: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N ESA: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N</p> <p>Liquefaction: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p> <p>Percolation test done: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N</p>	<p>Applicant Information</p> <p>Name: <u>Olivia Joncich</u></p> <p>Email: <u>olivia@rpnllp.com</u></p> <p>Phone: <u>(818) 518-4496</u></p> <p>Address: <u>633 W. Fifth Street, 64th floor,</u> <u>Los Angeles, 90071</u></p>
<p>Project Information</p> <p>Total site area (Ac): <u>1.464</u> Design Storm (85th Percentile): <u>1.05</u></p> <p>Approx Impervious area (Ac): <u>1.260</u> Approx Pervious Area (Ac): <u>0.204</u></p>	
<p>Note: The information on this City Planning Case Referral Form is only a “preliminary review” by LA Sanitation. It informs the applicant of the stormwater requirements that will need to be implemented on the project in order to satisfy Low Impact Development (LID) requirements.</p>	
<p>Possible BMP (Subject to Soils testing and Site conditions)</p> <p>Infiltration: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N Capture & Use: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p> <p>Bio-Filtration: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N</p>	<p>Sanitation Plan Checker</p> <p>Reviewer: <u>S. Garcia</u></p> <p>Date Reviewed: <u>3/8/2023</u></p>
<p>Comment(s):</p> <p>Site is in a liquefaction area therefore infiltration is infeasible. Provide City of LA LID Handbook Appendix</p> <hr/> <p>F calculation for Capture and Use. If infeasible provide biofiltration BMP per the requirements of the LID Handbook.</p> <hr/>	

Ann Sewill, General Manager
Tricia Keane, Executive Officer

City of Los Angeles



LOS ANGELES HOUSING DEPARTMENT
1200 West 7th Street, 9th Floor
Los Angeles, CA 90017
Tel: 213.808.8808
housing.lacity.org

Daniel Huynh, Assistant General Manager
Anna E. Ortega, Assistant General Manager
Luz C. Santiago, Assistant General Manager

Karen Bass, Mayor

DATE: March 30, 2023

TO: PACIFIC INVESTMENTS, a partnership, Owner
Uncommon Developers, Applicant

FROM: Marites Cunanan, Senior Management Analyst II *M. Cunanan*
Los Angeles Housing Department

SUBJECT: **Housing Crisis Act of 2019 (SB 8)**
(ED 1, DB) Replacement Unit Determination
RE: 8217 North Winnetka Avenue, Canoga Park, CA 91306

This SB 8 Replacement Unit Determination (RUD) is only applicable if the proposed project is 100% affordable to lower income households. In the event the proposed project changes and is no longer 100% affordable to lower income households, a revised RUD will be required.

Based on the SB 8 Application for a Replacement Unit Determination (RUD) submitted by Uncommon Developers (Applicant) on behalf of PACIFIC INVESTMENTS, a partnership (Owner) for the property located at 8217 N. Winnetka Ave. (APN 2107-001-067 Lot 1 and APN 2107-002-074, Lot PT 811 Arb 4) (Property), the Los Angeles Housing Department (LAHD) has determined that no units are subject to replacement pursuant to the requirements of the Housing Crisis Act of 2019 (SB 8).

PROJECT SITE REQUIREMENTS:

The Housing Crisis Act of 2019, as amended by SB 8 (California Government Code Section 66300 et seq.), prohibits the approval of any proposed housing development project (“Project”) on a site (“Property”) that will require demolition of existing dwelling units or occupied or vacant “Protected Units” unless the Project replaces those units as specified below. The replacement requirements below apply to the following projects:

- Discretionary Housing Development Projects that receive a final approval from Los Angeles City Planning (LACP) on or after January 1, 2022,
- Ministerial On-Menu Density Bonus, SB 35 and AB 2162 Housing Development Projects that submit an application to LACP on or after January 1, 2022, and
- Ministerial Housing Development Projects that submit a complete set of plans to the Los Angeles Department of Building & Safety (LADBS) for Plan Check and permit on or after January 1, 2022.

Replacement of Existing Dwelling Units

The Project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the Property within the past 5 years.

Replacement of Existing or Demolished Protected Units

The Project must also replace all existing or demolished “Protected Units”. Protected Units are those residential dwelling units on the Property that are, or were, within the 5 years prior to the owner’s application for a SB 8 Replacement Unit Determination (SB 8 RUD): **(1)** subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income, **(2)** subject to any form of rent or price control through a public entity’s valid exercise of its police power within the 5 past years **(3)** occupied by lower or very low income households (an affordable Protected Unit), or **(4)** that were withdrawn from rent or lease per the Ellis Act, within the past 10 years.

Whether a unit qualifies as an affordable Protected Unit, is primarily measured by the INCOME level of the occupants (i.e. W-2 forms, tax return, pay stubs, etc.). The Los Angeles Housing Department (LAHD) will send requests for information to each occupant of the existing project. Requests for information can take two (2) or more weeks to be returned. It is the owner's responsibility to work with the occupants to ensure that the requested information is timely produced.

- ***In the absence of occupant income documentation:*** Affordability will default to the percentage of extremely low, very low or low income renters in the jurisdiction as shown in the latest HUD Comprehensive Housing Affordability Strategy (CHAS) database, which as of September 9, 2022, is at 33% extremely low income, 18% very low income and 19% low income for Transit Oriented Communities (TOC) projects and 51% very low income and 19% low income for Density Bonus (DB) projects. In the absence of specific entitlements, the affordability will default to 51% very low income and 19% low income. The remaining 30% of the units are presumed above-low income. All replacement calculations resulting in fractional units shall be rounded up to the next whole number.

Replacement of Protected Units Subject to the Rent Stabilization Ordinance (RSO), Last Occupied by Persons or Families at Moderate Income or Above

The City has the option to require that the Project provide: **(1)** replacement units affordable to low income households for a period of 55 years (rental units subject to a recorded covenant), OR **(2)** require the units to be replaced in compliance with the RSO.

Relocation, Right to Return, Right to Remain:

All occupants of Protected Units (as defined in California Government Code Section 66300(d)(2)(F)(vi)) being displaced by the Project have the right to remain in their units until six (6) months before the start of construction activities with proper notice subject to Chapter 16 (Relocation Assistance) of Division 7, Title I of the California Government Code ("Chapter 16"). However, all **Lower Income Household** (as defined in California Health and Safety Code Section 50079.5) occupants of Protected Units are **also** entitled to: **(a)** Relocation benefits also subject to Chapter 16, and **(b)** the right of first refusal ("Right to Return") to a comparable unit (same bedroom type) at the completed Project. If at the time of lease up or sale (if applicable) of a comparable unit, a returning occupant remains income eligible for an "affordable rent" (as defined in California Health and Safety Code Section 50053) or if for sale, an "affordable housing cost" (as defined in California Health and Safety Code Section 50052.5), owner must also provide the comparable unit at the "affordable rent" or "affordable housing cost", as applicable. This provision does not apply to: **(1)** a Project that consists of a Single Family Dwelling Unit on a site where a Single Family Dwelling unit is demolished, and **(2)** a Project that consists of 100% lower income units except Manager's Unit.

THE PROPOSED HOUSING DEVELOPMENT PROJECT:

Per the statement received by LAHD on February 8, 2023, the Owner plans to demolish the existing commercial structure and construct a new 100% affordable, three hundred (300)-unit residential apartment on the Property pursuant to by-right incentives under the Density Bonus (DB) Guidelines.

PROPERTY STATUS (AKA THE "PROJECT SITE"):

Owner submitted an Application for a RUD for the Property on February 8, 2023. In order to comply with the required **five (5) year** lookback period, LAHD collected and reviewed data from February 2018 to February 2023.

Review of Documents:

Pursuant to the Grant Deed, the Owner acquired the Property on April 21, 1980.

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database, indicates the following use codes:

APN, Lot Arb	Address(es)	Use Code
APN 2107-001-067, Lot 1	8217 N. Winnetka Ave.	7200 - Institutional - School (Private)
APN 2107-002-074, Lot PT 811 Arb 4	None	7200 - Institutional - School (Private)

The most recent Certificate of Occupancy (1979VN98347) confirms that the property previously was once a single family dwelling and day care, but was converted into an office and elementary school. Google Earth, Google Street View, and an Internet Search confirm that the Property still contains a single-story commercial property (school).

The Los Angeles Department of Building and Safety (LADBS) database indicates that the Owner applied for a Demolition Permit (#23019-20000-00962) and a New Building Permit (#23010-10000-00558), which have not been issued yet.

REPLACEMENT UNIT DETERMINATION:

LAHD has determined that since at least February 2018, the Property contains a commercial property (school or day care center). Therefore, the proposed housing development does not require the demolition of any prohibited types of housing. Further, the provisions of SB 8 do not apply to commercial properties, therefore no SB 8 replacement affordable units are required.

Please note that this SB 8 determination will also apply if the proposed project is changed to a Transit Oriented Communities (TOC) project.

NOTE: This determination is provisional and is subject to verification by LAHD’s Rent Division.

If you have any questions about this RUD, please contact Jessica Wang at jessica.wang@lacity.org.

cc: Los Angeles Housing Department File
 Planning.PARP@lacity.org, Department of City Planning for discretionary projects, or
 LADBS.ahs@lacity.org, Department of Building and Safety for by-right projects

MAC:jw

Records Research Request Form

Visit LADBS.ORG for a list of the records available online

DATE: <u>12/21/2022</u> NAME: <u>Olivia Joncich</u> EMAIL: <u>olivia@rpnllp.com</u> CONTACT PHONE #: <u>2135572703</u> COMPANY/AGENCY: _____	OFFICE USE ONLY APPT ID _____ <input type="checkbox"/> EMAIL REQUEST
--	---

REQUEST FOR BUILDING RECORDS

➤ **BY EMAIL:**

Email this completed form to Records.LADBS@lacity.org

➤ **BY APPOINTMENT:**

Office visit by appointment only <https://appointments.lacity.org/apptsys/Public/Account>

Appointments for Records Requests only available at the following LADBS offices:

Metro Office
201 N. Figueroa St., 1st Floor, Rm. 110
Los Angeles, CA 90012

Van Nuys Office
6262 Van Nuys Blvd., 2nd Floor, Rm. 251
Van Nuys, CA 91401

PROPERTY ADDRESS(ES): _____

or range of addresses if same lot/property - 3 addresses per request

No address shows on ZIMAS (property may use address 8217 or 8213 Winnetka Ave)

APN is 2107002074

Use of Existing Building:

Information Requested

Copies of documents are \$0.10 cents per page.

Select from the following by checking the box next to it – for further clarification of request, use comments box.

<input type="checkbox"/> BUILDING PERMITS	<input type="checkbox"/> CERTIFICATES OF OCCUPANCY	<input type="checkbox"/> GRADING DOCUMENTS	Office Use Only
<input type="checkbox"/> PLOT PLAN	<input type="checkbox"/> VIOLATIONS	<input type="checkbox"/> MODIFICATIONS/ BOARD FILES	
<input type="checkbox"/> MECHANICAL PERMITS <input type="checkbox"/> ELECTRICAL PERMITS 1985-1990 and 1997-Present	<input checked="" type="checkbox"/> AFFIDAVITS/Z.I. NO. <u>AFF-43299</u> FDIC		

BLUEPRINTS May require additional time for processing. SEE OVER FOR DETAILS & REQUIREMENTS

COMMENTS: Reason for Records Research Request:

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services, and activities.

Recorded at _____ of _____ and mail to:

E.N. Anast
(Name)

8217 Winnetka Ave
(Address)

Canoga Park 91306

COPY of Document Recorded
MAR 24 1977 as No. 298160
Has not been compared with original.
Original will be returned when
processing has been completed. **N**
LOS ANGELES COUNTY REGISTRAR - RECORDER

APR 13 1977

NR
4-23-77

COVENANT AND AGREEMENT TO HOLD PROPERTY AS ONE PARCEL

The undersigned hereby certify that we are the owners of the hereinafter legally described real property located in the City of Los Angeles, County of Los Angeles, State of California:

See Attached Sheet

(legal description)

as recorded in Book _____, page _____ Records of Los Angeles County.

And, for the purpose of Creating one parcel
(state purpose)

JOB ADDRESS: 8217 WINNETKA AVE

as regulated by Section 12.08 of the Los Angeles Municipal Code we do hereby covenant and agree with said City that the above legally described land shall be held as one parcel and no portion shall be sold separately.

This covenant and agreement shall run with the land and shall be binding upon ourselves, and future owners, encumbrancers, their successors, heirs, assignees and shall continue in effect until such time that the Los Angeles Municipal Code unconditionally permits the use or purpose herein above referred to or unless otherwise released by authority of the Superintendent of Building of the City of Los Angeles.

Dated this 22 day of March, 1977

Signature of owner Ernest N. Anast (Sign)
(Two Officer's signatures required for Corporations) Sophie Anast (Sign)

ERNEST N. ANAST SOPHIE ANAST

FOR DEPARTMENT USE ONLY

Branch Office VAN NUYS

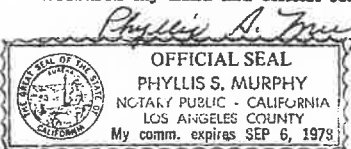
District Map 7513

B&S Aff. No. 43299

Approved for recording
Department of Building and Safety by

[Signature]
CUT PRIOR TO 7/29/62

(INDIVIDUAL)
STATE OF CALIFORNIA } SS.
COUNTY OF LOS ANGELES }
On March 23, 1977
before me, the undersigned, a Notary Public in and for said
County and State, personally appeared
ERNEST N. ANAST AND
SOPHIE ANAST
known to me to be the persons whose names are
subscribed to the within Instrument and acknowledged that
THEY executed the same.
WITNESS my hand and official seal.



My Commission expires Sept 6 1978

(CORPORATION)
STATE OF CALIFORNIA } SS.
COUNTY OF LOS ANGELES }
On _____
before me, the undersigned, a Notary Public in and for said
County and State, personally appeared _____,
known to me to be the _____ President,
and _____
known to me to be _____ Secretary of
the Corporation that executed the within Instrument, known
to me to be the persons who executed the within Instrument
on behalf of the Corporation therein named, and acknowledged
to me that such Corporation executed the within Instrument
pursuant to its by-laws or a resolution of its board of directors.
WITNESS my hand and official seal.

My Commission expires _____

AFF. 43299

0 1 2 3 4 5 6 7 8 9 0

LEGAL DESCRIPTION

Lot 1 in Tract No. 22490, Bk 771, Pgs 97/98 and that
portion of Lot 811 in Tract No. 1000, Bk 18, Pg 15 de-
fined

As:
Beginning at the southeast corner of Lot 1 in Tract
22490; thence south on the west line of Winnetka Ave.
distant 108 'ft to a point; thence, westerly & parallel
with the southerly line of said Lot 1, distant 295 'ft.
to a point; thence northerly in a direct line to the
southwest corner of said Lot 1; thence easterly on the
south line of said Lot 1 to the point of beginning.

Total Area = 1.46 acres

43299



ADM-2023-1374



202354815847

B1468-8652 02/02/2023 4:47 PM Received by California Secretary of State



STATE OF CALIFORNIA
Office of the Secretary of State
ARTICLES OF ORGANIZATION
CA LIMITED LIABILITY COMPANY
 California Secretary of State
 1500 11th Street
 Sacramento, California 95814
 (916) 653-3516

For Office Use Only
-FILED-
 File No.: 202354815847
 Date Filed: 2/2/2023

Limited Liability Company Name Limited Liability Company Name	8217 Winnetka LLC
Initial Street Address of Principal Office of LLC Principal Address	9220 WINNETKA AVENUE CHATSWORTH, CA 91311
Initial Mailing Address of LLC Mailing Address	9220 WINNETKA AVENUE CHATSWORTH, CA 91311
Attention	Uncommon Developers
Agent for Service of Process Agent Name	Jason Larian
Agent Address	9220 WINNETKA AVENUE CHATSWORTH, CA 91311
Purpose Statement	The purpose of the limited liability company is to engage in any lawful act or activity for which a limited liability company may be organized under the California Revised Uniform Limited Liability Company Act.
Management Structure The LLC will be managed by	More than One Manager
Additional information and signatures set forth on attached pages, if any, are incorporated herein by reference and made part of this filing.	
Electronic Signature	<input checked="" type="checkbox"/> By signing, I affirm under penalty of perjury that the information herein is true and correct and that I am authorized by California law to sign.
<u>Jason Larian</u> Organizer Signature	<u>02/02/2023</u> Date

ADM-2023-4274

This page is part of your document - DO NOT DISCARD



20230119628



Pages:
0004

Recorded/Filed in Official Records
Recorder's Office, Los Angeles County,
California

02/24/23 AT 08:00AM

FEES:	28.00
TAXES:	30,800.00
OTHER:	0.00
PAID:	30,828.00



LEADSHEET



202302240280019

00023221173



013934668

SEQ:
01

SECURE - 8:00AM



THIS FORM IS NOT TO BE DUPLICATED

186092

RECORDING REQUESTED BY:

Chicago Title

Escrow No.: 00186090-001-TG3

Title No.: 00186090

WHEN RECORDED MAIL DOCUMENT AND TAX STATEMENT TO:

9220 Winnetka LLC
9220 Winnetka Avenue,
Chatsworth, CA 91311

APN: 2107-002-074, 2107-001-067

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

THE UNDERSIGNED GRANTOR(s) DECLARE(s)

DOCUMENTARY TRANSFER TAX is \$ 6,050.00 CITY TAX \$ 24,750.00

- computed on full value of interest or property conveyed, or
- computed on full value of items or encumbrances remaining at time of sale,
- Unincorporated area City of Los Angeles, and

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Pacific Investments, a partnership

hereby GRANT(s) to

8217 Winnetka LLC, a California limited liability company

the following described real property in the County of Los Angeles, State of California

SEE EXHIBIT A ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF

Dated: 2/14/2023

Pacific Investments,
a partnership

Ronald Einy
Ronald Einy, Partner/President

Michelle Levi Kurtz
Michelle Levi Kurtz, Partner/Secretary

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of LOS ANGELES) SS:

On FEBRUARY 14 2023 before me, DAVID S. JONES
a Notary Public, personally appeared RONALD EINY + MICHELLE LEVI KURTZ

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature David S. Jones (Seal)

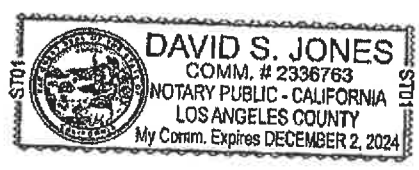


EXHIBIT A
LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

LOT 1, TRACT 22430, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 771, PAGES 97 AND 98 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

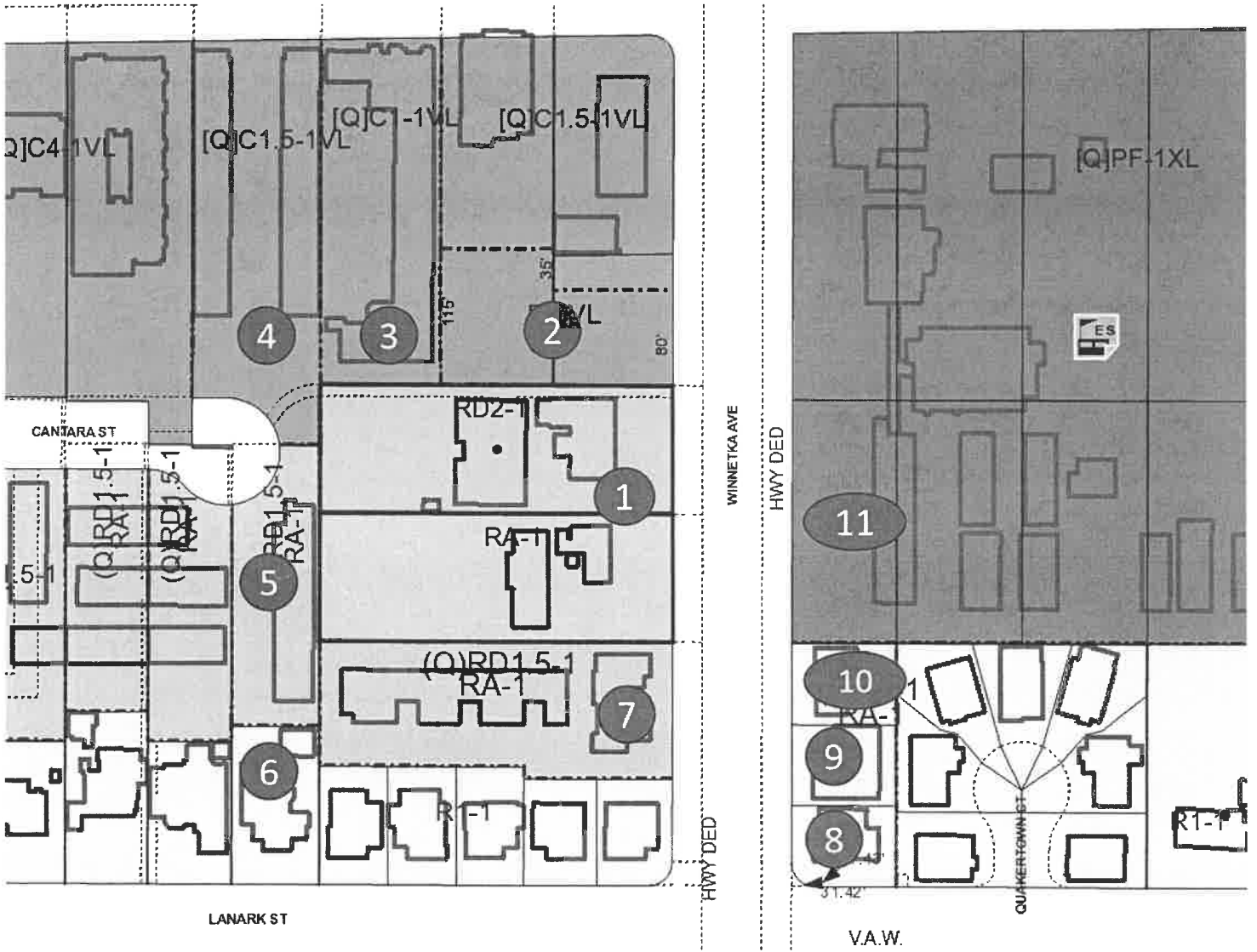
PARCEL 2:

THE NORTH 108 FEE OF THE SOUTH 313 FEET OF THE EAST 32 FEE OF ALL THAT PART OF LOT 811 OF TRACT 1000, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 19, PAGE 1 OF MAPS, BOUNDED ON THE WEST AND SOUTH BY TRACT NO. 5252, AS PER MAP RECORDED IN BOOK 65, PAGE 100 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 2107-002-074 AND 2107-001-067

8217 WINNETKA AVENUE
ADJACENT NOTIFICATION MAP
MAY 2, 2023

ADM-2023-4274



PENALTY OF PERJURY STATEMENT

I hereby certify that to the best of my knowledge the attached adjacent ownership map or radius map correctly depicts the required data obtained from the records of the City Engineer, City Clerk, and/or the Los Angeles City Planning and, where appropriate, the State Division of Highways.

I further hereby certify that to the best of my knowledge, and under the penalty of perjury, the attached ownership list correctly shows the latest current owner addresses on the City Engineer's land records as of the following date of preparation: 5/2/23. In certain circumstances, such as in annexation proceedings, where there may be no City Engineer records, the records of the County Assessor's Office may be accepted by the City Planning Commission.

The attached Ownership List is an: Original Mailing List or Updated Mailing List

Olivia Joncich (Print or type) *Olivia Joncich* (Signature)

I hereby certify that to the best of my knowledge and under the penalty of perjury, the attached occupants list correctly indicates addresses of the required occupants that fall within the radius as of the following date of preparation: 5/2/23.

The attached Occupants List is an: Original Mailing List or Updated Mailing List

Olivia Joncich (Print or type) *Olivia Joncich* (Signature)

In certain instances, I may have been unable to verify all occupants, therefore the following indicates which occupants I was not able to identify. I understand that the Los Angeles City Planning will determine if reasonable attempts were made to secure these addresses from the information provided below.

Ownership #	Reason Unable to Verify*	Attempts Made to Verify**	Additional Information

* (1) Secured Building
 (2) Gated Yard
 (3) Refused Access
 (4) Other: Specify

** (1) Returned to building on three separate occasions
 (2) Efforts to contact owner or manager without success
 (3) Contact made with owner or manager, who refused to provide the information
 (4) Other: Specify

1
8217 WINNETKA LLC (OWNER)
9220 WINNETKA AVE
CHATSWORTH, CA 91311

2
BANK OF AMERICA / CORPORATE REAL
ESTATE ASSESSMENT
101 N TRYON ST
CHARLOTTE, NC 28246

3
BASKETT ALLISON / FONG MING HUA
20128 ROSCOE BLVD
LOS ANGELES, CA 91306

4
NTA INVESTMENTS INC
694 WENDOVER RD
LA CANADA FLINTRIDGE, CA 91011

5
FRAZIER TRUST
20133 LANARK ST
LOS ANGELES, CA 91306

6
FRAZIER TRUST
20133 LANARK ST
LOS ANGELES, CA 91306

7
OWNER
8211 WINNETKA AVE
LOS ANGELES, CA 91306

8
ZAHID KHALID R
20057 LANARK ST
LOS ANGELES, CA 91306

9
TRAN JULIE T
8208 WINNETKA AVE
LOS ANGELES, CA 91306

10
BOHORQUEZ BENJAMIN J /
BOHORQUEZ ELSIE A
7841 ALLOTT AVE
PANORAMA CITY, CA 91402

11
L A UNIFIED SCHOOL DIST
333 S BEAUDRY AVE
LOS ANGELES, CA 90017

UNCOMMON DEVELOPERS
(APPLICANT)
9220 WINNETKA AVE
CHATSWORTH, CA 91311

OLIVIA JONCICH (REP) RAND PASTER &
NELSON LLP
633 W FIFTH ST #64TH FLR
LOS ANGELES, CA 90071

CD 3 - CITY HALL
200 N SPRING ST #430
LOS ANGELES , CA 90012

WINNETKA NEIGHBORHOOD COUNCIL
20122 VANOWEN ST
WINNETKA, CA 91306

2
OCCUPANT
8229 WINNETKA AVE
LOS ANGELES, CA 91306

3
OCCUPANT
20128 ROSCOE BLVD
LOS ANGELES, CA 91306

4
OCCUPANT
20138 ROSCOE BLVD
LOS ANGELES, CA 91306

5
OCCUPANT
20138 CANTARA ST
LOS ANGELES, CA 91306

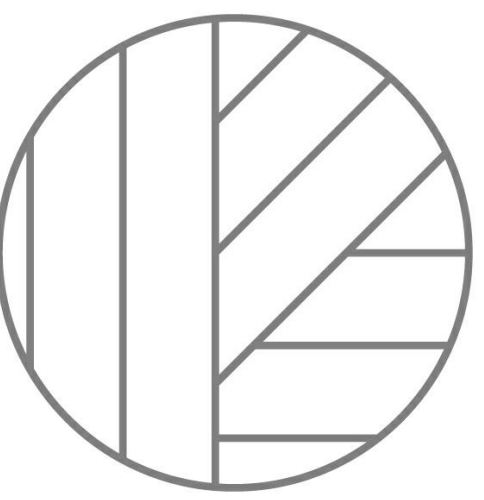
6
OCCUPANT
20133 LANARK ST
LOS ANGELES, CA 91306

7
OCCUPANT
8211 WINNETKA AVE
LOS ANGELES, CA 91306

8
OCCUPANT
20057 LANARK ST
LOS ANGELES, CA 91306

9
OCCUPANT
8208 WINNETKA AVE
LOS ANGELES, CA 91306

10
OCCUPANT
8216 WINNETKA AVE
LOS ANGELES, CA 91306



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INFO@JZARCH.LA



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CLIENT NAME
8217 WINNETKA LLC
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
WINNETKA**
NOT FOR CONSTRUCTION

PROJECT ADDRESS
8217 WINNETKA AVE
LOS ANGELES, CA

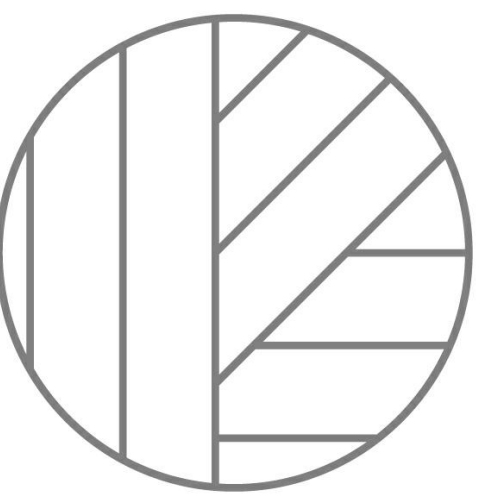
JOB NUMBER
2232

DATE
6.7.2023

SHEET TITLE
**SITE PHOTOS &
EXISTING CONDITIONS**

SHEET NUMBER
G002

DRAWING SET TITLE
PZA REVIEW SET

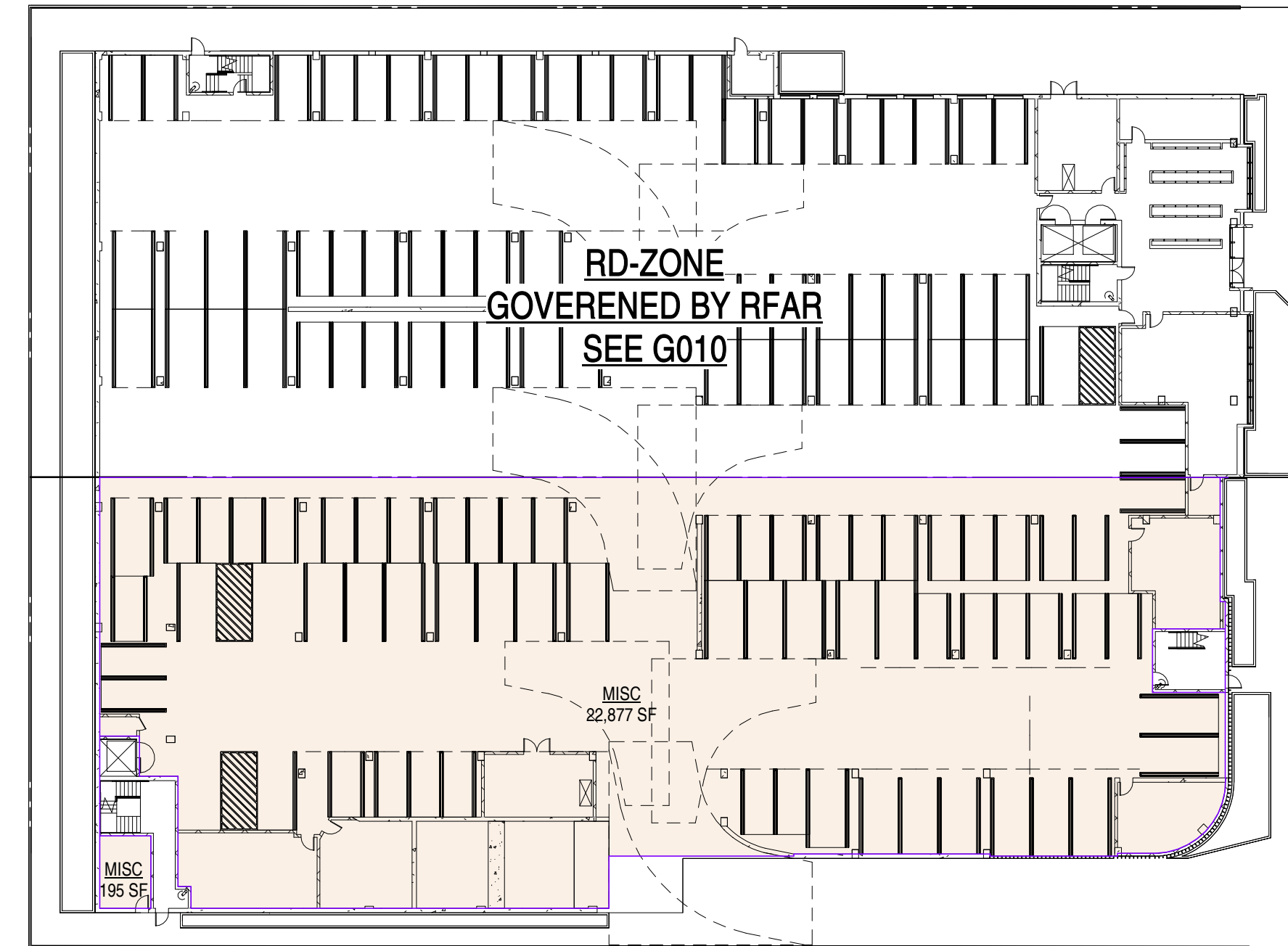
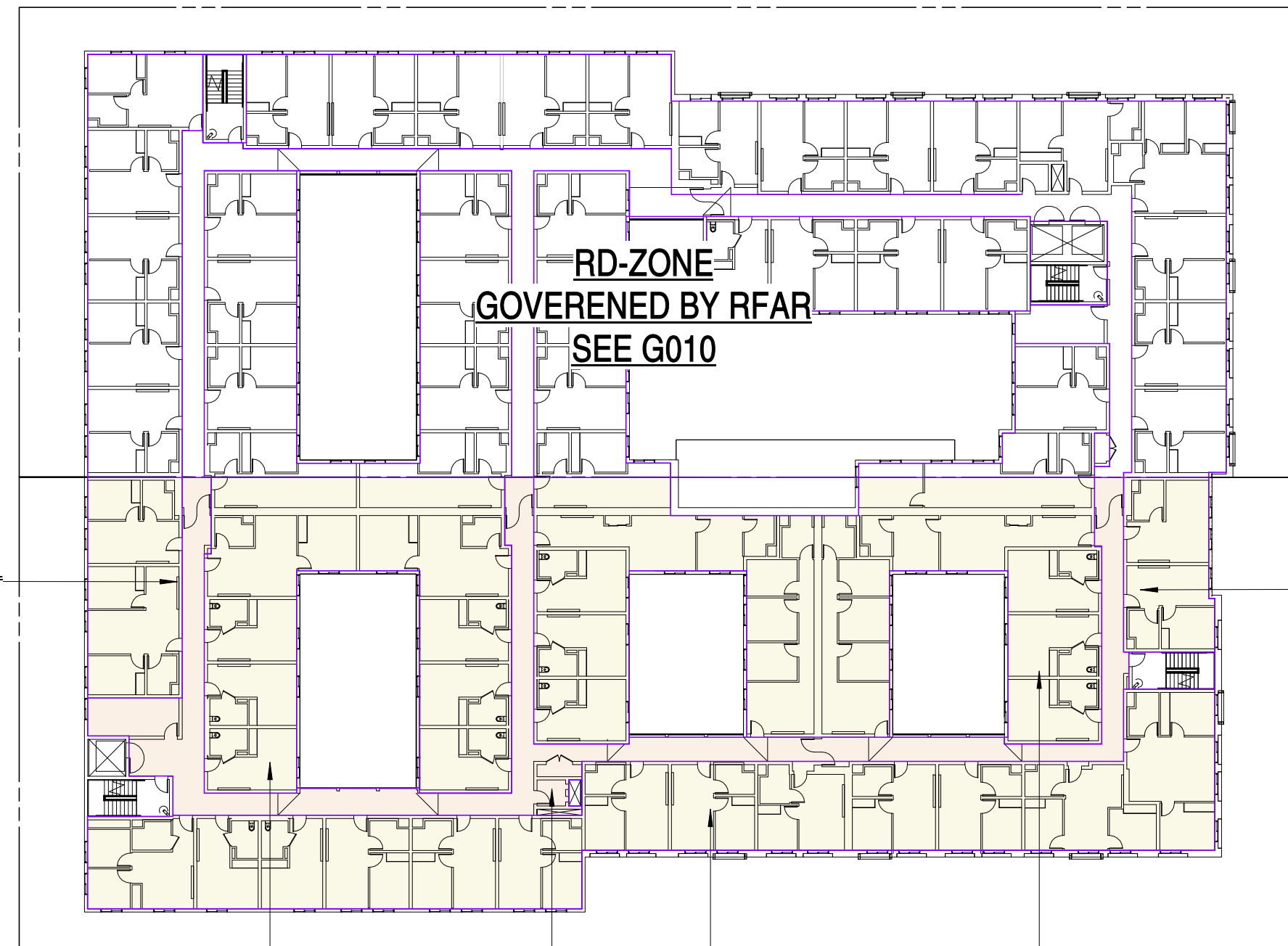
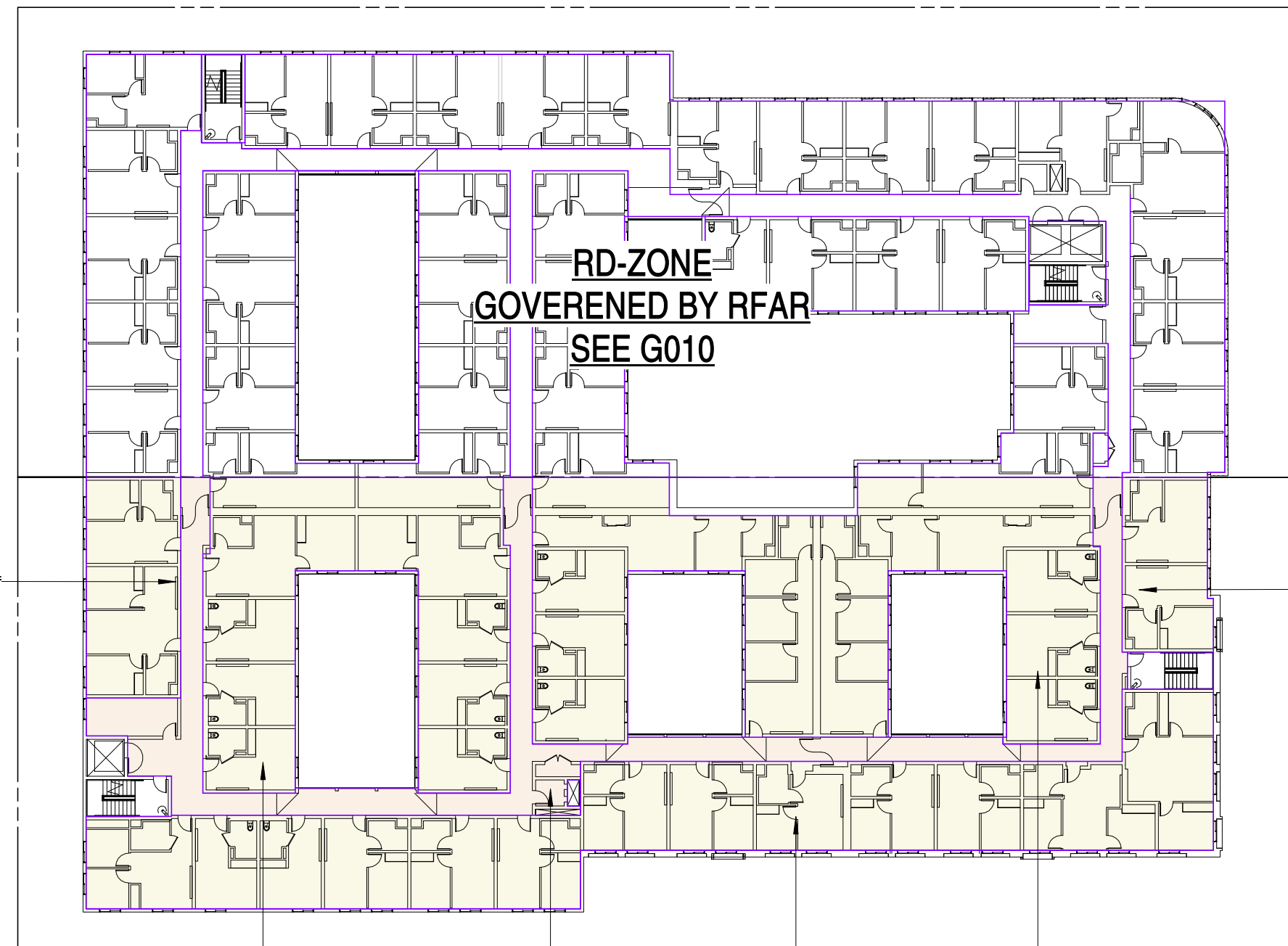


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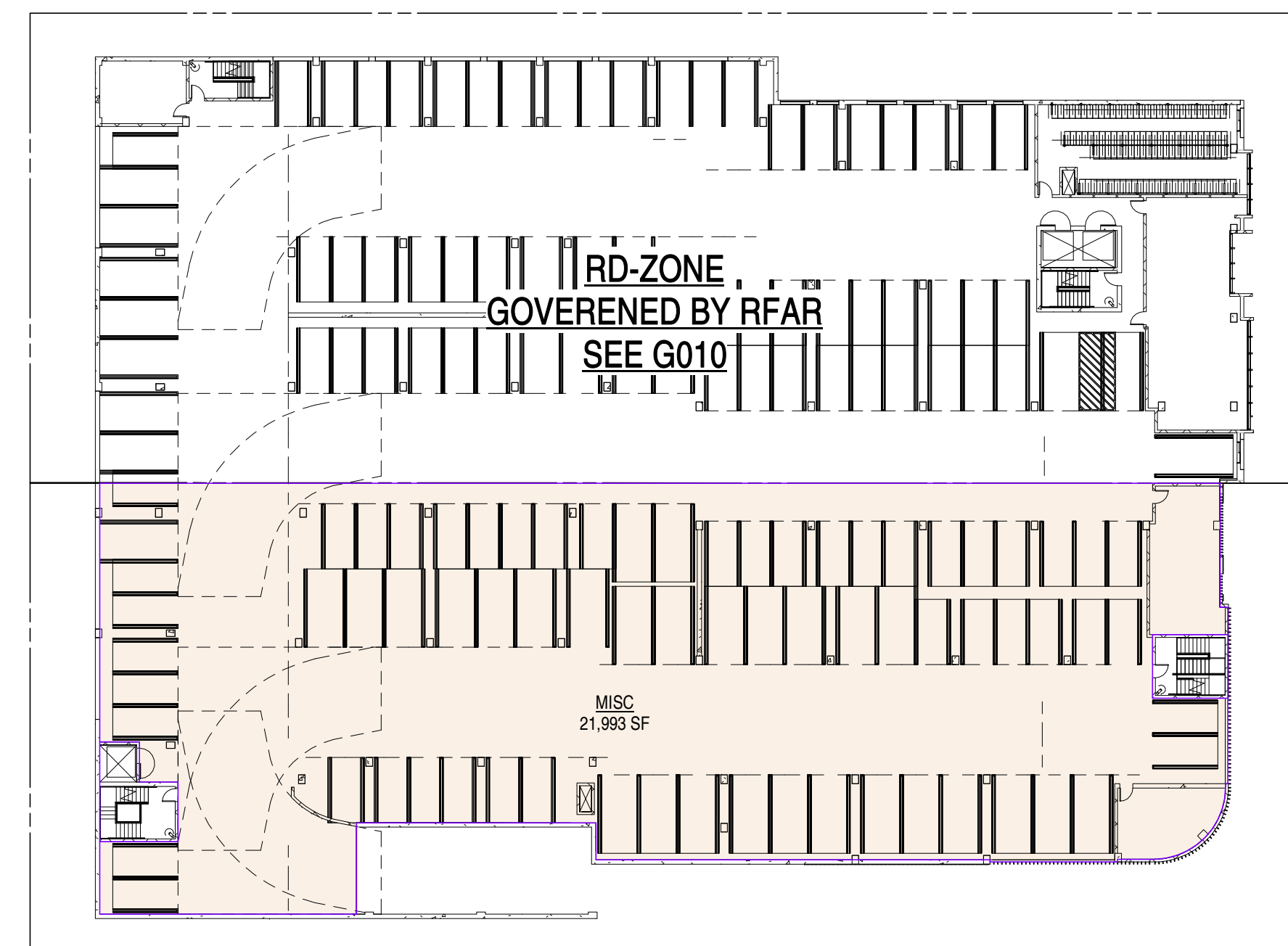
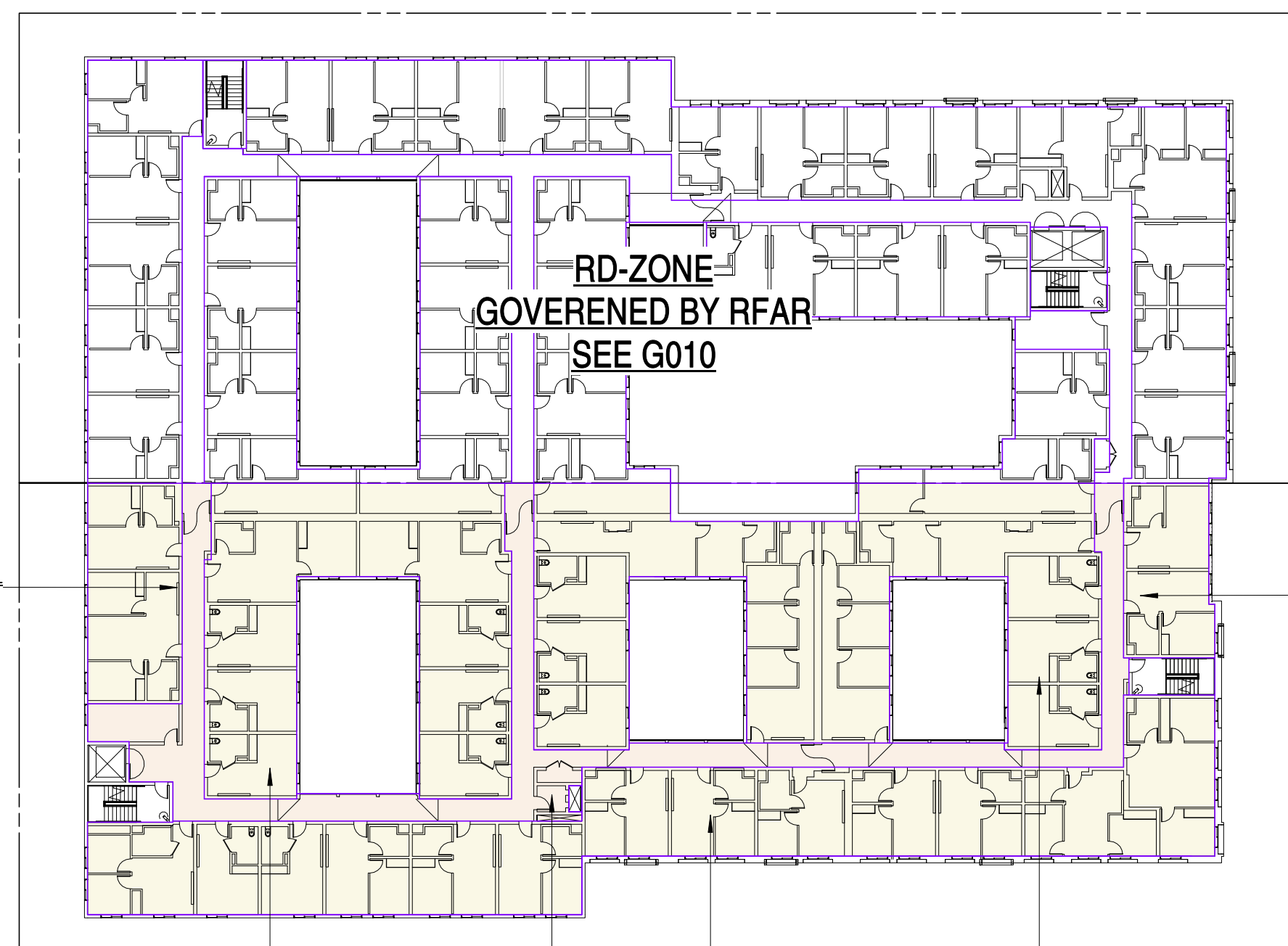
REVISIONS



7TH FLOOR RFAR DIAGRAM | 1/32" = 1'-0" | 7

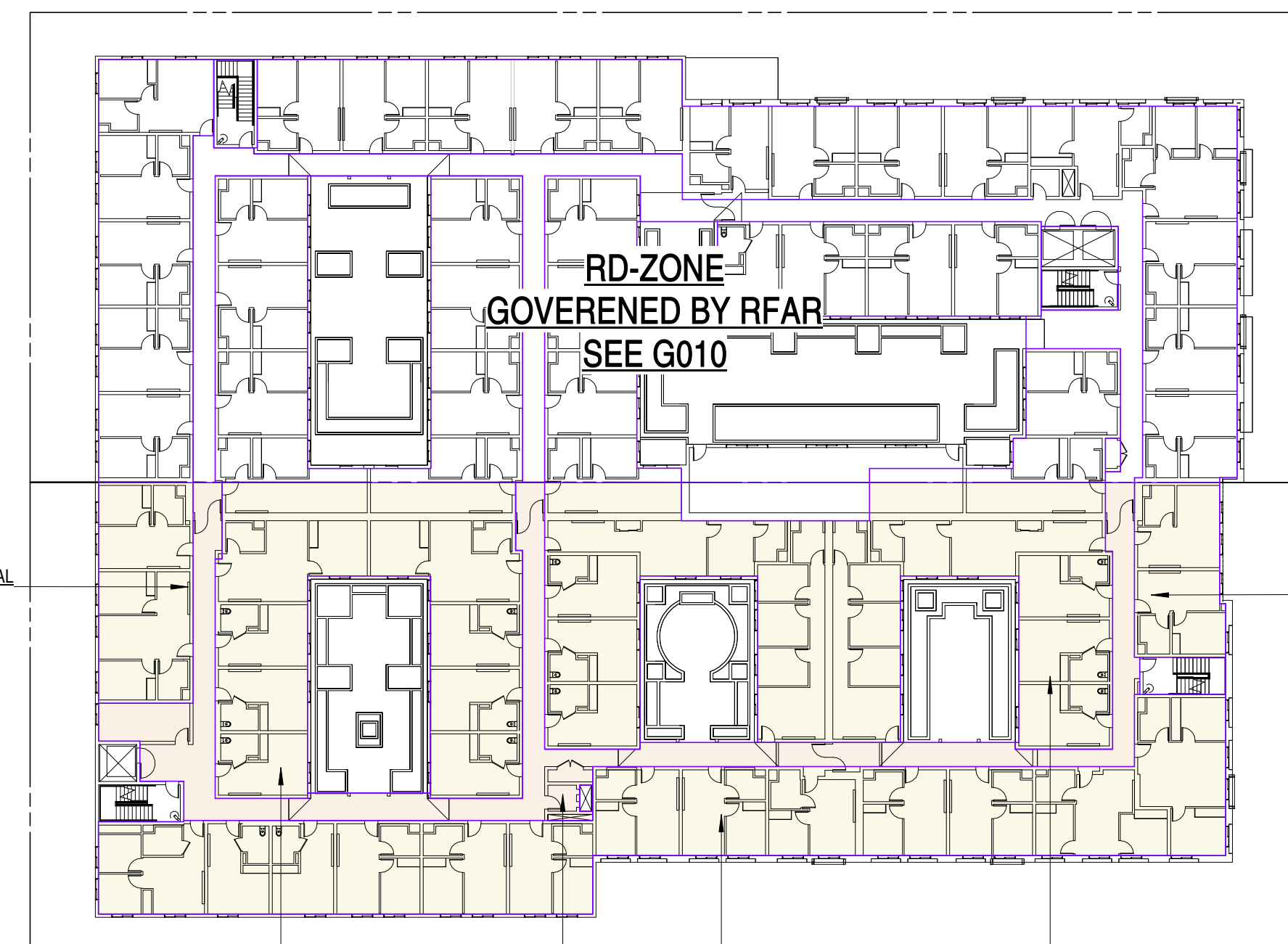
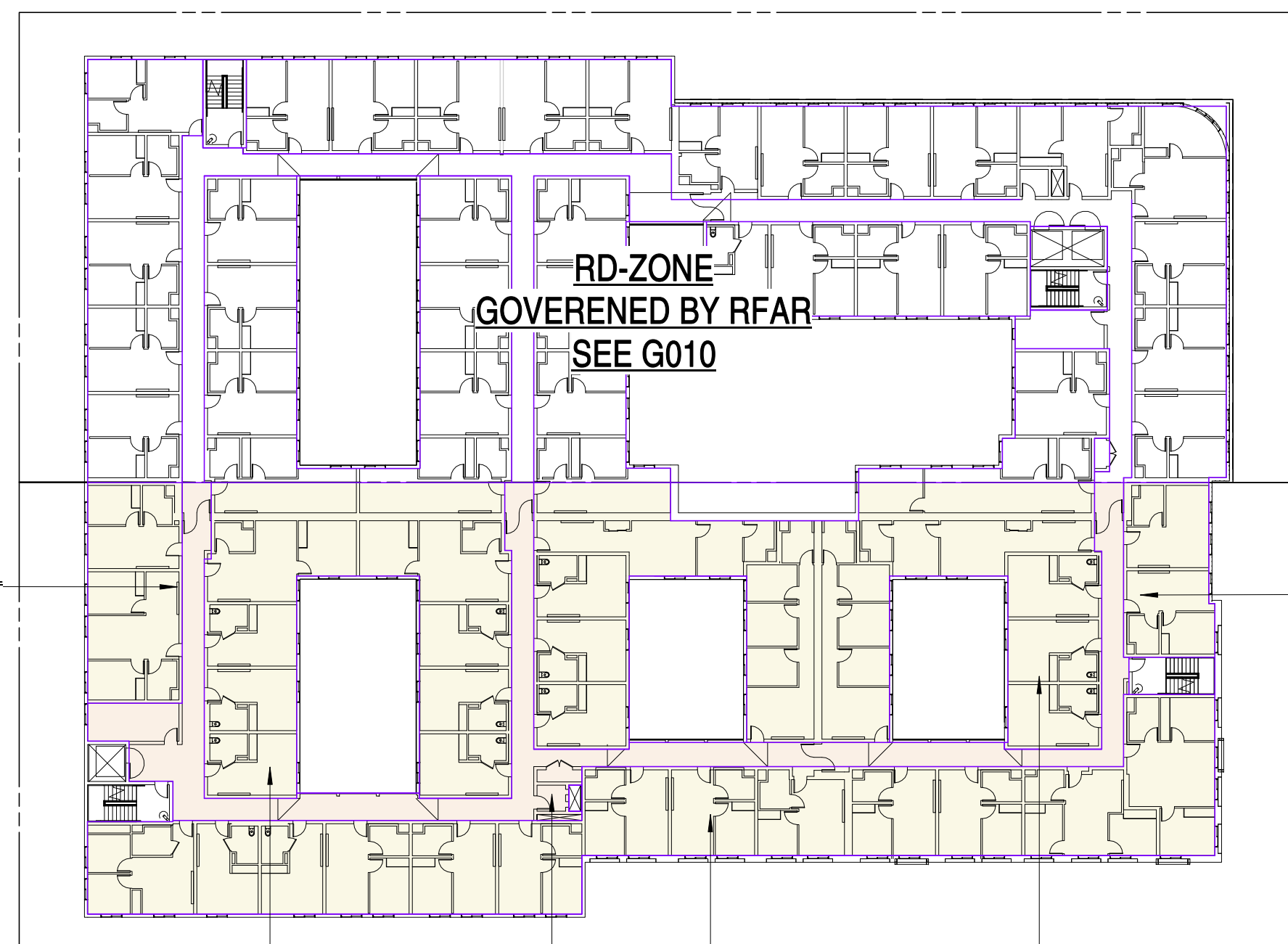
4TH FLOOR RFAR DIAGRAM | 1/32" = 1'-0" | 4

1ST FLOOR RFAR DIAGRAM | 1/32" = 1'-0" | 1



5TH FLOOR RFAR DIAGRAM | 1/32" = 1'-0" | 5

2ND FLOOR RFAR DIAGRAM | 1/32" = 1'-0" | 2



6TH FLOOR RFAR DIAGRAM | 1/32" = 1'-0" | 6

3RD FLOOR RFAR DIAGRAM | 1/32" = 1'-0" | 3

AREA SCHEDULE (RESIDENTIAL FLOOR AREA)			
LEVEL	MISC	TYPE	AREA
1ST FL FFE	MISC		23,072 SF
2ND FL FFE	MISC		21,863 SF
3RD FL FFE	MISC		2,689 SF
4TH FL FFE	MISC		2,689 SF
5TH FL FFE	MISC		2,689 SF
6TH FL FFE	MISC		2,689 SF
7TH FL FFE	MISC		2,689 SF
MISC: 8			58,511 SF
3RD FL FFE	RESIDENTIAL		16,656 SF
4TH FL FFE	RESIDENTIAL		16,656 SF
5TH FL FFE	RESIDENTIAL		16,656 SF
6TH FL FFE	RESIDENTIAL		16,656 SF
7TH FL FFE	RESIDENTIAL		16,656 SF
RESIDENTIAL: 25			83,279 SF
GRAND TOTAL: 33			141,790 SF

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CLIENT NAME:
8217 WINNETKA LLC
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON WINNETKA
NOT FOR CONSTRUCTION

PROJECT ADDRESS:
8217 WINNETKA AVE
LOS ANGELES, CA

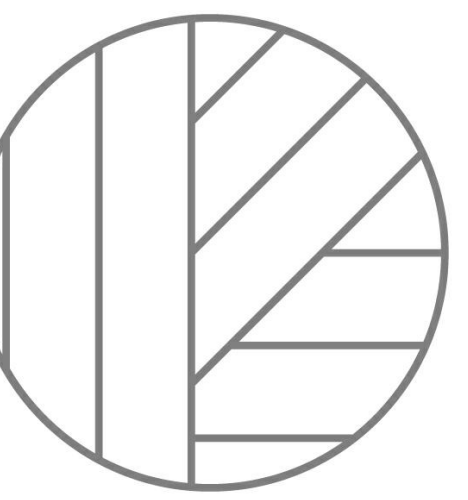
JOB NUMBER:
2232
DATE:
6.7.2023

SHEET TITLE:
ZONING CODE AREA DIAGRAMS (RFAR)

SHEET NUMBER:
G009

DRAWING SET TITLE:
PZA REVIEW SET

KEYNOTES

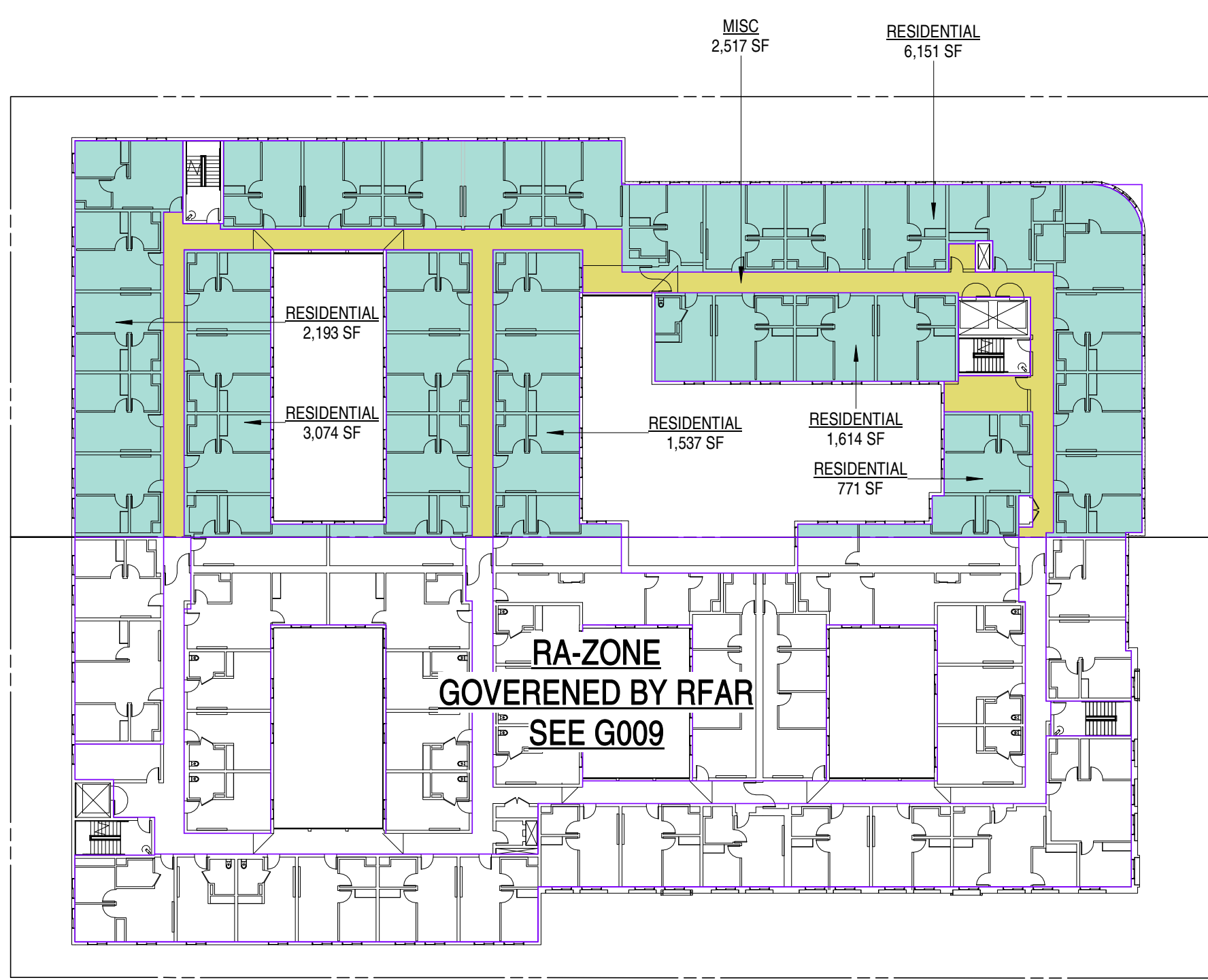


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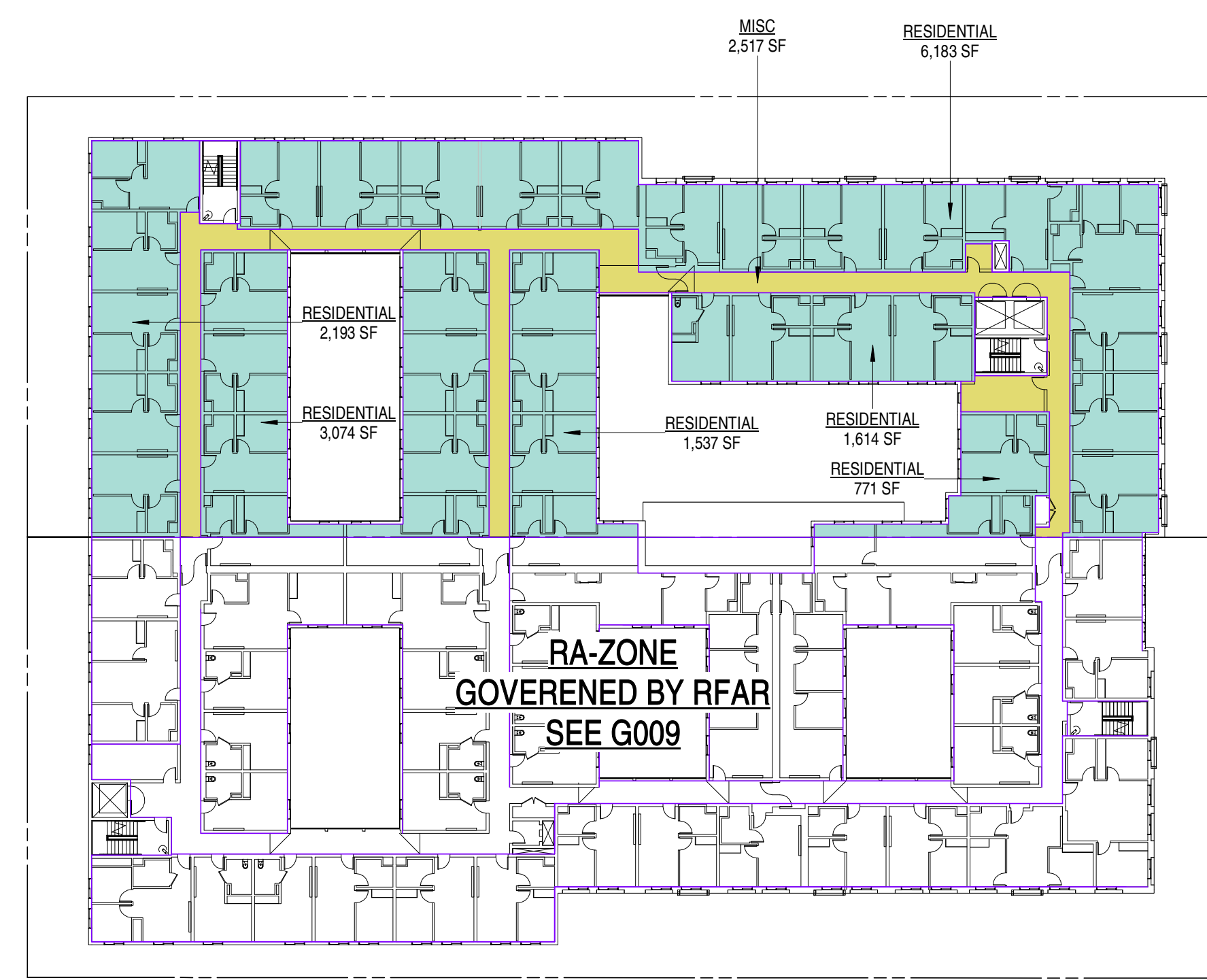
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INFO@JZARCH.LA



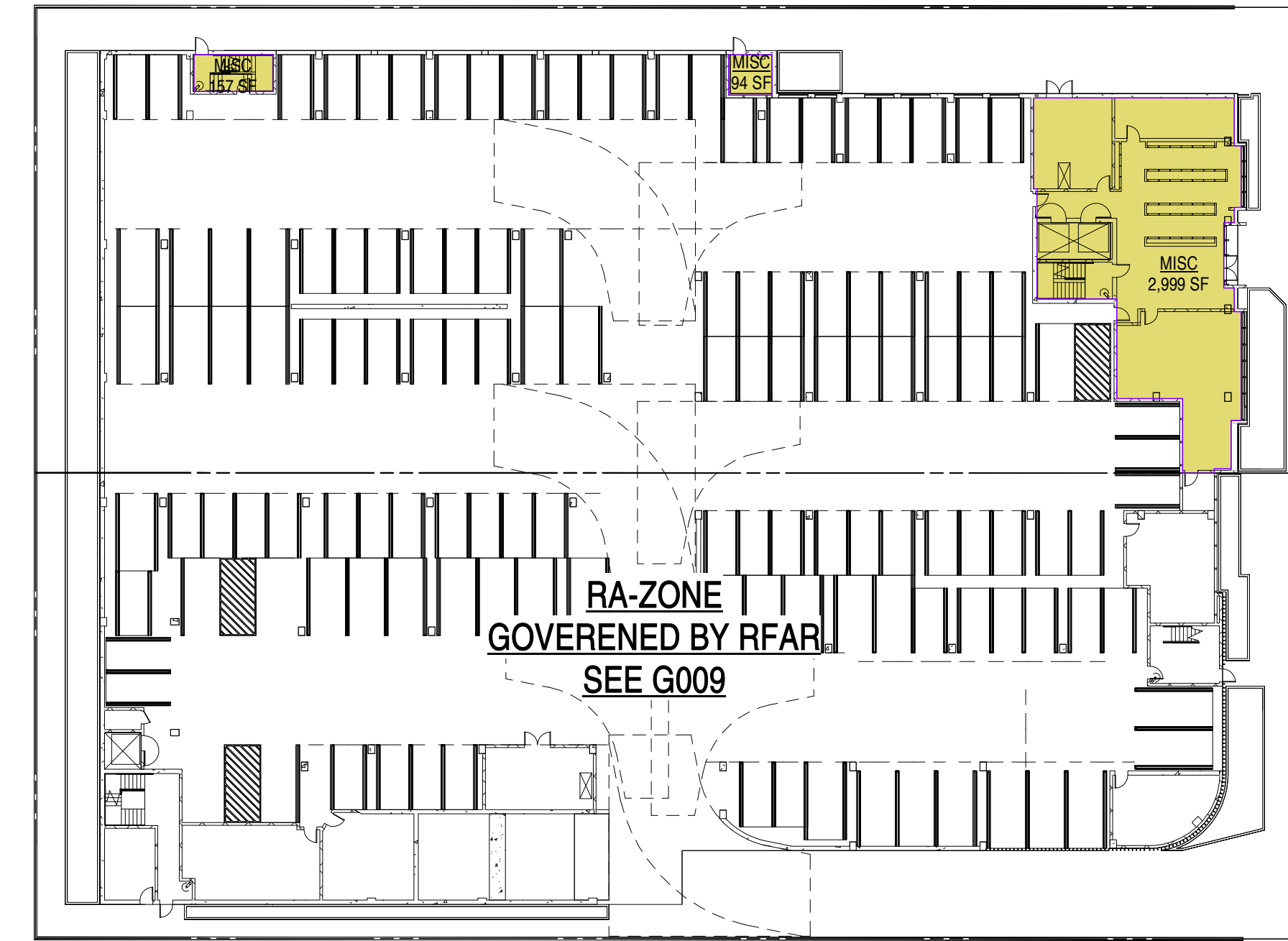
REVISIONS



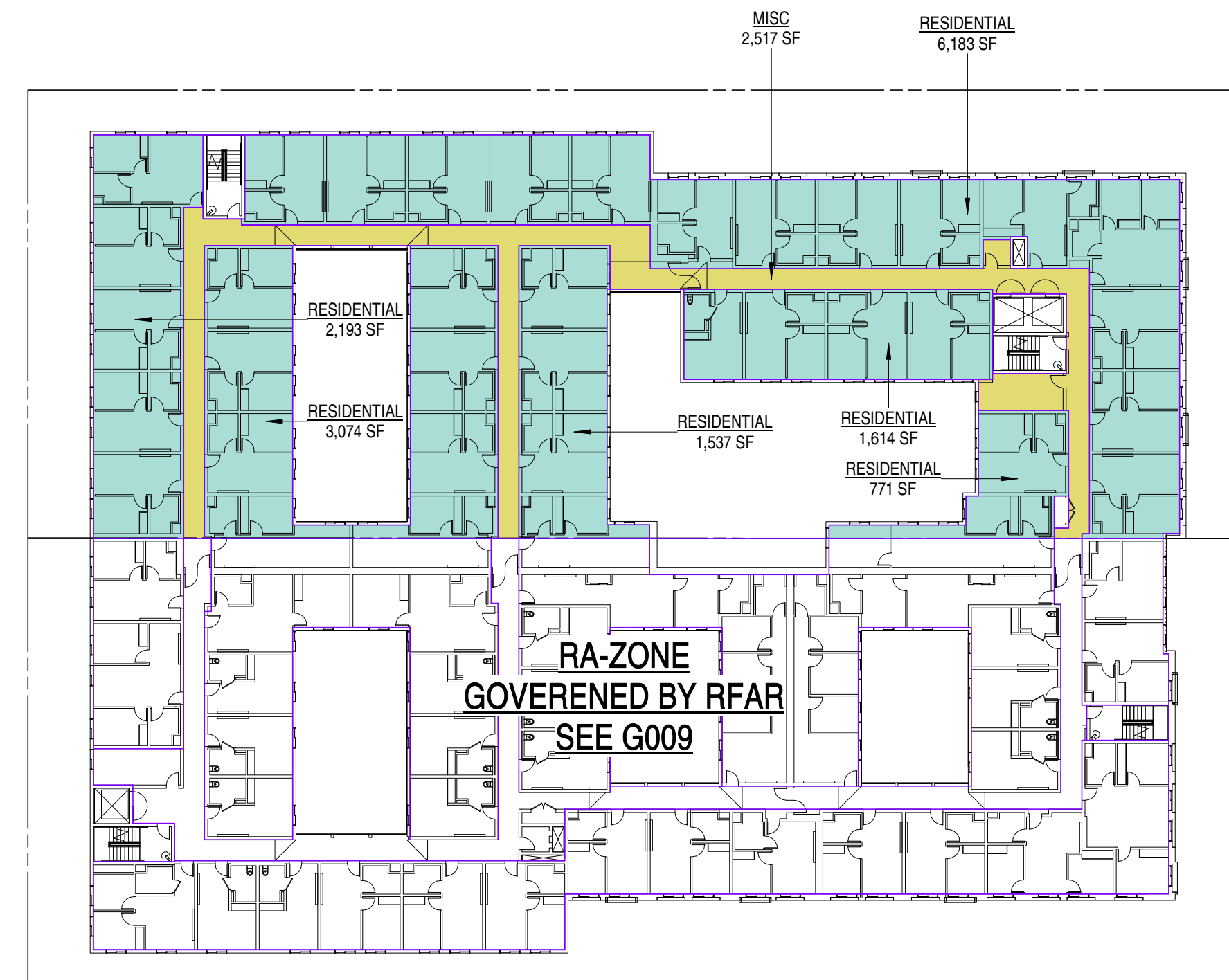
7 STORY FAR DIAGRAM 1/32" = 1'-0" 7



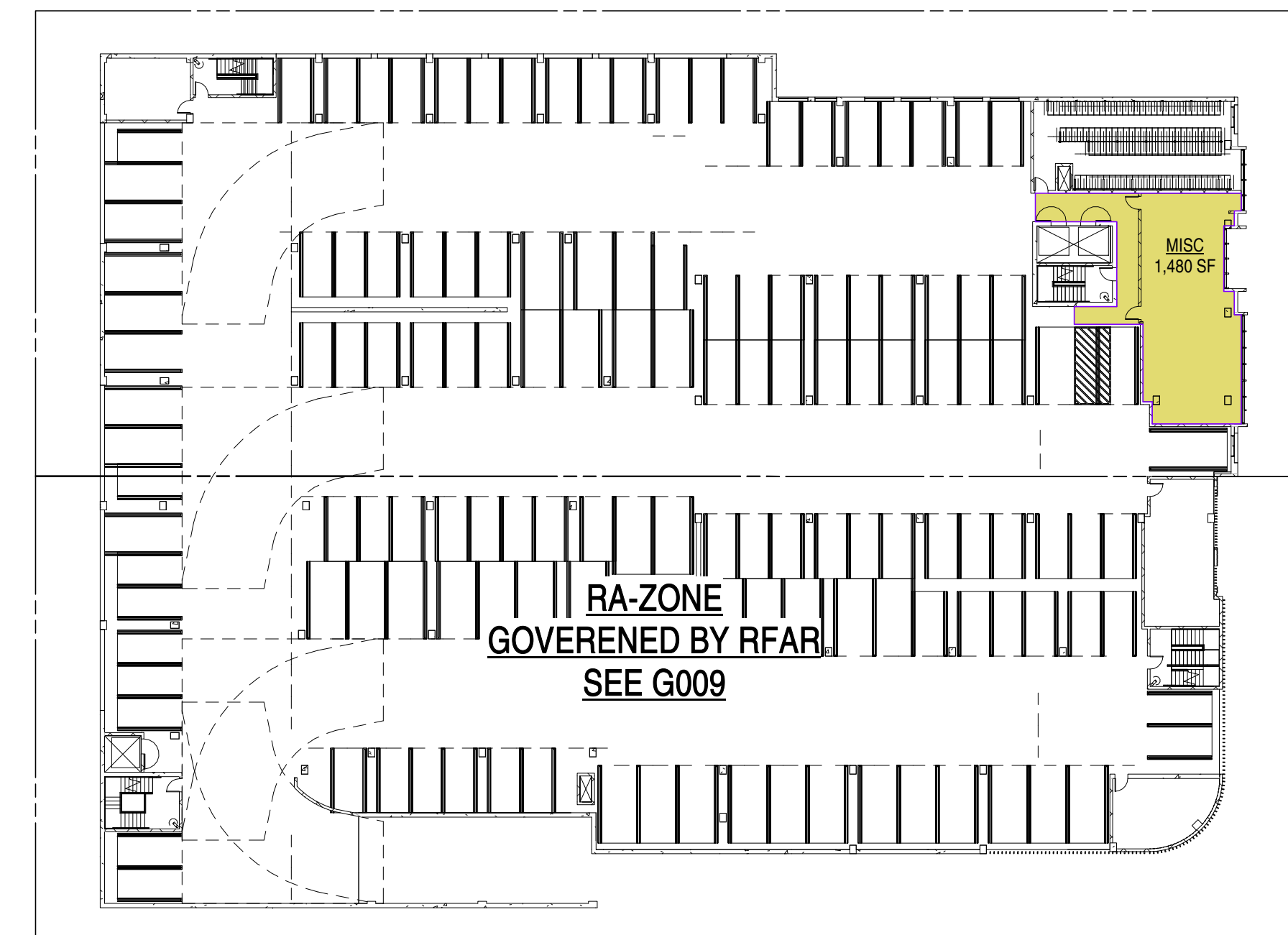
4 FLOOR FAR DIAGRAM 1/32" = 1'-0" 4



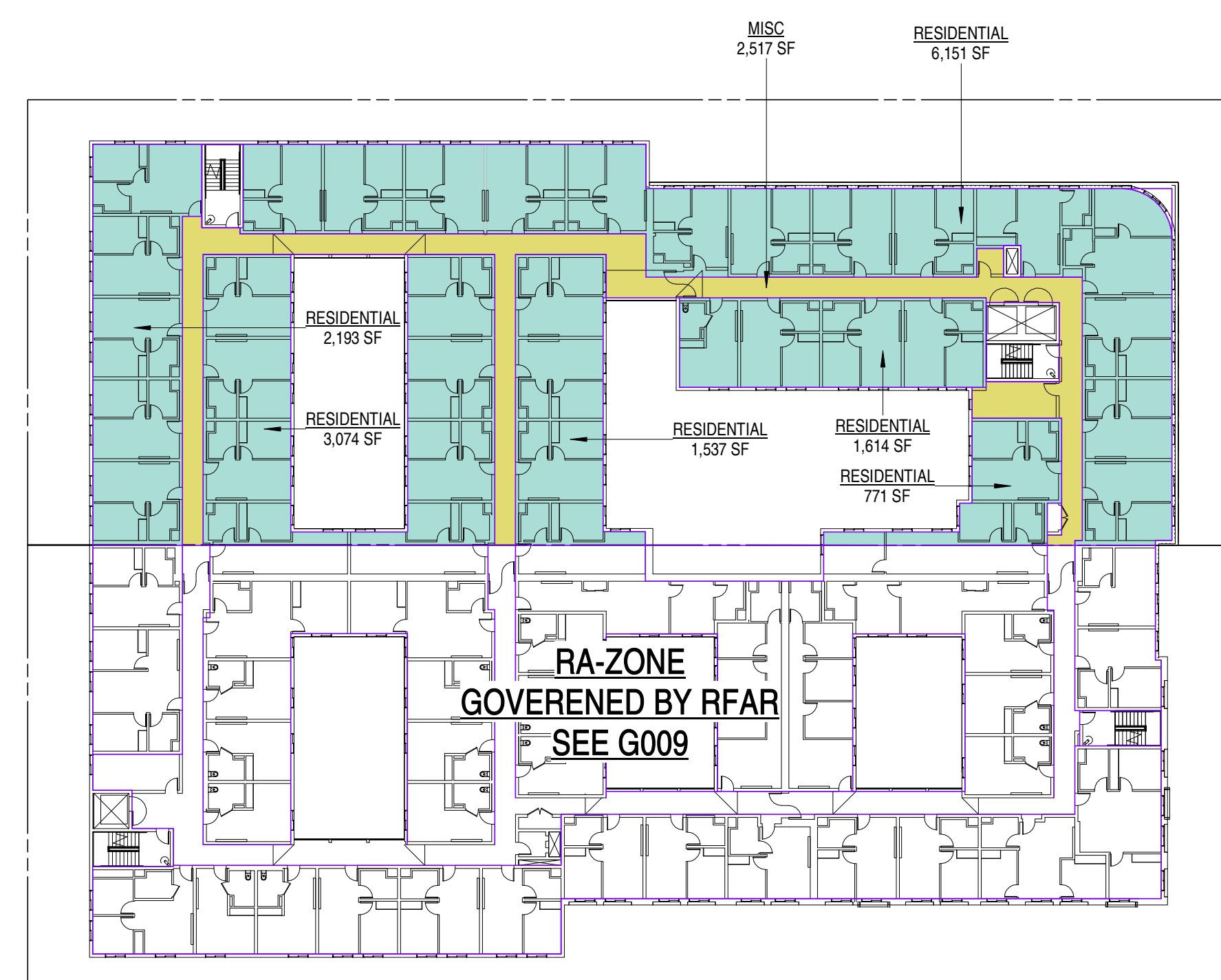
1ST FLOOR FAR DIAGRAM 1/32" = 1'-0" 1



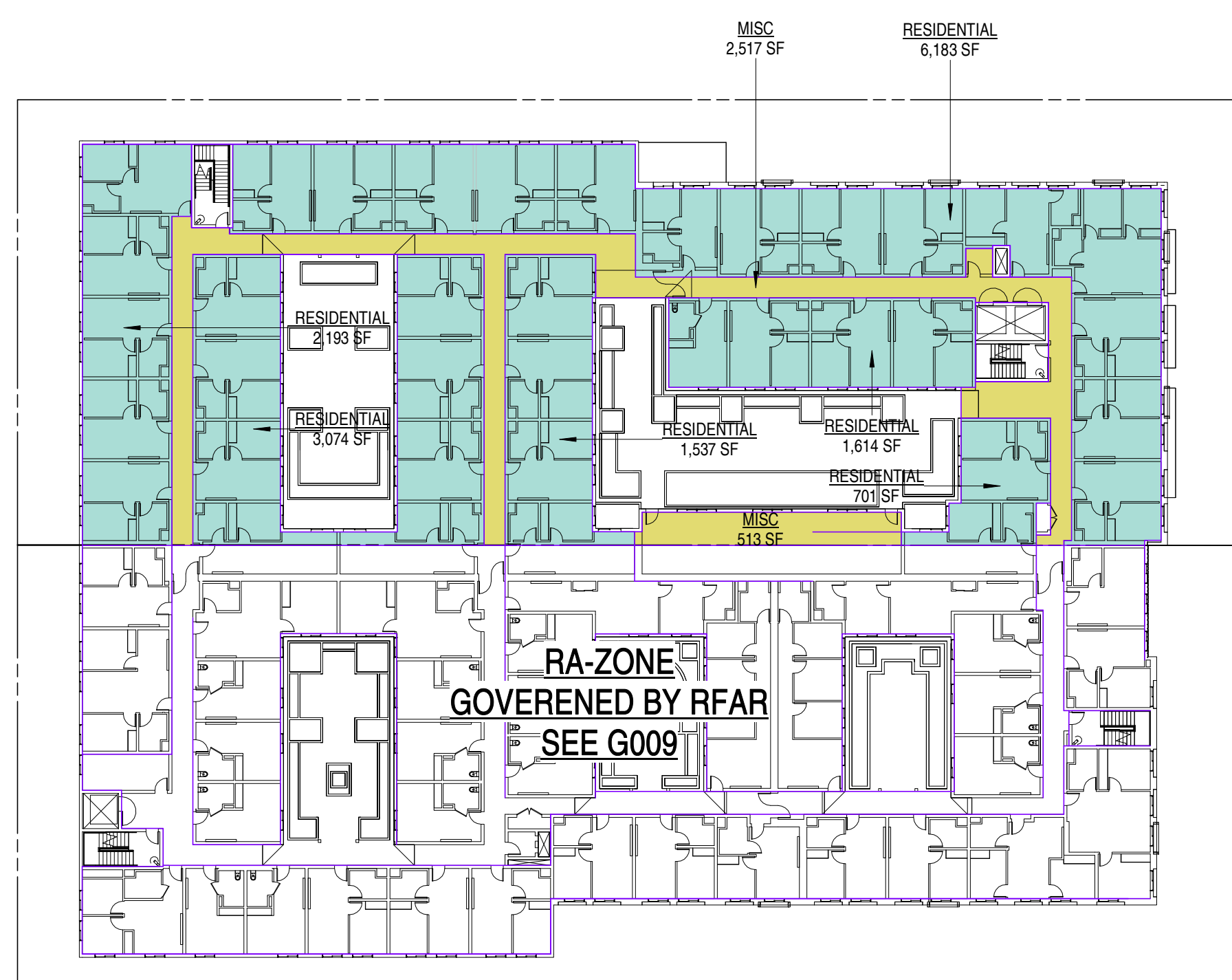
5 FLOOR FAR DIAGRAM 1/32" = 1'-0" 5



2ND FLOOR FAR DIAGRAM 1/32" = 1'-0" 2



6TH FLOOR FAR DIAGRAM 1/32" = 1'-0" 6



3RD FLOOR FAR DIAGRAM 1/32" = 1'-0" 3

AREA SCHEDULE (FLOOR AREA)		
LEVEL	FAR	AREA
1ST FL FFE	MISC	3,249 SF
2ND FL FFE	MISC	1,490 SF
3RD FL FFE	MISC	3,029 SF
4TH FL FFE	MISC	2,517 SF
5TH FL FFE	MISC	2,517 SF
6TH FL FFE	MISC	2,517 SF
7TH FL FFE	MISC	2,517 SF
MISC		17,825 SF
3RD FL FFE	RESIDENTIAL	15,302 SF
4TH FL FFE	RESIDENTIAL	15,371 SF
5TH FL FFE	RESIDENTIAL	15,371 SF
6TH FL FFE	RESIDENTIAL	15,340 SF
7TH FL FFE	RESIDENTIAL	15,340 SF
RESIDENTIAL		76,724 SF
GRAND TOTAL		94,549 SF



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NOT FOR CONSTRUCTION

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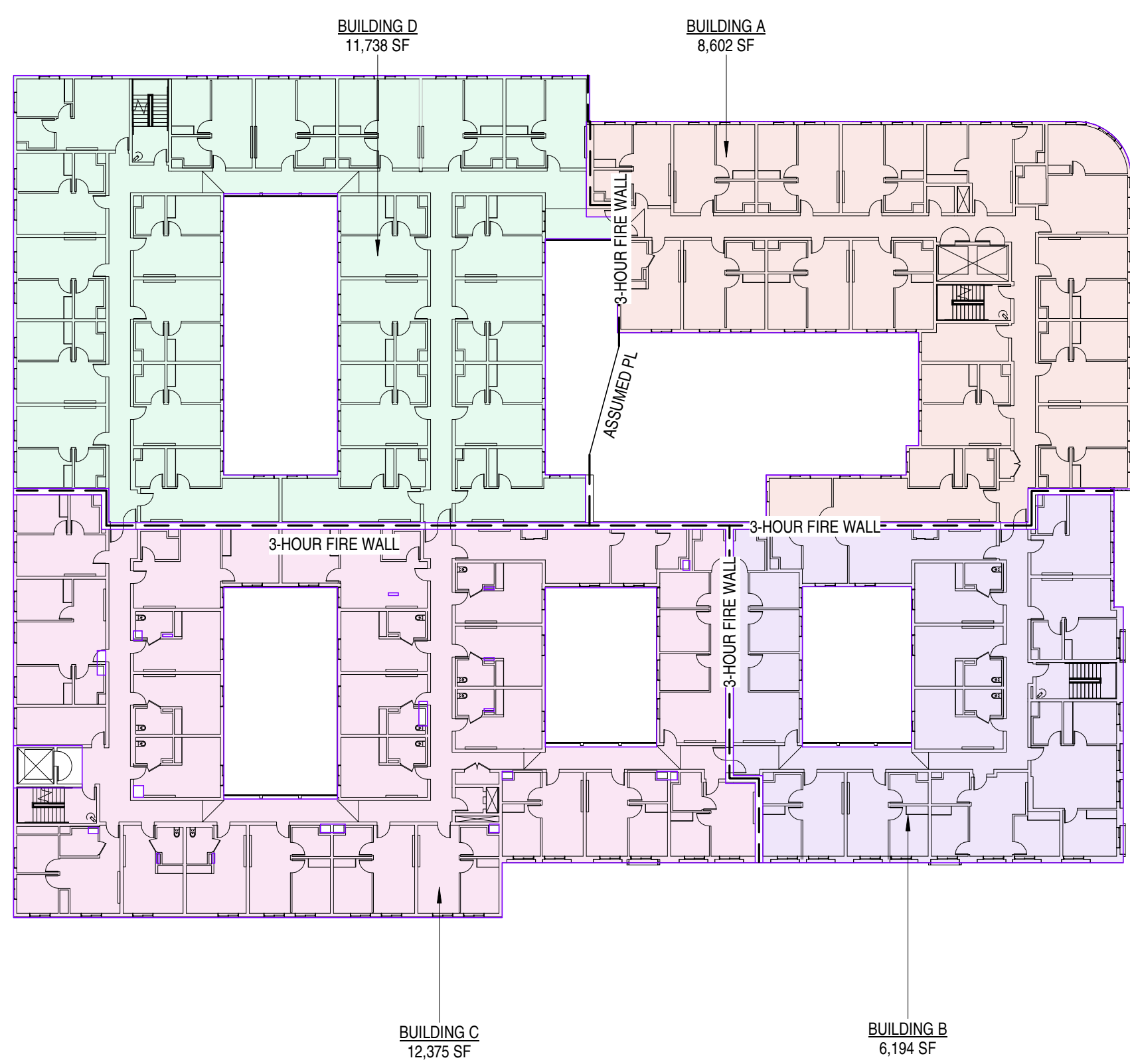
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DATE:
6.7.2023

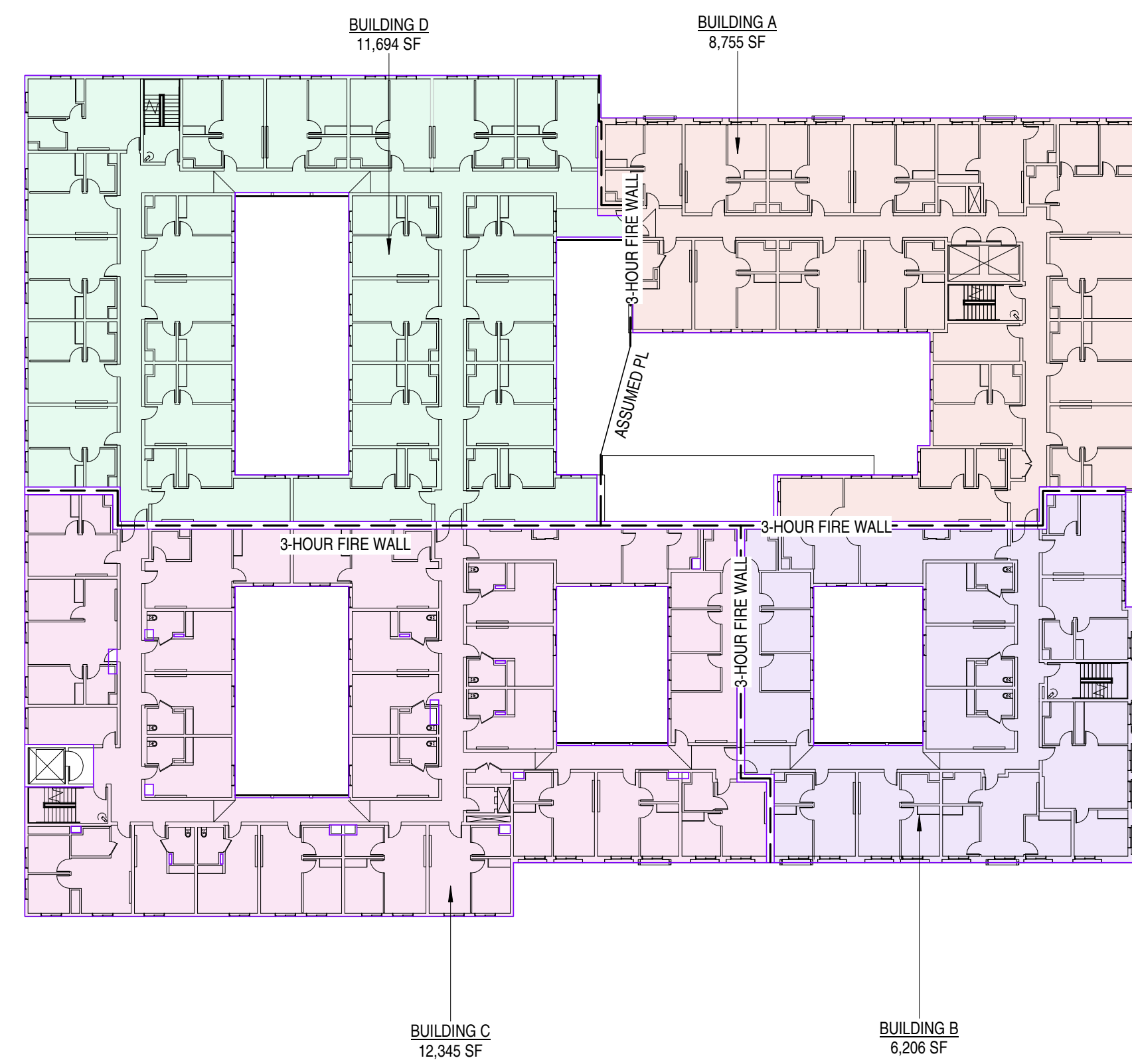
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ZONING CODE AREA DIAGRAMS (FAR)

SHEET NUMBER:
G010

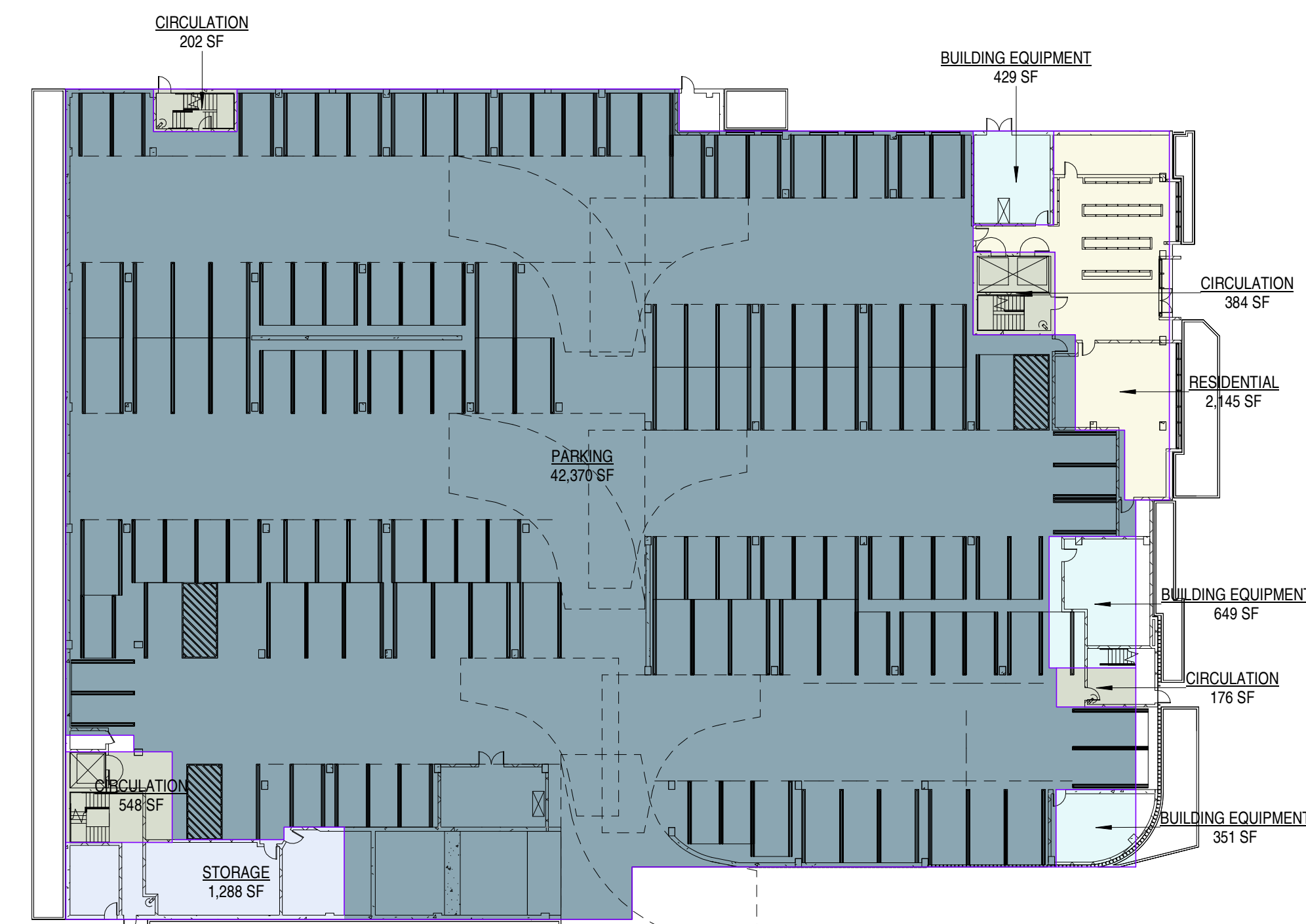
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PZA REVIEW SET



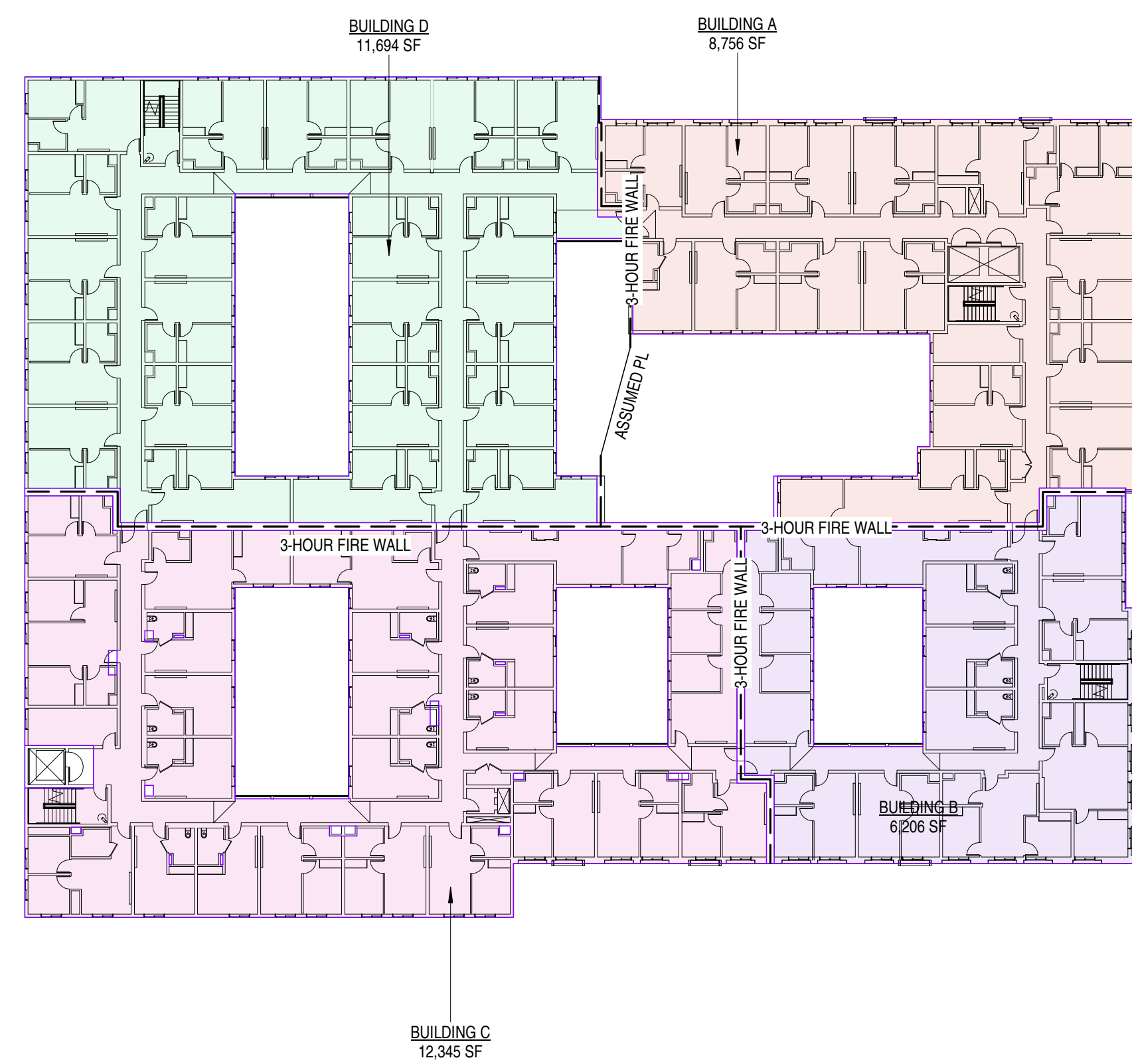
7TH FLOOR BUILDING CODE AREA DIAGRAM 1" = 30'-0" 7



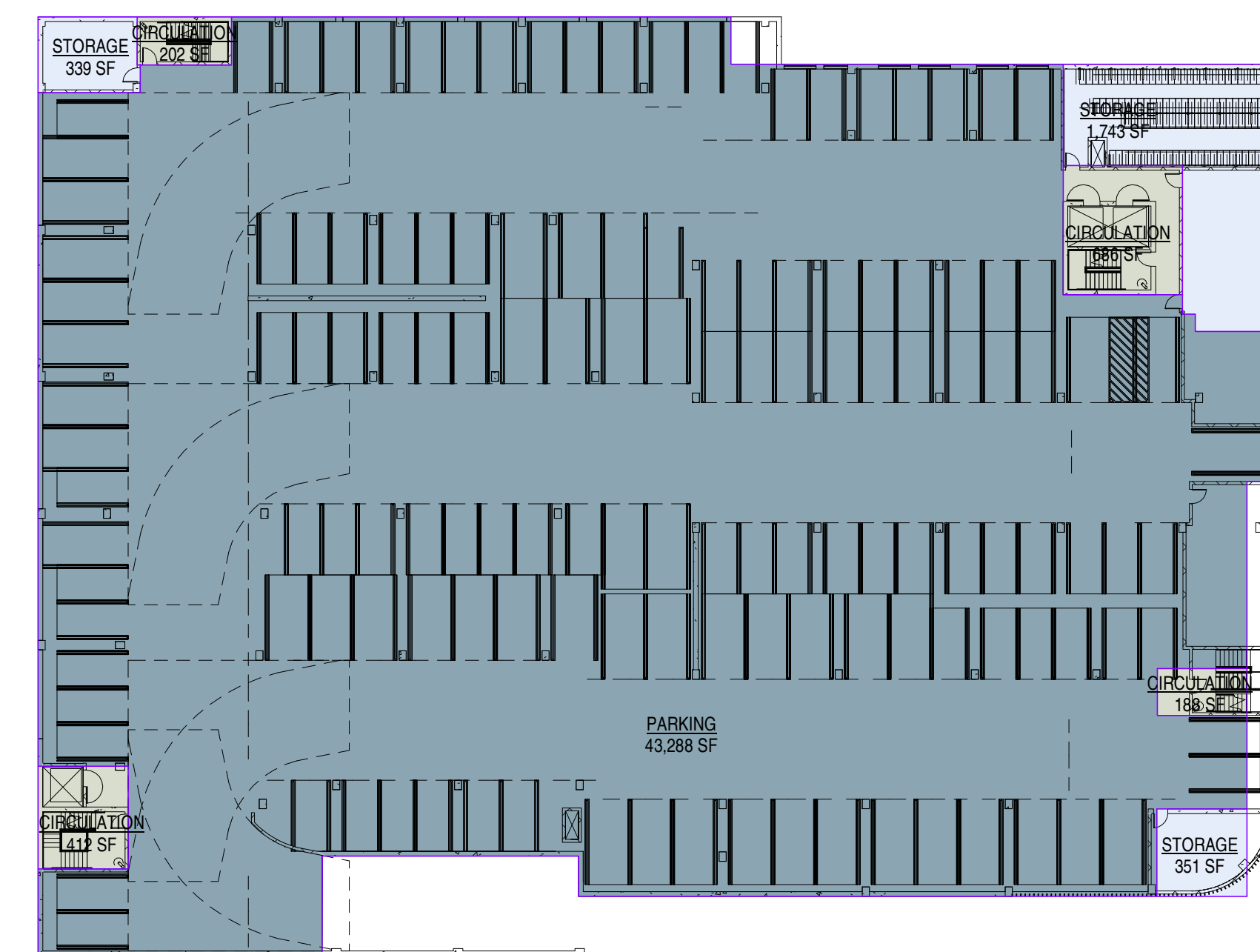
4TH FLOOR BUILDING CODE AREA DIAGRAM 1" = 30'-0" 4



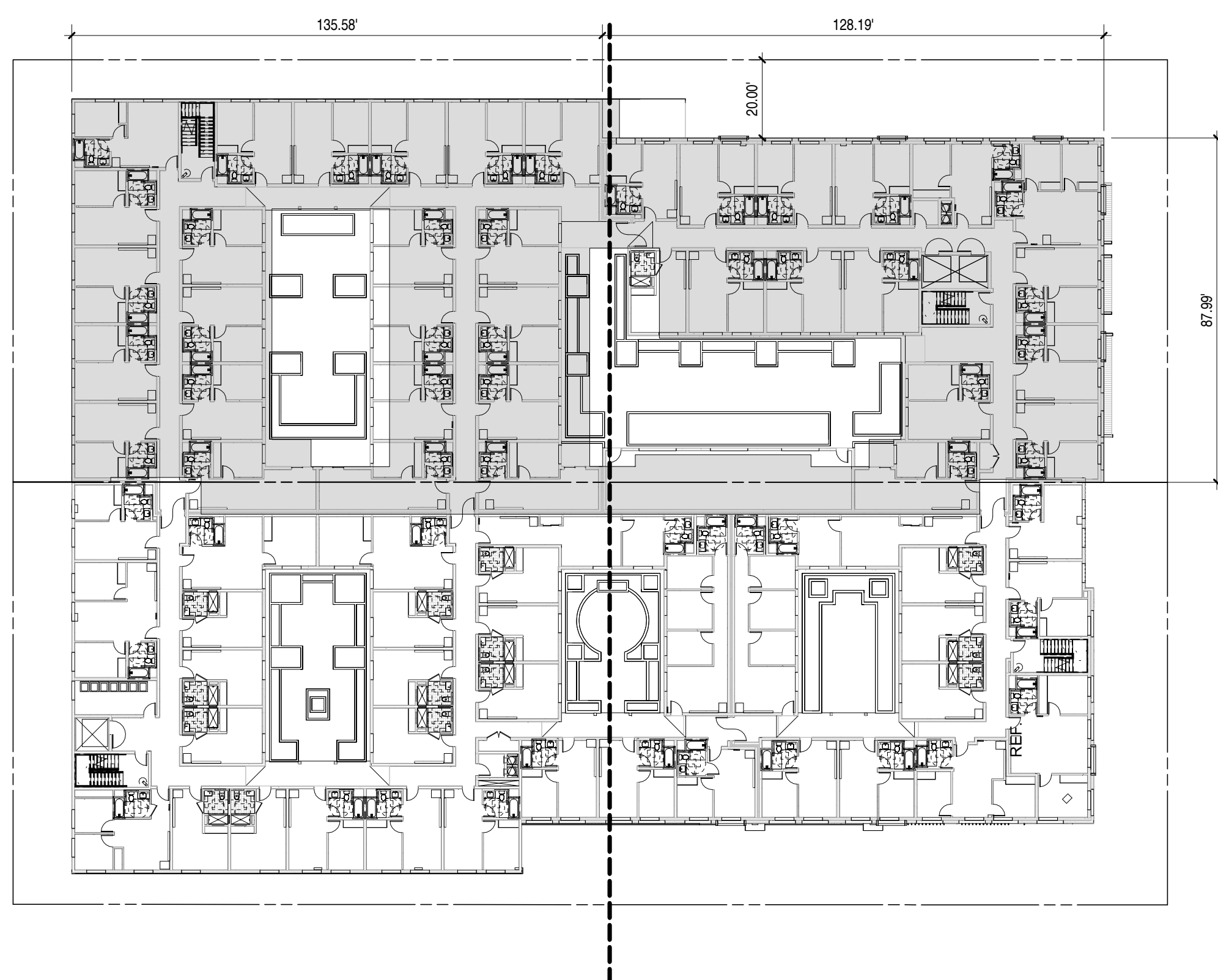
1ST FLOOR BUILDING CODE AREA DIAGRAM 1" = 30'-0" 1



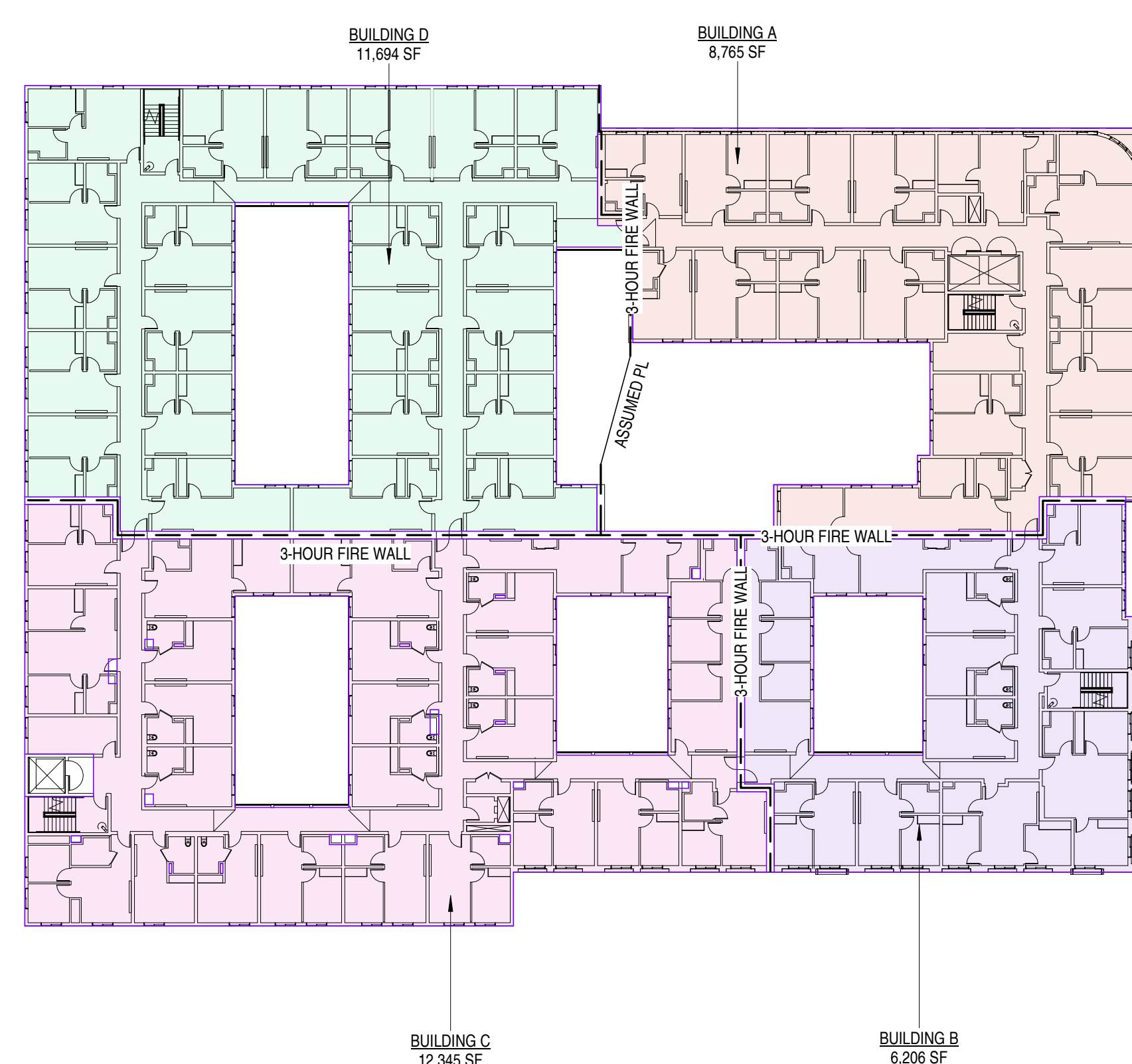
5TH FLOOR BUILDING CODE AREA DIAGRAM 1" = 30'-0" 5



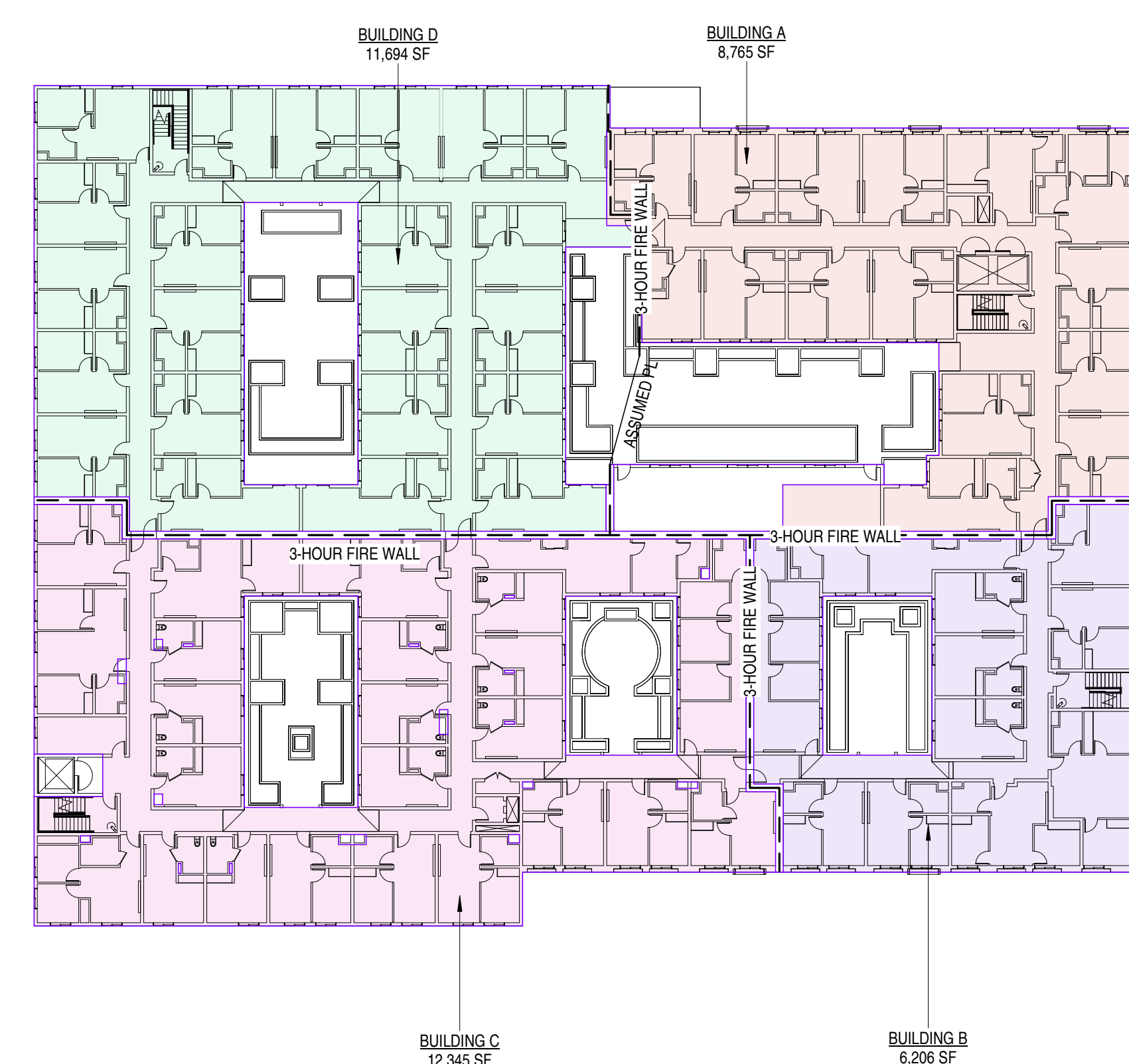
2ND FL FFE 1" = 30'-0" 2



ALLOWABLE AREA - FRONTAGE INCREASE DIAGRAM 1" = 30'-0" 8

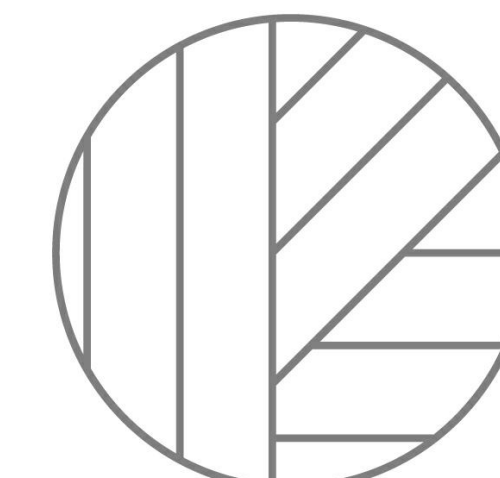


6TH FLOOR BUILDING CODE AREA DIAGRAM 1" = 30'-0" 6



3RD FLOOR BUILDING CODE AREA DIAGRAM 1" = 30'-0" 3

KEYNOTES



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ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

SCALE:



REVISIONS

AREA SCHEDULE (GROSS BUILDING)

LEVEL	NAME	AREA
3RD FL FFE	BUILDING A	8,765 SF
4TH FL FFE	BUILDING A	8,755 SF
5TH FL FFE	BUILDING A	8,756 SF
6TH FL FFE	BUILDING A	8,765 SF
7TH FL FFE	BUILDING A	8,802 SF
BUILDING A		43,643 SF
3RD FL FFE	BUILDING B	6,206 SF
4TH FL FFE	BUILDING B	6,206 SF
5TH FL FFE	BUILDING B	6,206 SF
6TH FL FFE	BUILDING B	6,206 SF
7TH FL FFE	BUILDING B	6,194 SF
BUILDING B		31,018 SF
3RD FL FFE	BUILDING C	12,345 SF
4TH FL FFE	BUILDING C	12,345 SF
5TH FL FFE	BUILDING C	12,345 SF
6TH FL FFE	BUILDING C	12,345 SF
7TH FL FFE	BUILDING C	12,375 SF
BUILDING C		61,757 SF
3RD FL FFE	BUILDING D	11,684 SF
4TH FL FFE	BUILDING D	11,684 SF
5TH FL FFE	BUILDING D	11,684 SF
6TH FL FFE	BUILDING D	11,684 SF
7TH FL FFE	BUILDING D	11,738 SF
BUILDING D		58,515 SF
1ST FL FFE	BUILDING EQUIPMENT	1,429 SF
BUILDING EQUIPMENT		1,429 SF
1ST FL FFE	CIRCULATION	1,310 SF
2ND FL FFE	CIRCULATION	1,481 SF
CIRCULATION		2,791 SF
1ST FL FFE	PARKING	42,370 SF
2ND FL FFE	PARKING	43,288 SF
PARKING		85,657 SF
1ST FL FFE	RESIDENTIAL	2,145 SF
1ST FL FFE	RESIDENTIAL	2,145 SF
1ST FL FFE	STORAGE	1,288 SF
2ND FL FFE	STORAGE	2,433 SF
STORAGE		3,721 SF
GRAND TOTAL: 38		296,679 SF

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CLIENT NAME:
8217 WINNETKA LLC
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON WINNETKA
NOT FOR CONSTRUCTION

PROJECT ADDRESS:
8217 WINNETKA AVE
LOS ANGELES, CA

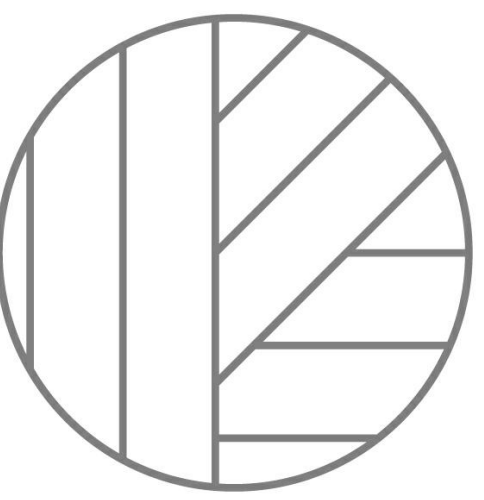
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2232
DATE:
6.7.2023

SHEET TITLE:
BUILDING CODE AREA DIAGRAMS

SHEET NUMBER:
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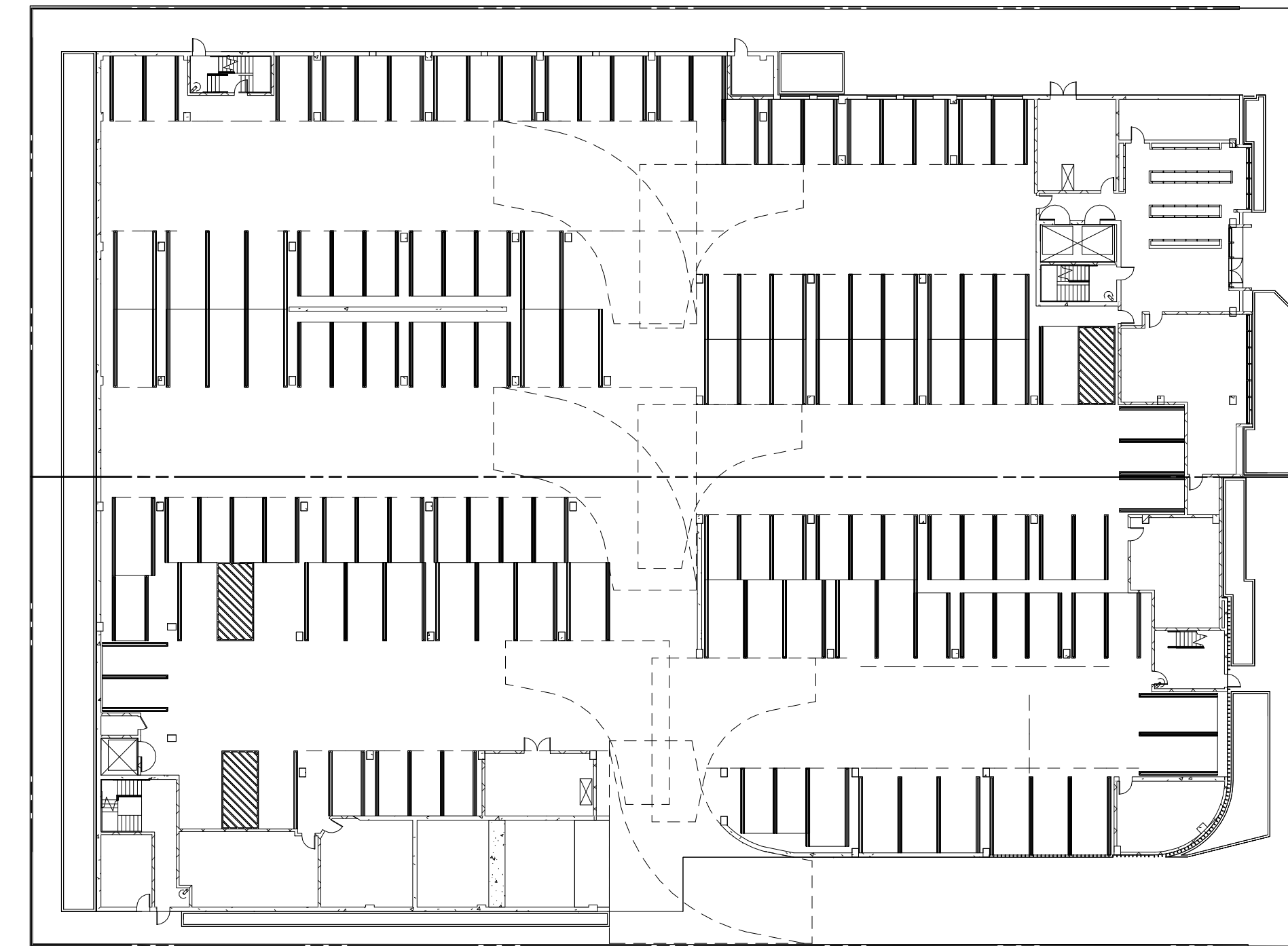


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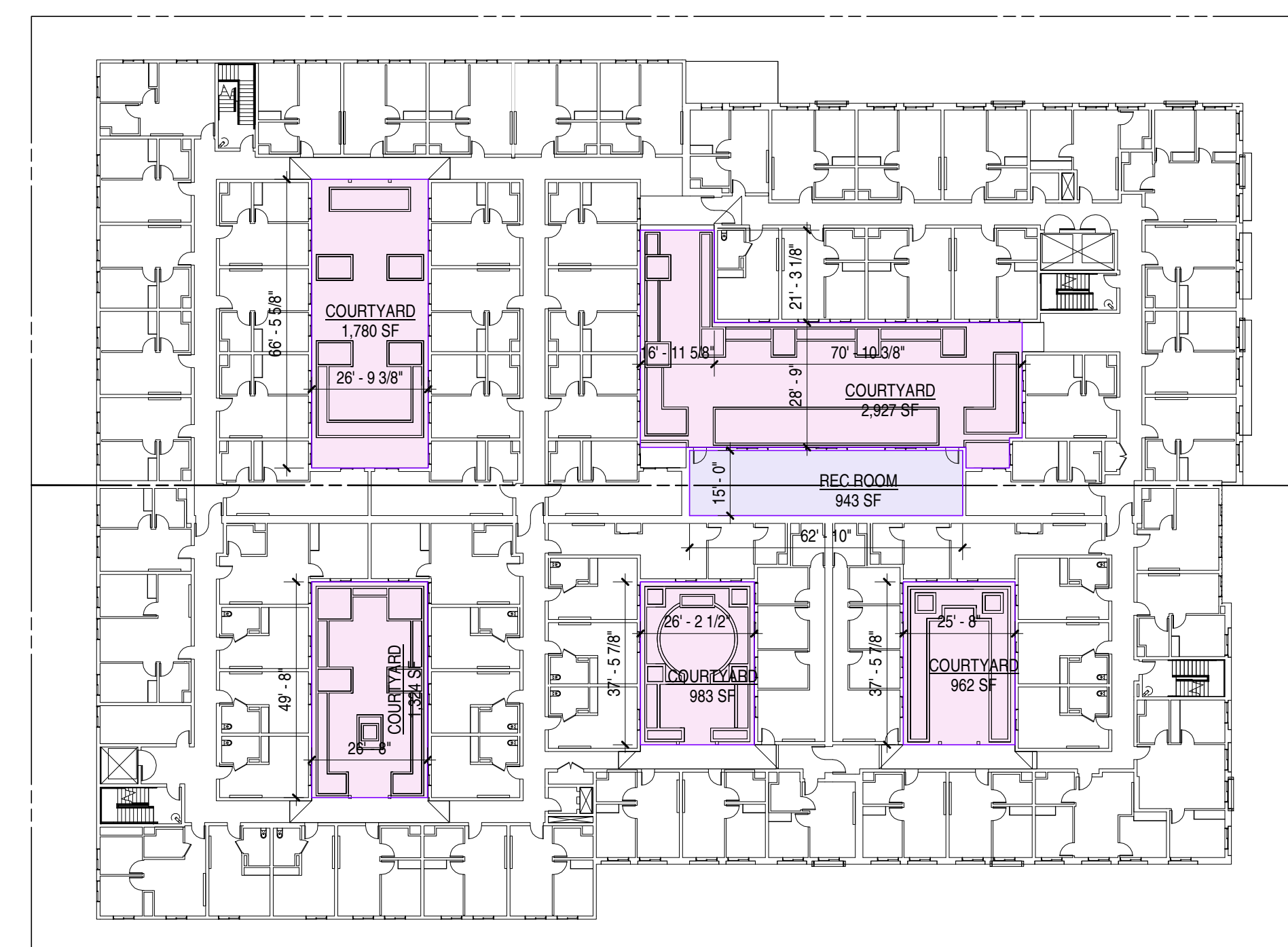
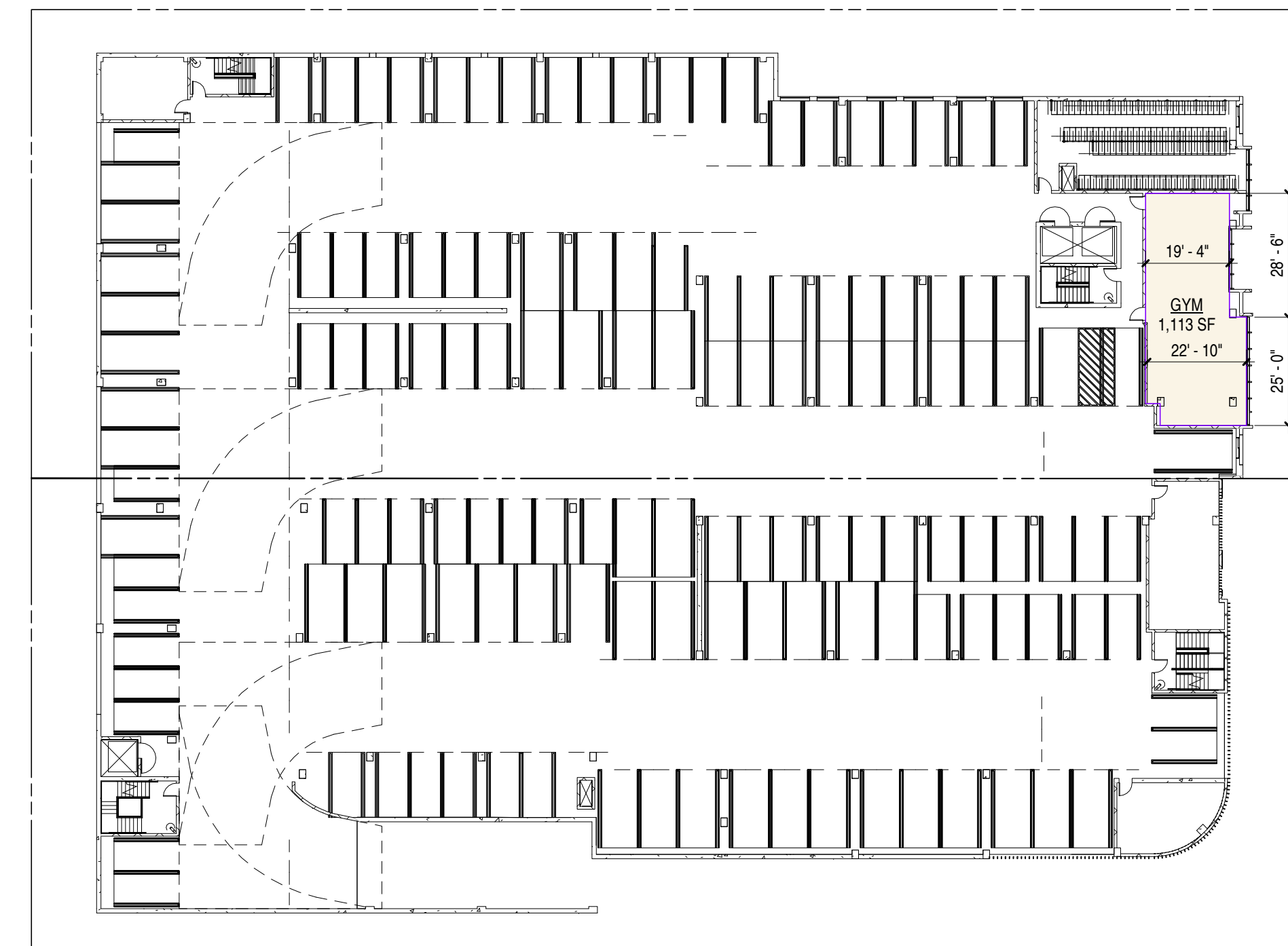
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CULVER CITY, CA 90232
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REVISIONS



1ST FLOOR OPEN SPACE DIAGRAM 1" = 30'-0" 1



3RD FLOOR OPEN SPACE DIAGRAM 1" = 30'-0" 3

OPEN SPACE REQUIRED			
UNIT TYPE	HABITABLE ROOMS	# OF UNITS	REDD OPEN SPACE
1 BR	2	243	24,300 SF
2 BR	3	27	3,375 SF
3 BR	4	10	1,750 SF
STUDIO	1	80	4,000 SF
GRAND TOTAL		360	37,425 SF

OPEN SPACE PROVIDED		
NAME	LEVEL	AREA
COURTYARD	3RD FL FFE	7,976 SF
GYM	2ND FL FFE	1,113 SF
REC ROOM	3RD FL FFE	843 SF
GRAND TOTAL		10,932 SF

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8217 WINNETKA LLC
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CHATSWORTH, CA 91311

PROJECT NAME:
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8217 WINNETKA AVE
LOS ANGELES, CA

JOB NUMBER:
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DATE:
6.7.2023

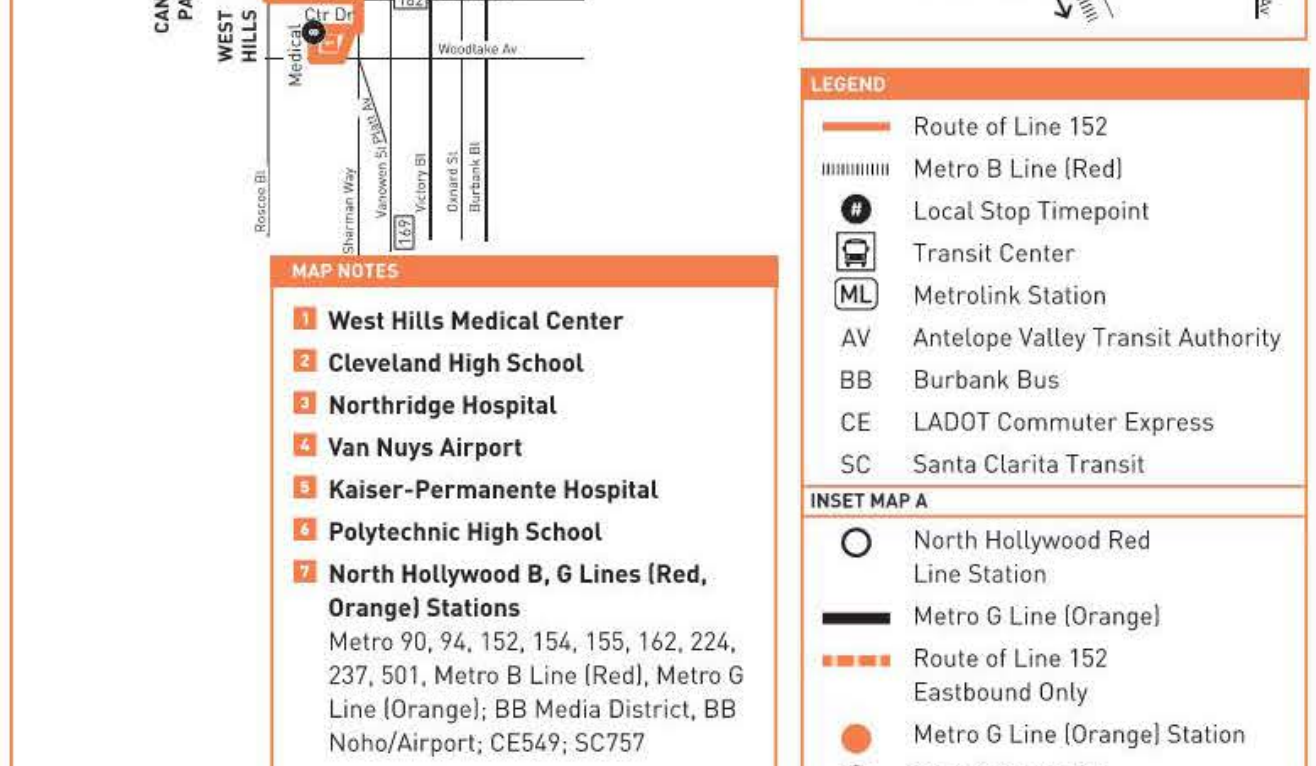
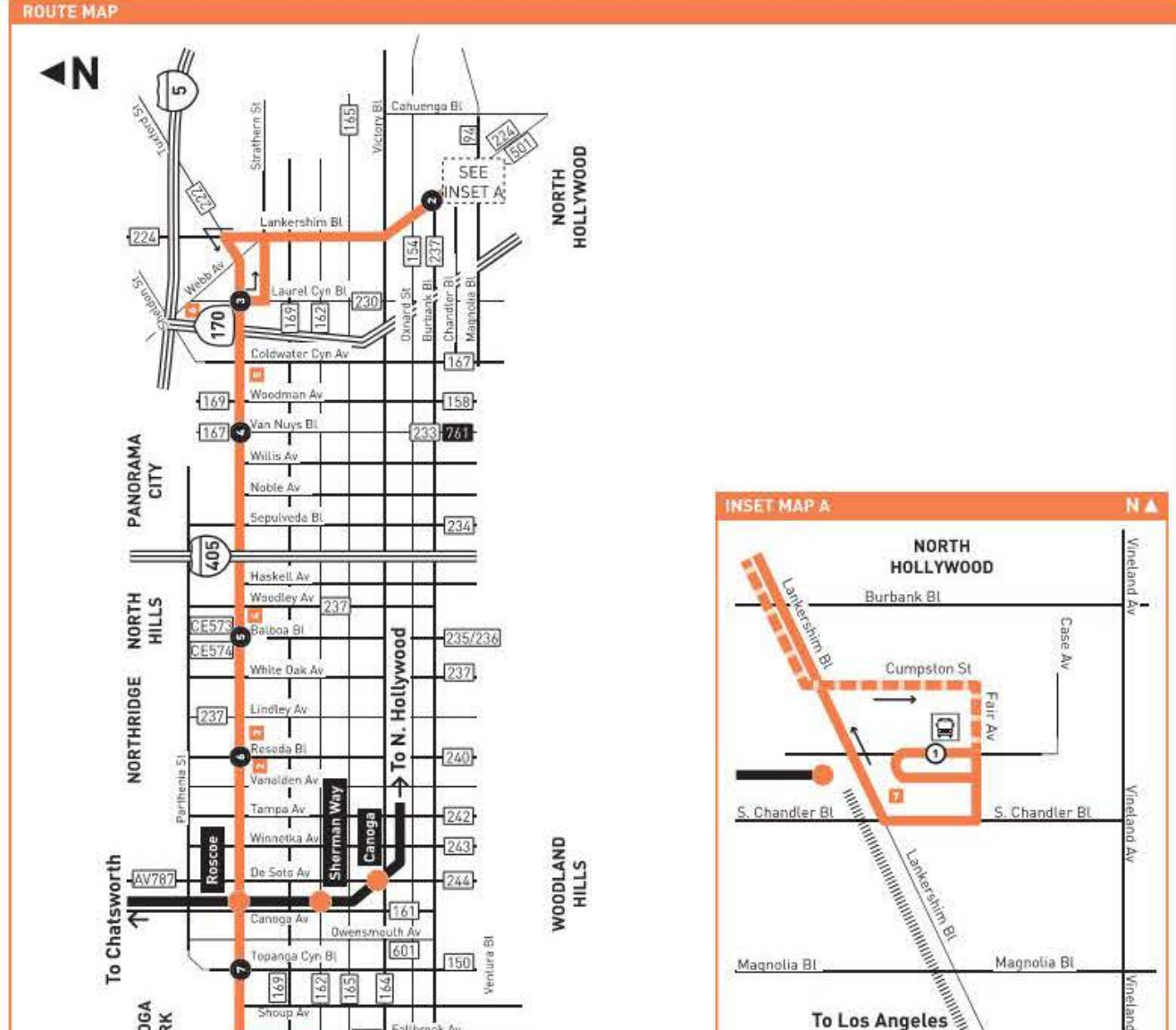
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OPEN SPACE CALCULATIONS

SHEET NUMBER:
G012

DRAWING SET TITLE:
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Sunday & Holidays Effective Dec 11, 2022. Table with columns for Eastbound Al Este and Westbound Al Oeste, listing station names and arrival/departure times for various routes.

Sunday and Holiday Schedules. Table with columns for Eastbound Al Este and Westbound Al Oeste, listing station names and arrival/departure times for Sunday and holiday schedules.

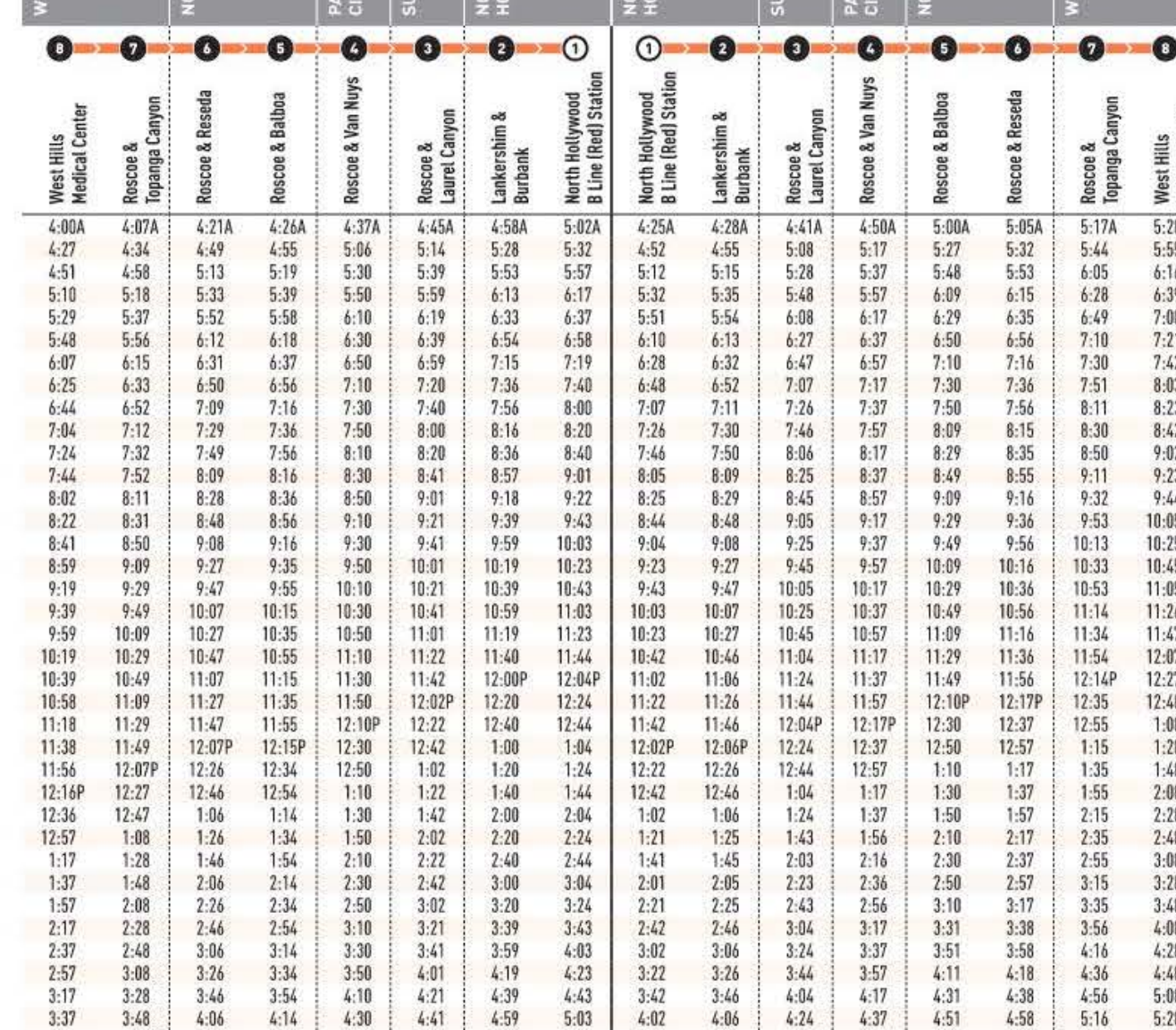


Need information? Transit Information: 323.466.3876. Customer Relations: 213.922.6235. In an Emergency: 1.888.950.7233 or 911.

Need information? Lose something? Learn more about Metro's Lost & Found service. Visit metro.net/lostandfound or call 323.937.8920.

Monday through Friday Effective Dec 11, 2022. Table with columns for Eastbound Al Este and Westbound Al Oeste, listing station names and arrival/departure times for Monday through Friday schedules.

Saturday Effective Dec 11, 2022. Table with columns for Eastbound Al Este and Westbound Al Oeste, listing station names and arrival/departure times for Saturday schedules.



Need to know on the go? Download Transit app for trip plans, service alerts, maps and more.

Need to know on the go? Download Transit app for trip plans, service alerts, maps and more.

REFERRAL FORM TRANSIT VERIFICATION FORM. This form is to serve as a referral to all City agencies for the purposes of determining the proximity of a project site to transit service.

APPLICANT INFORMATION. Applicant Name: Olivia Joncich (Representative). Phone Number: 213-557-2703. Email: olivia@rpnlp.com.

PROJECT LOCATION/ZONING. Project Address(es): 8217 N. Winnetka Avenue. Assessor Parcel Number(s): 2107001067, 2107002074. Community Plan: Canoga Park - Winnetka - Woodland Hills - West Hills.

8217 WINNETKA LLC 9220 N WINNETKA AVE CHATSWORTH, CA 91311. UNCOMMON WINNETKA NOT FOR CONSTRUCTION. PROJECT ADDRESS: 8217 WINNETKA AVE LOS ANGELES, CA.



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561.



JEFFREY ZBKOWSKI C-35389 STATE OF CALIFORNIA

Service Intervals are calculated by dividing 420 (the total number of minutes during the peak hours of 6 am to 9 am and 3 pm to 7 pm) by the number of eligible trips.

NOTES: ADM-2023-307-TV

Los Angeles City Planning | CP-4065 [06.14.2021] Page 1 of 2

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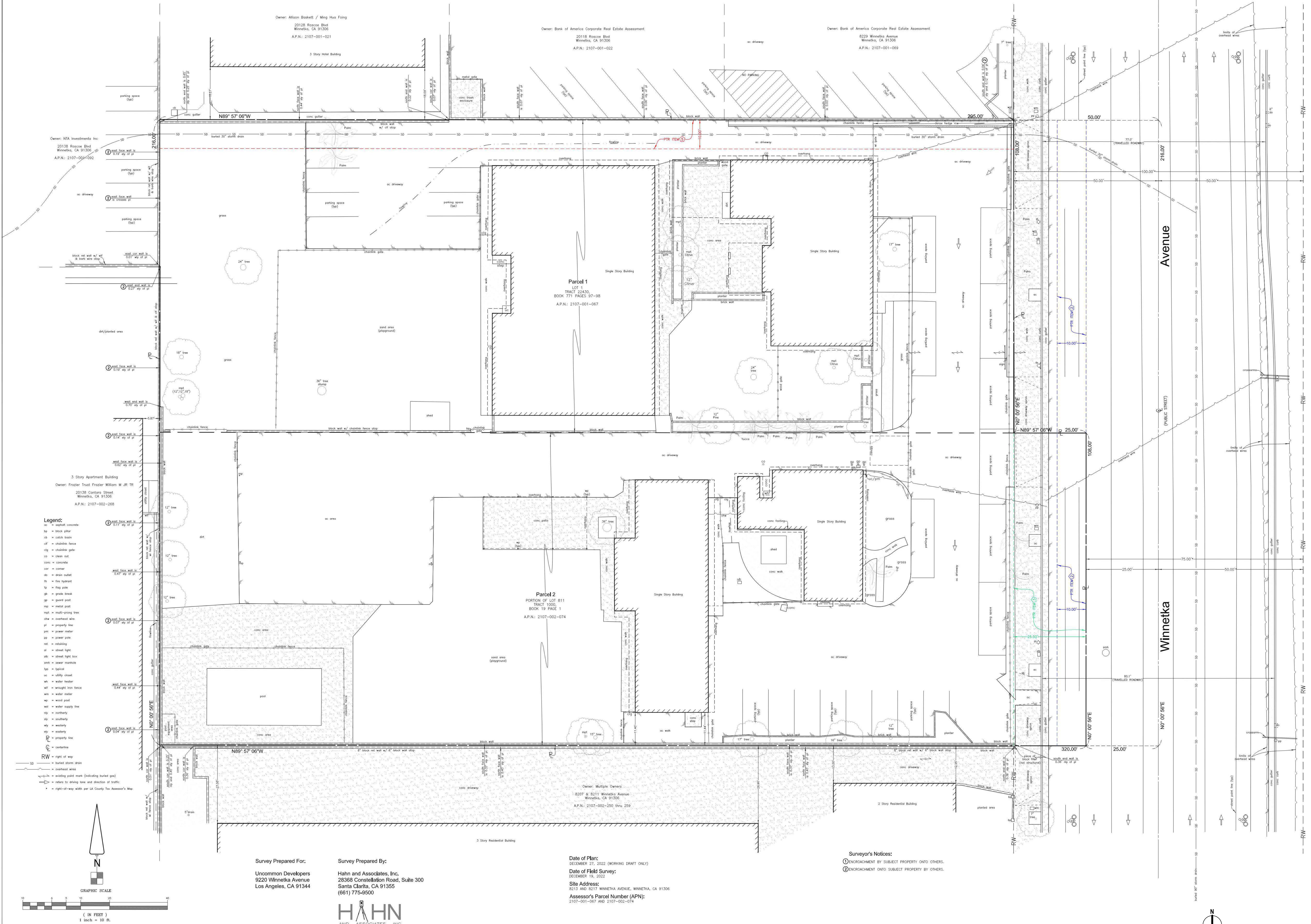
Los Angeles City Planning | CP-4065 [06.14.2021] Page 1 of 2

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Los Angeles City Planning | CP-4065 [06.14.2021] Page 1 of 2

Los Angeles City Planning | CP-4065 [06.14.2021] Page 1 of 2

Working Draft of Survey
12/27/2022 (WORKING DRAFT ONLY)



Survey Prepared For:
Uncommon Developers
9220 Winnetka Avenue
Los Angeles, CA 91344

Survey Prepared By:
Hahn and Associates, Inc.
28368 Constellation Road, Suite 300
Santa Clarita, CA 91355
(661) 775-9500



Date of Plan:
DECEMBER 27, 2022 (WORKING DRAFT ONLY)
Date of Field Survey:
DECEMBER 19, 2022
Site Address:
8217 AND 8217 WINNETKA AVENUE, WINNETKA, CA 91306
Assessor's Parcel Number (APN):
2107-001-067 AND 2107-002-074

Surveyor's Notices:
① ENCROACHMENT BY SUBJECT PROPERTY ONTO OTHERS.
② ENCROACHMENT ONTO SUBJECT PROPERTY BY OTHERS.



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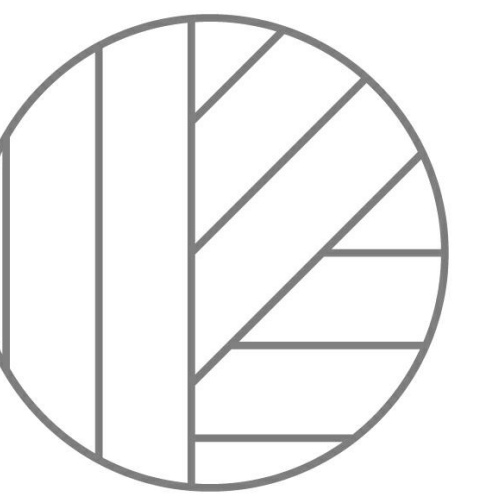
PROJECT NAME:
UNCOMMON WINNETKA
NOT FOR CONSTRUCTION

PROJECT ADDRESS:
8217 WINNETKA AVE
LOS ANGELES, CA

JOB NUMBER:
2232
DATE:
6.7.2023

SHEET TITLE:
SURVEY

SHEET NUMBER:
G080
DRAWING SET TITLE:
PZA REVIEW SET

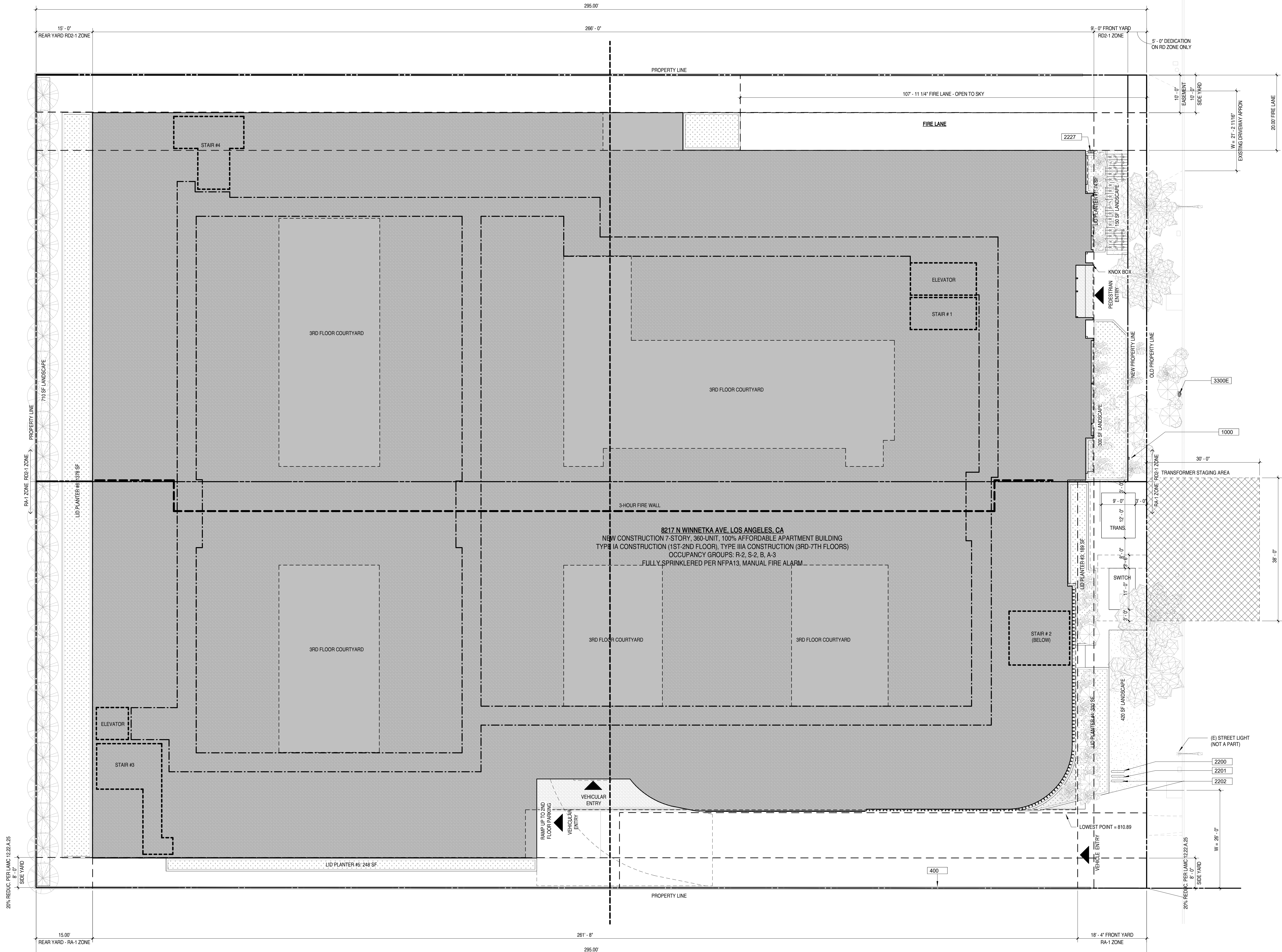


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UNCOMMON WINNETKA
NOT FOR CONSTRUCTION

PROJECT ADDRESS:
8217 WINNETKA AVE
LOS ANGELES, CA

JOB NUMBER:
2232

DATE:
6.7.2023

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A000

DRAWING SET TITLE:
PZA REVIEW SET

6/02/2023 6:07:53 PM

SITE PLAN 3/32" = 1'-0" 1

SHEET NOTES

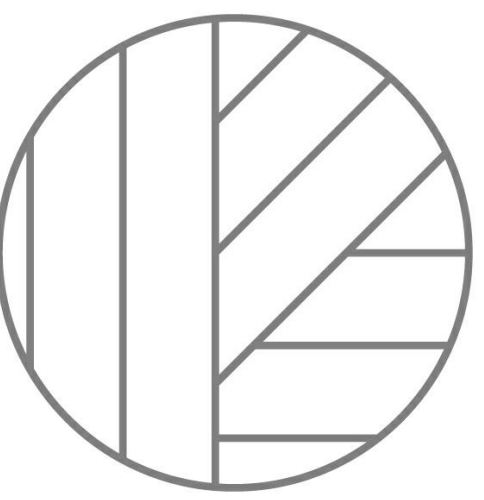
- A. ALL INTERIOR WALLS TO BE TYPE I-A UNO
- B. ALL DIMENSIONS ARE TO CURB/ING
- C. ALL DIMENSIONS INDICATED AS "CL"Y ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS, 1% MIN
- F. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PROMINENTLY VISIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER RDB.1.
- G. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
- H. ANCILLARY LIGHTING SHALL BE PROVIDED ALONG PEDESTRIAN AND VEHICULAR ACCESS WITH ALL OUTDOOR LIGHTING AND DIRECT LIGHTING SHALL BE SHIELDED ONTO THE PATHWAY.
- I. THE PERVIOUS CONCRETE SHALL BE USED FOR FRONT YARD FACING SAN FERNANDO ROAD, SIDE AND REAR YARD, SEE CIVIL DWGS.

LEGEND

- CONCRETE BLOCK WALL
- CONCRETE WALL, SEE STRUCT DWGS
- 1-4R RATED FIRE PARTITION
- 2-HR RATED FIRE BARRIER
- 3-4R RATED FIRE BARRIER
- CONCRETE COLUMN, SEE STRUCT DWGS
- SHEAR WALL, SEE STRUCTURAL DWGS
- AREA TO HAVE 8'-2" VERTICAL CLEARANCE
- PERMAVOID CAPTURE & USE, SEE CIVIL LANDSCAPE DWGS
- PLANTER, SEE LANDSCAPE DWGS
- ACCESSIBLE PATH OF TRAVEL
- STANDPIPE
- FIRE EXTINGUISHER
- EXIT SIGN
- AREA DRAIN: SLOPE TO DRAIN AT 1/4" PER FT MIN
- SEE A800 FOR DOOR TYPES
- SEE A801 FOR WINDOW TYPES
- SEE A802 FOR STOREFRONT TYPES
- SEE A800 FOR WALL TYPES

KEYNOTES

- 400 CMU SITE WALL, HEIGHT AS 6" MAX IN SIDE & REAR YARD
- 1000 FIRE RESIST CONNECTION (FC) PER LAND REQUIREMENTS
- 2200 BACKFLOW PREVENTER, DOMESTIC WATER, SEE PLUMBING DWGS.
- 2201 BACKFLOW PREVENTER, FIRE WATER, SEE PLUMBING DWGS.
- 2202 BACKFLOW PREVENTER, IRRIGATION WATER, SEE PLUMBING DWGS.
- 2227 GAS METER, SEE PLUMBING DWGS.
- 3300E (E) FIRE HYDRANT, NOT A PART.



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KEYNOTES

- 2200 BACKFLOW PREVENTER, DOMESTIC WATER. SEE PLUMBING DWGS.
- 2201 BACKFLOW PREVENTER, FIRE WATER. SEE PLUMBING DWGS.
- 2202 BACKFLOW PREVENTER, IRRIGATION WATER. SEE PLUMBING DWGS.
- 2207 GAS METER. SEE PLUMBING DWGS.
- 2600 TRANSFORMER AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS.
- 2601 SWITCH GEAR AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS.

LID PLANTER AREA

#	1ST FL. FFE	MAX TRIB. AREA
#5	248 SF	5,500 SF
#6	1,378 SF	34,500 SF
#4	310 SF	7,750 SF
#3	189 SF	4,700 SF
#1	74 SF	1,850 SF
#2	347 SF	5,900 SF
#7	124 SF	3,100 SF
	2,670 SF	63,300 SF

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO.
- C. ALL DIMENSIONS INDICATED AS "CLIP" ARE FROM FINISH TO FINISH.
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS 1/4" MIN
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE CORNER END FROM THE MAIN FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN #114 ENERGY CODE 110.10.10 LAND REQUIREMENT NO. 06.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 1 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER RB2.11.
- J. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA
- K. ROOFING MATERIAL TO BE 30 YEAR WEATHER RESISTANT SOLAR REFLECTIVE. WEEDOUT, CLASS A ROOF COVERING.
- L. ROOF TO HAVE A 3 YEAR AGED DR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED REGULAR REFLECTANCE OF AT LEAST 50% AND A THERMAL EMITTANCE OF AT LEAST 0.75 (SRI MAX).
- M. IN COMMERCIAL CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER RB2.11.
- N. IN COMMERCIAL CONSTRUCTION WHERE THERE IS DOUBLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER RB2.11.
- P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION TAGS IN ACCORDANCE WITH 16.05 PLUMBING, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER RB3.
- Q. PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 16.05.
- R. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH 16.05 SHALL BE PRESERVATIVE TREATED AND END USE PRESERVATIVE SHALL BE LISTED IN SECTION 16.05.10.
- S. PROVIDE ANTI-GRAFFITI FINISH WITHIN 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- T. BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDER FLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 1/2 INCH BELOW THE BOTTOM OF THE FLOOR JOIST.
B. THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION FOR OPENABLE BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
C. THE OPENING SHALL BE THE LARGER OF 1/8 SQUARE FEET FOR EACH 1/2 LINEAR FEET OR FRACTION OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1/4 OF UNDERFLOOR AREA.
D. THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH DIAMETER. RB2.11.4

LEGEND

- CMU WALL. SEE A800 FOR WALL TYPES
- CONCRETE WALL. SEE A800 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION. STC-59 WHEN DEMISING UNITS. SEE A800 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A800 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A800 FOR WALL TYPES
- NON-RATED PARTITION. SEE A800 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A800 FOR WALL TYPE
- DOOR TAG. SEE A800 FOR DOOR TYPE
- WINDOW TAG. SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

UNCOMMON WINNETKA

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
8217 WINNETKA AVE
LOS ANGELES, CA

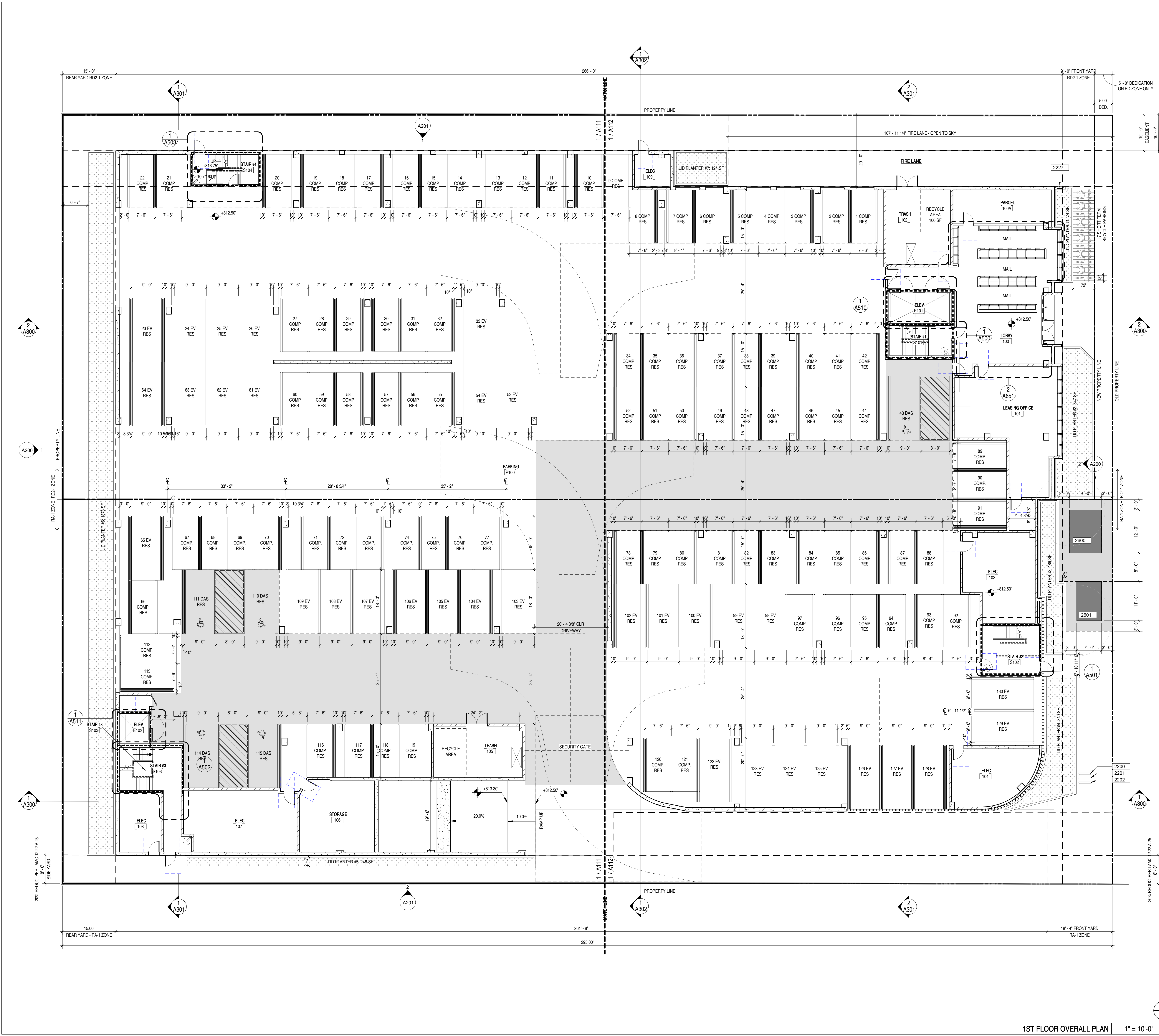
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2232

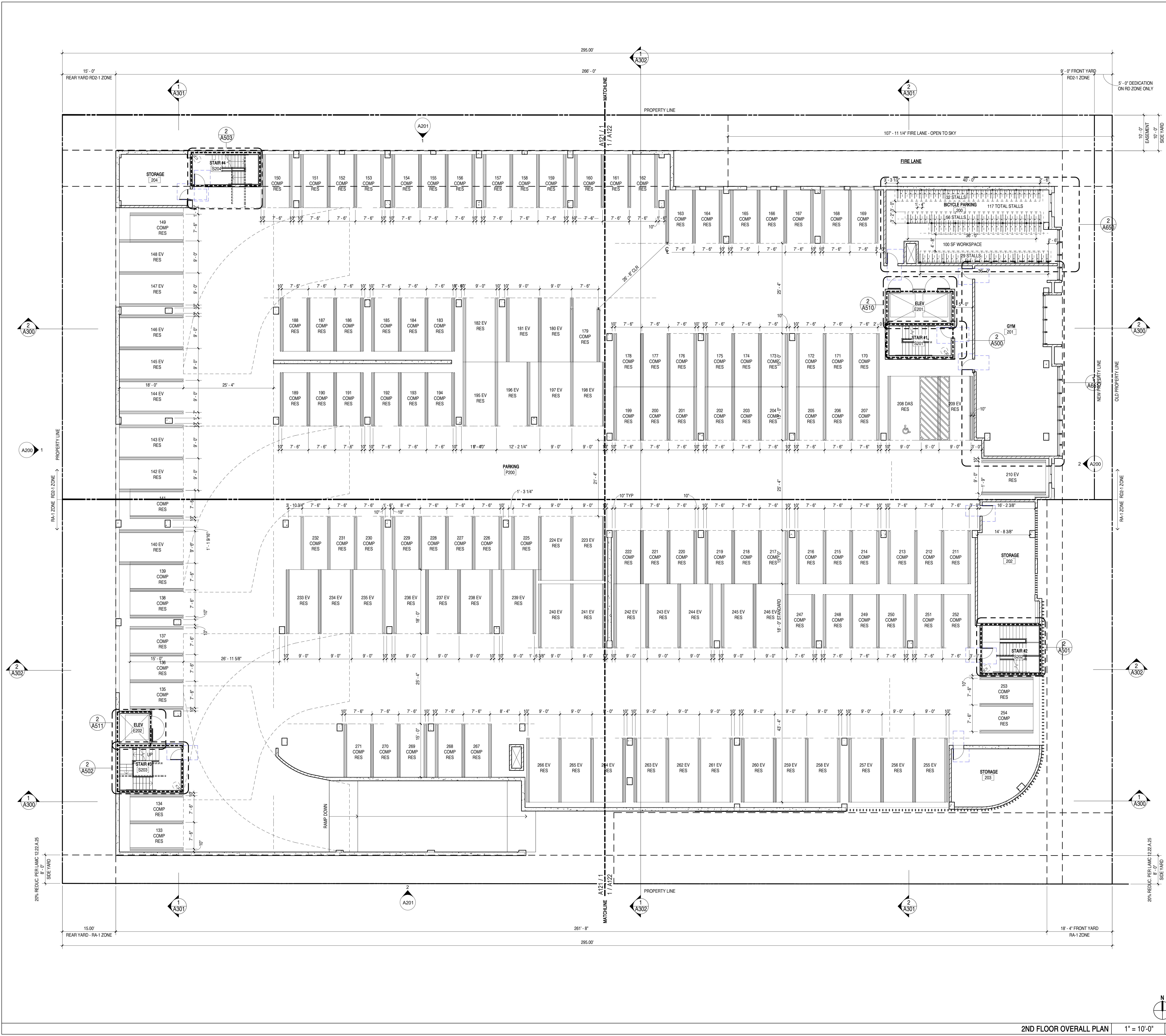
DATE:
6.7.2023

SHEET TITLE:
1ST FLOOR OVERALL PLAN

SHEET NUMBER:
A110

DRAWING SET TITLE:
PZA REVIEW SET





KEYNOTES

JZA ARCHITECTURE
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 WWW.JZARCH.LA // 310.853.5004
 INFO@JZARCH.LA

95AL

JEFFREY ZBIKOWSKI
 C-35389
 STATE OF CALIFORNIA

REVISIONS

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO
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- E. GRADE AWAY FROM FOOTINGS 1/4" MIN
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE MAIN ELECTRICAL SERVICE PANEL. THE RESERVED SPACE SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 414 ENERGY CODE 110.15 LAND REQUIREMENT NO. 06.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 1 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER RB2.11
- I. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA
- J. ROOFING MATERIAL TO BE BALANCEE ROOFING, ECOGRASS SOL. PREMIUM - MESSQUITE, CLASS A ROOF COVERING
- K. ROOF TO HAVE A 3 YEAR AGED DR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED REGULAR REFLECTANCE OF AT LEAST 50 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER 414
- L. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER RB2.11
- M. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORING AND ASSEMBLY, DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER RB2.11
- N. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN PROPORTION THAT BE PLAIN, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER RB3.
- O. PROTECTION OF WOOD AND WOOD ASIED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 0511.01
- P. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH NAPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 0511.01
- Q. PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
- T. BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDER FLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 10 INCHES BELOW THE BOTTOM OF THE FLOOR JOIST
 - B. THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION FOR EXAMPLE BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING
 - C. THE OPENING SHALL BE THE LARGEST OF 1/8 SQUARE FEET FOR EACH 1 LINEAR FOOT OF FRACTION OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1/8 OF UNDERFLOOR AREA
 - D. THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH DIAMETER. 6170A.1.4

LEGEND

- CMU WALL. SEE A900 FOR WALL TYPES
- CONCRETE WALL. SEE A900 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION. STC-59 WHEN DEMISING UNITS. SEE A800 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A900 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A900 FOR WALL TYPES
- NON-RATED PARTITION. SEE A900 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A900 FOR WALL TYPE
- DOOR TAG. SEE A900 FOR DOOR TYPE
- WINDOW TAG. SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

UNCOMMON WINNETKA
 NOT FOR CONSTRUCTION
 PROJECT ADDRESS:
 8217 WINNETKA AVE
 LOS ANGELES, CA
 JOB NUMBER:
 2232
 DATE:
 6.7.2023
 SHEET TITLE:
 2ND FLOOR OVERALL PLAN
 SHEET NUMBER:
A120
 DRAWING SET TITLE:
 PZA REVIEW SET

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CLIENT NAME:
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 CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON WINNETKA

PROJECT ADDRESS:
 8217 WINNETKA AVE
 LOS ANGELES, CA

JOB NUMBER:
 2232

DATE:
 6.7.2023

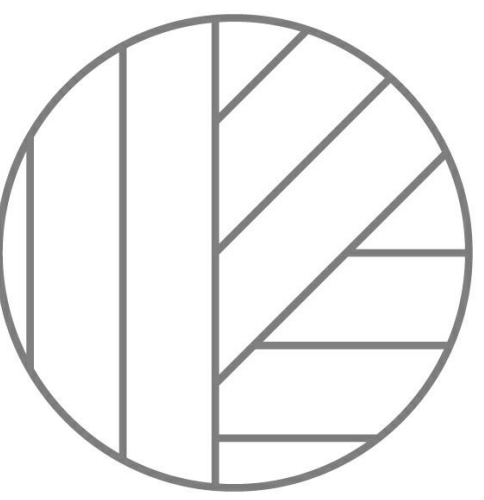
SHEET TITLE:
 2ND FLOOR OVERALL PLAN

SHEET NUMBER:
A120

DRAWING SET TITLE:
 PZA REVIEW SET

6/2023 03.6.2015.P44

2ND FLOOR OVERALL PLAN 1" = 10'-0" 1



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DESIGNED

KEYNOTES

SHEET NOTES

- ALL INTERIOR WALLS TO BE TYPE 1A, UNO.
- ALL DIMENSIONS ARE TO CLR UNO.
- ALL DIMENSIONS INDICATED AS "CLIP" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS.
- GRADE AWAY FROM FOOTINGS 1/4" IN.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE RPTD FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 4014.4 ENERGY CODE 10.10.10 LAND REQUIREMENT NO. 06.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 1 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11.
- EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA.
- ROOFING MATERIAL TO BE BALUNNEY ROOFING, ECOBAS SOL. FRESHW. - MESSICO, CLASS A ROOF COVERING.
- ROOF TO HAVE A 3 YEAR AGED DR VALUE OF AT LEAST 10 OR BOTH A 3 YEAR AGED REGULAR REFLECTANCE OF AT LEAST 50 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER 4045.
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS SMALL SPACE OF A FLOORING AND ASSEMBLY DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R02.11.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN ACCORDANCE WITH PLUMBING LEGISLATION AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R02.11.
- PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 0511.01.
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 0511.01.
- PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDERFLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE DOOR SILL.
 - THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION OR DRAINED BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - THE OPENING SHALL BE THE LARGEST OF 1/8 SQUARE FEET FOR EACH 1 LINEAR FEET OR FRACTION OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
 - THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH IN DIMENSION. R1704.14

LEGEND

- CMU WALL. SEE A800 FOR WALL TYPES
- CONCRETE WALL. SEE A800 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION. STC-50 WHEN DEMISING UNITS. SEE A800 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A800 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A800 FOR WALL TYPES
- NON-RATED PARTITION. SEE A800 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A800 FOR WALL TYPE
- DOOR TAG. SEE A800 FOR DOOR TYPE
- WINDOW TAG. SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

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9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON WINNETKA

NOT FOR CONSTRUCTION
PROJECT ADDRESS:
8217 WINNETKA AVE
LOS ANGELES, CA

JOB NUMBER:
2232

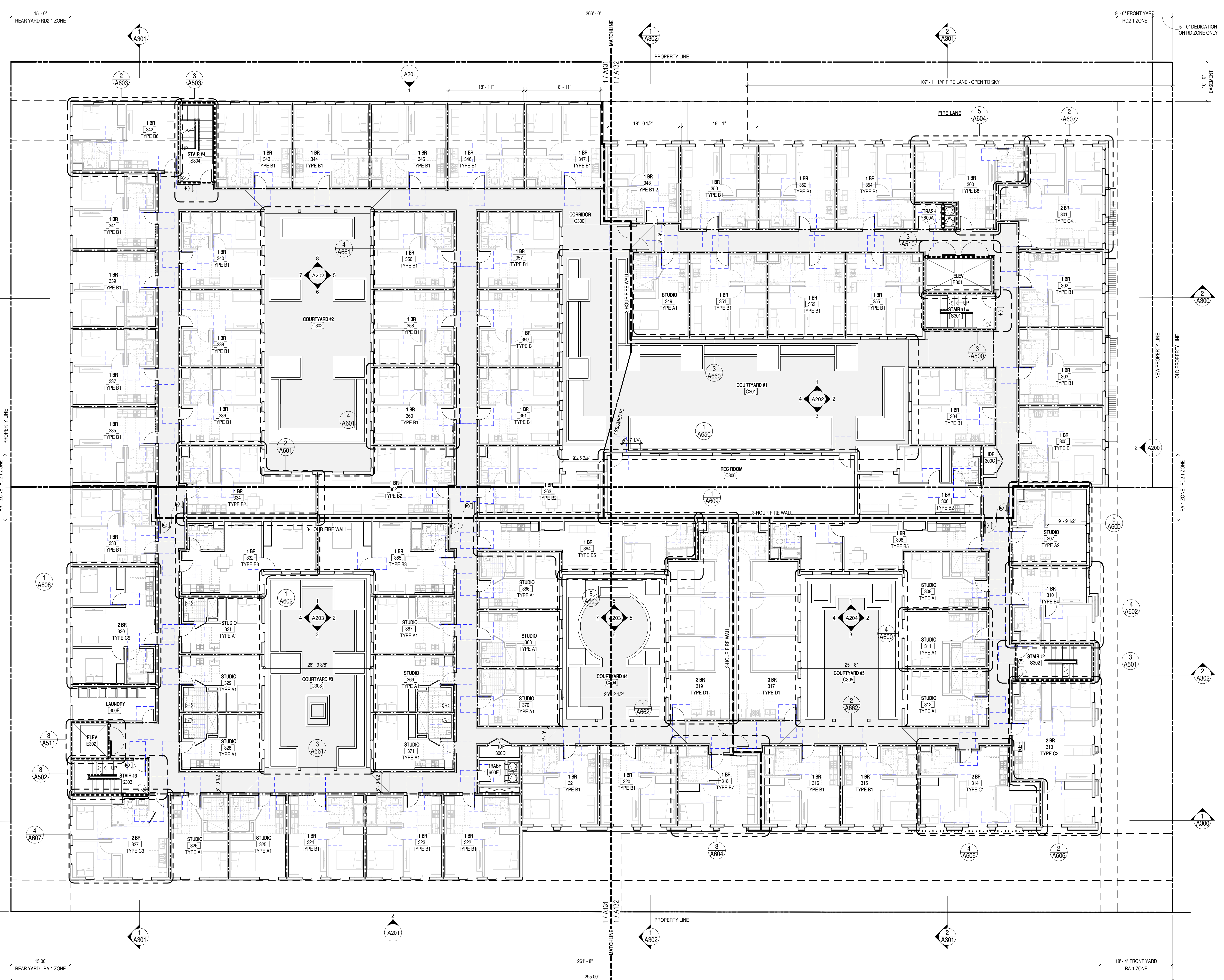
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6.7.2023

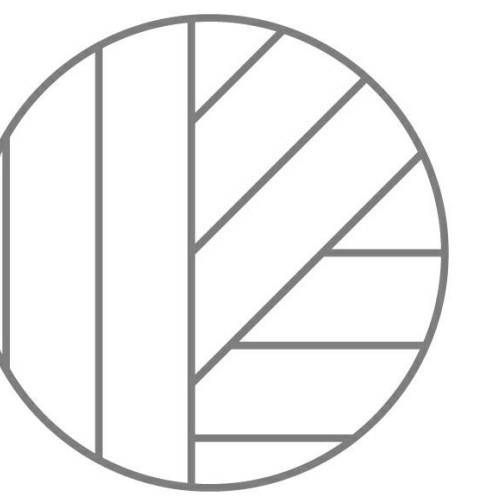
SHEET TITLE:
3RD FLOOR OVERALL PLAN

SHEET NUMBER:
A130

DRAWING SET TITLE:
PZA REVIEW SET

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DESIGNER

KEYNOTES

SHEET NOTES

- ALL INTERIOR WALLS TO BE TYPE 1A, UNO.
- ALL DIMENSIONS ARE TO CLR UNO.
- ALL DIMENSIONS INDICATED AS 'CLIP' ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS.
- GRADE AWAY FROM FOOTINGS 1/8" IN.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE MAIN FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 401-A ENERGY CODE 10.10.15 LAND REQUIREMENT NO. 16.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 3 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER ROO2.11.
- EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA.
- ROOFING MATERIAL TO BE 18 GA UNPAVED ROOFING, ECOSOLS SOL. FRESH - MESSURE, CLASS A ROOF COVERING.
- ROOF TO HAVE A 3 YEAR AGED BR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED REAR REFLECTANCE OF AT LEAST 50% AND A THERMAL EMITTANCE OF AT LEAST 0.75 (SRI VALUE).
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIERS BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER ROO2.11.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS UNUSUAL SPACE OF A FLOORING AND ASSEMBLY DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER ROO 2.11.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN ACCORDANCE WITH PLUMBING LEGISLATION AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PERS.
- PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 0511.01.
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 0511.01.
- PROVIDE ANTI-GRAFFITI FINISH WITHIN 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDER FLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE DOOR SILL.
 - THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION FOR CHIMNEYS BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - THE OPENING SHALL BE AT LEAST 1/8 INCH CLEAR FOR EACH 1 LINEAR FOOT OF PERIMETER OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
 - THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH IN DIMENSION. 6" DIA. 1/4"

LEGEND

- CMU WALL. SEE A800 FOR WALL TYPES
- CONCRETE WALL. SEE A800 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION. STC-59 WHEN DEMISING UNITS. SEE A800 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A800 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A800 FOR WALL TYPES
- NON-RATED PARTITION. SEE A800 FOR WALL TYPES
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- SMOKE DETECTOR
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CHATSWORTH, CA 91311

PROJECT NAME:

UNCOMMON WINNETKA
NOT FOR CONSTRUCTION

PROJECT ADDRESS:
8217 WINNETKA AVE
LOS ANGELES, CA

JOB NUMBER:
2232

DATE:
6.7.2023

SHEET TITLE:
4TH FLOOR OVERALL PLAN

SHEET NUMBER:
A140

DRAWING SET TITLE:
PZA REVIEW SET

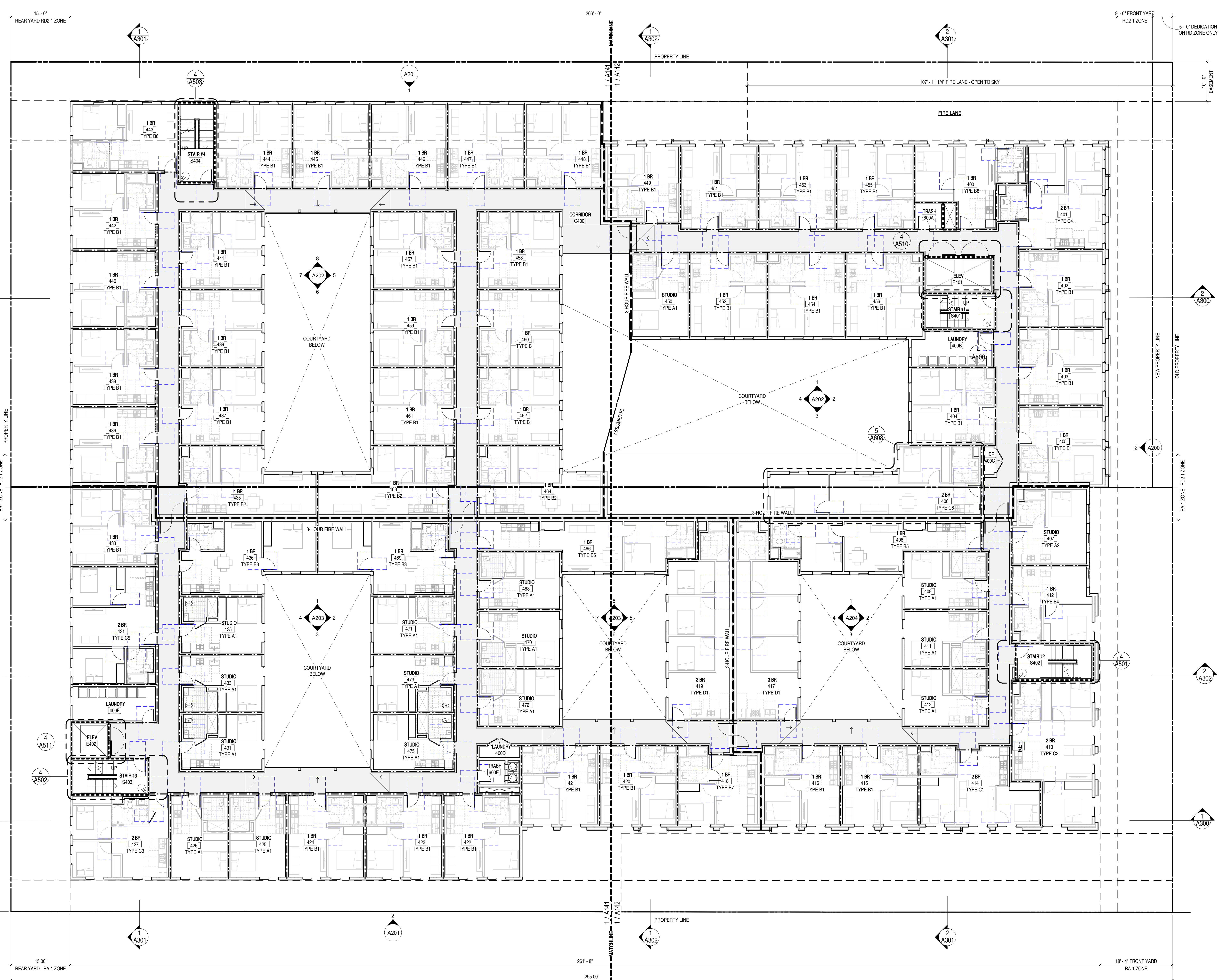
DATE:
6.7.2023

SHEET NUMBER:
A140

DRAWING SET TITLE:
PZA REVIEW SET

DATE:
6.7.2023

SHEET NUMBER:
A140



4TH FLOOR OVERALL PLAN 1" = 10'-0" 1



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KEYNOTES

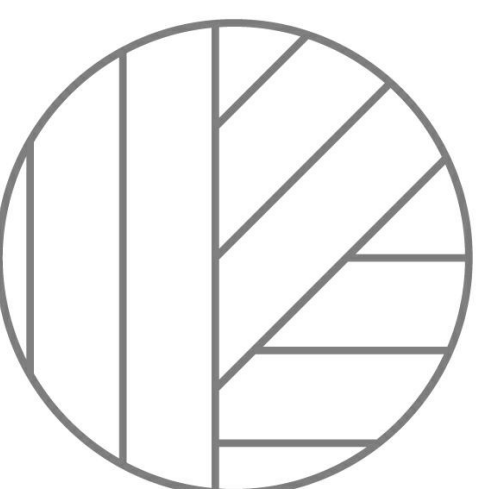
- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO.
- B. ALL DIMENSIONS ARE TO CURB UNO.
- C. ALL DIMENSIONS INDICATED AS 'CLIP' ARE FROM FINISH TO FINISH.
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS.
- E. GRADE AWAY FROM FOOTINGS 1/4" IN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A FUTURE FUSE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE EMPLOYER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 401.4 ENERGY CODE 10.10.10 LAND REQUIREMENT NO. 16.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 3 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER ROO2.11.
- I. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA.
- J. ROOFING MATERIAL TO BE BALUNNEY ROOFING, ECOGRASS SOL. FRESHW. - MESSUOTE, CLASS A ROOF COVERING.
- K. ROOF TO HAVE A 3 YEAR AGED BR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED REAR REFLECTANCE OF AT LEAST 50 AND A THERMAL EMITTANCE OF AT LEAST 0.75 (80% MIN).
- L. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER ROO2.11.
- M. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER ROO 2.11.
- N. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN ACCORDANCE WITH PLUMBING LEGISLATION AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER ROO 2.11.
- O. PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 0711.01.
- P. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 04 OR APPLIC.
- Q. PROVIDE ANTI-GRAFFITI FINISH WITHIN 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- R. BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDERFLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 1/8 INCHES BELOW THE BOTTOM OF THE DOOR SILL.
 - B. THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION, FOR EXAMPLE, BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - C. THE OPENING SHALL BE AT LEAST 1/8 INCHES FEET FOR EACH 100 SQUARE FEET OF FLOOR AREA OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
 - D. THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WEATHER WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH IN DIMENSION. (IF OTHER)

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO.
- B. ALL DIMENSIONS ARE TO CURB UNO.
- C. ALL DIMENSIONS INDICATED AS 'CLIP' ARE FROM FINISH TO FINISH.
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- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A FUTURE FUSE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE EMPLOYER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 401.4 ENERGY CODE 10.10.10 LAND REQUIREMENT NO. 16.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 3 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER ROO2.11.
- I. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA.
- J. ROOFING MATERIAL TO BE BALUNNEY ROOFING, ECOGRASS SOL. FRESHW. - MESSUOTE, CLASS A ROOF COVERING.
- K. ROOF TO HAVE A 3 YEAR AGED BR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED REAR REFLECTANCE OF AT LEAST 50 AND A THERMAL EMITTANCE OF AT LEAST 0.75 (80% MIN).
- L. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER ROO2.11.
- M. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER ROO 2.11.
- N. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN ACCORDANCE WITH PLUMBING LEGISLATION AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER ROO 2.11.
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 - A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 1/8 INCHES BELOW THE BOTTOM OF THE DOOR SILL.
 - B. THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION, FOR EXAMPLE, BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - C. THE OPENING SHALL BE AT LEAST 1/8 INCHES FEET FOR EACH 100 SQUARE FEET OF FLOOR AREA OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
 - D. THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WEATHER WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH IN DIMENSION. (IF OTHER)

LEGEND

- CMU WALL. SEE A800 FOR WALL TYPES
- CONCRETE WALL. SEE A800 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION. STC-50 WHEN DEMISING UNITS. SEE A800 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A800 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A800 FOR WALL TYPES
- NON-RATED PARTITION. SEE A800 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A800 FOR WALL TYPE
- DOOR TAG. SEE A800 FOR DOOR TYPE
- WINDOW TAG. SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN



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CLIENT NAME:
8217 WINNETKA LLC
 9220 N WINNETKA AVE
 CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON WINNETKA

PROJECT ADDRESS:
NOT FOR CONSTRUCTION
 8217 WINNETKA AVE
 LOS ANGELES, CA

JOB NUMBER:
2232

DATE:
6.7.2023

SHEET TITLE:
5TH FLOOR OVERALL PLAN

SHEET NUMBER:
A150

DRAWING SET TITLE:
PZA REVIEW SET

DATE: 6/7/2023

6/20/2023 6:08:21 PM

KEYNOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO.
- B. ALL DIMENSIONS ARE TO CUR LINE.
- C. ALL DIMENSIONS INDICATED AS 'CLIP' ARE FROM FINISH TO FINISH.
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS.
- E. GRADE AWAY FROM FOOTINGS 1/4" IN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE EMPT FEEDER LOCATION ON MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 421-A, ENERGY CODE 10.15.15 LAND REQUIREMENT NO. 16.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 3 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER RO2.11.
- I. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA.
- J. ROOFING MATERIAL TO BE BALUNNEY ROOFING, ECOBAS SOL. FRESH - MESSQUITE, CLASS A ROOF COVERING.
- K. ROOF TO HAVE A 3 YEAR AGED BR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED ROOF REFLECTANCE OF AT LEAST 50% AND A THERMAL EMITTANCE OF AT LEAST 0.75 (SBIR 414).
- L. ROOF TO HAVE A 3 YEAR AGED BR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED ROOF REFLECTANCE OF AT LEAST 50% AND A THERMAL EMITTANCE OF AT LEAST 0.75 (SBIR 414).
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER RO2.11.
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS UNABLE SPACE OF A FLOORING AND ASSEMBLY DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER RO2.11.
- O. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN ACCORDANCE WITH PLUMBING LEGISLATION AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER RO2.3.
- P. PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 10.11.01.
- Q. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF APP. 1.
- R. PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- T. BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDER FLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE DOOR SILL.
 - B. THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION FOR CHIMNEYS BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - C. THE OPENING SHALL BE AT LEAST 1/8 INCH CLEARANCE PER LINEAR FOOT OR FRACTION OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
 - D. THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH IN DIMENSION. 11/20/14

SHEET NOTES

1. 15'-0" REAR YARD RD2-1 ZONE
2. 266'-0"
3. 9'-0" FRONT YARD RD2-1 ZONE
4. 5'-0" DEDICATION ON RD ZONE ONLY
5. 10'-0" EASEMENT
6. 107'-11 1/4" FIRE LANE - OPEN TO SKY
7. 16'-11 3/8"
8. 16'-11 3/8"
9. 18'-4" FRONT YARD RA-1 ZONE
10. 291'-8"
11. 295.00'
12. 15.00'
13. 20% REDUCED PERIMETER 12.22.24.25
14. 15'-0" REAR YARD - RA-1 ZONE
15. 291'-8"
16. 295.00'
17. 18'-4" FRONT YARD RA-1 ZONE

LEGEND

- CMU WALL. SEE A800 FOR WALL TYPES
- CONCRETE WALL. SEE A800 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION. STC-50 WHEN DEMISING UNITS. SEE A800 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A800 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A800 FOR WALL TYPES
- NON-RATED PARTITION. SEE A800 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A800 FOR WALL TYPE
- DOOR TAG. SEE A800 FOR DOOR TYPE
- WINDOW TAG. SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

CLIENT NAME:
UNCOMMON WINNETKA

PROJECT ADDRESS:
**8217 WINNETKA AVE
LOS ANGELES, CA**

JOB NUMBER:
2232

DATE:
6.7.2023

SHEET TITLE:
6TH FLOOR OVERALL PLAN

DRAWING SET TITLE:
PZA REVIEW SET

6TH FLOOR OVERALL PLAN 1" = 10'-0" 1



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PROJECT NAME:
UNCOMMON WINNETKA

PROJECT ADDRESS:
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LOS ANGELES, CA**

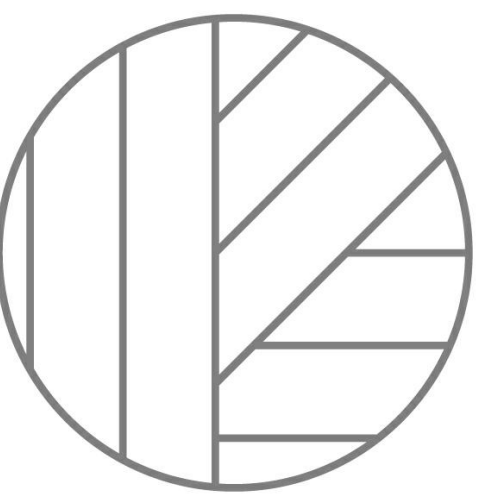
JOB NUMBER:
2232

DATE:
6.7.2023

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6TH FLOOR OVERALL PLAN

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PZA REVIEW SET

602023-06-08-23 PZA



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REVISIONS

KEYNOTES

SHEET NOTES

- ALL INTERIOR WALLS TO BE TYPE 1A, UNO.
- ALL DIMENSIONS ARE TO CLR UNO.
- ALL DIMENSIONS INDICATED AS "CLIP" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS.
- GRADE AWAY FROM FOOTINGS 1/4" IN.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE MAIN FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 401-A ENERGY CODE 10.10.15 LAND REQUIREMENT NO. 16.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 1 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER ROO-11.
- EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA.
- ROOFING MATERIAL TO BE 18 GA UNPAVED ROOFING, ECOSOLS SOL. FRESH-W. MESHOUT, CLASS A ROOF COVERING.
- ROOF TO HAVE A 3 YEAR AGED BR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 58 AND A THERMAL EMITTANCE OF AT LEAST 0.78 (SH-14).
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER ROO-11.
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS AVAILABLE SPACE OF A FLOORING AND ASSEMBLY DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER ROO-12.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN ACCORDANCE WITH PLUMBING LEGISLATION AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER ROO-3.
- PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 05-11.01.
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 05-11.01.
- PROVIDE ANTI-GRAFFITI FINISH WITHIN 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDER FLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE DOOR SILL.
 - THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION FOR OPENINGS BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - THE OPENING SHALL BE AT LEAST 1/8 INCH CLEAR FOR EACH 1 LINEAR FOOT OF PERIMETER OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
 - THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH IN DIMENSION. (R-170A.4)

LEGEND

- CMU WALL. SEE A800 FOR WALL TYPES
- CONCRETE WALL. SEE A800 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION. STC-59 WHEN DEMISING UNITS. SEE A800 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A800 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A800 FOR WALL TYPES
- NON-RATED PARTITION. SEE A800 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A800 FOR WALL TYPE
- DOOR TAG. SEE A800 FOR DOOR TYPE
- WINDOW TAG. SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

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CLIENT NAME:
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PROJECT NAME:
UNCOMMON WINNETKA

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
8217 WINNETKA AVE
LOS ANGELES, CA

JOB NUMBER:
2232

DATE:
6.7.2023

SHEET TITLE:
7TH FLOOR OVERALL PLAN

SHEET NUMBER:
A170

DRAWING SET TITLE:
PZA REVIEW SET

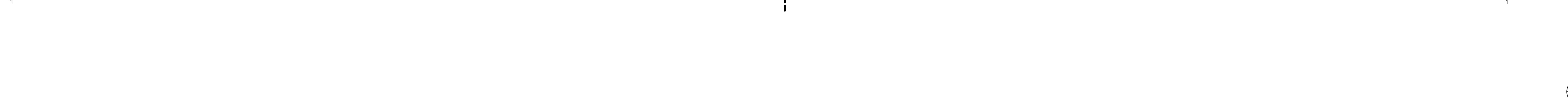
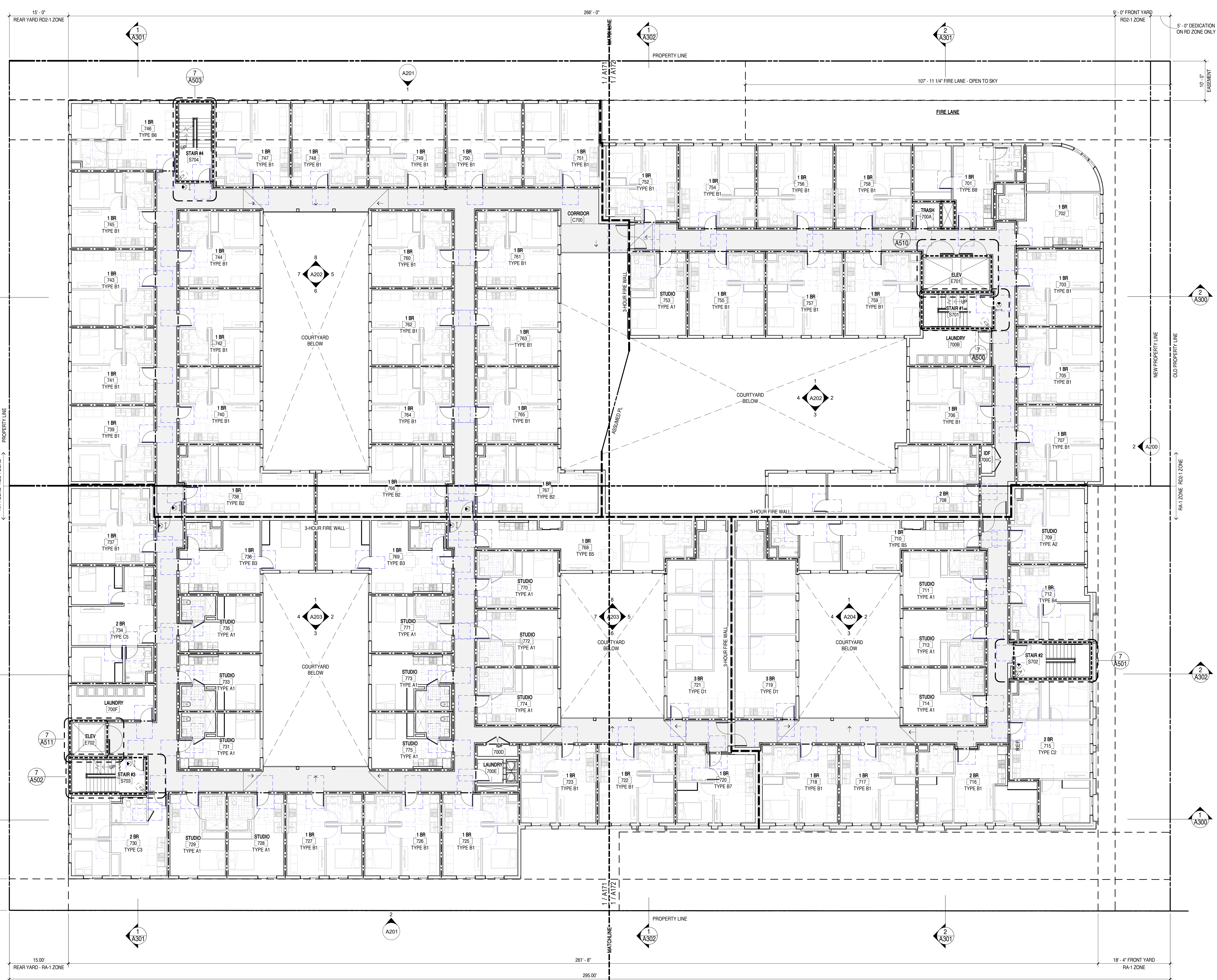
DATE: 6/7/2023

PROJECT: UNCOMMON WINNETKA

DATE: 6/7/2023

PROJECT: UNCOMMON WINNETKA

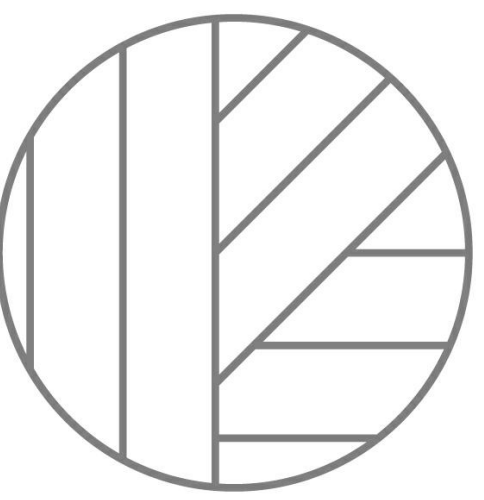
DATE: 6/7/2023



7TH FLOOR OVERALL PLAN 1" = 10'-0" 1



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REVISIONS

KEYNOTES

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO FINISH
- C. ALL DIMENSIONS INDICATED AS "CLIP" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS 1/4" MIN
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE CORNER END FROM THE ENTRY FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRICITY. CAL GREEN BILT 1.4 ENERGY CODE 110.10.10 LAND REQUIREMENT NO. 06.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 1 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R002.11
- J. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA
- K. ROOFING MATERIAL TO BE BALUNKEY ROOFING, ECOGRASS SOL. PREMIUM - MESQUITE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3 YEAR AGED DR VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 50 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER 4145
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R002.11
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R002.11
- P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION TAGS IN ACCORDANCE WITH 16.05.01.01 PLUMBING LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER P013.
- Q. PROTECTION OF WOOD AND WOOD ASHED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 16.05.01.01
- R. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 16.05.01.01
- S. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
- T. BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDER FLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE FLOOR DECK
 - B. THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION FOR EXAMPLE, BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING
 - C. THE OPENING SHALL BE THE LARGER OF 1/8 SQUARE FEET FOR EACH 1/2 LINEAR FEET OR FRACTION OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA
 - D. THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH DIMENSION. (1) SHALL 1/4

LEGEND

- CMU WALL. SEE A900 FOR WALL TYPES
- CONCRETE WALL. SEE A900 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION, STC-59 WHEN DEMISING UNITS. SEE A800 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A800 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A800 FOR WALL TYPES
- NON-RATED PARTITION. SEE A800 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A800 FOR WALL TYPE
- DOOR TAG. SEE A800 FOR DOOR TYPE
- WINDOW TAG. SEE A800 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

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9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON WINNETKA

PROJECT ADDRESS:
NOT FOR CONSTRUCTION
8217 WINNETKA AVE
LOS ANGELES, CA

JOB NUMBER:
2232

DATE:
6.7.2023

SHEET TITLE:
ROOF OVERALL PLAN

SHEET NUMBER:
A180

DRAWING SET TITLE:
PZA REVIEW SET

DATE:
6.7.2023

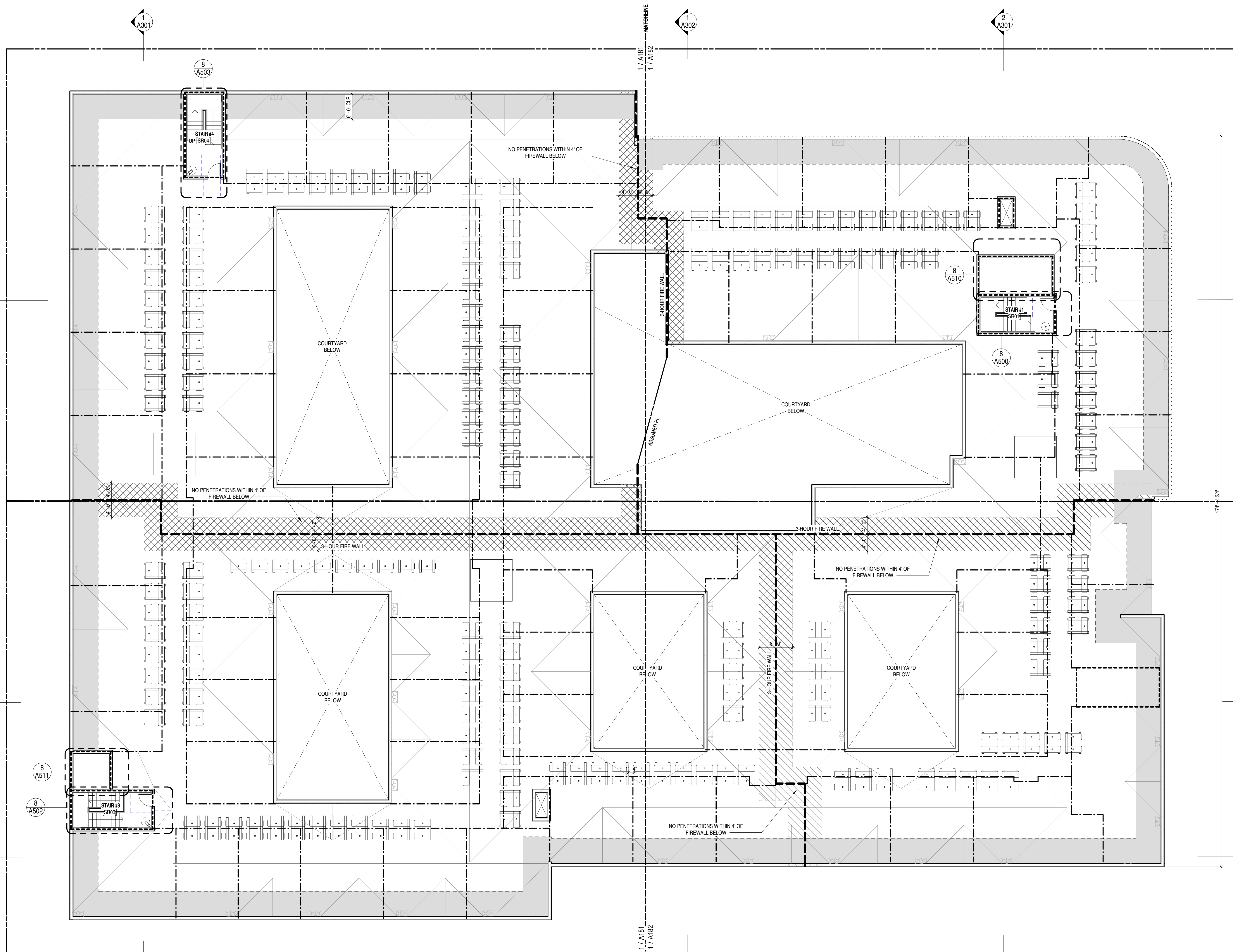
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A180

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PZA REVIEW SET

DATE:
6.7.2023

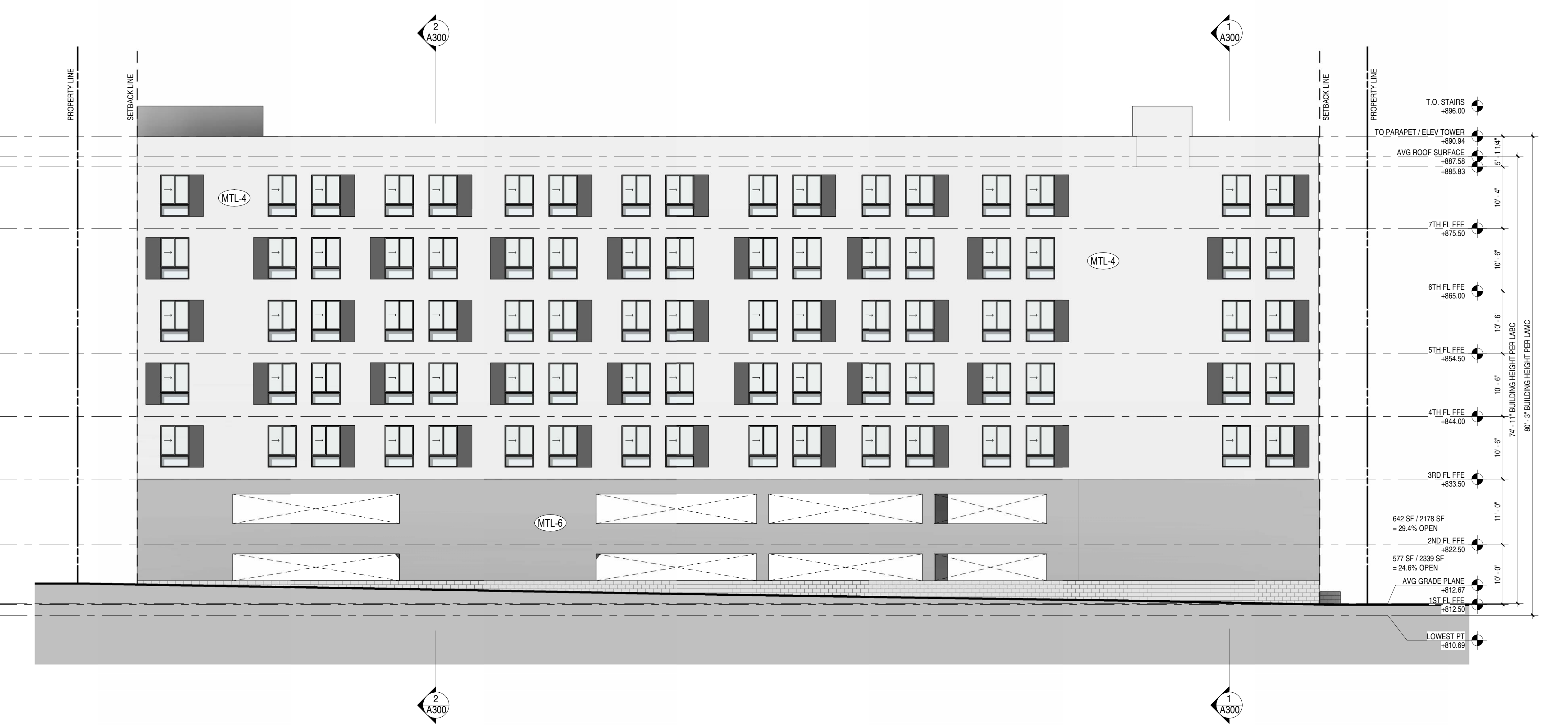
SHEET NUMBER:
A180

DRAWING SET TITLE:
PZA REVIEW SET





EAST ELEVATION 1" = 10'-0" 2



WEST ELEVATION 1" = 10'-0" 1

KEYNOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO
- C. ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS 1% MIN
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE RPT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 421.4 ENERGY CODE 10.10.15 LAFD REQUIREMENT NO. 06
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 1 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11
- J. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL PAINTED TO MATCH FACIA
- K. ROOFING MATERIAL TO BE BALUNKEY ROOFING, ECOGRASS SOL. PREMIUM - WESQUITE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3 YEAR AGED DR. VALUE OF AT LEAST 10 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.25 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER R415
- M. INCOMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11
- N. INCOMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R02.12
- P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION TAGS IN ACCORDANCE WITH THE PLANS, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R03.9
- Q. PROTECTION OF WOOD AND WOOD ASIED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 07.10
- R. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH NAPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 04 OR APP. 01
- S. PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
- T. BUILDINGS WITH RAISED FLOOR CONSTRUCTION, UNDERFLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE FLOOR DECK
 - B. THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION, OR DAMPED BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING
 - C. THE OPENING SHALL BE THE LARGER OF 1.0 SQUARE FEET FOR EACH 1 LINEAR FOOT OR FRACTION OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA
 - D. THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH DIMENSION. R1706.1.2

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO
- C. ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS 1% MIN
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE RPT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 421.4 ENERGY CODE 10.10.15 LAFD REQUIREMENT NO. 06
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 1 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11
- J. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL PAINTED TO MATCH FACIA
- K. ROOFING MATERIAL TO BE BALUNKEY ROOFING, ECOGRASS SOL. PREMIUM - WESQUITE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3 YEAR AGED DR. VALUE OF AT LEAST 10 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.25 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER R415
- M. INCOMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11
- N. INCOMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R02.12
- P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION TAGS IN ACCORDANCE WITH THE PLANS, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R03.9
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MATERIAL LEGEND

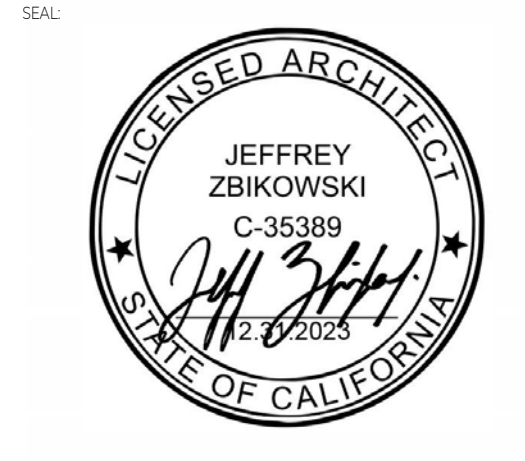
- MTL-1 FIBER CEMENT BOARD - GRAPHITE
- MTL-2 WOOD - VERTICAL SLAT SIDING
- MTL-3 METAL PANEL - GRAPHITE
- MTL-4 PLASTER - WHITE
- MTL-5 PLASTER - GREY
- MTL-6 CONCRETE - BOARD FORM

LEGEND

- CMU WALL. SEE A900 FOR WALL TYPES
- CONCRETE WALL. SEE A900 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION, STC-59 WHEN DEMISING UNITS. SEE A900 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A900 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A900 FOR WALL TYPES
- NON-RATED PARTITION. SEE A900 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A900 FOR WALL TYPE
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NOT FOR CONSTRUCTION

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LOS ANGELES, CA

JOB NUMBER:
2232

DATE:
6.7.2023

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A200

DRAWING SET TITLE:
PZA REVIEW SET



ELEVATION - NORTH 1" = 10'-0" 1



ELEVATION - SOUTH 1" = 10'-0" 2

KEYNOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO
- C. ALL DIMENSIONS INDICATED AS "CLIP" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS 1% MIN
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE EMPLOYER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN 4214 ENERGY CODE 110.15 LAND REQUIREMENT NO. 16.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 3 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER RB02.11
- I. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA
- J. ROOFING MATERIAL TO BE BALANCEEY ROOFING, ECOGRASS SOL. PREHEM - MESQUITE, CLASS A ROOF COVERING
- K. ROOF TO HAVE A 3 YEAR AGED DR VALUE OF AT LEAST 10 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.25 AND A THERMAL EMITTANCE OF AT LEAST 0.75 (SRI VALUE)
- L. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER RB02.11
- M. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER RB02.11
- N. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN PROPORTION THAT BE PLAIN, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER RB03.9
- O. PROTECTION OF WOOD AND WOOD ASHED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 0511.01
- P. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH NWP 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 0511.01 OR APPLIC.
- Q. PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
- T. BUILDINGS WITH RAISED FLOOR CONSTRUCTION, UNDERFLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
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 D. THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 3/8 INCH DIMENSION. (17)04.1.4

SHEET NOTES

- 1. BUILDINGS WITH RAISED FLOOR CONSTRUCTION, UNDERFLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF FLOOR JOIST.
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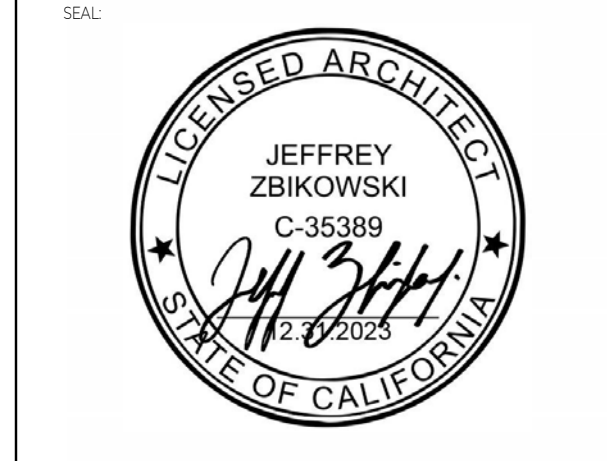
MATERIAL LEGEND

- MTL-1 FIBER CEMENT BOARD - GRAPHITE
- MTL-2 WOOD - VERTICAL SLAT SIDING
- MTL-3 METAL PANEL - GRAPHITE
- MTL-4 PLASTER - WHITE
- MTL-5 PLASTER - GREY
- MTL-6 CONCRETE - BOARD FORM

LEGEND

- CMU WALL. SEE A300 FOR WALL TYPES
- CONCRETE WALL. SEE A300 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION, STC-50 WHEN DEMISING UNITS. SEE A300 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A300 FOR WALL TYPES
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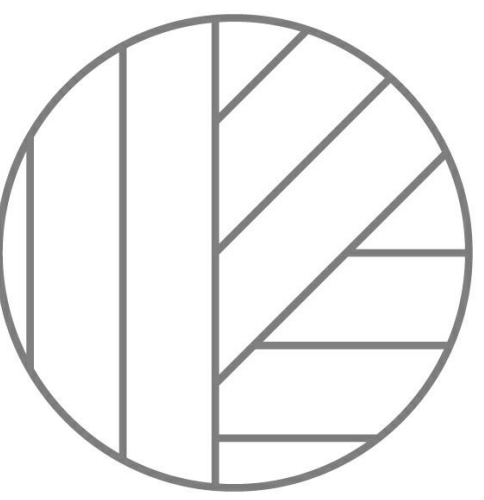
JOB NUMBER:
 2232

DATE:
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SHEET TITLE:
ELEVATIONS

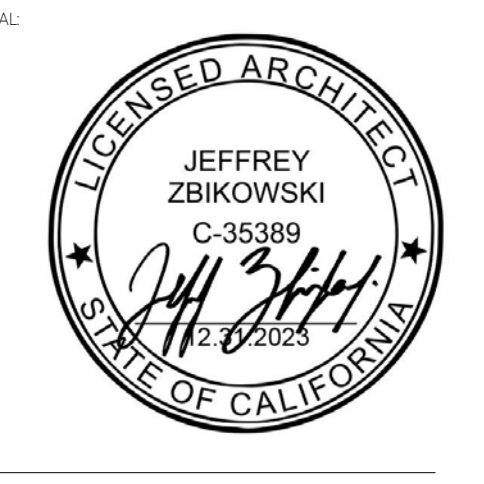
SHEET NUMBER:
A201

DRAWING SET TITLE:
PZA REVIEW SET



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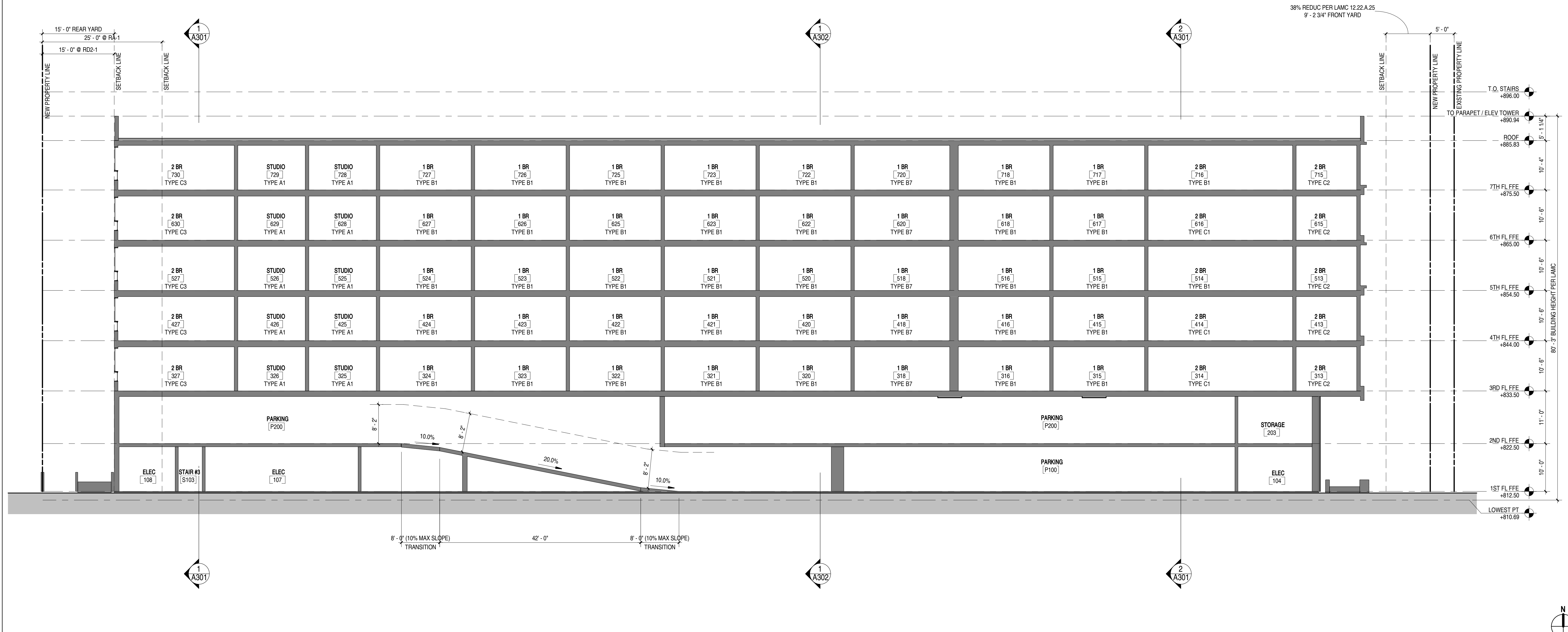
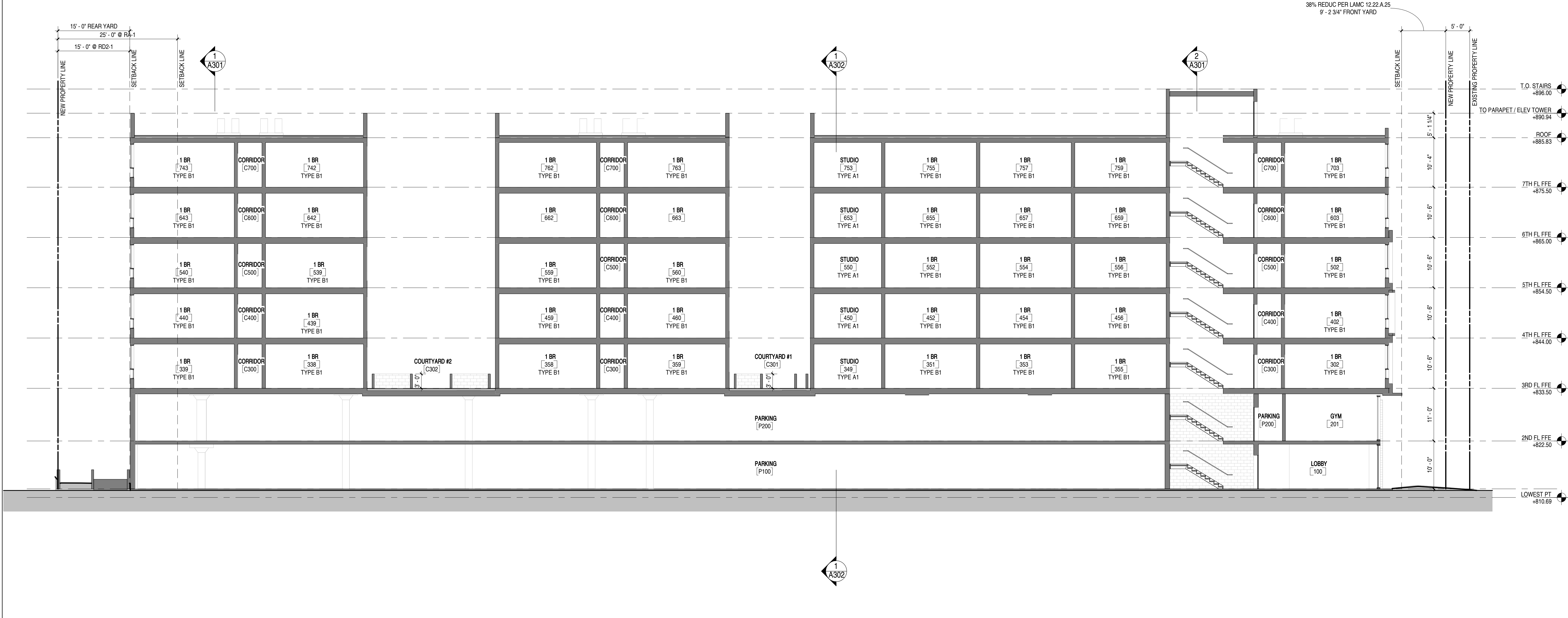
KEYNOTES

- ALL INTERIOR WALLS TO CLU UNO.
- ALL DIMENSIONS ARE TO CLU UNO.
- ALL DIMENSIONS INDICATED AS "CLU" ARE FROM FINISH TO FINISH.
- WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS.
- GRADE AWAY FROM FOOTINGS 1% MIN.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A FUTURE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE CORNER FROM THE RPT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN B.T.14 ENERGY CODE 110.10.14.5 LAND REQUIREMENT NO. 06.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 1 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11.
- EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA.
- ROOFING MATERIAL TO BE BALUNKEE ROOFING, ECOGRASS SOL. PREMIX - MESSOITE, CLASS A ROOF COVERING.
- ROOF TO HAVE A 3 YEAR AGED DR. VALUE OF AT LEAST 16 OR BOTH A 3 YEAR AGED REGULAR REFLECTANCE OF AT LEAST 50% AND A THERMAL EMITTANCE OF AT LEAST 0.75 (80% MIN).
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11.
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- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION IN ACCORDANCE WITH THE LOCAL ORDINANCES AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R03.3.
- PROTECTION OF WOOD AND WOOD ASSED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 0511.01.
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH NAPA (1) FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 0511.01 OR APPLIC.
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SHEET NOTES

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EW SECTION 1 1" = 10'-0" 2



EW SECTION 2 1" = 10'-0" 1

LEGEND

- CMU WALL. SEE A800 FOR WALL TYPES
- CONCRETE WALL. SEE A800 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION. STC-59 WHEN DEMISING UNITS. SEE A800 FOR WALL TYPES
- 2-HOUR RATED FIRE BARRIER. SEE A800 FOR WALL TYPES
- 3-HOUR RATED FIRE WALL. SEE A800 FOR WALL TYPES
- NON-RATED PARTITION. SEE A800 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
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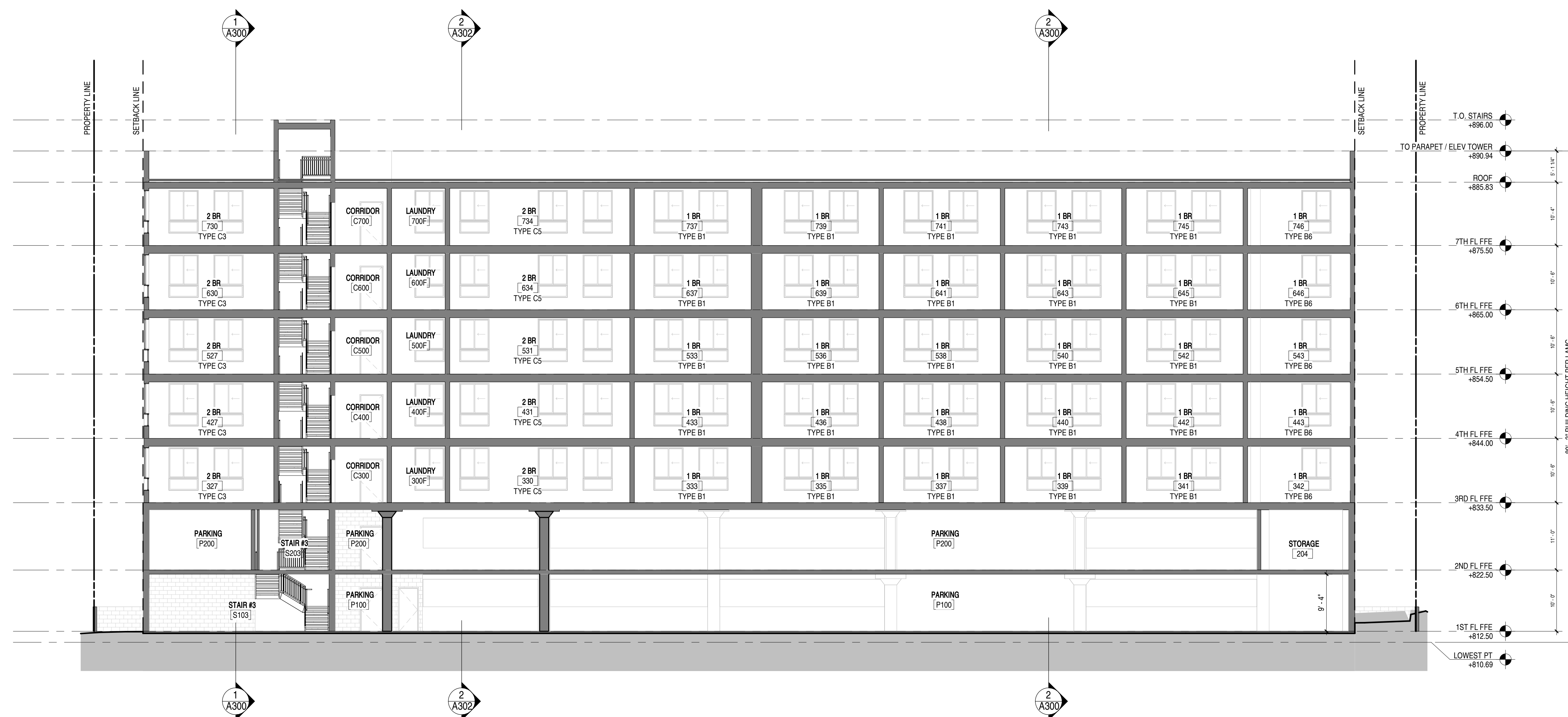
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2232

DATE:
6.7.2023

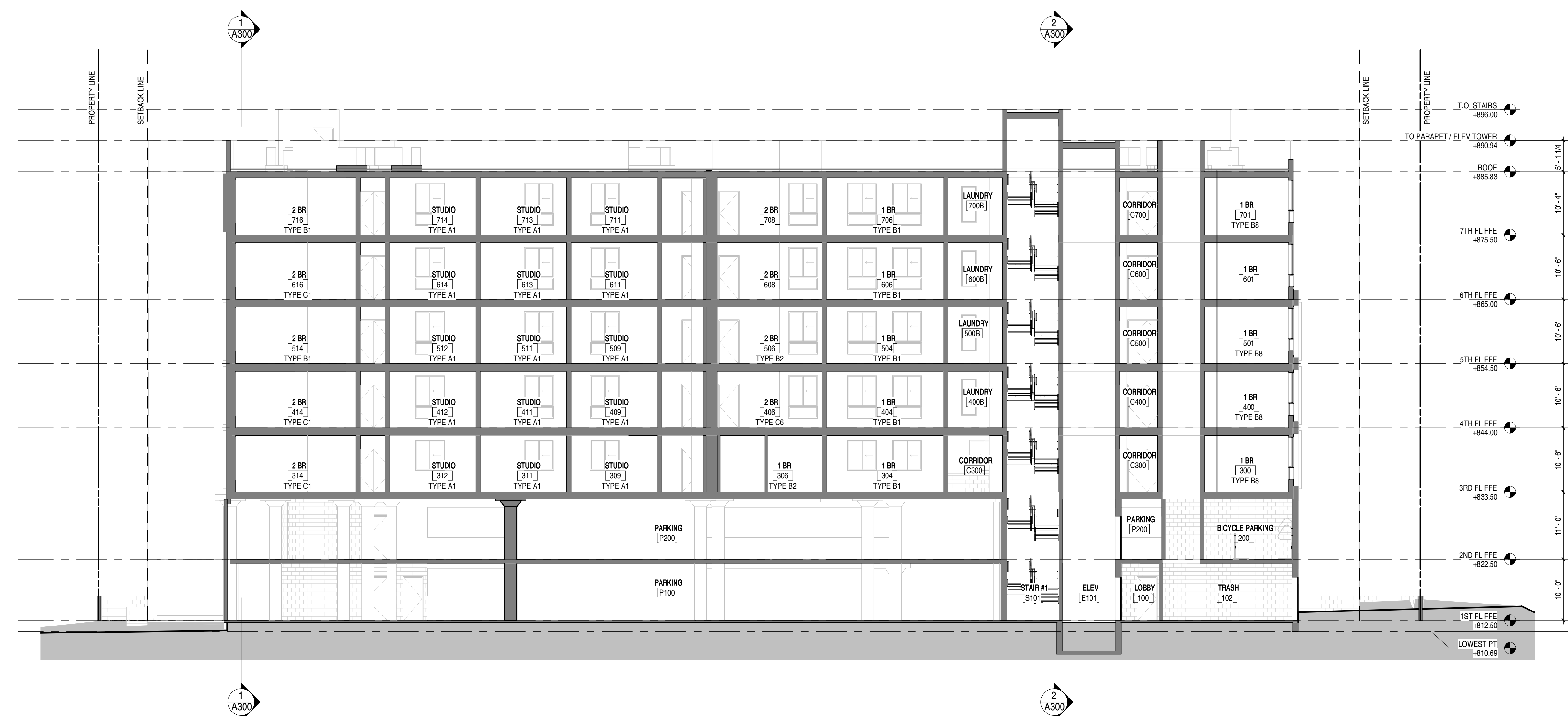
SHEET TITLE:
BUILDING SECTIONS

SHEET NUMBER:
A300

DRAWING SET TITLE:
PZA REVIEW SET



NS SECTION 1 1" = 10'-0" 1



NS SECTION 2 1" = 10'-0" 2

KEYNOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO.
- C. ALL DIMENSIONS INDICATED AS "CLIP" ARE FROM FINISH TO FINISH.
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT WALLS
- E. GRADE AWAY FROM FOOTINGS 1/4" MIN
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE RPT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC. CAL GREEN BLDG 4.1.4 ENERGY CODE 10.10.10 LAND REQUIREMENT NO. 16.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 3 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R002.11.
- J. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA
- K. ROOFING MATERIAL TO BE 18 GA GALVANIZED STEEL, 1/4" THICK, W/ 2" WOODEN BATTENS, CLASS A ROOF COVERING.
- L. ROOF TO HAVE A 3 YEAR AGED DR VALUE OF AT LEAST 10 OR BOTH A 3 YEAR AGED REGULAR REFLECTANCE OF AT LEAST 50% AND A THERMAL EMITTANCE OF AT LEAST 0.75 (80% MIN).
- M. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R002.11.
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOP SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT STOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R002.12.
- P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN PROPORTION THAT BE PLAIN, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R019.
- Q. PROTECTION OF WOOD AND WOOD ASSED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 10.11.11.
- R. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH NAPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 10.4 OR APPLIC.
- S. PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- T. BUILDINGS WITH RAISED FLOOR CONSTRUCTION UNDER FLOOR VENTILATION OPENINGS IN THE UNDER-FLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 10 INCHES BELOW THE BOTTOM OF THE FLOOR JOIST.
 - B. THE OPENING SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION, OR FORMED BY LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
 - C. THE OPENING SHALL BE THE LARGER OF 1.0 SQUARE FEET FOR EACH 1.0 LINEAR FEET OR FRACTION OF EXTERIOR WALL OR OPENING SHALL BE EQUAL TO 1% OF UNDERFLOOR AREA.
 - D. THE OPENING MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF GREATER THAN 1/8 INCH AND LESS THAN 1/4 INCH DIMENSION. (R1706.1.4)

SHEET NOTES

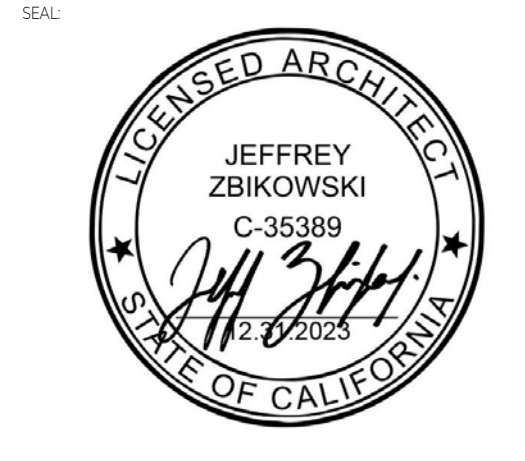
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- P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION AIDS IN PROPORTION THAT BE PLAIN, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R019.
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LEGEND

- CMU WALL. SEE A300 FOR WALL TYPES
- CONCRETE WALL. SEE A300 FOR WALL TYPES
- 1-HOUR RATED FIRE PARTITION. STC-50 WHEN DEMISING UNITS. SEE A300 FOR WALL TYPES
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- NON-RATED PARTITION. SEE A300 FOR WALL TYPES
- SHEAR WALL. SEE STRUCTURAL DRAWINGS
- WOOD POST PER STRUCT DWGS
- WALL TAG. SEE A300 FOR WALL TYPE
- DOOR TAG. SEE A300 FOR DOOR TYPE
- WINDOW TAG. SEE A300 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN



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CLIENT NAME:
8217 WINNETKA LLC
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON WINNETKA

NOT FOR CONSTRUCTION
PROJECT ADDRESS:
8217 WINNETKA AVE
LOS ANGELES, CA

JOB NUMBER:
2232

DATE:
6.7.2023

SHEET TITLE:
BUILDING SECTIONS

SHEET NUMBER:
A301

DRAWING SET TITLE:
PZA REVIEW SET



NS SECTION 3 1" = 10'-0" 1



EW SECTION 4 1" = 10'-0" 2

KEYNOTES

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- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE RPT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRICITY. CAL GREEN 4214 ENERGY CODE 10.10.15 LAND REQUIREMENT NO. 06.
- G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET ABOVE THE FLOOR AND 1 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11
- J. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA
- K. ROOFING MATERIAL TO BE 18 GA GALVANIZED SHEET METAL, 20 YEAR SOLAR REFLECTIVE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 3 YEAR AGED DR VALUE OF AT LEAST 10 OR BOTH A 3 YEAR AGED SOLAR REFLECTANCE OF AT LEAST 50 AND A THERMAL EMITTANCE OF AT LEAST 0.75 PER R416
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R02.11
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- P. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION TAGS IN PROPORTION THAT IS PLAIN, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R019
- Q. PROTECTION OF WOOD AND WOOD ASSED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 0107.01
- R. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH NAPA (1) FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVE SHALL BE LISTED IN SECTION 04 OR APPLIC.
- S. PROVIDE ANTI-GRAFFITI FINISH WITH FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
- T. BUILDINGS WITH RAISED FLOOR CONSTRUCTION, UNDERFLOOR VENTILATION OPENINGS IN THE UNDERFLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE DOOR KEEL
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REVISIONS

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9220 N WINNETKA AVE
CHATSWORTH, CA 91311

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NOT FOR CONSTRUCTION
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LOS ANGELES, CA

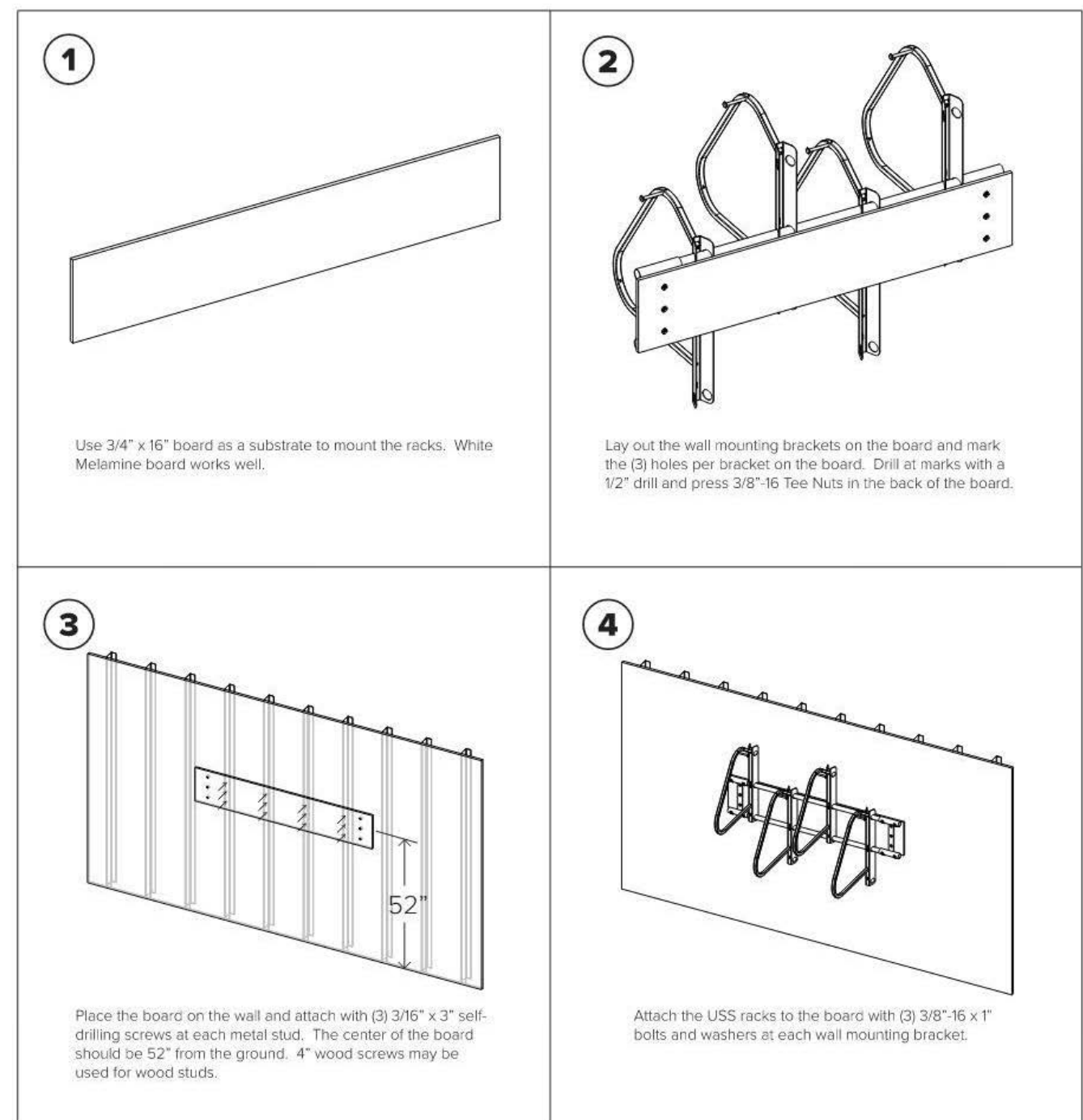
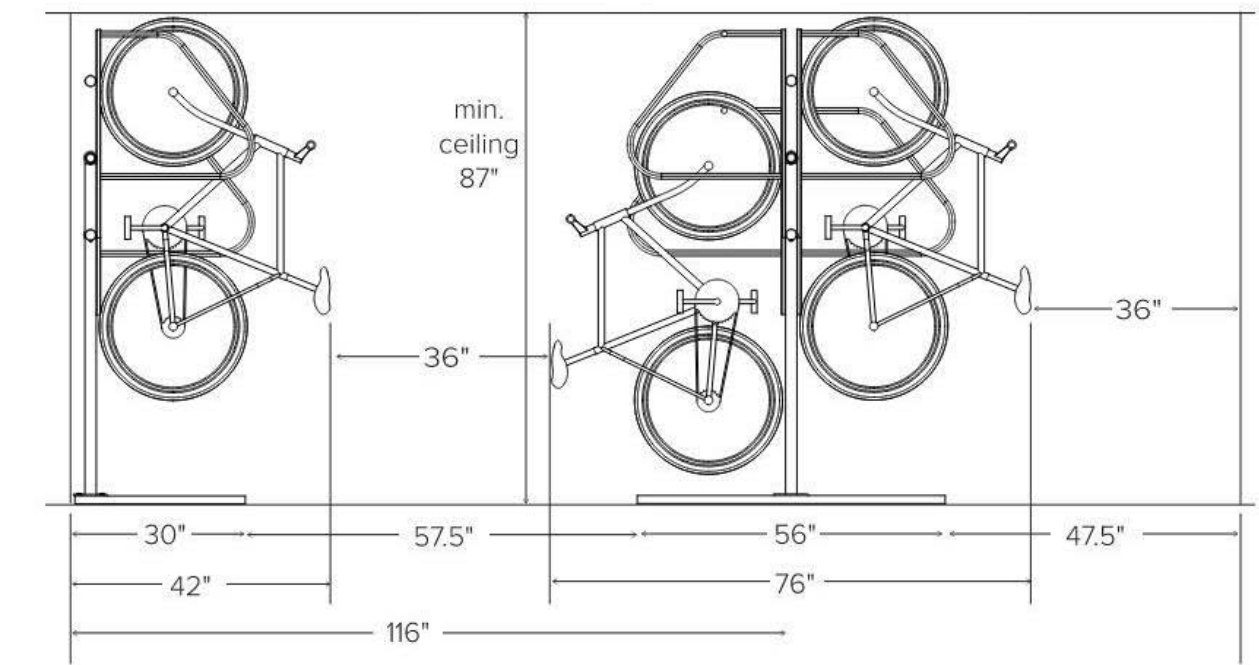
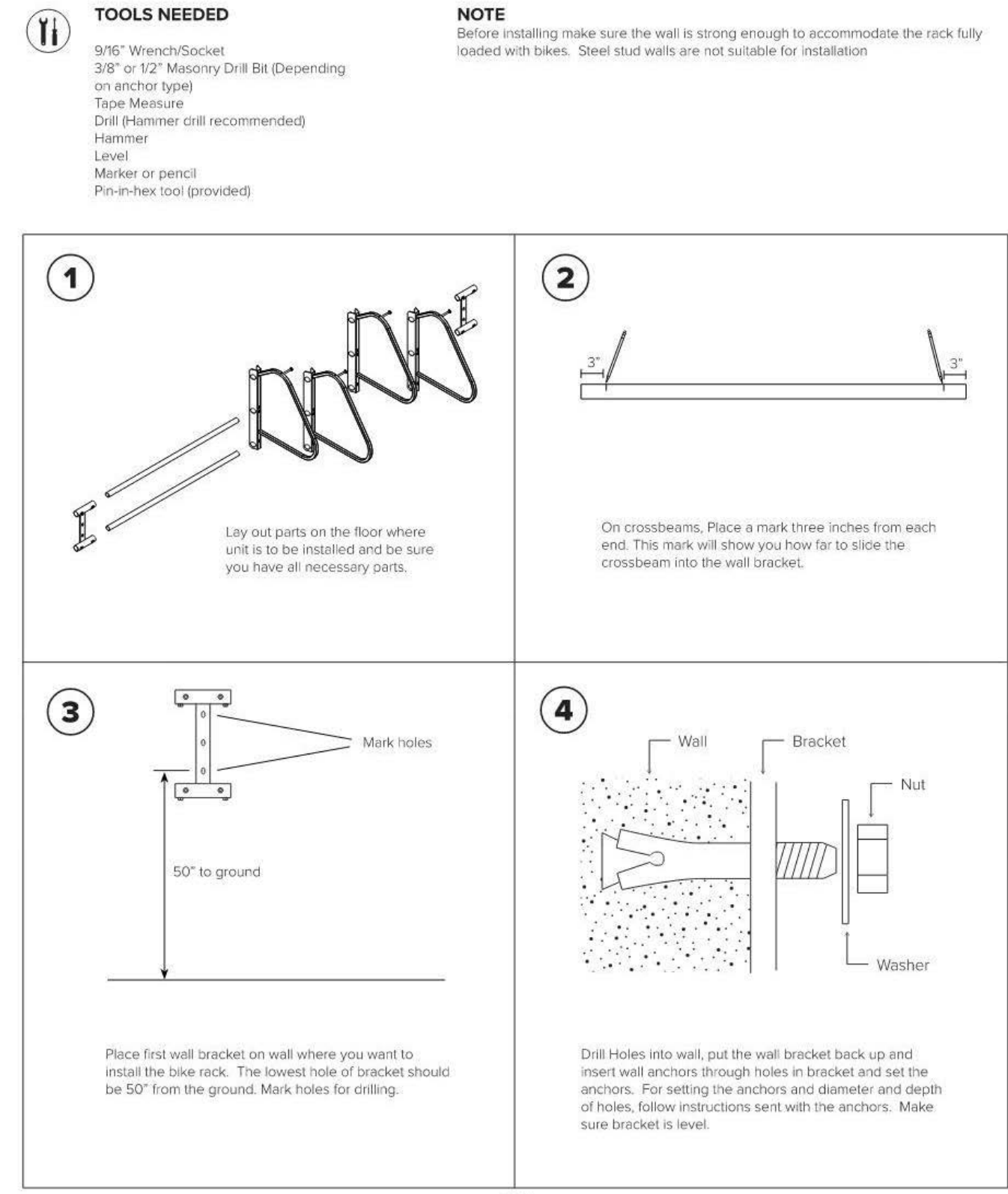
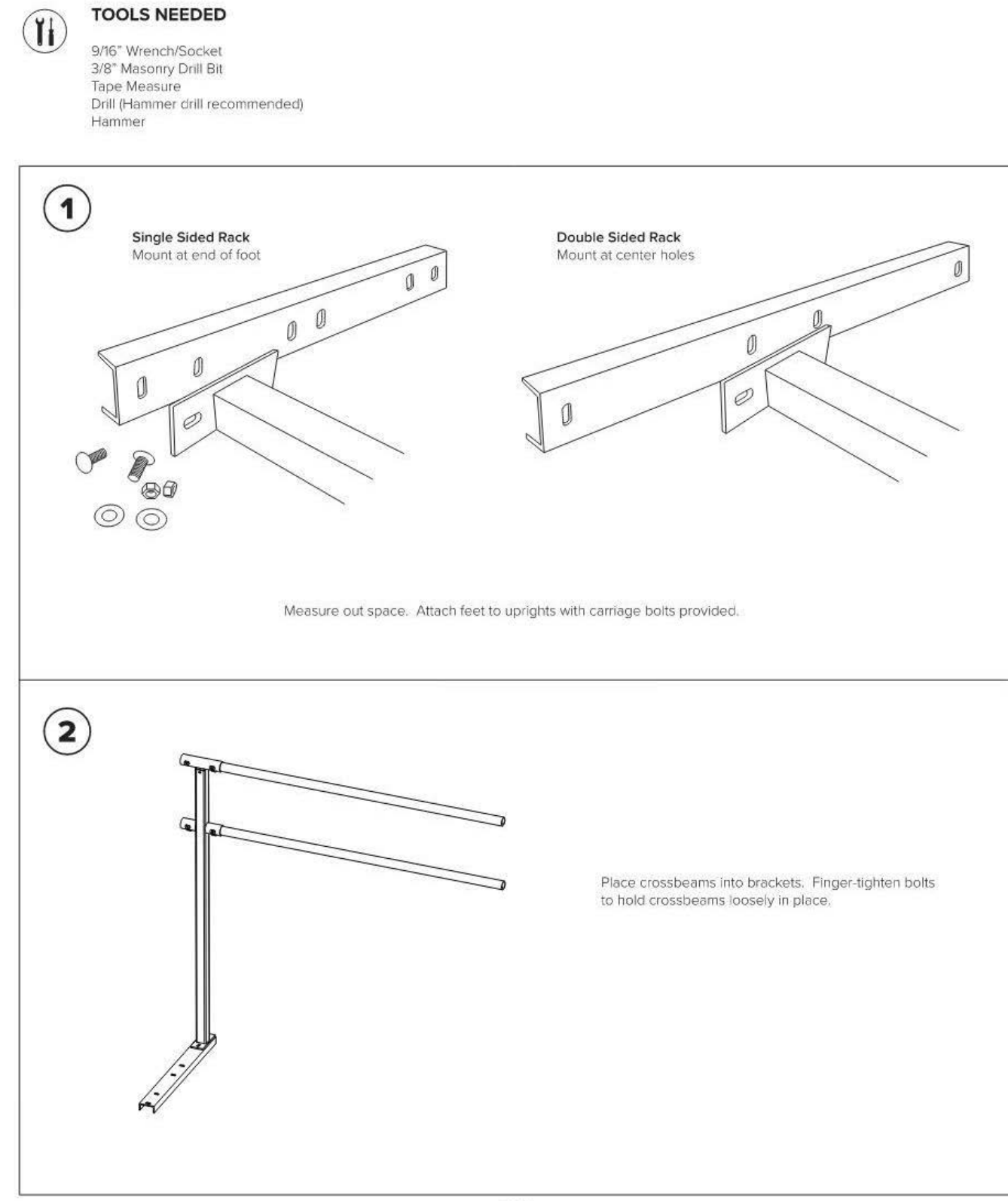
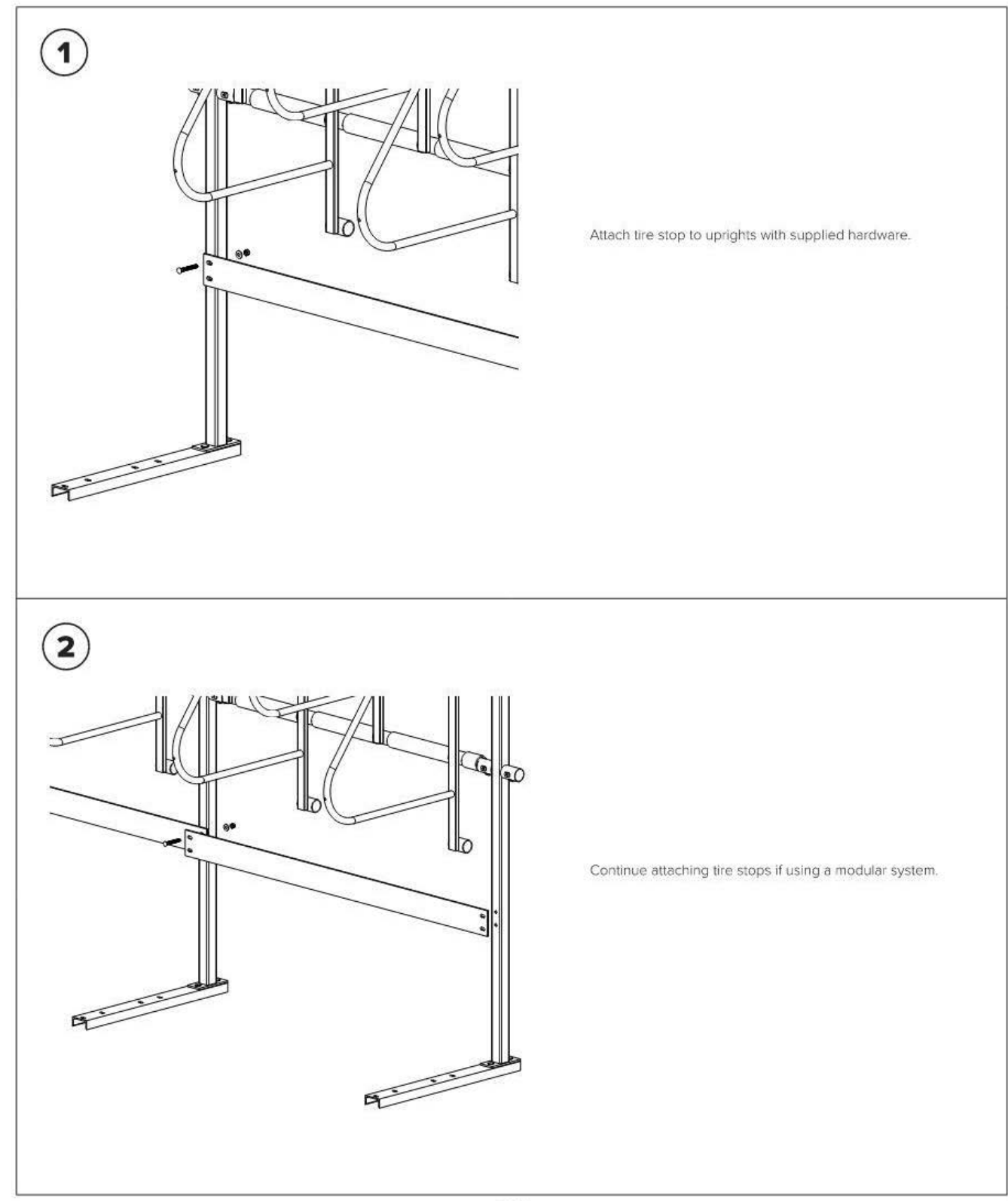
JOB NUMBER:
2232

DATE:
6.7.2023

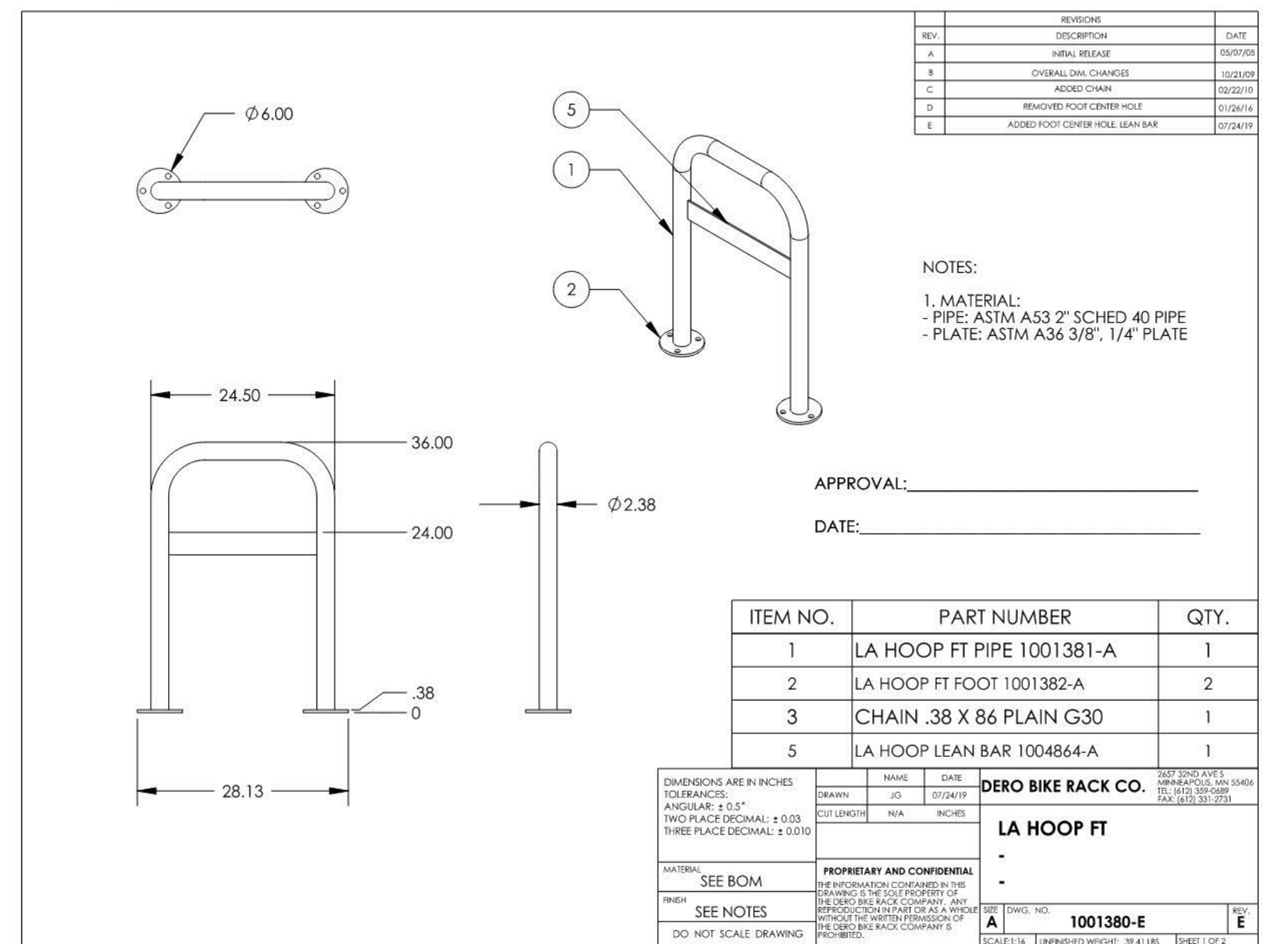
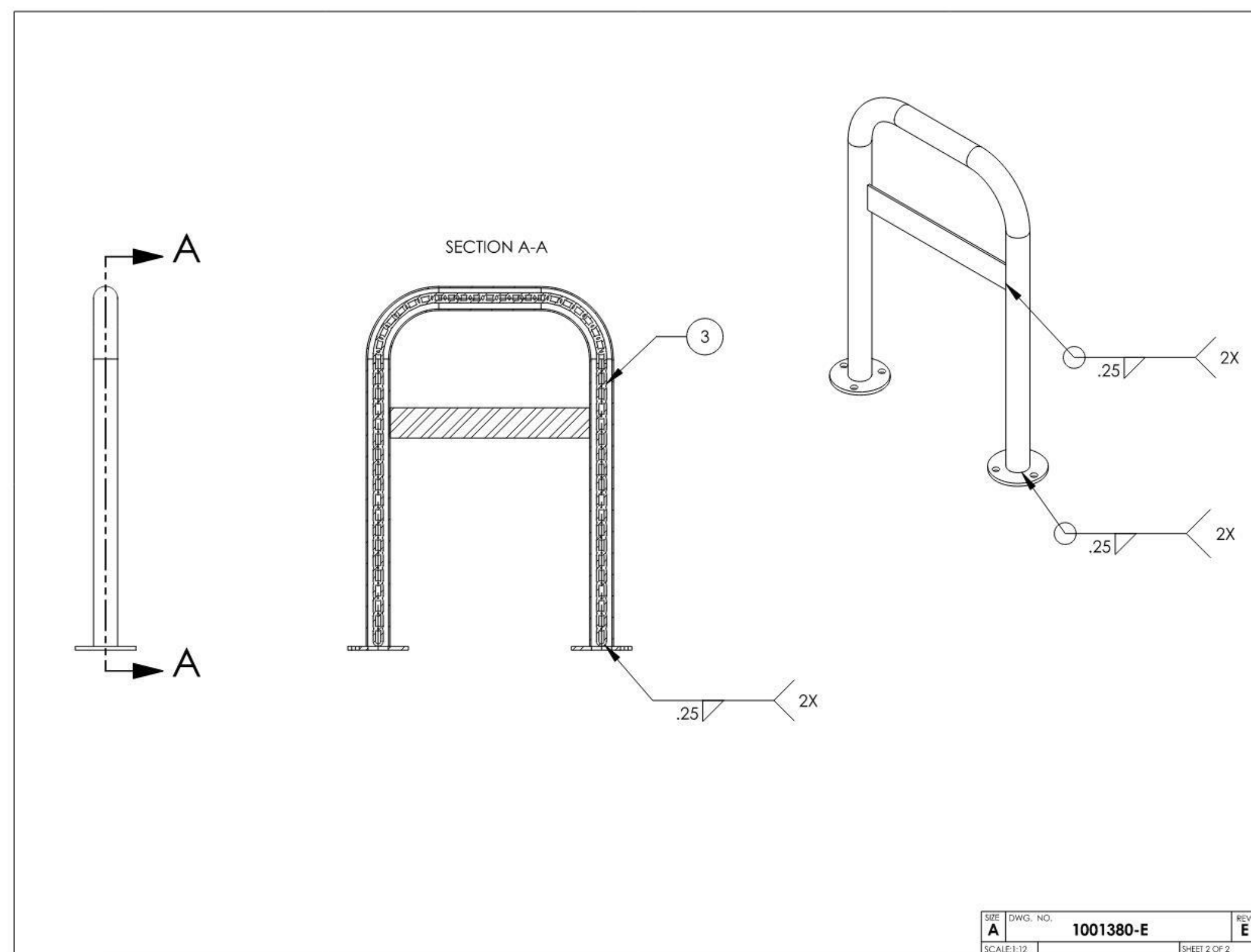
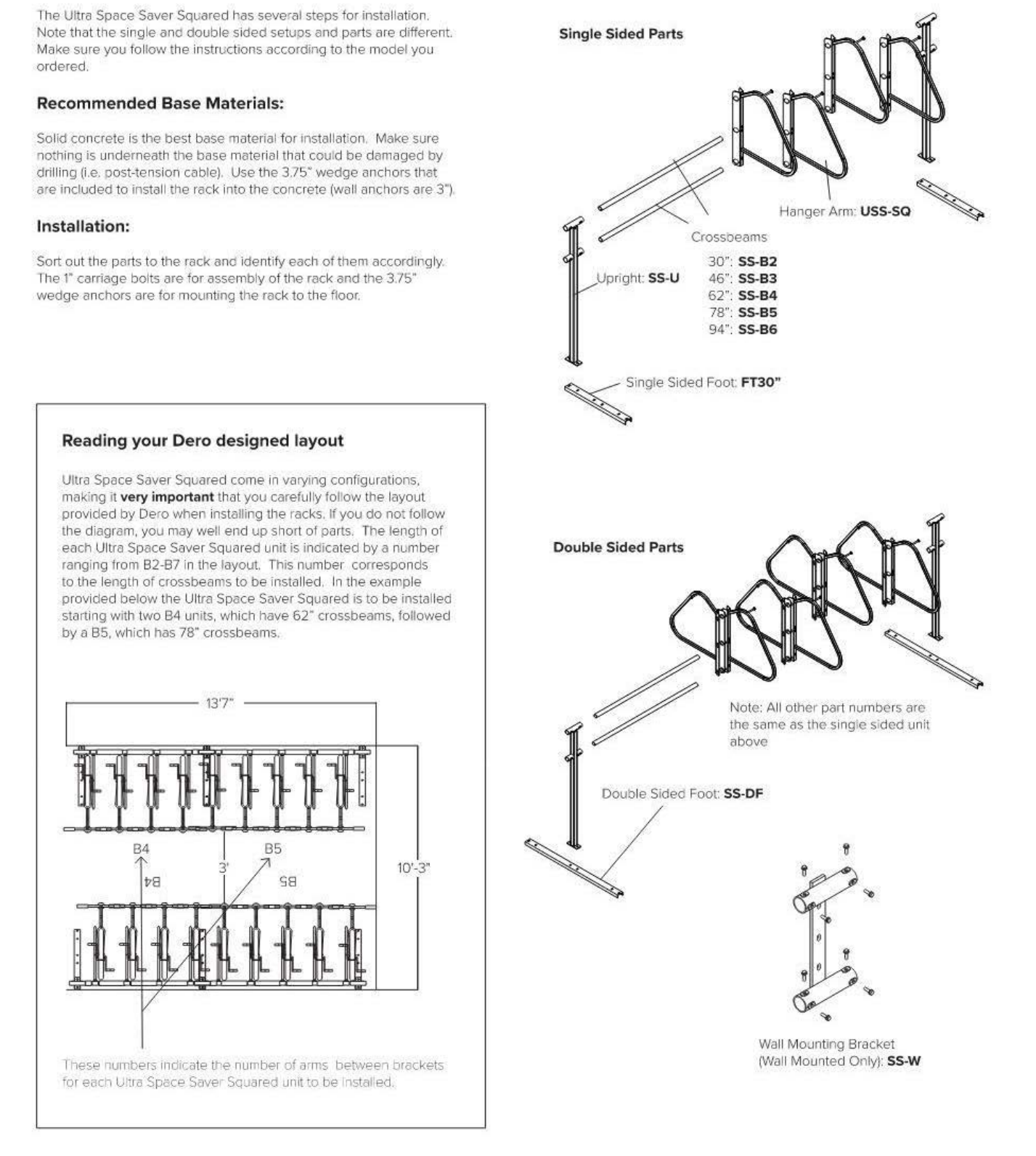
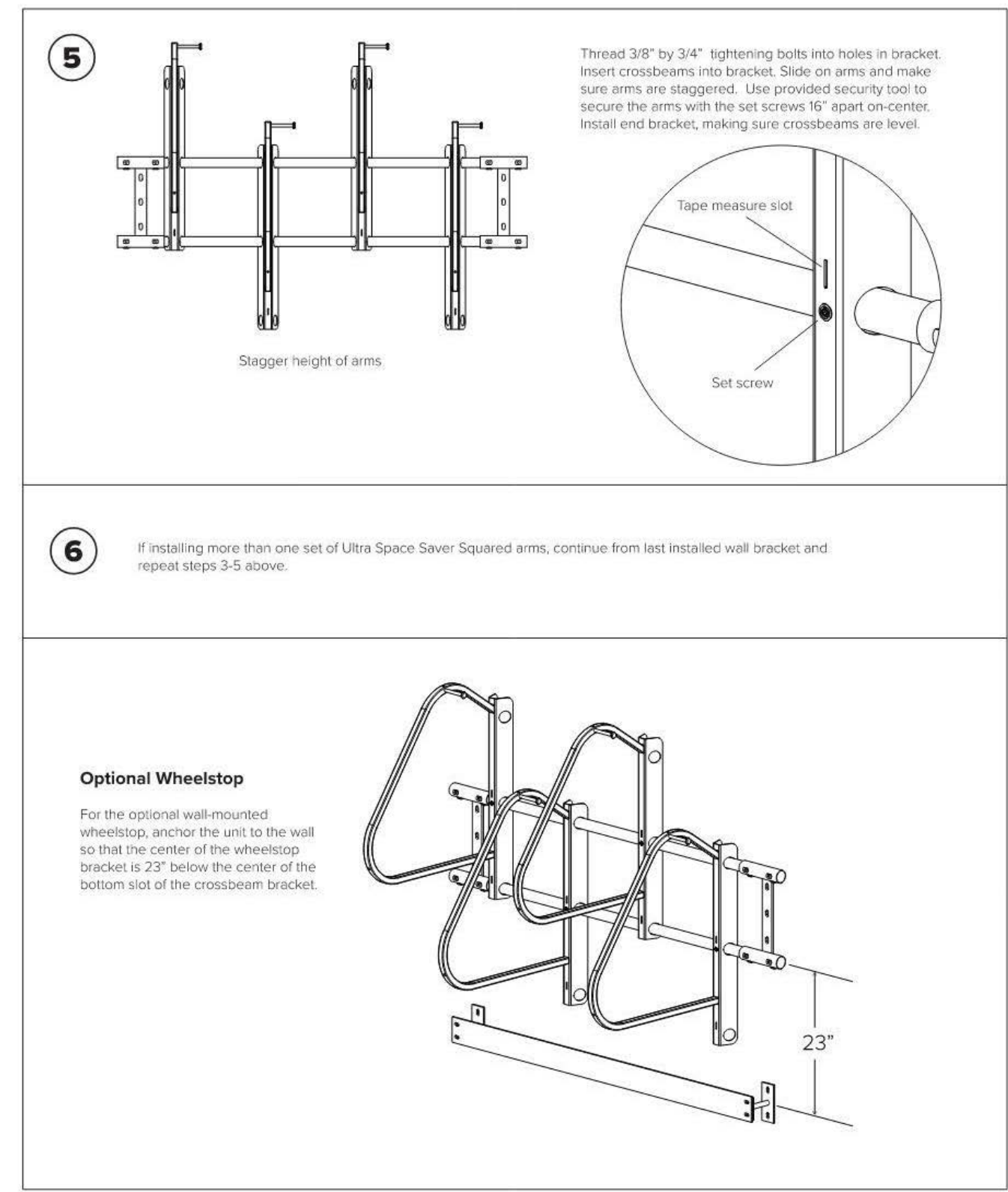
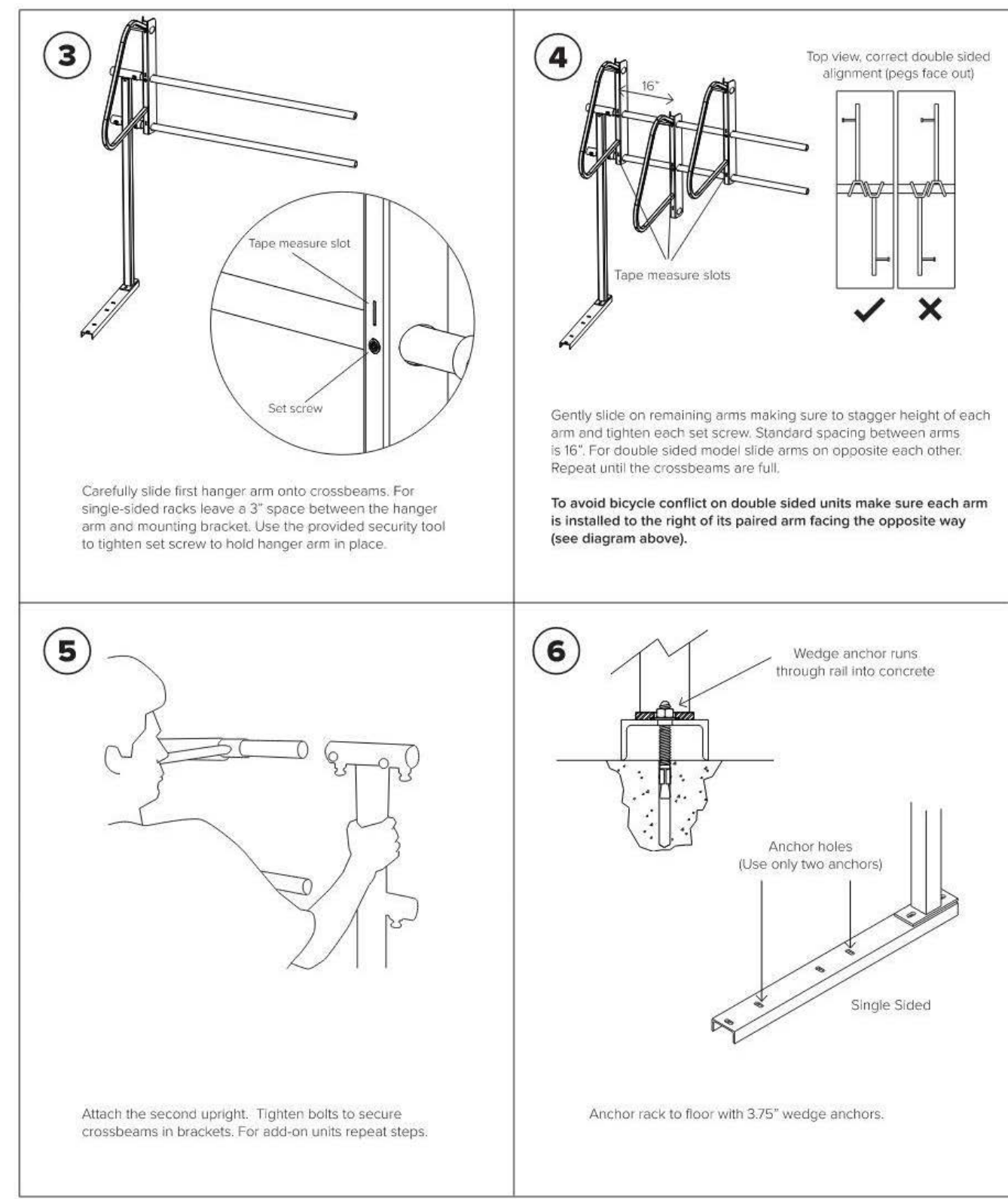
SHEET TITLE:
BUILDING SECTIONS

SHEET NUMBER:
A302

DRAWING SET TITLE:
PZA REVIEW SET



! Dero is not responsible for verifying installation surface and location. Installer assumes all liability for secure installation.



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UNCOMMON WINNETKA
 NOT FOR CONSTRUCTION

PROJECT ADDRESS:
 8217 WINNETKA AVE
 LOS ANGELES, CA

JOB NUMBER:
 2232

DATE:
 6.7.2023

SHEET TITLE:
BIKE PARKING DETAILS

SHEET NUMBER:
A990
 DRAWING SET TITLE:
PZA REVIEW SET

KEY MAP

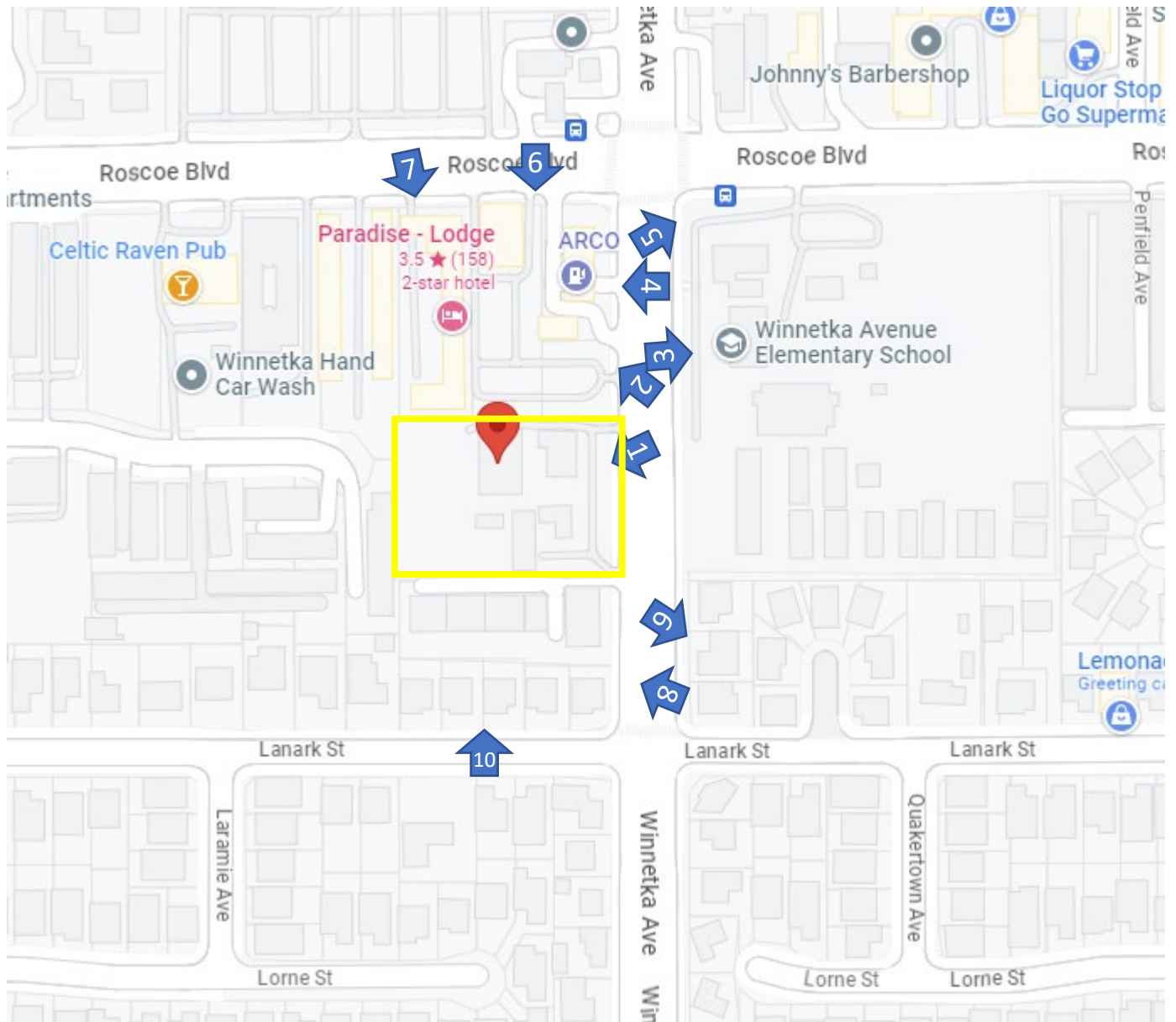


PHOTO EXHIBIT (Page 2)
8217 WINNETKA AVE



PHOTO 1 – VIEW FROM WINNETKA AVE LOOKING SOUTHWEST AT SUBJECT SITE

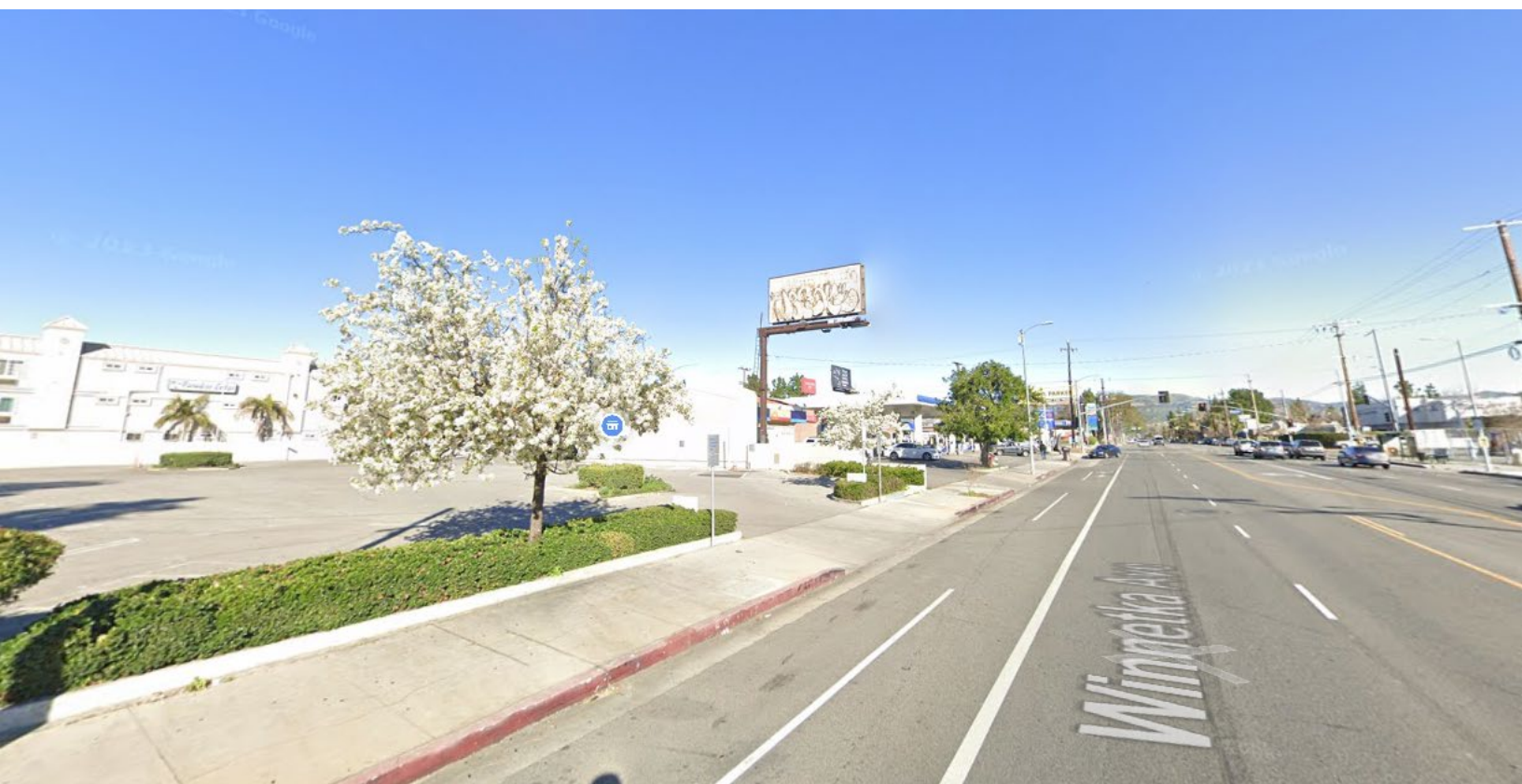


PHOTO 2 – VIEW FROM WINNETKA AVE LOOKING NORTH

PHOTO EXHIBIT (Page 3)
8217 WINNETKA AVE



PHOTO 3 – VIEW LOOKING EAST AT ADJACENT PROPERTIES



PHOTO 4 – VIEW LOOKING NORTHWEST AT ADJACENT PROPERTIES

PHOTO EXHIBIT (Page 4)
8217 WINNETKA AVE



PHOTO 5 – VIEW LOOKING EAST ACROSS WINNETKA AVE AT ADJACENT PROPERTIES



PHOTO 6 – VIEW LOOKING SOUTH FROM ROSCOE BOULEVARD AT ADJACENT PROPERTIES

PHOTO EXHIBIT (Page 5)
8217 WINNETKA AVE



PHOTO 7 – VIEW LOOKING SOUTH TOWARDS SITE FROM ROSCOE BOULEVARD



PHOTO 8 – LOOKING NORTHWEST AT ADJACENT PROPERTIES ALONG WINNETKA AVE

PHOTO EXHIBIT (Page 6)
8217 WINNETKA AVE



PHOTO 9 – VIEW LOOKING SOUTHEAST AT ADJACENT PROPERTIES ON WINNETKA AVE



PHOTO 10 – VIEW LOOKING NORTH TOWARDS SITE FROM LANARK STREET



City of Los Angeles Department of City Planning

5/2/2023 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

8217 N WINNETKA AVE

ZIP CODES

91306

RECENT ACTIVITY

None

CASE NUMBERS

CPC-2019-1742-CPU

CPC-1986-609-GPC

CPC-1962-13207

ORD-165479-SA380

ORD-136500

ORD-136499

ORD-108814

ZA-19XX-21927

ZA-19XX-18984

ZA-1979-7

ZA-15150

ENV-2019-1743-EIR

ENV-2005-8253-ND

CND-78-521-CUZ-ZV

CUZ-1979-7

Address/Legal Information

PIN Number	192B113 650
Lot/Parcel Area (Calculated)	31,858.7 (sq ft)
Thomas Brothers Grid	PAGE 530 - GRID E2
Assessor Parcel No. (APN)	2107001067
Tract	TR 22430
Map Reference	M B 771-97/98
Block	None
Lot	1
Arb (Lot Cut Reference)	None
Map Sheet	192B113

Jurisdictional Information

Community Plan Area	Canoga Park - Winnetka - Woodland Hills - West Hills
Area Planning Commission	South Valley
Neighborhood Council	Winnetka
Council District	CD 3 - Bob Blumenfield
Census Tract #	1341.03
LADBS District Office	Van Nuys

Permitting and Zoning Compliance Information

Administrative Review	None
-----------------------	------

Planning and Zoning Information

Special Notes	None
Zoning	RD2-1
Zoning Information (ZI)	ZI-2498 Local Emergency Temporary Regulations - Time Limits and Parking Relief - LAMC 16.02.1 ZI-2452 Transit Priority Area in the City of Los Angeles
General Plan Land Use	Low Medium II Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Other Historic Survey Information	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	None
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	No

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
(*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

SN: Sign District	No
AB 2334: Very Low VMT	Yes
AB 2097: Reduced Parking Areas	Yes
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium
Non-Residential Market Area	Medium
Transit Oriented Communities (TOC)	Tier 2
ED 1 Eligibility	Review Eligibility
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	Active: Winnetka Avenue Elementary
500 Ft Park Zone	No

Assessor Information

Assessor Parcel No. (APN)	2107001067
APN Area (Co. Public Works)*	0.731 (ac)
Use Code	7200 - Institutional - School (Private) - One Story
Assessed Land Val.	\$125,519
Assessed Improvement Val.	\$590,106
Last Owner Change	04/21/1980
Last Sale Amount	\$1,000,010
Tax Rate Area	16
Deed Ref No. (City Clerk)	8-173
	398236

Building 1

Year Built	1960
Building Class	DX
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	4,696.0 (sq ft)

Building 2

Year Built	1950
Building Class	D65B
Number of Units	0
Number of Bedrooms	0
Number of Bathrooms	0
Building Square Footage	2,568.0 (sq ft)

Building 3 No data for building 3

Building 4 No data for building 4

Building 5 No data for building 5

Rent Stabilization Ordinance (RSO) No [APN: 2107001067]

Additional Information

Airport Hazard	None
Coastal Zone	None
Santa Monica Mountains Zone	No
Farmland	Urban and Built-up Land
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	9.2942664
Nearest Fault (Name)	Santa Susana
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	5.00000000
Slip Geometry	Reverse
Slip Type	Poorly Constrained
Down Dip Width (km)	16.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	80.00000000
Maximum Magnitude	6.70000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	Yes
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Hubzone	Not Qualified
Jobs and Economic Development Incentive Zone (JEDI)	None
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

Housing

Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	https://housing.lacity.org
Rent Stabilization Ordinance (RSO)	No [APN: 2107001067]
Ellis Act Property	No
AB 1482: Tenant Protection Act	No
Housing Crisis Act Replacement Review	Yes
Housing Element Sites	
HE Replacement Required	N/A
SB 166 Units	12.4 Units, Very Low 12.4 Units, Low
Housing Use within Prior 5 Years	No

Public Safety

Police Information	
Bureau	Valley
Division / Station	Topanga
Reporting District	2118
Fire Information	
Bureau	Valley
Battalion	17
District / Fire Station	104

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 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

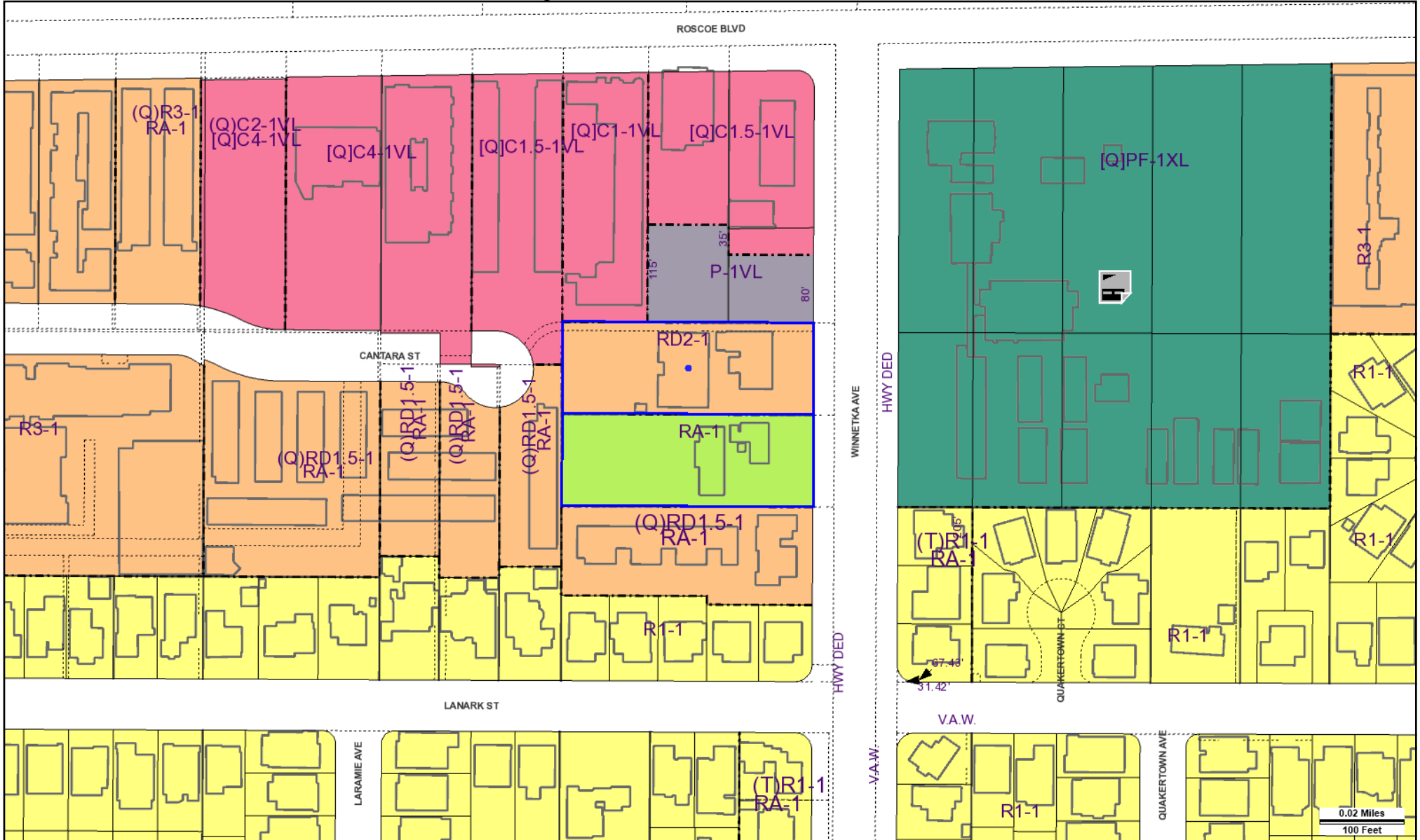
CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2019-1742-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	CPC-1986-609-GPC
Required Action(s):	GPC-GENERAL PLAN/ZONING CONSISTENCY (AB283)
Project Descriptions(s):	AB-283 PROGRAM - GENERAL PLAN/ZONE CONSISTENCY - CANOGA PARK AREA - COMMUNITY WIDE ZONE CHANGES AND COMMUNITY PLAN CHANGES TOBRING THE ZONING INTO CONSISTENCY WITH THE COMMUNITY PLAN. INCLUDES CHANGES OF HEIGHT AS NEEDED. REQUIRED BY COURT AS PART OF SETTLEMENT IN THE HILLSIDE FEDERATION LAWSUIT (BARR/FERGUSON)\
Case Number:	CPC-1962-13207
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	ZA-19XX-21927
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	ZA-19XX-18984
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	ZA-1979-7
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	ENV-2019-1743-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	ENV-2005-8253-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	AN ORDINANCE ESTABLISHING PERMANENT REGULATIONS IMPLEMENTING THE MELLO ACT IN THE COASTAL ZONE.
Case Number:	CND-78-521-CUZ-ZV
Required Action(s):	CUZ-ALL OTHER CONDITIONAL USE CASES ZV-ZONE VARIANCE
Project Descriptions(s):	Data Not Available

DATA NOT AVAILABLE

ORD-165479-SA380
ORD-136500
ORD-136499
ORD-108814
ZA-15150
CUZ-1979-7



Address: 8217 N WINNETKA AVE

APN: 2107001067

PIN #: 192B113 650

Tract: TR 22430

Block: None

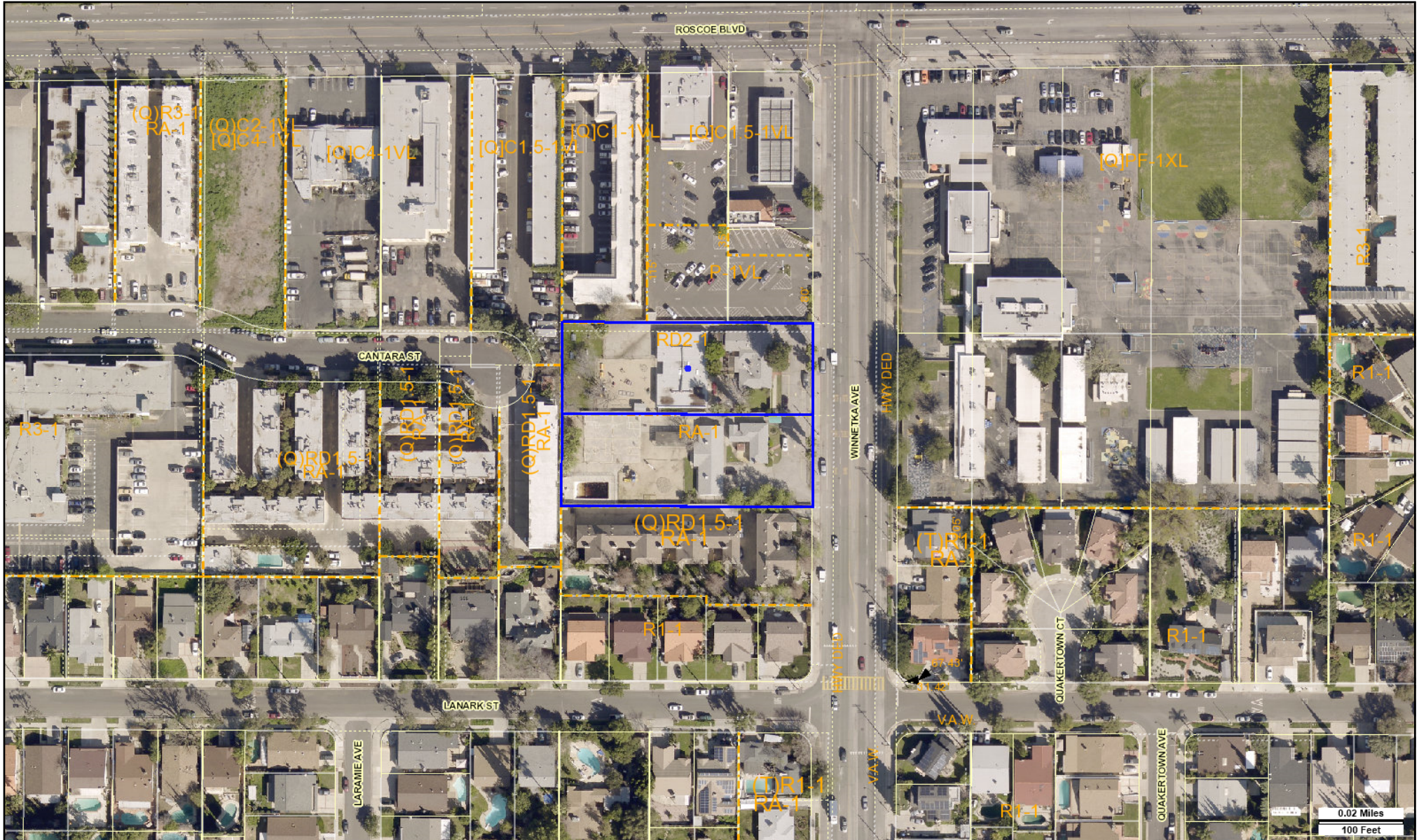
Lot: 1

Arb: None

Zoning: RD2-1

General Plan: Low Medium II Residential





0.02 Miles
100 Feet

Address: 8217 N WINNETKA AVE

APN: 2107001067

PIN #: 192B113 650

Tract: TR 22430

Block: None

Lot: 1

Arb: None

Zoning: RD2-1

General Plan: Low Medium II Residential



Olivia Joncich

From: Jesus Ventura <jesus.ventura@lacity.org>
Sent: Wednesday, March 15, 2023 9:34 AM
To: Olivia Joncich
Subject: Re: 8217 Winnetka (CM 2022-0216) - Follow up Question

Good morning Olivia,

Thank you for the well wishes. I hope all is well with you too.

Please see my comments to your questions below.

1. Would a dedication be required for the south half of the site (RA zone) or could the PL remain as is and avoid an additional 5 ft dedication? Would BOE allow for the PL to jog between the two sites even though there is a lot tie? **Due to the south lot being within an RA zone (hence more restrictive than an R3 zone), it is my understanding that the lot will remain as is and will not be subject to any dedications under section 12.37 after all. Additionally, I do not see BOE having any issues with the PL jogging between the two sites.**
2. If a dedication was NOT required in the RA zone, but the applicant wanted to proceed with the voluntary dedication, is the process any different? **No, in almost all cases any voluntary dedication will act through the same process.**
3. Do you foresee any other issues with the split zoning and the dedication process? **No, I do not foresee any issues with the split zoning or the dedication process. However, I do see an R3 investigation is under way. Hopefully the District Office can provide you with more clarity once they wrap up their investigation.**

Thank you again for reaching out. If you have any questions please do not hesitate to ask.

Have a nice day.

Jesus A Ventura
Permit Case Management Division | Civil Associate Engineer I
Bureau of Engineering | Department of Public Works
201 N. Figueroa Street, Suite 200
Los Angeles, CA 90012
Phone: O: (213) 378-1267



On Fri, Mar 10, 2023 at 11:02 AM Olivia Joncich <olivia@rpnllp.com> wrote:

Hi Jesus,

Hope you are well. Since we originally met and corresponded about this project, we have had other CM meetings with you and other BOE staff which have alerted us to the fact that 12.37 would not apply for single family zones.

For this project, the north half of the site is in the RD2-1 zone (which would require a 5 ft dedication per 12.37, as discussed in CM) and the southern half is in the RA-1 zone (to which LAMC 12.37 would not apply, per BOE's feedback in recent meetings on other single family zoned sites).

The south half of the site is the portion which currently has an Easement Deed that extends 25 ft beyond the adjoining PL, so we had previously discussed the dedication of the easement and an additional 5 feet, which would align it with the north half of the site. This is confirmed per our correspondence in earlier emails in this chain.

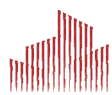
So, we would now like to confirm:

1. Would a dedication be required for the south half of the site (RA zone) or could the PL remain as is and avoid an additional 5 ft dedication? Would BOE allow for the PL to jog between the two sites even though there is a lot tie?
2. If a dedication was NOT required in the RA zone, but the applicant wanted to proceed with the voluntary dedication, is the process any different?
3. Do you foresee any other issues with the split zoning and the dedication process?

Thank you in advance for your help.

Olivia Joncich

Senior Planner



RAND | PASTER | NELSON

Direct: 213.557.2703

Cell: 818.518.4496

633 W. Fifth Street, 64th Floor, Los Angeles, CA 90071

olivia@rpnlp.com

www.rpnlp.com

Please consider the environment before printing this e-mail.



PRELIMINARY LAND USE REPORT
(PLANNING CASE REFERRAL FORM (PCRF))

The City of Los Angeles, Bureau of Engineering (BOE) / Department of City Planning (DCP)

This is a Preliminary Land Use Report to provide the applicant with a general understanding of what may be required by BOE for a City Planning Case if, after filing, it is referred to BOE; and what may otherwise be required by BOE per Los Angeles Municipal Code Section 12.37 (Highway and Collector Street Dedication) if the City Planning Case is not referred to BOE.

Part I: To be completed by Applicant

DCP Case Number (If Available): _____

Applicant: _____

Address: _____

Phone: _____

Email: _____

Owner: _____

Address: _____

Project Address: _____

APN: _____

Engineering District: _____

Project Description (attach ZIMAS Map with highlighted Parcel(s)):

Is there a Tract or Parcel Map being filed in conjunction with this:

If yes; provide Map No. _____

Has the Tract / Parcel report been prepared and submitted to DCP by BOE:

Will new building(s)/structure(s) be constructed as part of this project:

The Preliminary Land Use Report may be voluntarily filed to provide a general understanding of potential required dedication and improvements on existing streets but is not intended to provide preliminary requirements for a Subdivision (Tract or Parcel Map), Private Street Case, or Street/Alley Vacation. If a Tract/Parcel report has been prepared and submitted to DCP by BOE, please refer to the Tract/Parcel map conditions.

Part II: To be Completed by BOE Staff:

Is property within the Hillside Ordinance area (Sections 12.21A17 & 12.21

C10 of LAMC)?:

Is the property subject to Section 12.37 of the LAMC? :

Is the project in the Historic Overlay Preservation Zone? :

Does the project adjoin a State Highway?

Is the project within 100' of the intersection of the intersection of the building lines of a corner lot?

(Per Section 91.106.4.7.1 of LAMC)

Is the project within a streetscape area?

The Preliminary Land Use Report does not provide preliminary information for projects subject to the Baseline Hillside Ordinance. (Obtain a Hillside Referral Form from BOE for Hillside Ordinance project requirements.)

DEDICATIONS

Street/Alley	Classification	Ex Full R/W	Req Full R/W	Ex Adj. Half R/W	Req Adj. Half R/W	Adjacent Dedication Required	Required under 12.37	Required under a DCP Referred Planning Action

Corner	Classification	Dimensions	Required under 12.37	Required under a DCP Referred Planning Action

ADDITIONAL NOTES:

IMPROVEMENTS

Street/Alley	Classification	Ex Full Roadway	Req Full Roadway	Ex adjacent half Roadway	Required adjacent Half Roadway	Missing Improvements	Exist. Trees	Exist. CB	Potential Widening	Required under 12.37	Required under a DCP Referred Planning Action

Corner	Classification	Provide/ Upgrade Corner Ramp	Required under 12.37	Required under a DCP Referred Planning Action

Street Trees: If the recommendation for Street Widening is marked “Yes”, street tree removals may be required. Street Tree removals must be approved by the Board of Public Works. Applicants shall contact the Urban Forestry Division (UFD) of StreetsLA at (213)-847-3077 before proceeding with the Master Land Use Application. Applicants are also advised to contact Urban Forestry Division (UFD) of Streets LA for proposed driveway location impacting existing street trees.

ADDITIONAL NOTES:

Removal/Replacement of Existing Improvements: In all cases, applicants may be required to close any unused driveways; remove and replace sidewalks not compliant with ADA requirements; and install/replace public improvements such as driveway aprons and access ramps to meet ADA requirements. In cases referred to BOE by DCP, applicants may also be required to remove and replace broken, off-grade, or bad order curb, gutter, driveways, sidewalks, or alley/street pavement.

Newly Dedicated Areas: In all cases referred by DCP to BOE, applicant may be required to fill in newly dedicated areas with concrete sidewalk, and will be required to remove or obtain Revocable Permit for any encroachments. In cases not referred but subject to L.A.M.C. Section 12.37, where there is existing sidewalk, applicant will have the option to either: fill in newly dedicated areas with concrete sidewalk, obtain revocable permit for existing or new encroachments, or install/retain standard plant materials such as grass.

Other Public Improvements: Planning Cases may also have requirements for Public Improvements determined by Bureau of Street Lighting (BSL), Urban Forestry Division (UFD) of StreetsLA, and Los Angeles Department of Transportation (LADOT)

SEWERS

Does the lot have a legal connection to the sewer?

Distance from subject lot to the nearest mainline sewer?

_____ Ft.

Sewers Exist in the following Rights-of-Way	Street/R/W	Street/R/W	Street/R/W	Street/R/W
Enter street names (select from options provided above)				

Sewer easement within the project site?

Sewer facilities within easements?

ADDITIONAL NOTES:

STORM DRAINS

Are there storm drain catch basins existing in the right-of-way adjacent to the project site?

_____ (Number)

Storm Drain easement within the project site?

Storm Drain facilities within easements?

ADDITIONAL NOTES:

ADDITIONAL NOTES (cont.):

NOTE: This is a Preliminary Land Use Report to provide the applicant with a general understanding of what may be required by BOE for a City Planning Case if, after filing, it is referred to BOE; and what may otherwise be required by BOE per Los Angeles Municipal Code Section (LAMC) 12.37 (Highway and Collector Street Dedication) if the City Planning Case is not referred to BOE.

For City Planning Cases, a formal investigation and engineering report may be required, if so determined by the City Planning Department. If so, the Engineering Report will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the Engineering Report.

For cases not referred by City Planning to BOE, requirements of LAMC Section 12.37 may be applicable. To determine requirements of LAMC Section Section 12.37, a formal investigation and engineering report may be required during the Building Permit Plan Check clearance process as applicable. If so, the Highway Dedication (“R3”) letter will be provided after submittal of all documentation and payment of fees. Measurements and statements contained herein may be adjusted in the Highway Dedication (“R3”) letter. [LAMC Section 12.37 provides for minimum dedication and improvement requirements which do not preclude conditions established by City Planning actions]

Prepared by: _____

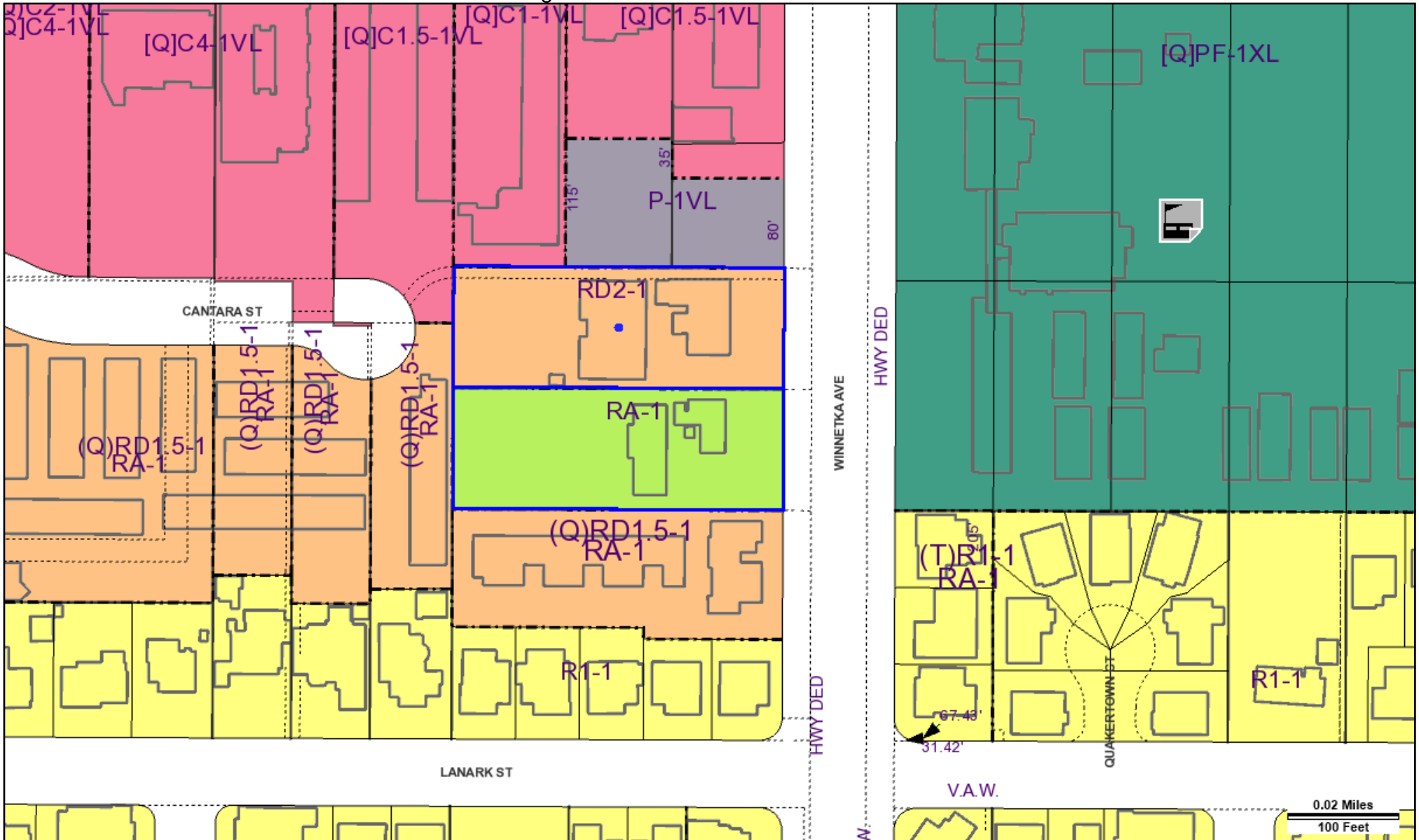
Date: _____

Reviewed by: _____

Date: _____

Reference Number: _____

Attach ZIMAS Map with highlighted parcel(s) here



Address: 8217 N WINNETKA AVE
 APN: 2107001067
 PIN #: 192B113 650

Tract: TR 22430
 Block: None
 Lot: 1
 Arb: None

Zoning: RD2-1
 General Plan: Low Medium II Residential



0.02 Miles
 100 Feet

INSTRUCTIONS



ED 1 MINISTERIAL APPROVAL PROCESS Filing Instructions

Pursuant to Executive Directive 1 (ED 1), 100 Percent Affordable Housing Projects and Shelters are eligible for the *ED 1 Ministerial Approval Process*. To learn more about the *ED 1 Ministerial Approval Process*, refer to the [ED 1 Implementation Guidelines](#)¹.

These instructions are provided as a guide to completing the City Planning Application Form ([CP-7771.1](#)) and preparing necessary application materials for ED 1 projects. Be advised that additional materials may be required for specific entitlement applications. Further, these instructions do not preclude the project planner from requesting additional materials following the initial submission. Applications missing required information may be rejected or placed on hold. Applications filed with unclear or inconsistent information will result in delays in entitlement processing.

ED 1 Eligibility

A project meeting all the following criteria is eligible for the *ED 1 Ministerial Approval Process*:

- The project proposes five or more new units.
- All units are affordable either at 80% of Area Median Income or lower (HUD rent levels), or at mixed income with up to 20% of units at 120% AMI (HCD rent levels) and the balance at 80% AMI or lower (HUD rent levels).²
- The project does not require a legislative action (e.g., General Plan Amendment, Zone Change, Height District Change)
- The project does not seek a deviation from development standards (e.g., adjustment, variance, specific plan exception, waiver of street dedications and improvements) outside of an affordable housing incentive program.
- The project does not require consideration of a Coastal Development Permit.
- The project is not subject to the Subdivision Map Act.

Filing Requirements

Details regarding specific filing requirements are organized in this document as follows:

[I. City Planning Forms](#)

[II. Determinations from Other Agencies](#)

[III Supplemental Filing Requirements](#)

¹ https://planning.lacity.org/odocument/d595b164-5df4-4d37-8b88-1f74d5b88766/ED_1_Implementation_Guidelines.pdf

² Rent Schedules with the applicable rents by unit size and income category are maintained by LAHD and are updated annually. Rent schedules can be seen at <https://housing.lacity.org/partners/land-use-rent-income-schedules>.

I. City Planning Forms

Application Form & Specialized Instructions

City Planning Application Form

- This form ([CP-7771.1](#)) is required for all ED 1 Ministerial Approval Process projects. All fields shall be filled out as usual; however, below are guidance and some examples for how to fill out each respective section under “Action(s) Requested”:

LAMC Section from Which Relief is Requested

This section is N/A to ED 1 Projects seeking affordable housing incentive programs.

Authorizing Code Section

Identify the LAMC or California Government Code Section that authorizes the request. For instance, an On-Menu Density Bonus request would be authorized pursuant to Government Code Section 65915 (State Density Bonus Program) and LAMC Section 12.22 A.25(g)(2).

Action Requested Narrative

Identify the type of entitlement requested (e.g., On-Menu Density Bonus, TOC Additional Incentives, Conditional Use, Project Permit Compliance, Design Review). Additionally, describe the details of the request by identifying the LAMC requirement and/or deviation requested. Examples are provided below:

A Density Bonus Compliance Review to allow 35% density bonus with the following on-menu incentives: (1) a 3:1 FAR over the entire project site, in lieu of the otherwise maximum permitted of 1.5:1 FAR; (2) averaging of FAR, identity, open space, and parking within R3 and R4 Zones; (3) a reduced northerly side yard setback of 4 feet in lieu of the otherwise required 6 feet.

Project Team Information

- Provide names and contact information for all members of the Project Team (Property Owner, Applicant, Representative). Note that an Applicant must have a vested interest in the project. For instance, if you have been hired to file the case on behalf of a client, you would be the Agent / Representative, and not the Applicant. Please indicate the primary contact for the project.

As of June 8, 2022, the primary contact for the project is required to have an Angeleno Account and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section [49.7.37\(A\)\(6\)](#). An email address and phone number shall be required on the City Planning Application Form, and the email address provided shall match the email address used to create the Angeleno Account.

Specialized Requirements Form

- This form is required if the request includes an entitlement for which there is a Specialized Requirement Form available. Review and complete the form, if applicable, and include it with the application. Note that the Noticing Requirements outlined in the ED 1 Ministerial Approval Process Filing Instructions form shall **supersede** the those listed on any Specialized Requirements forms. Do not modify these forms. [Forms](#) are listed alphabetically on the City Planning website. For assistance regarding which forms are applicable to the request, consult Development Services Center (DSC) Staff.

Referral Forms

Depending on the location and type of project, the following documents/forms are required prior to filing the City Planning Application with the DSC.

N/A Geographic Project Planning Referral Form

- This form ([CP-7812](#)) is required if the project is located within a Specific Plan/Overlay and must be signed by the planner assigned to the respective Specific Plan/Overlay. For assistance regarding planner assignment, consult DSC Staff.

N/A Redevelopment Project Area – Administrative Review and Referral Form

- This form ([CP-3541](#) through [CP-3577](#)) is required if the project is located within a Redevelopment Project Area (RPA), as identified under the “Planning and Zoning” tab in ZIMAS. It identifies the appropriate review process for projects within an RPA and must be signed by a planner from the RPA Unit. For assistance, contact planning.redevelopment@lacity.org.

N/A HPOZ Authorization Form

- This ([CP-3523](#)) form is required if the zoning identifies the site as being in a Historic Preservation Overlay Zone (HPOZ) (e.g., R1-1-HPOZ), and must be signed by the planner assigned to the HPOZ. For assistance regarding planner assignment, consult DSC Staff.

Affordable Housing Referral Form

- This form ([CP-4043](#)) is required if the request includes an affordable housing incentive under the Density Bonus Program, SB 35, AB 2162, Measure JJJ, or the Greater Downtown Housing Incentive Program. It must be completed by the Applicant and signed by the Affordable Housing Services Section (AHSS) Staff. For assistance, contact planning.priorityhousing@lacity.org.

N/A Transit Oriented Communities (TOC) Referral Form

- This form ([CP-4050](#)) is required if the request includes an affordable housing incentive under the Transit Oriented Communities Program. It must be completed by the Applicant and signed by the AHSS Staff. For assistance, contact planning.priorityhousing@lacity.org.

(Optional) Housing Crisis Act (HCA) Vesting Preliminary Application

- This form ([CP-4062](#)) is intended to initiate optional vested rights for a housing project, pursuant to the Housing Crisis Act of 2019 (HCA). The Applicant shall submit the HCA Vesting Preliminary Application through the Department's Online Application System ([OAS](#)) at <http://planning.lacity.org/oas>. Once the preliminary application is deemed complete, Planning staff shall provide a signed HCA Vesting Preliminary Application, to be included with the case filing. The HCA Vesting Preliminary Application is only valid when it is deemed complete prior to filing the City Planning Application Form for the project. For assistance, contact planning.HCA@lacity.org.

N/A HCA No Net Loss Declaration

- This form may be required if the project proposes a Housing Development Project subject to the HCA (e.g., any project that results in one or more residential units or residential lots). To determine whether the subject property requires **HCA housing replacement review**, check "Housing Crisis Act Replacement Review" under the Housing tab on ZIMAS. If "Yes", a signed No Net Loss Declaration ([CP-4069](#)) with supporting documentation *may* be submitted in lieu of obtaining a Replacement Unit Determination (RUD) letter from LAHD if the project meets the criteria to qualify for the No Net Loss Declaration. For more information, refer to the [Housing Development Project Applicability Matrix](#).

II. Determinations from Other Agencies

The following documents require contact forms or information to be obtained from City Agencies other than City Planning.

IP Preliminary Zoning Assessment Form

- This form ([CP-4064](#)) is required if the proposed project creates two or more residential units (including Accessory Dwelling Units). The purpose of this form is to facilitate an informational Zoning Plan Check by LADBS. **Section VI** shall be completed by LADBS staff, along with signed project plans, at the conclusion of the informational Zoning Plan Check. For more information, refer to the [Housing Development Project Applicability Matrix](#).

Bureau of Engineering (BOE) Planning Case Referral Form (PCRF)

- This document will establish preliminary right-of-way requirements for projects for which a City Planning Application is required other than for a subdivision. The Planning Case Referral Form (PCRF) is required for the following types of projects:
 - New construction or floor area additions to buildings used for commercial and/or industrial uses in any zone, including mixed-use project with a commercial or industrial component and associated building/surfaces parking facilities in any zone.

(BOE confirmed that projects in RA zones are not subject to LAMC 12.37 or dedications; Dedication only applies on RD2 zone)

- New construction of, alteration, and/or addition resulting in additional dwelling units for multifamily residential buildings (resulting in two or more dwelling units) in any zone.
- Public Benefit Alternative Compliance, Off-Menu Density Bonus, Conditional Use per 12.24 U.26, request if the site is located in a Specific Plan or Overlay Zone.

The PCRf is not required for projects located in the Hillside Area and/or Baseline Hillside Ordinance (see Hillside Referral Form below). For all other projects, PCRfs may be voluntarily filed to inform of potential required dedication and improvements.

To obtain a PCRf, visit the [BOE Online Portal](https://engpermits.lacity.org) at <https://engpermits.lacity.org>.

N/A Hillside Referral Form

- This form must be obtained from BOE if the project site is located in a “Hillside Area”, as identified under the “Planning and Zoning” tab in ZIMAS.

SB 8 Replacement Unit Determination (RUD) Letter

- This letter may be required if the project proposes a Housing Development Project subject to the HCA (e.g., any project that results in one or more residential units or residential lots). To determine whether the subject property requires **HCA housing replacement review**, check “Housing Crisis Act Replacement Review” under the Housing tab on ZIMAS. If “Yes”, an RUD letter must be obtained from LAHD, unless the project qualifies for a No Net Less Declaration ([CP-4069](#)). The RUD will determine whether any affordable replacement units are required and if any applicable occupant protections apply. For assistance, contact lahd-landuse@lacity.org. For more information, refer to the [Housing Development Project Applicability Matrix](#).

N/A Demolition Permits for Residential Buildings

- If the site has been developed with existing residential buildings within five years prior to submitting an application to the City, provide copies of any demolition permits for any residential buildings removed from the site. These documents may be obtained from LADBS at www.ladbs.org.

Low Impact Development (LID) Referral Form

- This form must be obtained from the Bureau of Sanitation for all projects which add, create, or replace 500 square feet of impervious area. Be advised that the project design may require alterations in order to incorporate storm water mitigation measures and satisfy LID requirements per the City’s LID Ordinance. To obtain a LID Planning Case Referral Form, submit the request to: <https://lid.lacitysan.org/>. For general LID information, visit lacitysan.org/LID. General questions may be directed to the LID Public Counter general email at san.swplancheck@lacity.org.

Covenants and Other Recorded Items

- If applicable, copies of any covenants, easements or affidavits recorded against the property must be submitted and can be obtained from the County Assessor Office or from a Title Report.

III. Supplemental Filing Requirements

Photographs

Color Photographs

- Provide color photographs taken recently and depicting current conditions of the entire project site and surrounding area. Photos of the project site should show existing structures, trees, shrubs, walls/fences, signage, streets, curb and gutters, and parking areas, as applicable. Photos of the surrounding area should clearly represent the context of the proposed project to the neighborhood. Photographs should be printed, no more than two to a page, captioned as to the content, and keyed to number on an accompanying Index Map (see below). An aerial view is also recommended.

Index Map

- Provide a map (e.g., Assessor's Map, ZIMAS Map, District Map) with arrows and numbers keyed to the photographs indicating from where each photo was taken and toward which direction.

Notification Materials

- ED 1 projects involve decisions on entitlement requests that require mailing of an Administrative Compliance Letter. Provide labels for Abutting Property Owners, Neighborhood Council, Council District, Project Team (Owner, Applicant, Representative), and Interested Parties, if available. If the project involves a Density Bonus or TOC entitlement, labels for Abutting Occupants shall also be provided. All notification materials for ED 1 projects shall be required at the time of case filing. Refer to the Mailing Procedures Instructions ([CP-2074](#)) for applicable requirements.

ZIMAS Parcel Profile Report & Map

Provide one copy each:

- ZIMAS Parcel Profile Report selecting all contiguously owned parcels
- ZIMAS Map aerial view selecting all contiguously owned parcels³

³ Exceptions include, but are not limited to, boundary specific requests such as a zone change, zone boundary adjustment, subdivisions.

Plans Required

Include only the information necessary to depict the project and its immediate settings. Do not include mechanical drawings unless specifically requested by Planning Staff. The Applicant is advised to check the Specialized Requirements for the subject request(s) prior to preparing these plans as some entitlements may require specific details and/or additional copies.

Scale and Orientation

- All plans shall be drawn to scale and legible. Plans shall indicate and display a graphic scale. North shall be shown and oriented to the top of the page.

Size and Number of Copies

- All plans must be collated into sets and folded to 8 ½" x 11".
 - Full Size.** Provide one 24" x 36" full size set of plans.
 - Reduced Size.** Provide two sets of 11" x 17" reduced size plans.

Plot/Site Plan

- A Plot/Site Plan is required for all cases). Refer to the Plot Plan Instructions ([CP-7752](#)) for applicable requirements.

Floor Plans

- A Floor Plan is required for all cases. Refer to the Floor Plan Instructions ([CP-7751](#)) for applicable requirements.

Elevations

- Elevations for all sides of buildings are required when the application involves new construction, additional height, or new design elements. Refer to the Elevation Instructions ([CP-7817](#)) for applicable requirements.

Sections

- Sections are required for applications with multiple levels or subterranean floors (e.g., basements, subterranean parking).

Landscape and Irrigation Plans

- Landscape and irrigation plans are required for any discretionary application which involves new construction and/or a change of use which is not limited to interior tenant improvements. Refer to the Landscape Plan Instructions ([CP-6730](#)) for applicable requirements. If the project is located

within a Specific Plan or Overlay Zone, check with the assigned planner prior to preparing these plans as some Specific Plans have more stringent landscaping requirements.

Open Space Plan

- An Open Space Plan is required for projects proposing six or more dwelling units. Refer to the Landscape Plan Instructions ([CP-6730](#)) for applicable requirements.

Electronic Copy of Application Materials

Provide an electronic copy of the application materials on a USB flash drive. The following items must be saved as individual PDFs and labeled accordingly (e.g., “Project Plans.pdf”, “Photos.pdf”, “”). No individual file should exceed 70 MB in size.

- City Planning Application Form
- ZIMAS Map highlighting all contiguously owned properties
- Index Map and Color Photographs (saved as a single PDF)
- Project Plans (saved as a single PDF)
- Additional application specific materials

CASE NO. PAR-2023-1802-VHCA-ED1
VESTING HOUSING CRISIS ACT PRELIMINARY APPLICATION
SEE EXHIBIT F

CASE NO. PAR-2023-924-AHRF-ED1
AFFORDABLE HOUSING REFERRAL FORM
SEE EXHIBIT E

Applicant Copy
 Office: Downtown
 Application Invoice No: 89963

City of Los Angeles
 Department of City Planning



6800189963



City Planning Request

NOTICE: The staff of the Planning Department will analyze your request and accord the same full and impartial consideration to your application, regardless of whether or not you obtain the services of anyone to represent you.

This filing fee is required by Chapter 1, Article 9, L.A.M.C.

If you have questions about this invoice, please contact the planner assigned to this case. To identify the assigned planner, please the assigned planner, please visit <https://planning.lacity.org/pdiscaseinfo/> and enter the Case Number.

Invoice is valid for 5 days, payment must be received by 08/09/2023. For appeal cases, your appeal is not valid unless the payment is received prior to 4:30PM on the last day of the appeal period.

Applicant: (BEDROCK PROPERTIES GROUP, LLC)
Representative: DAVE RAND AND OLIVIA JONCICH (RAND PASTER AND NELSON LLP)
Project Address: 8217 N WINNETKA AVE, 91306

NOTES: Not ED1 eligible; Conversion from the prior case number ADM-2023-4274-DB-VHCA-ED1 to CPC-2023-4274-DB-PHP-VHCA

CPC-2023-4274-DB-PHP-VHCA			
Item	Fee	%	Charged Fee
Application for Density Bonus including a request for an Incentive not included in the Menu of Incentives	\$24,349.00	100 %	\$24,349.00
Case Total			\$24,349.00
ENV-2023-5358-EAF			
Item	Fee	%	Charged Fee
EAF-Initial Study to ND/MND	\$6,911.00	100 %	\$6,911.00
Publication Fee for ND/MND	\$1,700.00	100 %	\$1,700.00
Case Total			\$8,611.00
* Fees Subject to Surcharges			\$31,260.00
Fees Not Subject to Surcharges			\$1,700.00
Plan & Land Use Fees Total			\$0.00
Expediting Fee			\$0.00
Development Services Center Surcharge (3%)			\$937.80
City Planning Systems Development Surcharge (6%)			\$1,875.60
Operating Surcharge (7%)			\$2,188.20
General Plan Maintenance Surcharge (7%)			\$2,188.20
CREDIT INFORMATION			
INVOICE 88998 -- ADM-2023-4274-DB-VHCA-ED1			
Item	Fee	%	Charged Fee
Administrative Review - Major	\$(3,978.00)	100 %	\$(3,978.00)
Case Total			\$(3,978.00)
Development Services Center Surcharge (3%)			\$(119.34)
City Planning Systems Development Surcharge (6%)			\$(238.68)
Operating Surcharge (7%)			\$(278.46)
General Plan Maintenance Surcharge (7%)			\$(278.46)

* Fees Subject to Surcharges	\$27,282.00
Fees Not Subject to Surcharges	\$1,700.00
Plan & Land Use Fees Total	\$0.00
Expediting Fee	\$0.00
Development Services Center Surcharge (3%)	\$818.46
City Planning Systems Dev. Surcharge (6%)	\$1,636.92
Operating Surcharge (7%)	\$1,909.74
General Plan Maintenance Surcharge (7%)	\$1,909.74
Grand Total	\$40,149.80
Total to be Credited	\$(4,892.94)
Total Overpayment Amount	\$0.00
Total to be Paid (amount must equal sum of all checks)	\$35,256.86

Council District: 3
Plan Area: Canoga Park - Winnetka - Woodland Hills - West Hills
Processed by NOAH MCCOY on 8/4/2023

Signature:  _____