



633 West Fifth Street
64th Floor
Los Angeles, CA 90071
213.557.7222
www.rpnllp.com

Dave Rand
213.557.7224
Dave@rpnllp.com

August 1, 2023

VIA ELECTRONIC SUBMISSION

Los Angeles City Council
201 N. Spring Street, 4th Floor
Los Angeles, CA 90012

**Re: Appeal Pursuant to Government Code Section 65943(c)
Case No. ADM-2023-3809-DB-VHCA-ED1 / 5501, 5511 N. Ethel Avenue**

To the Los Angeles City Council:

Our firm represents 5511 Ethel LLC and Bedrock Properties Group, LLC, the property owner and applicant, respectively, (collectively referred to as the “Applicant”), of the proposed 200-unit 100 percent affordable housing development located at 5501 and 5511 N. Ethel Avenue (the “Project”) in the Sherman Oaks community of the City of Los Angeles (“City”). The Project seeks to use the City’s streamlined ministerial approval process for 100 percent affordable projects granted by the Mayor’s Executive Directive No. 1 (“ED 1”), originally issued on December 16, 2022. Accordingly, pursuant to Government Code Section 65941.1 and ED 1’s implementing guidelines published by the City (“ED 1 Guidelines”), the Applicant submitted a Housing Crisis Act (“HCA”) preliminary application (“HCA Preliminary Application”) for the Project on March 23, 2023, thereby vesting the Project against subsequent changes in City ordinances, policies, and standards, subject to a timely filing of the Project’s application materials as required by ED 1. On June 6, 2023, the Applicant timely filed these application materials for the Project with the Department of City Planning (“DCP”) and the Project was assigned case number ADM-2023-3809-DB-VHCA-ED1 (“Case Filing”).¹ On June 12, 2023, the Mayor issued a revised version of ED 1 (“Revised ED 1”) that no longer permitted 100 percent affordable projects proposed to be located on single-family zoned properties with General Plan land use designations that permit multifamily development to be eligible for streamlined ministerial processing.

On June 22, 2023, DCP issued a letter to the Applicant and this firm titled “Status of Project Review: Application Incomplete and Case Processing on Hold,” which listed two items that were required to be provided or revised to proceed with the processing of the case (attached as Exhibit A). On July 6, 2023, DCP issued a second letter to the Applicant and this firm that was not titled, but included language stating: “The proposed project located at 5501-5511 N. Ethel Avenue is in the R1-1 zone and is not eligible for ED 1 processing”. The July 6, 2023 letter is herein referred to as the “Notice of

¹ The case number ADM-2023-3809-DB-VHCA-ED1 includes the following suffixes as defined by DCP’s website: “DB” meaning Density Bonus, “VHCA” meaning Vesting Housing Crisis Act, and “ED1” meaning Executive Directive 1.

Ineligibility” (attached as Exhibit B). The Notice of Ineligibility states that other entitlement options may be available to the Applicant to pursue the Project, but does not provide specific options or directions on how to proceed with processing and clearly states that the Project may no longer use ED 1. Curiously, the Notice of Ineligibility also makes no reference to the Applicant’s previously filed HCA Preliminary Application and provides no explanation as to why the Project is not vested under the City’s regulations in place at that time – including the original ED1 which unquestionably applied to single family zoned properties with General Plan/Community Plan land use designations that permit multi family development such as the Site.

Based on the content of the Notice of Ineligibility and the discontinuation of case processing efforts by DCP, the City has effectively denied this 100% affordable housing Project’s ministerial Case Filing. However, as a matter of State law the HCA Preliminary Application filed for the Project grants vesting protections that require the City’s continued ED 1 processing of the Case Filing, as the Project became vested prior to the issuance of the Revised ED 1. As such, this appeal is filed pursuant to Government Code Section 65943(c) to request that the City rescind the Notice of Ineligibility, acknowledge that the Project has State law vested rights to utilize ED 1 based on the filing of the HCA Preliminary Application, and reinstate processing of the Project’s Case Filing under ED 1, consistent with the express provisions and intent of the HCA and the Housing Accountability Act (“HAA”).

I. ED 1 AND PROJECT BACKGROUND

A. Overview of ED 1’s Provisions.

On December 12, 2022, pursuant to Los Angeles Administrative Code Section 8.29, the City’s Mayor declared the existence of a local emergency in the City due to the City’s ongoing homelessness crisis (“Emergency Declaration”).² Shortly thereafter, on December 16, 2022, the Mayor issued ED 1 – a formal Executive Order – which authorized the expedited ministerial issuance of all necessary City approvals for the construction of temporary shelters and 100 percent affordable housing projects meeting certain criteria. Specifically, ED 1 established the following relevant provisions:

- Applications for 100 percent affordable housing projects or shelters are deemed exempt from discretionary review processes otherwise required by the Los Angeles Municipal Code (“LAMC”), as long as such plans do not require any zoning change, variance, or General Plan amendment.
- All City departments are directed to process all plans for such 100 percent affordable housing projects or shelters using the streamlined ministerial review process currently used for projects eligible under Government Code section 65913.4 (i.e., the ministerial review process created by Senate Bill 35).
- An application for the development of a 100 percent affordable housing project or shelter may use the density permitted for that site either by the applicable zoning or the General

² Los Angeles Administrative Code Section 8.29 authorizes the Mayor at times of emergencies to “promulgate, issue and enforce rules, regulations, orders and directives which the [Mayor] considers necessary for the protection of life and property.” Such rules, regulations, orders and directives shall take effect immediately upon their issuance, and copies thereof shall be filed in the Office of the City Clerk.

Plan Land Use Designation, consistent with state law. In addition, a project may utilize the State Density Bonus and LAMC bonuses, incentives, waivers and concessions if such are in compliance with the applicable requirements.

On February 9, 2023, the City’s Planning, Building and Safety, and Housing Departments promulgated the ED 1 Guidelines, which provide guidance for applicants seeking to file an application for projects that are eligible for ED 1’s ministerial approval process. Specifically, the ED 1 Guidelines established the following relevant guidance:

- A “100 percent affordable housing project” is defined as a housing project with five or more units, and with all units affordable either at 80 percent of Area Median Income (“AMI”) or lower under U.S. Department of Housing and Urban Development (“HUD”) rent levels, or at mixed income with up to 20 percent of units at 120 percent AMI (California Department of Housing and Community Development [“HCD”] rent levels) and the balance at 80 percent AMI or lower (HUD rent levels). (ED 1 Guidelines p. 2.)
- Projects requiring a legislative action (e.g., General Plan Amendment, Zone Change, Height District Change), seeking a deviation from development standards (e.g., adjustment, variance, specific plan exception, waiver of dedication/Improvement), or that require consideration of a Coastal Development Permit or are subject to the Subdivision Map Act are ineligible for ED 1’s ministerial approval process. (ED 1 Guidelines p. 2.)
- ED 1 projects ***shall utilize*** the maximum allowable base density under the zoning ordinance, specific plan or zoning overlay, or General Plan land use designation. (ED 1 Guidelines p. 10, emphasis added.)
- Through the ED 1 Ministerial Approval Process, City Planning will review only the objective development standards of the Zoning Code and of any applicable Specific Plans, Redevelopment Plan, Historic Preservation Overlay Zone, Community Plan Implementation Overlay or other Zoning Overlay areas. Any requested State Density Bonus and LAMC bonuses, incentives, waivers and concessions that are allowable through the incentive programs may be used to achieve compliance with applicable objective zoning standards. (ED 1 Guidelines p. 4.)
- **An ED 1 project may qualify for vesting of City ordinances, policies, and standards through either the submittal of plans sufficient for a complete plan check to LADBS, consistent with LAMC §12.26-A.3 or the submittal of a complete HCA Vesting Preliminary Application prior to case filing.**³ (ED 1 Guidelines p. 11.) (Emphasis added).

³ The ED 1 Guidelines provide the following additional direction to project applicants regarding HCA vesting protections: “***Most housing projects qualify to submit an optional HCA Vesting Preliminary Application, which ‘locks in’ local planning and zoning rules at the time the complete application is submitted.*** To initiate a request for HCA vesting rights, submit a Housing Crisis Act Vesting Preliminary Application (CP-4062) Form and the required materials through City Planning’s Online Application Portal. Email Planning.HCA@lacity.org or visit City Planning’s HCA implementation page (<https://planning.lacity.org/development-services/housing-crisis-act>) for more information.” (ED 1 Guidelines p. 14, emphasis added.)

- Projects eligible for the ED 1 Ministerial Approval Process shall be exempt from California Environmental Quality Act (CEQA) as a ministerial project and from Site Plan Review procedures, pursuant to LAMC §16.05 (or Project Review, pursuant to LAMC §13 B.2.4, as the Site Plan Review process will be referred to after the July 2023 operative date of Chapter 1A of the new Zoning Code). In addition, no public hearings will be required, and the Administrative Compliance Letter will not be subject to appeals. (ED 1 Guidelines p. 4.)
- Pre-application referrals within the [Planning] department shall be reviewed concurrently for ED 1 projects, provided that the request for the referrals along with the applicable materials are submitted through the City Planning's Online Application System (OAS) (<https://plncts.lacity.org/oas>). City Planning ***affordable housing referral forms***, Redevelopment Project referral forms, Project Planning referral forms, Historic Preservation Overlay Zone referral forms, and ***Housing Crisis Act Vesting Preliminary Applications*** shall be assigned to staff for review within two (2) business days of receipt of all required documents and payment of fees (when applicable). Within ten (10) business days of receiving a complete set of information, staff will either issue the applicable referrals or provide the applicant with all information required in order to issue the referrals. (ED 1 Guidelines p. 3, emphasis added.)

B. City's Revision of ED 1 and Determination of Ineligibility for Processing Under ED 1

On June 12, 2023, the Mayor issued the Revised ED 1, which altered the originally issued ED 1, in relevant part, as follows (new language is shown in underline):

- Applications for 100% affordable housing projects, or for Shelter as defined in Section 12.03 of the Los Angeles Municipal Code (LAMC) (hereinafter referred to as Shelter), shall be, and hereby are deemed exempt from discretionary review processes otherwise required by either the zoning provisions of Chapter 1 of the LAMC or other Project Review including Site Plan Review as described in LAMC Section 16.05 and LAMC Section 13B.2.4, as long as such plans do not require any zoning change, variance, or General Plan amendment, and in no instance shall the project be located in a single family or more restrictive zone. All City departments are directed to process all plans for such 100 percent affordable housing projects or Shelter using the streamlined ministerial review process currently used for projects eligible under Government Code section 65913.4, State Density Bonus law.

The Revised ED 1 was not accompanied by any explanation by the City of why these changes were being made, nor were the ED 1 Guidelines revised to reflect the changes. Moreover, the Revised ED 1 does not contain any new or revised language addressing vested rights.

C. Project Application Using ED 1 and Density Bonus

The Project involves the construction, use, and maintenance of a new seven-story residential building with 200 affordable multi-family apartment units with associated parking, open space and uses ancillary to the residential use. In conformance with ED 1's affordability requirements, of the 200 units, 40 units will be reserved for Moderate Income households, 158 units will be reserved for Low Income households, one unit will be reserved for Very Low Income households, and one unit will be unrestricted for a manager. The Project site is located in the Van Nuys – North Sherman Oaks Community Plan

(“Community Plan”) area and is comprised of one legal lot with a total area of approximately 41,810 square feet (per survey). The Community Plan designates the Project site for Low Residential land uses and the Project site is zoned R1-1 (One-Family Zone, Height District 1). According to the Community Plan’s General Plan Land Use Map, the Low Residential land use designation corresponds to the RE9, RS, R1, RU, RD6, and RD5 zones, which accommodate a range of single and multi family residential densities ranging from one unit per lot to one unit per 5,000 square feet of lot area.

As permitted by ED 1, the Project includes a request pursuant to State density bonus law (“DBL”) codified at Government Code Section 65915 (as amended by Assembly Bill [“AB”] 1763, AB 2334, and AB 2345) and LAMC Section 12.22.A.25 for a Ministerial Density Bonus Compliance Review to permit unlimited density for a 100 percent affordable project with up to four development incentives/concessions and waivers. Consistent with DBL as amended by AB 2334 and the ED 1 Guidelines (p. 10), the Project may utilize the Project site’s “maximum allowable residential density” to establish a base density calculation. Accordingly, pursuant to the Project site’s Low Residential land use designation, the Project may utilize RD5 multi-family zoning density to establish a base density of 8.362 units, which rounds up to 9 units. Further pursuant to DBL as amended by AB 1763 and AB 2334 and the ED 1 Guidelines (pp. 4, 10, and 11), a 100 percent affordable housing development project located within one half mile of a major transit stop or located within a Very Low Vehicle Mile Travel Area (“Very Low VMT Area”) may achieve unlimited density, as well as four development incentives/concessions and waivers. In addition, pursuant to DBL as amended by AB 2345 and the ED 1 Guidelines (pp. 10-11), as well as AB 2097, no minimum parking requirements shall apply to a 100 percent affordable housing development project located within one-half mile of a major transit stop. The Site is located within one-half mile of a major transit stop and is in a designated Very Low VMT Area. Accordingly, the Applicant proposes to utilize these DBL and State law provisions, alongside ED 1’s streamlined ministerial review process, to authorize the Project’s proposed density, height, floor area, reduced parking and other development characteristics.

D. Applicant Consultation with City and Project Submittals in Accordance with ED 1 and the HCA

Out of an abundance of caution and to confirm that the Project’s proposed entitlement strategy would be eligible for ED 1 processing, this firm and the Applicant communicated extensively with City and DCP staff regarding the applicability of ED 1 and DBL to the Project. In the course of these communications, City and DCP staff repeatedly and consistently confirmed that these requests would be accepted for ED 1 processing. After receiving these confirmations, the Applicant made a substantial investment in the Project site and proceeded with various submittals to seek approval of the Project. However, following the Mayor’s issuance of the Revised ED 1, the City abruptly informed the Applicant that the Project was no longer eligible for ED 1 processing, notwithstanding its clear State law vested rights pursuant to the HCA.

The following is a timeline of the pertinent dates:

- February 14, 2023: The Applicant completed a Case Management meeting with DCP staff. DCP provided notes after the meeting which confirm that the Project is eligible to use ED 1 (included in Exhibit C).
- March 23, 2023: The Applicant submitted and paid for a HCA Preliminary Application for the Project, in accordance with the City’s guidance and established procedures. The HCA

Preliminary Application reflects a proposed density of 200 units and a total square footage of construction of 153,428 square feet (included in Exhibit C). Pursuant to the HCA, the Applicant's submittal and payment of fees for the HCA Preliminary Application established vesting rights for the Project against future changes in City ordinances, policies, and standards. These vesting rights would terminate if the Project's full entitlement application was not submitted to the City within 180 days of the HCA Preliminary Application filing date, or if the Project's number of units or total square footage of construction was revised by 20 percent or more. The HCA Preliminary Application also includes reference to the ED 1 request in multiple locations, including a box checked off by Planning staff.

- April 20, 2023: The Applicant received DCP approval of an Affordable Housing Referral Form reflecting the Project's proposed entitlement strategy as well as its eligibility for ED 1 processing (included in Exhibit C). This is a critical pre application form solely designed to confirm the Project's consistency with the State DBL. The form includes detailed information regarding Project density, height and parking. This form also includes an eligibility check box indicating that the Project is eligible for ED 1.
- June 6, 2023: The Applicant submitted and paid all required fees for the Case Filing, which reflects a total density of 200 units and a total square footage of construction of 152,677 square feet. The Project's vesting HCA Preliminary Application was acknowledged by DCP as part of the Case Filing, as evidenced by the "VHCA" suffix in the Case Filing number. The filing plans are included in Exhibit C.
- June 12, 2023: As noted above, the Revised ED 1 was issued, prohibiting all projects located in single-family zones from utilizing ED 1's streamlined ministerial process (even if the site's land use designation permits multifamily use and density).
- June 22, 2023: DCP issued a letter to the Applicant and this firm titled "Status of Project Review: Application Incomplete and Case Processing on Hold," which listed only two items required to be provided or revised to proceed with the processing of the case (attached as Exhibit A). After receiving this letter, the Applicant and this firm began working on compiling the requested items. Pursuant to the HCA, the Applicant has 90 days to submit the specific information needed to complete the application.
- July 6, 2023: DCP issued the Notice of Ineligibility (Exhibit A) to the Applicant, which states in part:
 - "Per the revised Executive Directive 1 (ED1) issued by Mayor Karen Bass on June 12, 2023, projects located in single-family or more restrictive zones cannot use the ED1 Ministerial Approval Process. This revision affects projects in the following zones: OS, A1, A2, RA, RE, RS, R1, RU, RZ, and RW1. The proposed project located at 5501-5511 N. Ethel Avenue is in the R1-1 zone and is not eligible for ED1 processing."
 - The Notice of Ineligibility goes on to state: "To discuss other project review options or to revise the Affordable Housing Referral Form for the project, please contact the Affordable Housing Services Section at planning.priorityhousing@lacity.org, or

schedule an appointment for a consultation via BuildLA. ***Please be aware that modification of entitlement requests will likely require updated and/or additional application materials including environmental clearance documentation.*** (Emphasis added.)

To summarize, the Project submitted an HCA Preliminary Application during the effective period of the original ED 1, timely filed a full entitlement application within 180 days, has not revised the Project's number of units or total square footage of construction by 20 percent or more, and therefore has satisfied all requirements to maintain vested rights as of the date of the HCA Preliminary Application (March 23, 2023). All this effort occurred after many discussions with City Planning Department staff and receipt of approved pre-application forms – all that confirmed and re-confirmed the Project's eligibility for ministerial processing under ED1. Despite these facts, the City has ignored the Project's State law vesting protections afforded by the completed HCA Preliminary Application and now refuses to process the project under ED 1. Instead, the City informed the Applicant that a different entitlement strategy must be pursued, and that updated and/or additional application materials will likely be required. The "other project review options" alluded to in the Notice of Ineligibility would all subject this 100 percent affordable housing project to discretionary and California Environmental Quality Act ("CEQA) review – substantially increasing processing time, cost and risk. The Applicant's decision to purchase the Project site and proceed with this Project was largely predicated on the expectation of ministerial and expedited processing under ED1 with no associated discretionary or CEQA risk. The City's decision to abruptly issue the Notice of Ineligibility has now gravely threatened the Project's feasibility and viability. To ensure this catastrophic outcome would not befall the Project, the Applicant intentionally filed an HCA Preliminary Application to lock in the rules and regulations in place at that time. As explained in detail below, the City cannot now conveniently choose to totally ignore State housing law's vesting protections and must grant this appeal and allow the Project's ministerial processing to continue.

II. BASIS FOR APPEAL

A. Government Code Section 65943(c)

As part of the HCA, Government Code Section 65943(c) provides an opportunity for appeal when an application for submittal has been determined not to be complete:

"(c) If the application together with the submitted materials are determined not to be complete pursuant to subdivision (b), the public agency shall provide a process for the applicant to appeal that decision in writing to the governing body of the agency or, if there is no governing body, to the director of the agency, as provided by that agency. A city or county shall provide that the right of appeal is to the governing body or, at their option, the planning commission, or both.

There shall be a final written determination by the agency on the appeal not later than 60 calendar days after receipt of the applicant's written appeal. The fact that an appeal is permitted to both the planning commission and to the governing body does not extend the 60-day period. Notwithstanding a decision pursuant to subdivision (b) that the application and submitted materials are not complete, if the final written determination on the appeal is not made within that 60-day period, the application with the submitted materials shall be deemed complete for the purposes of this chapter."

As described in detail above, the Project's completion of a HCA Preliminary Application and subsequent Case Filing established the Project's vested rights, including the use of ED 1 as it existed on the date of filing the HCA Preliminary Application. Notwithstanding, the City subsequently determined that no vesting protections applied to the Project, the Project was no longer eligible to utilize ED 1 due to its location within a single family zone, and the Case Filing application was therefore not complete and that updated and/or additional materials may be required to obtain entitlements to allow the Project.

As such, this appeal is filed in accordance with the procedure established by Government Code Section 65943(c) and must be routed to the City Council as the City's governing body for a determination within 60 days.

B. Appeal Justification

The City's Notice of Ineligibility cites the Revised ED 1 as the justification for disallowing the Project from utilizing ED 1's review process, but does not acknowledge nor address the Project's HCA Preliminary Application or associated vesting protections. This action by the City represents a clear violation of the vesting protections provided by the HCA Preliminary Application filed for the Project and directly conflicts with the provisions and intent of the HAA as amended by the Housing Crisis Act of 2019 (i.e., Cal Gov. Code Section 65941.1).

Specifically, the submittal of a complete HCA Preliminary Application pursuant to Government Code Section 65941.1 vests the right to develop a housing development project in accordance with the "ordinances, policies, and standards" in effect when a HCA Preliminary Application is submitted.⁴ The plain language of the statute makes it clear that not just ordinances or legislative actions may be vested against – other existing "policies" and "standards" promulgated by a jurisdiction may also be vested.. To ensure there is no doubt regarding the breadth of those local regulations that may be vested against, the HAA specifically, intentionally and very broadly defines "ordinances, policies, and standards" to include "general plan, community plan, specific plan, zoning, design review standards and criteria, subdivision standards and criteria, **and any other rules, regulations, requirements, and policies of a local agency.**"⁵ Given this statutory provision, any attempt by the City to claim that ED 1 – a formal regulation promulgated pursuant to the Mayor's authority under the City's Administrative Code – cannot be vested against because it is not an ordinance directly contradicts the plain statutory language and crystal clear intent of both the HCA and HAA.

To allow a jurisdiction to apply a different set of development standards to a qualified 100 percent affordable housing development project in the middle of the entitlement process would undermine the clear benefit of a HCA Preliminary Application. Further, the HAA explicitly requires that the vested right obtained through the preliminary application "shall not be construed in a manner that would lessen the restrictions imposed on a local agency, or lessen the protections afforded to a housing development project, that are established by any other law, including any other part of this section."⁶

⁴ Government Code Section 65589.5(o)(1).

⁵ Government Code Section 65589.5(o)(4).

⁶ Government Code Section 65589.5(o)(5).

Furthermore, HCD has previously considered the issue of whether the vesting protections of a HCA Preliminary Application apply to a temporary set of circumstances, and has determined that vesting shall be maintained even when those circumstances change. Specifically, in a letter of technical assistance to this firm dated October 5, 2022, HCD determined that the submittal of a complete HCA Preliminary Application at a time that a jurisdiction does not have a compliant housing element would have the effect of vesting that jurisdiction's noncompliant status throughout the proposed project's entitlement process, regardless of whether the jurisdiction subsequently achieved compliance with State Housing Element Law during the entitlement process (which all jurisdictions are required to achieve).⁷ Under this same logic, the filing of a HCA Preliminary Application for a qualifying project during the effective term of ED 1 would vest ED 1's provisions for the entire duration of the project's entitlement process, regardless of ED 1's subsequent revision or termination,, or any claim by the City that ED 1 was of no further force or effect due to the expiration of the Mayor's Emergency Declaration.

The HAA is intended to encourage and protect housing development, and affordable housing in particular, to the greatest extent feasible, and thus it should not be construed to allow jurisdictions to weaken vested development rights for affordable housing development projects. The HAA identifies specific barriers to housing production, including ever-increasing costs of land and development fees, discrimination against low-income and minority households and shortsightedness of local agencies, among others. It has been stated that the core purpose of the HAA is to provide "reasonable certainty to all stakeholders."⁸ The HAA even declares that "[i]t is the policy of the state that [the HAA] be interpreted and implemented in a manner to afford the fullest possible weight to the interest of, and the approval and provision of, housing."⁹ In no case are these foundational HCA principles more critically important than with 100 percent affordable housing projects.

Prior to approval of any affordable housing development project, developers must invest significant costs to design and perfect project plans, analyze potential environmental impacts, and submit applications, all the while incurring hefty consultant and legal fees. To allow the City to change applicable development standards mid-way through an approval process or to claim that a previously available entitlement process was no longer valid, after the filing of a HCA Preliminary Application, would invite manipulation and inject immeasurable uncertainty into the housing development process that would be inconsistent with the clear intent of the HAA.

To be clear, we wholeheartedly applaud Mayor Bass' extraordinary efforts to address Los Angeles' affordability crisis since being recently elected to office. ED 1 has been a massive success story – streamlining and spurring the production of the most needed type of housing in the City. Our firm has seen it first hand as numerous clients have enthusiastically seized this benefit to deliver 100 percent affordable housing projects in record time. We also completely understand the reasons behind the Mayor's decision to formally amend ED 1 to *prospectively* prohibit the ministerial and streamlined processing benefits to apply to projects filed on single family zoned properties *in the future*, notwithstanding the allowances and protections afforded by the State DBL. That is a rational and understandable policy decision, and unquestionably within the Mayor's authority. Our **only** issue and concern is ensuring that applicants who filed timely applications under the prior ED 1 (an official City

⁷ HCD, October 5, 2022, Letter of Technical Assistance re: 3030 Nebraska Avenue, Santa Monica.

⁸ *CaRLA v. City of San Mateo* (2021) 68 Cal App.5th 820, 842 [quoting Assem., 3d reading analysis of Assem. Bill No. 1515, as amended May 1, 2017, p. 2].

⁹ Government Code Section 65589.5(f)(1).

regulatory order) and obtained a legal vested right under the HCA to proceed under the terms of that prior order do not have their investments completely upended and their projects substantially delayed and put at risk given the uncertainties and risks inherent in the discretionary review process.

For the above reasons and given the HAA's clear purpose of maximizing the production of housing, including the affordable housing so desperately needed in the City, the City's move to terminate the processing of this Project represents a clear violation of the HAA. We respectfully request that the City grant the appeal, reinstate the processing of the Project's Case Filing, and grant approval of the Project pursuant to the streamlined review procedures of ED 1.

Sincerely,

Dave Rand

Dave Rand
Partner
of RAND PASTER & NELSON, LLP

Attachments

Exhibit A – Status of Project Review Letter

Exhibit B – Notice of Ineligibility

Exhibit C – Project Documents

EXHIBIT A
STATUS OF PROJECT REVIEW LETTER

**DEPARTMENT OF
CITY PLANNING**
COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

SAMANTHA MILLMAN
PRESIDENT

CAROLINE CHOE
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MONIQUE LAWSHE
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KAREN MACK
JACOB NOONAN
ELIZABETH ZAMORA

CITY OF LOS ANGELES
CALIFORNIA



KAREN BASS
MAYOR

EXECUTIVE OFFICES
200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

June 22, 2023

Transmitted via email

Applicant

Uncommon Developers
Leon Benrimon
9220 Winnetka Ave
Chatsworth, CA 91311

Owner

5511 Ethen LLC
Jason Larian
9220 Winnetka Ave
Chatsworth, CA 91311

Representative

Dave Rand and Olivia Joncich
Rand Paster & Nelson LLP
633 W. Fifth Street
Los Angeles, CA 90071

Case No. ADM-2023-3809-DB-VHCA-ED1

Related Case: N/A

CEQA:

Location: 5511, 5501 N. Ethel Ave

Council District: 4 - Raman

Neighborhood Council: Sherman Oaks

Community Plan Area: Van Nuys – North Sherman Oaks

Specific Plan: N/A

Land Use Designation:

Zone: R1-1

Legal Description: Lot PT 88, ARB 19 TR 1000

Status of Project Review: Application Incomplete and Case Processing on Hold

This is to advise you that the above referenced case, filed on June 6, 2023, associated with plans dated May 31, 2023, was submitted to the Department of City Planning Development Services Center and forwarded to the Valley Project Planning Division for review on June 13, 2023.

I am your assigned Project Planner. During the review and processing of your case, the Department requests that you clarify, amplify, correct, or otherwise supplement the information provided for the application in accordance with Government Code Section 65944 of the California Government Code. Therefore, as provided for in Section 19.00 of the Los Angeles Municipal Code, your application has been placed on **HOLD** until the following items are corrected or submitted:

RECEIVED

JUN 26 2023

<input type="checkbox"/>	Item for Correction	Correction Required	Date Corrected	Initials of Approval
For Case No. ADM-2023-3809-DB-VHCA-ED1				
1	Preliminary Zoning Assessment Referral Form	<p>Review of the Preliminary Zoning Assessment (PZA) referral form by City staff is intended to determine compliance with City zoning and land use requirements necessary to achieve the proposed project and to identify any zoning issues or necessary approvals that would need to be resolved through a City Planning application.</p> <p>The PZA was not submitted with the City Planning application. Please provide a completed PZA referral form.</p>		
2	Affordable Housing Referral Form	<p>The owners of a project obligated to replace projected units subject to the Rent Stabilization Ordinance (RSO) must complete an application for a SB 8 Replacement Unit Determination (RUD) with the Los Angeles Housing Department (LAHD).</p> <p>The RUD provided indicates 1, 3-bedroom unit restricted at the Very Low Income (VLI) level must be provided. The unit mix on the plans do include the 3-bedroom unit, but the AHRF does not reflect the inclusion of a 3-bedroom unit set aside at the VLI level.</p> <p>Please submit a revised Affordable Housing Referral Form.</p>		

The above is necessary to continue the processing of your case. It is the intent of the Department to carry out the project review process in a timely manner and therefore request that you provide the information within **30 days** of the date of this letter. If all the requested materials are not provided at that date, the Department may initiate termination of the case file after subsequent outreach to you. Please note, additional requests for information or material may be made subsequent to this letter.

Maren Gamboa, City Planner
Valley Project Planning
Department of City Planning
6262 Van Nuys Blvd, Rm 430
Van Nuys, CA 91401

Phone: 213-978-1358
E-mail: maren.gamboa@lacity.org

EXHIBIT B
NOTICE OF INELIGIBILITY

**DEPARTMENT OF
CITY PLANNING**

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

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HELEN LEUNG

KAREN MACK

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ELIZABETH ZAMORA

**CITY OF LOS ANGELES
CALIFORNIA**



KAREN BASS
MAYOR

EXECUTIVE OFFICES

200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

July 6, 2023

Applicant/Owner

5511 Ethel LLC
Bedrock Properties Group, LLC
9220 Winnetka Avenue
Chatsworth, CA 91311

Case No.: ADM-2023-3809-DB-VHCA-ED1

Location: 5501-5511 N. Ethel Avenue

Council District: 4 – Nithya Raman

Community Plan Area: Van Nuys – North
Sherman Oaks

Representative

David Rand
Rand Paster & Nelson LLP
633 W. 5th Street
Los Angeles, CA 90071

Per the revised Executive Directive 1 ([ED1](#)) issued by Mayor Karen Bass on June 12, 2023, projects located in single-family or more restrictive zones cannot use the ED1 Ministerial Approval Process. This revision affects projects in the following zones: OS, A1, A2, RA, RE, RS, R1, RU, RZ, and RW1. The proposed project located at 5501-5511 N. Ethel Avenue is in the R1-1 zone and is not eligible for ED1 processing. However, there are other entitlement options available for your project to be considered for approval, none of which require a legislative act (e.g. General Plan Amendment or Zone Change). To discuss other project review options or to revise the Affordable Housing Referral Form for the project, please contact the Affordable Housing Services Section at planning.priorityhousing@lacity.org, or schedule an appointment for a consultation via [BuildLA](#). Please be aware that modification of entitlement requests will likely require updated and/or additional application materials including environmental clearance documentation. If you have questions related to the status of your case, please contact Principal City Planner Blake Lamb at (818) 374-9914 or blake.lamb@lacity.org for questions regarding this matter.

Lisa M. Webber, AICP
Deputy Director

EXHIBIT C

PROJECT DOCUMENTS

(includes Case Management Notes, SB 330 HCA Preliminary Vesting Application signed by Planning, Affordable Housing Referral Form signed by Planning, Project Plans submitted with Case Filing)



Department of City Planning

Case Management

201 N Figueroa St, Room 1030, Los Angeles, CA 90012

February 15, 2023

TO: Olivia Joncich

FROM: Niall Huffman, City Planner
niall.huffman@lacity.org, 213-978-3405

SUBJECT: Case Management – City Planning PDM Notes

CASE NO: PAR-2023-1079-CM-ED1

PROJECT ADDRESS: 5511 North Ethel Avenue

PROJECT DESCRIPTION: Construction of a new, 5-story, 100% affordable multifamily residential building with 200 dwelling units, using Density Bonus and ED1.

At the Pre-Development Meeting on February 14, 2023 the following recommendations and comments were provided to the applicant regarding the proposed project:

- Zoning / Project Site Context:
 - The project site consists of a rectangular parcel totaling approximately 40,926 square feet with frontage on the west side of Ethel Avenue and the north side of Albers Street. The site adjoins R1-zoned properties immediately to the west and north. The lot is zoned R1-1 and is designated for Low Residential land use by the Van Nuys-North Sherman Oaks Community Plan.
 - The project site is located within one-half mile of the Valley College station of the Metro G (Orange) Line, which, based on preliminary information reviewed by City Planning, qualifies as a major transit stop per Section 21155 of the California Public Resources Code.
 - Per the Mayor's Executive Directive 1 (ED1), an application for the development of a 100 percent affordable housing project may use the density permitted for that site either by the applicable zoning or the General Plan Land Use Designation, consistent with state law. The least restrictive corresponding zone for the Low Residential land use designation is RD5.

Disclaimer: The recommendations and comments listed are based on the project, as proposed by the applicant, at the time of the meeting referenced above. The recommendations and comments are provided as guidance to the applicant and do not constitute a decision by City Planning nor is the project guaranteed an approval by City Planning. These recommendations and comments are not intended to be all-inclusive and shall be reviewed and modified prior to filing, if necessary, should the project change and/or new regulations become effective. City Planning management and/or the project planner shall also have the discretion to make additional recommendations and changes prior to and/or after filing. Moreover, this document is not intended to constitute legal advice.

- Maximum base density for a project in the RD5 Zone is calculated as one unit per 5,000 square feet of lot area, or approximately 8.2 units on the lot (rounded up to 9). However, Section 65915(f)(3)(D)(ii) of the California Government Code states that 100% affordable housing projects located within one-half mile of a major transit stop are not subject to any maximum controls on density.
- Maximum height for a project in the R1 Zone under Height District 1 is 28 feet for buildings with a roof pitch of less than 25 percent. However, Section 65915(d)(2)(D) of the California Government Code provides a height increase of 33 feet for 100% affordable housing projects within one-half mile of a major transit stop, for a total height of 61 feet.
- Maximum residential floor area (RFA) in the R1 Zone is calculated as 45 percent of the lot area.
- Per Section 65863.2 of the California Government Code (AB 2097), no minimum vehicular parking requirement applies to a development project located within one-half mile of a major transit stop. Additionally, per Section 65915(p)(3)(A) of the California Government Code, no minimum vehicular parking requirement applies to a 100% affordable housing project within one-half mile of a major transit stop.
- Project Context:
 - The applicant proposes to construct a new, 5-story, 100% affordable multifamily residential building with 200 dwelling units, using Density Bonus and Executive Directive 1. The applicant has indicated they may request on- and off-menu incentives through the Density Bonus process, potentially including but not limited to reduced side yard, increased height, reduced open space, and increased RFA.
- Potential Entitlements:
 - Per Executive Directive 1, qualifying 100% affordable housing projects, with no deviations from applicable zoning development standards other than through available affordable housing incentive programs, will be processed ministerially without the need for a public hearing or environmental review.
- CEQA:
 - None.

Documents provided:

- AB 1763/2345 Implementation Memo
<https://planning.lacity.org/odocument/f5dd81b7-1404-4528-9e14-d9a18f8f778b/SCitron24111017440.pdf>

Disclaimer: The recommendations and comments listed are based on the project, as proposed by the applicant, at the time of the meeting referenced above. The recommendations and comments are provided as guidance to the applicant and do not constitute a decision by City Planning nor is the project guaranteed an approval by City Planning. These recommendations and comments are not intended to be all-inclusive and shall be reviewed and modified prior to filing, if necessary, should the project change and/or new regulations become effective. City Planning management and/or the project planner shall also have the discretion to make additional recommendations and changes prior to and/or after filing. Moreover, this document is not intended to constitute legal advice.

- Executive Directive 1 <https://mayor.lacity.gov/news/mayor-bass-signs-executive-directive-dramatically-accelerate-and-lower-cost-affordable-housing>
- AB 2097 Implementation Memo https://planning.lacity.org/odocument/5f912dc2-0380-404c-8afc-f0fb4804f8b0/Implementation_Memo_AB_2097.pdf
- City Planning Application Form <https://planning.lacity.org/odocument/3d913582-d6e7-4375-90e8-3e276b9c28bb/Department%20of%20City%20Planning%20Application>
- City Planning Application – Filing Instructions <https://planning.lacity.org/odocument/b3cd2983-ed8d-4ec2-bedc-eb7c3d940c9a/Department%20of%20City%20Planning%20Application%20Filing%20Instructions>
- Density Bonus Findings/Special Requirements <https://planning.lacity.org/odocument/e9a600ff-392b-4842-b2e9-c2bb46cbd421/Density%20Bonus,%20Conditional%20Use,%20Public%20Benefit%20Project%20Housing%20Incentives.pdf>
- Preliminary Zoning Assessment Form <https://planning.lacity.org/odocument/8311dcfc-3c99-4167-9532-3c278e28a22c/Preliminary%20Zoning%20Assessment.pdf>
- Affordable Housing Referral Form <https://planning.lacity.org/odocument/24647ff3-7276-4b4e-8d80-cc1c7811f5dc/Affordable%20Housing%20Referral%20Form.pdf>
- Transit Verification Form <https://planning.lacity.org/odocument/04a11e47-623f-44c7-85b9-bd121398e7b3/Transit%20Verification%20Form.pdf>

Contact information provided:

- Niall Huffman, City Planning Case Manager niall.huffman@lacity.org, 213-978-3405
- City Planning Affordable Housing Services Section planning.priorityhousing@lacity.org
- City Planning Preliminary Application Review Program planning.parp@lacity.org

Disclaimer: The recommendations and comments listed are based on the project, as proposed by the applicant, at the time of the meeting referenced above. The recommendations and comments are provided as guidance to the applicant and do not constitute a decision by City Planning nor is the project guaranteed an approval by City Planning. These recommendations and comments are not intended to be all-inclusive and shall be reviewed and modified prior to filing, if necessary, should the project change and/or new regulations become effective. City Planning management and/or the project planner shall also have the discretion to make additional recommendations and changes prior to and/or after filing. Moreover, this document is not intended to constitute legal advice.

REFERRAL FORM

HOUSING CRISIS ACT Vesting Preliminary Application



This form serves as the optional Housing Crisis Act Vesting Preliminary Application for projects creating one or more units seeking vesting rights pursuant to the Housing Crisis Act of 2019 (HCA). This form also serves as a referral to the Los Angeles City Planning (City Planning) Development Services Center (DSC) and to the Los Angeles Department of Building and Safety (LADBS) Plan Check for HCA vesting purposes. The HCA Vesting Preliminary Application (Preliminary Application) allows the applicant to vest to City ordinances, policies, and standards adopted and in effect on the day that a complete Preliminary Application is submitted. Please be advised that these vesting rights do not apply to changes in State law or to changes in building code.

The following project types are eligible to submit a Preliminary Application:

- Housing Development Projects requiring an application to City Planning; or
- Housing Development Projects not requiring a City Planning application and submitting for building permit Plan Check to LADBS on or after January 1, 2022.

For Submittal Instructions, refer to Section E of this form. Section G (“Retention of Vesting Rights”) of this form may be referenced for additional guidance on HCA vesting rights. The [“Housing Development Project Applicability Matrix”](#) may also be used to identify whether the HCA applies to specified development types, and when a Preliminary Application applies.

THIS SECTION TO BE COMPLETED BY PLANNING STAFF ONLY

☒ **ED1 Eligible**

Case Number PAR- 2023-2017-VHCA-ED1

Proposed No. of Dwelling Units¹: 200

Proposed Building Area^{1,2}: 153,428 SF

Submittal Completion Date³: 3/23/2023

Last Day to file City Planning Application/Submit to LADBS Plan Check¹: 9/19/2023

Invoice No.: 87082

Payment Date: 3/23/2023

City Planning Staff Name and Title: Maritza Lee, City Planner

City Planning Staff Signature: Maritza Lee

Digitally signed by Maritza Lee
Date: 2023.03.31 08:55:47 -07'00'

¹ For information on retention of vesting rights, refer to Section G of this form.

² Building Area, as defined by the California Building Standards Code (Title 24 of the California Code of Regulations) – California Government Code Section 65941.1(c). Refer to Appendix 2 for Building Area calculation instructions.

³ As part of the process to deem complete the submittal of this optional Preliminary Application, City Planning staff have affirmed neither the feasibility nor the entitlement review path of the proposed project.

This form shall be completed by the applicant and reviewed and signed by City Planning staff prior to filing the City Planning application, or the LADBS Plan Check application for projects that do not require a City Planning application. The signed Preliminary Application shall be submitted during the City Planning application filing, or the submission of an application for building permit and Plan Check. Any modifications to the content(s) of this form after its authorization by City Planning staff is prohibited. Further, any change to the proposed number of dwelling units or the proposed building area must be verified by City staff.

THIS SECTION TO BE COMPLETED BY THE APPLICANT

A. SITE INFORMATION

PROJECT LOCATION

Street Address⁴: 5511, 5501 N. Ethel Ave

Legal Description⁵ (Lot, Block, Tract): Lot PT 88, Tract TR 1000

Assessor Parcel Number(s): 2345005016

Site Area (sf): 41,810 (per survey)

EXISTING USE(S)

Describe in detail the existing uses on the project site, including any major physical alterations or soil disturbance that may have previously occurred.

Site is currently vacant land.

B. PROPOSED PROJECT

PROPOSED USE(S)

Describe in detail the characteristics, scope and/or operation of the proposed project.

New construction of a 7-story, 200 unit 100% affordable residential housing project with 147 parking stalls and 146,506 sf (RFAR). Project will provide 80% of units as Low Income and 20% of units as Moderate Income in accordance with AB 1763. Project qualifies for ED 1 processing.

⁴ Street Address must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>).

⁵ Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site).

AFFORDABLE HOUSING INCENTIVES, WAIVERS, CONCESSIONS, AND PARKING REDUCTIONS

Will the project proponent seek incentives, waivers, concessions, or parking reductions pursuant to California Government Code Section 65915 (i.e., Density Bonus), the Transit-Oriented Communities (TOC) program, or any other affordable housing incentive program⁶? ☒ YES ☐ NO

If “YES”, please describe:

Project will seek a density bonus and incentives per AB 1763 to permit unlimited density, zero parking, four incentives for two yard reductions, open space reduction, and additional RFAR, and one waiver of development standards for height.

RESIDENTIAL DWELLING UNIT COUNT

Please indicate the total number of dwelling units proposed as well as a breakdown by levels of affordability.

Affordability Levels	Total	Total Units	Total
Market Rate	1 MGR	No. of Units Allowed by Right (per LAMC)	8
No. of Affordable Units Proposed	199	No. of Bonus Units Proposed	192
Extremely Low Income	--	TOTAL No. of Units Proposed	200
Very Low Income	--		
Low Income	160		
Moderate Income	39		
TOTAL No. of Units Proposed	200		

Other Notes on Units:

⁶ Projects proposing Density Bonus “On-Menu” incentives through a ministerial process or “Off-Menu” incentives, waivers, concessions and parking reductions through a discretionary process must be reviewed by the Los Angeles City Planning Affordable Housing Services Section and obtain a signed Affordable Housing Referral Form (CP-4043) prior to filing a City Planning application.

FLOOR AREA

Provide the proposed floor area and square footage of residential and non-residential development:

Floor Area⁷ 146,506 sf

Building Area⁸ 153,428 sf

PARKING

Provide the proposed number of automobile and bicycle parking spaces:

Automobile Parking	Total
Residential	147
Non-Residential	--

Bicycle Parking	Total
Residential Long Term	126
Residential Short Term	13
Non-Residential Long Term	--
Non-Residential Short Term	--

SUBDIVISION

Will the proposed project include a request for an approval pursuant to the Subdivision Map Act, including a Vesting or Tentative Tract Map, Preliminary Parcel Map, Condominium Map, Lot Line Adjustment, or Certificate of Compliance?

☐ YES ☒ NO

ADDITIONAL INFORMATION

Does the project propose any point sources of air or water pollutants⁹?

☐ YES ☒ NO

If "YES", please describe:

⁷ As defined by the LAMC.

⁸ As defined by the California Building Standards Code (Title 24 of the California Code of Regulations) – California Government Code Section 65941.1(c). Refer to Appendix 1 for Building Area calculation instructions.

⁹ A project that proposes point sources of air or water pollutants may trigger review and permitting by, but not limited to, the South Coast Air Quality Management District, the Los Angeles Regional Water Quality Control Board, or the Los Angeles Bureau of Sanitation.

C. EXISTING SITE CONDITIONS

HOUSING¹⁰

Provide the number of existing residential units on the project site that will be demolished and whether each existing unit is occupied or unoccupied:

	Existing Residential Units	Demolished or To Be Demolished
Occupied Units	0	0
Unoccupied Units	0	0
TOTAL Units	0	0

ADDITIONAL SITE CONDITIONS

1. Is the project site located wholly or partially within:

- a. A Very High Fire Hazard Severity Zone (VHFHSZ)¹¹? ☐ YES ☒ NO
- b. Wetlands, as defined in United States Fish and Wildlife (USFW) Service Manual, Part 660 FW 2 (June 21, 1993)? ☐ YES ☒ NO
- c. A special flood hazard area subject to inundation by the one percent annual chance flood (100-year flood) as determined by the Federal Emergency Management Agency (FEMA) in any official maps published by FEMA? ☐ YES ☒ NO
- d. Delineated earthquake fault zone as determined by the State Geologist in any official maps published by the State Geologist? ☐ YES ☒ NO
- e. Hazardous waste site that is listed pursuant to Section 65962.5 or a hazardous waste site designated by the Department of Toxic Substances Control (DTSC) pursuant to Section 25356 of the Health and Safety Code¹²? ☐ YES ☒ NO

¹⁰ A Housing Development Project, as defined in California Government Code Section 65905.5(b)(3), is subject to the provisions of Government Code Section 66300, as amended by SB 8, and will require an SB 8 Replacement Unit Determination letter from the Los Angeles Housing Department or a No-Net-Loss Property Owner Declaration.

¹¹ Housing Development Projects located in a VHFHSZ are eligible to seek vesting rights pursuant to the HCA.

¹² The development shall not be located on a legal parcel that is a hazardous waste site except for sites the DTSC has cleared for residential use or residential mixed use.

2. Does the project site contain a designated or potentially historic and/or cultural resource¹³? ☐ YES ☒ NO

If “YES”, please describe:

- a. Does the project site contain any species of special concern such as special status flora or fauna, protected trees, or wildlife¹⁴? ☐ YES ☒ NO

If “YES”, please describe and/or depict on the site plan:

- b. Does the project site contain any recorded easement, such as easements for conservation, storm drains, water lines, and other public rights of way? ☐ YES ☒ NO

If “YES”, please describe and/or depict on the site plan:

- c. Does the project site contain a stream or other resource that may be subject to a streambed alteration agreement pursuant to Chapter 6 (commencing with Section 1600) of Division 2 of the California Fish and Wildlife Code, including creeks and wetlands? ☐ YES ☒ NO

If “YES”, please describe and/or depict on the site plan:

¹³ Information regarding historic resources that have been identified by the City or another public agency can be found in SurveyLA, HistoricPlacesLA, or ZIMAS.

¹⁴ An Arborist Report or a Biological Survey and Impact Assessment may be required following the filing of an application requesting approval of a discretionary action if the project site is on or adjacent to open space or previously undisturbed land in order to demonstrate whether the site provides habitat for any special status flora or fauna, including those identified in a Specific Plan or Zoning Overlay.

D. COASTAL

1. Is the project site located wholly or partially within the Coastal Zone, as defined in Division 20 (commencing with Section 3000) of the Public Resources Code (PRC). If marked “NO”, skip to section E. ☐ YES ☒ NO
2. Does the project site contain a/an:
 - a. Wetlands, as defined in subdivision (b) of Section 13577 of Title 14 of the California Code of Regulations¹⁵? ☐ YES ☒ NO
 - b. Environmentally Sensitive Habitat Area (ESHAs), as defined in Section 30240 or the California PRC¹⁶? ☐ YES ☒ NO
 - c. Tsunami run-up zone? ☐ YES ☒ NO
 - d. Area used for public access to or along the coast? ☐ YES ☒ NO

E. ADDITIONAL REQUIRED MATERIALS

In order to initiate a request for HCA vesting rights, an applicant must submit a Preliminary Application and the following materials and information through [City Planning's Online Application Portal](#). An appointment is not required.

1. **HCA Vesting Preliminary Application** (CP-4062)
2. **Plot/Site Plan.** A legible plot plan drawn to scale is required. The plot plan must include all contiguous parcels under the applicants' ownership and any contiguous parcels proposed to be part of the project site. The plot plan should identify which parcels are/are not a part of the proposed project. The plot plan should include a summary of information table indicating the following:
 - Building area of each building that is to be occupied
 - Proposed land uses
 - Proposed number of dwelling units
 - Height of buildings
 - All measurements that establish the proposed location of the proposed buildings and structures, including property lines, yards, setbacks, space between buildings and structures, and building footprint dimensions.
 - Trees and Shrubs. Plans must clearly show all existing trees and shrubs on the project site and within the right-of-way adjacent to the property. Identify and label (by name and trunk diameter) the following protected trees and shrubs as identified on the Plot Plan Instructions ([CP-7752](#)).

¹⁵ Wetlands may include a watercourse or a storm drain. A Wetlands Delineation Report may be required following the filing of an application requesting approval of a discretionary action in the Coastal Zone if the site contains a watercourse or a storm drain.

¹⁶ ESHAs are mapped areas in the certified Venice Land Use Plan and the San Pedro Coastal Land Use Plan.

- Watercourses, storm drains, creeks streams, wetlands (as defined in the USFW Service Manual, Part 660 FW 2 (June 21, 1993) or as defined in subdivision (b) of Section 13577 of Title 14 of the California Code of Regulations), or other resources that may be subject to a streambed alteration agreement pursuant to Chapter 6 (commencing with Section 1600) of Division 2 of the Fish and Wildlife Code.
- Aerial Site Photograph showing existing site conditions of environmental site features that would be subject to regulations by a public agency, including creeks and wetlands. It may be provided on any relevant plan sheet, including a project information sheet.

Refer to the Plot Plan Instructions ([CP-7752](#)) for additional guidance.

3. **Elevation Plans.** Elevations must show the design, materials, color, textures, patterns, massing and height of each building under the project scope. Refer to the Housing Crisis Act Vesting Preliminary Application Elevations Instructions (Appendix 1 of this form, page 15) for additional guidance. The elevations plans shall be included as part of the set of plans.
4. **Building Area Analysis.** Refer to the Housing Crisis Act Vesting Preliminary Application Building Area Analysis Instructions (Appendix 2 of this form, page 16) for additional guidance. The building area plans shall be included as part of the set of plans.
5. **Sections** for projects located on multiple levels or subterranean floors (e.g., basements, subterranean parking, etc.) showing depth (linear feet) and amount (cubic yards) of proposed cut, fill, import, and export related to grading, excavation of earthwork. The sections shall be included in the set of plans.
6. **Filing Fee.** Fees must be paid online after the electronic invoice is received.

F. ADDITIONAL RESOURCES

1. **Appendix 1:** Elevations Instructions for Vesting Pursuant to the Housing Crisis Act (page 15).
2. **Appendix 2:** Building Area Analysis for Vesting Pursuant to the Housing Crisis Act (page 16).

G. RETENTION OF VESTING RIGHTS

A Preliminary Application must be deemed complete by City Planning in order to obtain vesting rights. A Preliminary Application is deemed complete at the time that all required forms, documents, and materials are submitted, and the final invoice has been issued and proof of payment is presented to City Planning. A Preliminary Application completed before January 1, 2030 is valid until January 1, 2034, provided that HCA vesting rights are maintained and have not otherwise lapsed or terminated.

To retain HCA vesting rights, the applicant must adhere to certain time limits and limitations on project scope changes. **If the time limits are not met or if the changes in the project scope exceed specified thresholds, the Preliminary Application shall expire and have no further force or effect.** During City Planning application filing or the submission of an application for building permit and Plan Check, as well as through the development process, City staff will verify whether a project has been able to maintain vesting rights. Refer to the “Housing Crisis Act Vesting Log” on page 11 for additional instructions.

TIME LIMITS TO RETAIN VESTING RIGHTS

Once the Preliminary Application is complete, the City Planning application or the application for building permits and Plan Check must be submitted within 180 days of the date on which the Preliminary Application is deemed complete, in order to retain vesting rights.

If a City Planning application is required, the applicant must submit all outstanding information needed in order to deem the City Planning application complete within 90 days of receiving a hold or “deemed incomplete” letter from City Planning staff. The 90-day period does not apply to projects eligible to submit a building permit Plan Check application to LADBS without a City Planning application on or after January 1, 2022.

For all vested projects (ministerial or discretionary), construction of the Housing Development Project must commence within 2.5 years. For vested projects that are 100 percent affordable, the Housing Development Project must commence within 3.5 years.

If the project is discovered to require a City Planning application during the permitting process, the project may still use the Preliminary Application issued as long as the City Planning application is submitted within 180 days of the date a complete Vesting Preliminary Application was submitted. The submittal of the building permit application to LADBS would not be held against the project.

PROJECT SCOPE THRESHOLDS TO RETAIN VESTING RIGHTS

In order to maintain vesting rights, any change in the residential unit count or in the Building Area is limited to less than 20 percent of the total proposed on the completed Preliminary Application, exclusive of any increase resulting from the receipt of a density bonus, concession, waiver, or similar provision.

H. PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant¹⁷ Name: _____

Company/Firm: Uncommon Developers (c/o Leon Benrimon)

Address: 9220 Winnetka Ave **Unit/Space Number:** _____

City: Chatsworth **State:** CA **Zip Code:** 91311

Telephone: 310-980-7206 **E-mail:** leon@uncommondevelopers.com

Are you in escrow to purchase the subject property? ☐ YES ☒ NO

(Optional) Agent/Representative Name: Olivia Joncich

Company/Firm: Rand Paster & Nelson LLP

Address: 633 W. Fifth Street **Unit/Space Number:** 64th Fl

City: Los Angeles **State:** CA **Zip Code:** 90071

Telephone: 213-557-2703 **E-mail:** olivia@rpnllp.com

Primary Contact for Project Information¹⁸ ☒ Agent/Representative ☐ Applicant
(select only one)

¹⁷ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e., usually not the agent/representative).

¹⁸ As of June 8, 2022, the Primary Contact for Project is required to have an [Angeleno Account](#) and register with the Ethics Commission for Significant Project Entitlements, as defined in LAMC Section [49.7.37\(A\)\(6\)](#). An email address and phone number shall be required on the DCP Application Form, and the email address provided shall match the email address used to create the Angeleno Account.

THIS SECTION SHALL BE ADDED ONTO THE FINAL PLAN SET PERMITTED BY LADBS

HOUSING CRISIS ACT VESTING LOG

This log is intended to be used by City staff to track compliance with the time limits and project scope changes (unit count), in order to retain vesting rights through the development process. If a vested Housing Development Project is associated with a City Planning application for its development, this page and the log shall be completed by the City Planning Case Processing Unit. Any modifications to the content(s) of this log by anyone other than City staff is prohibited. A copy of this page and the completed log must be included on the final set of plans for construction.

CITY STAFF USE ONLY

Case Number PAR- _____

Date Vested (Date Preliminary Application Submittal Complete): _____

Proposed No. of Dwelling Units¹⁹: _____

City Planning Staff Name and Title: _____

¹⁹ The proposed number of dwelling units should match the number of proposed dwelling units identified on page 1.

TABLE A - HOUSING CRISIS ACT VESTING LOG
THIS SECTION TO BE COMPLETED BY CITY PLANNING CASE PROCESSING UNIT ONLY

Milestone	Date Due	Date Complete	Dwelling Units ²⁰	Determination ²¹	Staff Name
City Planning Application Filing Project submitted within 180 days of the HCA Vesting Preliminary Application being deemed complete. ²² Project meets the time limits: <input type="checkbox"/> YES <input type="checkbox"/> NO			<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the time limits (180 days) and limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	
Applicant Response to Deemed Incomplete Letter If a City Planning Application is Deemed Incomplete, the applicant must submit all information needed within 90 days of receiving the Deemed Incomplete Letter (applies ONLY to projects that are required to file a City Planning application) Project meets the time limits: <input type="checkbox"/> YES <input type="checkbox"/> NO			<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the time limits (90 days) and limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	

²⁰ Any change in the residential unit count is limited to less than 20 percent of what is indicated on the completed Preliminary Application, exclusive of any increase resulting from the receipt of a density bonus, concession, waiver, or similar provision.

²¹ If the time limits are not met or if the changes in the project scope exceed specified thresholds, then the Preliminary Application shall expire and have no further force or effect.

²² Once the Preliminary Application is complete, the City Planning application must be submitted within 180 days of the Preliminary Application completion date.

Milestone	Date Due	Date Complete	Dwelling Units	Determination	Staff Name
Date City Planning Application Deemed Complete	N/A		<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	
Date of Hearing	N/A		<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	
Date of Final Approval of City Planning Application ²³	N/A		<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	

²³ Final approval means that a project has obtained all necessary approvals to be eligible to apply for, and obtain, a building permit or permits, and all appeal periods or statutes of limitations have been exhausted or resolved in favor of the Housing Development Project (G.C. Sec. 65589.5(o)(2)(D)(ii)).

Milestone	Date Due	Date Complete	Dwelling Units	Determination	Staff Name
Date Construction Commenced (within 2.5 years or 3.5 years of Final Decision) ²⁴ Project meets the time limits: <input type="checkbox"/> YES <input type="checkbox"/> NO			<input type="checkbox"/> Project meets 20% threshold <input type="checkbox"/> Project exceeds 20% threshold Proposed Units: _____ Plan Sheet No.: _____	<input type="checkbox"/> The project meets the time limits (2.5 or 3.5 years) and limitations on project scope (unit count). <input type="checkbox"/> The HCA Vesting Preliminary Application is expired and has no further force or effect.	

Notes:

²⁴ Vested Housing Development Projects must commence construction within two and one-half years, or three and one-half years for one hundred percent affordable Housing Development Projects.

Appendix 1

Elevations Instructions for Vesting Pursuant to the Housing Crisis Act

123 Example Blvd, Los Angeles, CA



Materials, Textures and Colors



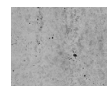
Exterior Cement Plaster, Smooth, Cream



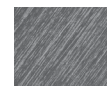
Balcony Door, Vinyl, White



Board Formed Concrete, Wood Grain, Misty Blue



Exterior Cement Plaster, Smooth, Pewter



Aluminum, Brushed Metal, Dark Grey

Elevations shall show the design, materials, color, massing, facade and height of each building under the project scope:

- **Scale:** The scale shall be no less than $\frac{1}{8}" = 1'-0"$ or a scale that produces a readable illustration.
- **Building Materials and Colors:** Elevations must identify all building materials types and colors. Include any sustainable features of the project as well as the material texture or pattern.
- **Location:** The elevations page must include the site address.
- **Labeling:** All views and major features shall be labeled, including which side of the project is being illustrated.
- **Dimensions:** Elevations shall be dimensioned in a manner that all relevant measurements can be read. Accessory structures shall have the same dimension requirements as the main structure. Include the dimensions for all heights. Required dimensions must include the following items:
 - The lowest elevation within 5 feet of the perimeter of the building;
 - The highest elevation for purposes of determining maximum building height as measured per Department of Building and Safety requirements and as defined by LAMC Section 12.03;
 - Height to the highest point of the roof and all roof structures;
 - Wireless facilities and transformers;
 - Projections proposed to be attached to a building facade;
 - Poles or signs including those attached to the facade or roof. Roof signs, pole signs and billboards must show both sides;
 - Facade texture, pattern, color and material changes to determine compliance with building articulation and design standards; and
 - Fences, walls, beams, barriers, including lighting fixtures, pillars, and gates on all sides.

Most City Planning processes involve a review of the project design. Applicants are encouraged to consult with the **LACP Urban Design Studio** regarding the design of the project early in the application process, ideally prior to filing. You may schedule a design review meeting online:

planning.lacity.org/plans-policies/urban-design-studio/schedule-appointment.

Refer to Elevation Instructions ([CP-7817](#)) for additional guidance.

Appendix 2

Building Area Analysis for Vesting Pursuant to the Housing Crisis Act

The purpose of this Building Area analysis sample and instructions is to provide guidance with determining the total Building Area or “square footage of construction” of a Housing Development Project in order to vest pursuant to the Housing Crisis Act. The sample below broadly applies to all types of Housing Development Projects.

Building Area Calculation Table – Example

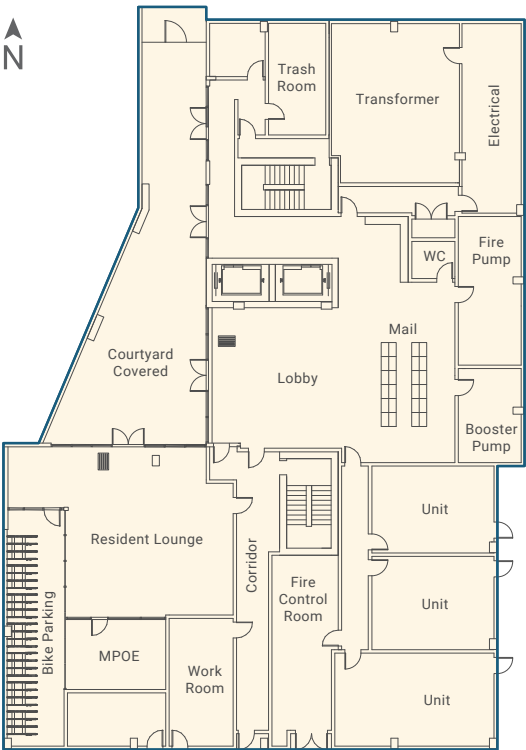
Level	Proposed
L2–L5	30,704 sf
L1	9,426 sf
Total	40,130 sf

Building Area Definition

The area included within surrounding exterior walls (or exterior walls and fire walls) exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.

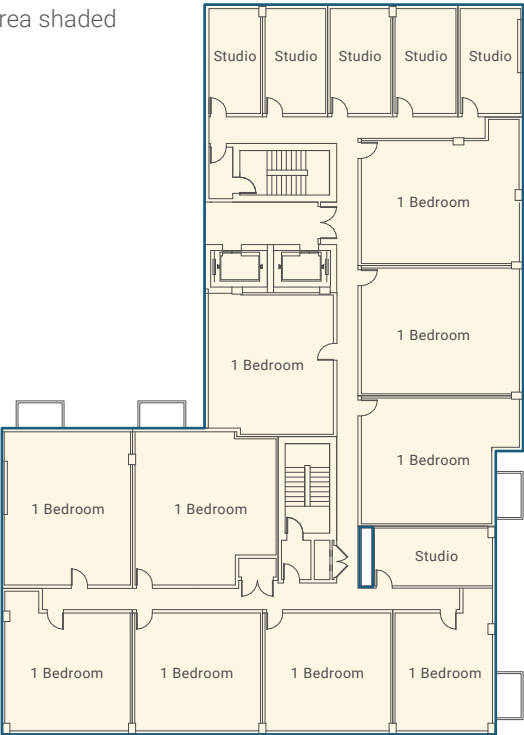
– California Government Code Section 65941.1(C)

Building Area Diagram – Example



Level 1 Building Area 9,426 sf

Building Area shaded



Levels 2-5 Building Area 7,676 sf (per level)

Instructions

- **Shaded and Dimensioned Diagram:** Set of plans shall include a shaded and dimensioned diagram indicating the total Building Area for each level, including any covered parking areas, elevator shafts and stairwells at each level.
- **Quantities Referenced Diagram:** Each area analysis must include a label or reference to its Building Area, expressed as square-footage.
- **Calculation Table:** The Building Area page should include a corresponding calculation table indicating the Building Area for each level, as well as the grand total.



AFFORDABLE HOUSING REFERRAL FORM

This form is to serve as a referral to the Los Angeles City Planning's Development Services Center (DSC) for Affordable Housing case filing purposes (in addition to the required Department of City Planning Application and any other necessary documentation); and to the City of Los Angeles Housing Department (LAHD), Department of Building and Safety (LADBS), or other City agency for project status and entitlement need purposes. All Applicants are required to provide a complete set of architectural plans at the time that this form is submitted for review. Any application submitted that is missing any required materials will be considered incomplete and will not be reviewed until all materials are submitted.

This form shall be completed by the Applicant and reviewed and signed by City Planning DSC Affordable Housing Services Section (AHSS) Staff prior to filing an application for an entitlement, administrative review, or building permit. Any modifications to the content(s) of this form after its authorization by AHSS Staff is prohibited. City Planning reserves the right to require an updated Referral Form for the project if more than 180 days have transpired since the referral date, or as necessary, to reflect project modifications, policy changes, bus route changes, bus schedule changes, and/or amendments to the Los Angeles Municipal Code (LAMC), local laws, and State laws.

THIS SECTION TO BE COMPLETED BY AHSS STAFF ONLY

Planning Staff Name & Title: Brian R. Carr, City Planner

Planning Staff Signature: 

Referral Date: 4/20/2023 Expiration Date: 10/17/2023

TRANSPORTATION QUALIFIERS (if applicable)

☒ Major Transit Stop ☐ Paratransit / Fixed Bus Route

☐ Other: _____

Location of Transit: Valley College Station - Burbank Blvd & Fulton Ave

Qualifier #1: Metro G Line

Service Interval #1: Rail LOS Service Interval #2: Rail LOS

Qualifier #2: N/A

Service Interval #1: _____ Service Interval #2: _____

Service Intervals are calculated by dividing 420 (the total number of minutes during the peak hours of 6 am to 9 am and 3 pm to 7 pm) by the number of eligible trips.

Referral To:

☐ Planning DSC - Filing

☐ 100% Affordable per AB 2345¹

☐ SB 35

☐ AB 2162

☐ Measure JJJ

☐ Other: _____

Notes:

THIS SECTION TO BE COMPLETED BY THE APPLICANT

APPLICANT INFORMATION

Applicant Name: Olivia Joncich (Representative)

Phone Number: 213-557-2703

Email: olivia@rpnlp.com

I. PROPOSED PROJECT

1. PROJECT LOCATION/ZONING

Project Address(es): 5511, 5501 N. Ethel Ave

Assessor Parcel Number(s): 2345005016

Community Plan: Van Nuys - North Sherman Oaks

Existing Zone: R1-1

Land Use Designation: Low Residential

Number of Parcels: 1

Site Size (sf): 41,810 (per survey)

☒ **ED1 Eligible²** ☐ **Specific Plan** ☐ **DRB/CDO** ☐ **HPOZ** ☐ **Enterprise Zone**

☐ **Redevelopment Project Area** ☐ **Q Condition/D Limitation (Ordinance No.):** _____

☐ **Other Pertinent Zoning Information (specify):** _____

¹ AB 1763 incentives were amended by AB 2345.

² Refer to [Executive Directive 1](#) for qualifying criteria. If the project is determined to be ineligible for ED 1, a new Referral Form will need to be obtained.

2. DETAILED DESCRIPTION OF PROPOSED PROJECT

New construction of a 7-story, 200 unit 100% affordable residential housing project with 147 parking stalls and 146,506 sf (RFAR). Project will provide 80% of units as Low Income and 20% of units as Moderate Income in accordance with AB 1763. Project qualifies for ED 1 processing.

3. DETAILED DESCRIPTION OF EXISTING SITE AND DEVELOPMENT

Site is currently vacant land.

Existing Uses Dwelling Unit (DU) Square Footage (SF)	Existing No. of DUs or Non-Residential SF	Existing No. of DUs or Non-Residential SF to be Demolished	Proposed ³ No. of DUs or Non-Residential SF
Guest Rooms			
Studios	0	0	5
One Bedrooms	0	0	161
Two Bedrooms	0	0	34
Three Bedrooms			
_____ Bedrooms			
Non-Residential SF			
Other			

³ Per AB 2556, replacement units shall be equivalent to the number of units and number of bedrooms of the existing development.

4. APPLICATION TYPE

☐ Density Bonus (per LAMC Section 12.22 A.25 or Government Code Section 65915) with only **Base Incentives** filed in conjunction with another discretionary approval.

☒ Density Bonus with **On-Menu Incentives** (specify):

1) 20% reduction in side yard (north) _____

2) 20% reduction in side yard (south) _____

3) _____

4) _____

☒ Density Bonus with **Off-Menu Incentives** (specify):

1) 50% reduction in required open space _____

2) 350% increased in RFAR _____

3) _____

4) _____

☒ Density Bonus with **Waivers of Development Standards** (specify):

1) Waiver of height to permit total height of 79'-6" _____

2) _____

3) _____

4) _____

☐ Greater Downtown Housing Incentive Area per LAMC Section 12.22 A.29

☐ Affordable Housing per LAMC Section 11.5.11 (Measure JJJ)

☐ Public Benefit Project per LAMC Section 14.00 A.2

☐ General Plan Amendment per LAMC Section 11.5.6

Request: _____

☐ Zone/Height District Change per LAMC Section 12.32

Request: _____

☐ Conditional Use per LAMC Section 12.24 U.26

☐ Site Plan Review per LAMC Section 16.05

☐ Specific Plan Project Permit Compliance per LAMC Section 11.5.7 C

☐ Community Design Overlay per LAMC Section 13.08

☐ Coastal Development Permit per LAMC Section 12.20.2 or 12.20.2.1

☐ Tract or Parcel Map per LAMC Section 17.00 or 17.50

☐ Other (specify): _____

5. ENVIRONMENTAL REVIEW

☒ Project is Exempt⁴

☐ Not Yet Filed

☐ Filed (Case No.): _____

6. HOUSING DEVELOPMENT PROJECT TYPE

CHECK ALL THAT APPLY:

☒ For Rent ☐ For Sale ☐ Mixed-Use Project ☐ Residential Hotel

☐ Extremely Low Income ☐ Very Low Income ☒ Low Income ☒ Moderate Income

☒ Market Rate ☐ Supportive Housing ☐ Senior

☐ Special Needs (describe): _____

☐ Other Category (describe): _____

7. DENSITY CALCULATION

*(Per AB 2334, RD5 is the "maximum allowable density" permitted by the land use designation, the zoning, and any applicable specific plan.

A. Base Density: Maximum density allowable per zoning This site is designated Low Residential by the Community Plan, which corresponds to RD5 density.)

Lot size (including any ½ of alleys)⁵ 41,810 SF (a) (per survey)

Density allowed by Zone 5,000* SF of lot area per DU (b)

No. of DUs allowed by right (per LAMC) 8 DUs (c) [c = a/b, round down to whole number]

Base Density 9 DUs (d) [d = a/b, round up to whole number]

B. Maximum Allowable Density Bonus⁶ 13 DUs (e) [e = dx1.35, round up to whole number]

⁴ Project may be exempt from CEQA review if it qualifies for a CEQA Exemption or is a Ministerial Project (aka, "By Right").

⁵ If there is a related subdivision case, the lot area shall be calculated based on the site area after a dedication of land has been provided.

⁶ Per AB 2345, 100% affordable housing developments may request an 80% density increase or unlimited density if the project site is within 0.5 miles of a Major Transit Stop.

C. Proposed Project: Please indicate total number of DUs requested and break down by levels of affordability set by each category (California Department of Housing and Community Development [HCD] or United States Department of Housing and Urban Development [HUD]). For information on HCD and HUD levels of affordability please contact LAHD at lahd-landuse@lacity.org.

	Total	HCD (State)	HUD (TCAC)
Market Rate		N/A	N/A
Managers Unit(s) - Market Rate	1	N/A	N/A
Extremely Low Income (ELI)			
Very Low Income (VLI)			
Low Income (LI)	160	--	160
Moderate Income	39	39	--
Permanent Supportive Housing — ELI			
Permanent Supportive Housing — VLI			
Permanent Supportive Housing — LI			
Seniors — Market Rate		N/A	N/A
Other			
Other			
Other			
Other			
TOTAL No. of DUs Proposed	200	(f)	
TOTAL No. of Affordable Housing DUs	199	(g)	
No. of Density Bonus DUs	192	(h) [If $f > c$, then $h = f - c$; if $f < c$, then $h = 0$]	
Percent of Density Bonus Requested	2,122%	(i) $\{i = 100 \times [(f/d) - 1]\}$ (round down)	
Percent of Affordable Set Aside	100%	(j) $[g/d, \text{round down to a whole number}]$	

8. SITE PLAN REVIEW CALCULATION

An application for Site Plan Review (SPR) may be required for projects that meet any of the SPR thresholds as outlined in LAMC Section 16.05 C, unless otherwise exempted per LAMC Section 16.05 D. For Density Bonus projects involving bonus units, please use the formula provided below to determine if the project meets the SPR threshold for unit count. If the project meets the threshold(s) but qualifies under the exemption criteria per Section 16.05 D, please confirm the exemption with City Planning's DSC AHSS.

8 units allowed by right (permitted by LAMC) – 0 existing units = 8 units

☐ **YES, SPR is required.**

Proposed by-right units minus existing units is equal to or greater than 50⁷

☐ **NO, SPR is not required.**

Base Density units minus existing units is less than 50

☒ **Exempt.**

Specify reason: Project is exempt from SPR per ED 1

II. DENSITY BONUS (LAMC SECTION 12.22 A.25, ORDINANCE NO. 179,681)

9. PARKING OPTIONS

CHECK ALL THAT APPLY:

☐ **Automobile Parking Reductions via Bicycle Parking for Residential Uses⁸. Choose only one of the options, if applicable:**

☐ 10%

☐ 15% (*Only for residential projects or buildings located within 1,500 feet of a Major Transit Stop*)

☐ 30% (*If selecting the 30% parking reduction, the project will be ineligible for any of the Parking Options listed below*)

If selecting the 30% parking reduction, provide the following information:

Required Parking per LAMC: _____

Required Parking after the 30% reduction: _____

⁷ Site Plan Review may also be required if other characteristics of the project exceeds the thresholds listed in LAMC Section 16.05.

⁸ Any project utilizing Parking Option 3 may not further reduce automobile parking via bicycle parking.

☒ **Automobile Parking for Residential Uses (choose only one of the following options):**

Note: Any fractional numbers are rounded up.

☐ **Parking Option 1.** Based on # of bedrooms, inclusive of Handicapped and Guest parking.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
0-1 Bedroom		1		
2-3 Bedrooms		1.5		
4 or more Bedrooms		2.5		
Stalls Reduced via Bike Parking				Subtract:
TOTALS				

☐ **Parking Option 2.** Reduced only for Restricted Affordable Units and up to 40% of required parking for Restricted Affordable Units may be compact stalls.

	# of DUs	Spaces/DU	Parking Required	Parking Provided
Market Rate (Including Senior Market Rate)		Per Code		
Restricted Affordable		1		
VLI/LI Senior or Disabled		0.5		
Restricted Affordable in Residential Hotel		2.5		
Stalls Reduced via Bike Parking				Subtract:
TOTALS				

☒ **Parking Option 3 [AB 2345 (2020)].** Applies to two types of projects:

- 100% affordable housing developments consisting solely of affordable units, exclusive of a manager's unit(s), with an affordable housing cost to lower income families; or
- Mixed-income developments consisting of 11% VLI or 20% LI units.

☒ **100% Affordable Housing Developments.** There is no minimum parking requirement for any of the following 100% affordable housing developments described below. Check all that apply:

☒ A housing development located within 0.5 miles of a Major Transit Stop.

☐ A housing development for individuals who are 62 years of age or older with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.

☐ **Special Needs Housing Development**, as defined in Section 51312 of the Health and Safety Code (H&SC), with either paratransit service or unobstructed access, within 0.5 miles to a fixed bus route that operates at least eight times per day.

☐ **Supportive Housing Development**, as defined in Section 50675.14 of the H&SC.

☐ **Mixed-Income Developments** consisting of 11% VLI or 20% LI units.

	Spaces/Unit	Parking Required	Parking Provided
Located within 0.5 miles of Major Transit Stop with unobstructed access to project	0.5		

Major Transit Stop is defined as a site containing an existing rail or bus rapid transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

Bus Rapid Transit is defined as public mass transit service provided by a public agency or by a public-private partnership that includes all of the following features:

- 1) Full-time dedicated bus lanes or operation in a separate right-of-way dedicated for public transportation with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.
- 2) Transit signal priority.
- 3) All-door boarding.
- 4) Fare collection system that promotes efficiency.
- 5) Defined stations.

10. INCENTIVES

A. Qualification for Incentives

Below is the minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application. Check only one:

Incentives	% Very Low Income	% Low Income	% Moderate Income
One	<input type="checkbox"/> 5% to <10%	<input type="checkbox"/> 10% to <20%	<input type="checkbox"/> 10% to <20%
Two	<input type="checkbox"/> 10% to <15%	<input type="checkbox"/> 20% to <30%	<input type="checkbox"/> 20% to <30%
Three	<input type="checkbox"/> 15% or greater	<input type="checkbox"/> 30% or greater	<input type="checkbox"/> 30% or greater

☒ **100% Affordable Housing Developments may request up to four (4) incentives and one (1) Waiver of Development Standard.** Check this box if this applies to the project.

B. Project Zoning Compliance & Incentives (Only for projects requesting a Density Bonus with Incentives/Waivers)

	Permitted w/o Incentives	Proposed per Incentives	On-Menu	Off-Menu
<input checked="" type="checkbox"/> Yard/Setback (each yard counts as one incentive)				
<input type="checkbox"/> Front (1)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Front (2)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Side (1)	11.15 ft	8 ft 11 in	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Side (2)	11.15 ft	8 ft 11 in	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Rear	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Coverage	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Lot Width	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Floor Area Ratio ⁹	18,814 sf (RFAR)	146,506sf (RFAR)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/> Height/Stories ¹⁰	28 ft	79 ft-6 in	<input type="checkbox"/>	<input type="checkbox"/> (WAIVER)
<input type="checkbox"/> Overall Height	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Transitional Height(s)	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Open Space	20,850 sf	10,425 sf	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/> Density Calculation	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Averaging (all count as one incentive — check all that are needed)				
<input type="checkbox"/> FAR				
<input type="checkbox"/> Density				
<input type="checkbox"/> Parking				
<input type="checkbox"/> Open Space				
<input type="checkbox"/> Vehicular Access				
<input type="checkbox"/> Other Off-Menu Incentives (specify): _____				

☒ Waiver of Development Standards (specify): Waiver to permit a height of 79 ft 6 in
Waiver to permit a height of 79 ft 6 in

☐ 100% Affordable Housing Development shall receive a height increase of three additional stories up to 33 additional feet. Check the box if this applies to your project.

TOTAL No. of Incentives Requested: On-Menu 2 Off-Menu 2

TOTAL No. of Waivers Requested: 1

⁹ See LAMC Section 12.22 A.25(f)(4) for additional requirements.

¹⁰ See LAMC Section 12.22 A.25(f)(5) for additional requirements.

11. COVENANT

All Density Bonus projects are required to prepare and record an Affordability Covenant to the satisfaction of the LAHD's Occupancy Monitoring Unit **before** a building permit can be issued. For more information, please contact the LAHD at lahd-landuse@lacity.org.

III. GREATER DOWNTOWN HOUSING INCENTIVE AREA (LAMC SEC. 12.22 A.29, ORDINANCE NO. 179,076)

12. GREATER DOWNTOWN HOUSING INCENTIVE AREA (GDHIA)

A. Eligibility for Floor Area Bonus

NOTE: The affordability levels required are set by the HUD/TCAC. For information on HCD and HUD levels of affordability please contact the LAHD at lahd-landuse@lacity.org.

- ☐ 5% of the total number of DUs provided for VLI households; and
- ☐ One of the following shall be provided:
 - ☐ 10% of the total number of DUs for LI households; or
 - ☐ 15% of the total number of DUs for Moderate Income households; or
 - ☐ 20% of the total number of DUs for Workforce Income households, and
- ☐ Any DU or Guest Room occupied by a household earning less than 50% of the Area Median Income (AMI) that is demolished or otherwise eliminated shall be replaced on a one-for-one basis within the Community Plan area in which it is located

B. Incentives

NOTE: Must meet all three (3) eligibility requirements from 12.A above and provide a Covenant & Agreement (See #11).

CHECK ALL THAT APPLY:

- ☐ A 35% increase in total floor area
- ☐ Open Space requirement pursuant to LAMC Section 12.21 G reduced by one-half, provided that a fee equivalent to amount of the relevant park fee, pursuant to LAMC Section 19.17, shall be paid for all dwelling units. See LAMC Section 12.29 A.29(c) for exceptions
- ☐ No parking required for units for households earning less than 50% AMI
- ☐ No more than one parking space required for each dwelling unit

C. Additional Incentives to Produce Housing in the GDHIA

- ☐ No yard requirements except as required by the Urban Design Standards and Guidelines
- ☐ Buildable area shall be the same as the lot area (for the purpose of calculating buildable area for residential and mixed-use)

- ☐ Maximum number of dwelling units or guest rooms permitted shall not be limited by the lot area provisions, as long as the total floor area utilized by guest rooms does not exceed the total floor area utilized by dwelling units
- ☐ No prescribed percentage of the required open space that must be provided as either common open space or private open space

IV. MEASURE JJJ¹¹ (LAMC Sec. 11.5.11, Ordinance No. 184, 745)

13. AFFORDABLE REQUIREMENTS

A certain percentage of affordable units is required based on the total number of units in the project.

Fill out either A or B below:

A. Rental Projects

- ☐ No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - ☐ _____ % VLI **OR** ☐ _____ % LI
- ☐ For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - ☐ 5% ELI **AND** ☐ 6% VLI **OR** ☐ 15% LI
- ☐ For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35%:
 - ☐ 5% ELI **AND** ☐ 11% VLI **OR** ☐ 20% LI

Required Number of Affordable Units

ELI _____ VLI _____ LI _____

B. For Sale Projects

- ☐ No less than the affordability percentage corresponding to the level of density increase requested or allowed:
 - ☐ _____ % VLI **OR** ☐ _____ % LI **OR** ☐ _____ % Moderate Income
- ☐ For projects requesting a General Plan Amendment, Zone Change, and/or Height District Change that results in an increased allowable density greater than 35% or allows a residential use where not previously allowed:
 - ☐ 11% VLI **OR** ☐ 20% LI **OR** ☐ 40% Moderate Income

Required Number of Affordable Units

VLI _____ LI _____ Moderate Income _____

¹¹ All fractional amounts in Sections 13 and 14 shall be rounded up to the next whole number.

14. ALTERNATIVE COMPLIANCE OPTIONS

In lieu of providing the affordable units on site, there are three (3) other options available to comply with Measure JJJ Affordable Requirements. Select one, if applicable; otherwise leave this section blank.

A. Off-Site Construction – Construction of affordable units at the following rate:

- ☐ Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- ☐ Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- ☐ Within 3 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

B. Off-Site Acquisition – Acquisition of property that will provide affordable units at the following rate:

- ☐ Within 0.5 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.0
- ☐ Within 1 mile of the outer edge of the Project, Affordable Units in Section 13 x 1.25
- ☐ Within 2 miles of the outer edge of the Project, Affordable Units in Section 13 x 1.5

Updated Required Number of Affordable Units

ELI _____ VLI _____ LI _____ Moderate Income _____

C. In-Lieu Fee – From the Affordability Gaps Study published by the Los Angeles City Planning

Total In-Lieu Fee _____ (Note: Final fee TBD if/when the project is approved)

15. DEVELOPER INCENTIVES

Please describe up to a maximum of three (3) incentives:

- 1) _____

- 2) _____

- 3) _____

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with LADBS.



UNCOMMON ETHEL

ENTITLEMENT SET // 5.31.2023

GENERAL CONTRACTOR // UNCOMMON DEVELOPERS	
9220 WINNETKA AVE LOS ANGELES, CA 91311	LEON BENRIMON 310.980.7206 // LEON@UNCOMMONDEVELOPERS.COM
GENERAL CONTRACTOR // UNCOMMON DEVELOPERS	
9220 WINNETKA AVE LOS ANGELES, CA 91311	DAVID MAS 323.833.7733 // DAVID@UNCOMMONDEVELOPERS.COM
GENERAL CONTRACTOR // UNCOMMON DEVELOPERS	
9220 WINNETKA AVE LOS ANGELES, CA 91311	CARLOS SANCHEZ 626.665.2836 // CARLOS@UNCOMMONDEVELOPERS.COM
OWNER // 5511 ETHEL LLC	
LOS ANGELES, CA	
ARCHITECT // JEFF ZBIKOWSKI ARCHITECTURE	
4043 IRVING PL, SUITE B CULVER CITY, CA 90232	JEFF ZBIKOWSKI, AIA 310.853.5004 // JEFF@JZARCH.LA
CIVIL ENGINEER // DK ENGINEER CORP.	
6420 WILSHIRE BLVD SUITE 1000 LOS ANGELES, CA 90048	DAN KRIEF 310.926.0248 // DKRIEF@DKENGINEERCORP.COM
LANDSCAPE ARCHITECT // TGP, Inc.	
PO BOX 704 MONTROSE, CA 91021	NANDA RAGHUNATHAN 818.797.5914 // NANDAR@TGPIINC.NET
STRUCTURAL ENGINEER // DCI ENGINEERS	
523 W 6TH ST SUITE 616 LOS ANGELES, CA 90014	NOLAN G. LENAHAN 916.337.1449 // NLENAHAN@DCI-ENGINEERS.COM
MECHANICAL ENGINEER // PRECISE AIR SYSTEMS	
5467 SAN FERNANDO RD WEST LOS ANGELES, CA 90039	ARIS SHAHMIRZAIAN 818.140.1737 // ARIS@PRECISEAIR.COM

ELECTRICAL ENGINEER // SABAG ELECTRIC CORPORATION	
8786 YOLANDA AVE. NORTHRIDGE, CA 91324	JONATHAN SABAG 818.974.4450 // JONATHAN@SABAGELECTRIC.COM
PLUMBING ENGINEER // LEWIS ROSS ASSOCIATES, INC	
25061 AVE STANFORD SUITE 120 VALENCIA, CA 91355	TRAVIS PREMO 808.439.6870 // TRAVIS.PREMO@LEWISROSS.COM

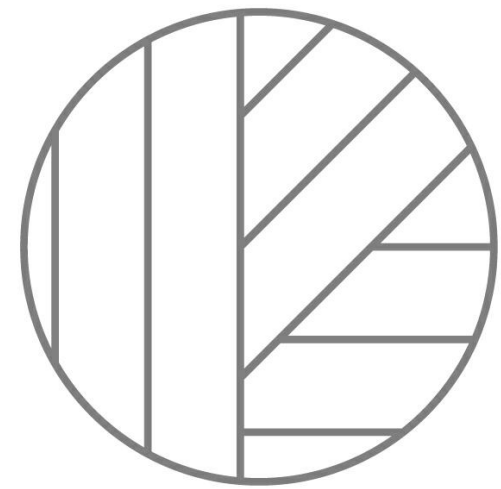
GENERAL	
G000	COVER SHEET
G001	PROJECT INFORMATION
G002	SITE PHOTOS & EXISTING CONDITIONS
G003	RENDERINGS
G009	GROSS AREA CALCULATIONS
G010	ZONING CODE AREA DIAGRAMS
G012	OPEN SPACE CALCULATIONS
G013	OCCUPANCY LOAD DIAGRAMS
G016	CODE COMPLIANCE DIAGRAMS
G030	BUILDING RECORDS
G031	BUILDING RECORDS
G040	TYPICAL DAS DETAILS (CBC)
G041	TYPICAL DAS DETAILS (CBC)
G042	TYPICAL DAS DETAILS (CBC)
G060	SOIL APPROVAL
G080	SURVEY
G081	SURVEY
CIVIL	
C0.01	TITLE SHEET
C0.02	SOILS APPROVAL LETTER SHEET
C1.00	SURVEY (FOR REFERENCE ONLY)
C1.01	SURVEY (FOR REFERENCE ONLY)
C1.10	EROSION CONTROL AND DEMOLITION PLAN
C1.20	ROUGH GRADING PLAN
C1.21	ROUGH GRADING SECTIONS
C1.30	GRADING, HORIZONTAL CONTROL, AND PAVING PLAN
C1.40	UTILITY AND LID PLAN - LEVEL 1
C1.41	UTILITY AND LID PLAN - LEVEL 3
C2.00	DETAILS
C2.01	DETAILS

LANDSCAPE	
L0.01	GENERAL INFORMATION
L1.11	HARDSCAPE PLAN - LEVEL 1 WEST
L1.12	HARDSCAPE PLAN - LEVEL 1 EAST
L1.13	HARDSCAPE PLAN - LEVEL 3
L1.21	HARDSCAPE DETAILS
L1.31	MEP COORDINATION PLAN - LEVEL 1 WEST
L1.32	MEP COORDINATION PLAN - LEVEL 1 EAST
L1.33	MEP COORDINATION PLAN - LEVEL 3
L2.11	IRRIGATION PLAN - LEVEL 1 WEST
L2.12	IRRIGATION PLAN - LEVEL 1 EAST
L2.13	IRRIGATION PLAN - LEVEL 3
L3.11	PLANTING PLAN - LEVEL 1 WEST
L3.12	PLANTING PLAN - LEVEL 1 EAST
L3.13	PLANTING PLAN - LEVEL 3
L3.21	PLANTING DETAILS
ARCHITECTURAL	
A000	SITE PLAN
A110	1ST FLOOR PLAN
A120	2ND FLOOR PLAN
A130	3RD FLOOR PLAN
A140	4TH FLOOR PLAN
A150	5TH FLOOR PLAN
A160	6TH FLOOR PLAN
A170	7TH FLOOR PLAN
A180	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A202	COURTYARD ELEVATIONS
A300	BUILDING SECTIONS
A301	BUILDING SECTIONS
A500	ENLARGED PLANS AND SECTIONS ELEVATOR #1
A501	ENLARGED PLANS AND SECTIONS ELEVATOR #2
A510	ENLARGED PLANS AND SECTION STAIR #1
A511	ENLARGED PLANS AND SECTION STAIR #2
A512	ENLARGED PLANS AND SECTION STAIR #3 & STAIR #4

ARCHITECTURAL CONT.	
A600	ENLARGED UNIT PLANS
A601	ENLARGED UNIT PLANS
A602	ENLARGED UNIT PLANS
A603	ENLARGED UNIT PLANS
A650	ENLARGED PLANS AND ELEVATIONS
A661	ENLARGED COURTYARD PLAN
A710	1ST FLOOR RCP
A720	2ND FLOOR RCP
A730	3RD FLOOR RCP
A740	4TH FLOOR RCP
A750	5TH FLOOR RCP
A760	6TH FLOOR RCP
A770	7TH FLOOR RCP
A980	BIKE RACK DETAILS
A990	BIKE RACK DETAILS
STRUCTURAL	

MECHANICAL	
M001	GENERAL NOTES SCHEDULE AND LEGENDS
M002	GENERAL NOTES SCHEDULE AND LEGENDS
M003	GENERAL NOTES SCHEDULE AND LEGENDS
M004	EQUIPMENT SCHEDULE
M110	1ST FLOOR PLAN
M120	2ND FLOOR PLAN
M130	3RD FLOOR PLAN
M140	4TH FLOOR PLAN
M150	5TH FLOOR PLAN
M160	6TH FLOOR PLAN
M170	7TH FLOOR PLAN
M180	ROOF PLAN
PLUMBING	

ELECTRICAL	
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JZA
ARCHITECTURE

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



REVISIONS

6/30/23 JEFF ZBIKOWSKI ARCHITECTURE
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CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
UNCOMMON
ETHEL

NOT FOR CONSTRUCTION

PROJECT ADDRESS
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
COVER SHEET

SHEET NUMBER
G000
DRAWING SET TITLE
ENTITLEMENT SET

ARCHITECTURAL ABBREVIATIONS

Ø	AT	FLR	FLOOR	P	PROPERTY LINE
Ø	DIAMETER	FMC	FLOOR MATERIAL CHANGE	PIP	PROTECT IN PLACE
AB	ANCHOR BOLT	FOC	FACE OF CONCRETE	PLAM	PLASTIC LAMINATE
A/C	AIR CONDITIONING	FOF	FACE OF FINISH	PT	PAINT
ACT	ACOUSTIC CEILING TILE	FOM	FACE OF MASONRY	PTD	PAINTED
ADA	AMERICANS WITH DISABILITIES ACT	FOS	FACE OF STUD		
		FR	FIRE RESISTIVE	QTY	QUANTITY
		FS	FINISH SURFACE		
ADJ	ADJACENT	GA	GAGE	R	RADIUS or RISER
APF	ABOVE FINISH FLOOR	GALV	GALVANIZED	RCP	REFLECTED CEILING PLAN
ALT	ALTERNATE	GB	GRAB BAR	RD	ROOF DRAIN
ALUM	ALUMINUM	GC	GENERAL CONTRACTOR	REF	REFRIGERATOR
APPROX	APPROXIMATELY	GYP BD	GYPSPUM BOARD	REQ'D	REQUIRED
ARCH	ARCHITECT			REV	REVISION or REVISED
				RM	ROOM
BD	BOARD	HB	HOSE BIBB	ROW	RIGHT OF WAY
BF	BRACE FRAME	HC	HOLLOW CORE	RRM	RESTROOM
BLK	BLOCK	HCW	HOLLOW CORE WOOD		
BM	BEAM	HDR	HEADER	SC	SOLID CORE
BTWN	BETWEEN	HM	HOLLOW METAL	SCW	SOLID CORE WOOD
		HR	HANDRAIL	SF	SQUARE FEET
⌒ B	CABINET	HT	HEIGHT	SHT	SHEET
				SHTG	SHEATHING
CL	CENTER LINE	INS	INSULATION	SIM	SIMILAR
CLG	CLOSET	INT	INTERIOR	SL	SLOPE
CLR	CEILING			ST STL	STAINLESS STEEL
CMU	CLEAR	JST	JOIST	STL	STEEL
COL	CONCRETE MASONRY UNIT			STRUCT	STRUCTURAL
CONC	COLUMN	LAM	LAMINATE		
CONC	CONCRETE	LAV	LAVATORY	T	TREAD
CONT	CONTINUOUS	LIN	LINOLEUM	TBD	TO BE DETERMINED
CONTR	CONTRACTOR			TH	THRESHOLD
CPT	CARPET			THK	THICK
CRS	COURSES	MAX	MAXIMUM	TJ	TRUSS JOIST
CT	CERAMIC TILE	MECH	MECHANICAL	TO	TOP OF
		MFR	MANUFACTURER	TOC	TOP OF CONCRETE
(D)	DEMOLISH	MIN	MINIMUM	TOP	TOP OF PLATE
DAS	DISABLED ACCESS	MISC	MISCELLANEOUS	TOS	TOP OF SLAB
DBL	DOUBLE	MO	MASONRY OPENING	TOSHTG	TOP OF SHEATHING
DIA	DIAMETER	MTD	MOUNTED	TOW	TOP OF WALL
DIM	DIMENSION	MTL	METAL	TYP	TYPICAL
DN	DOWN	N	NOTE	UNO	UNLESS NOTED OTHERWISE
DS	DOWNSPOUT	(N)	NEW	VCT	VINYL COMPOSITION TILE
DWG	DRAWING	NIC	NOT IN CONTRACT	VERT	VERTICAL
		NTS	NOT TO SCALE	VIF	VERIFY IN FIELD
(E)	EXISTING				
ELECT	ELECTRICAL	OC	ON CENTER	W/	WITH
ELEV	ELEVATOR	OFCl	OWNER FURNISHED- CONTRACTOR INSTALLED	WC	WATER CLOSET
EOS	EDGE OF SLAB	OFOI	OWNER FURNISHED- OWNER INSTALLED	WD	WOOD
EQ	EQUAL	OFVI	OWNER FURNISHED- VENDOR INSTALLED	WH	WATER HEATER
EXT	EXTERIOR	OH	OVERHEAD	WP	WATERPROOF
		OPNG	OPENING	WPT	WORK POINT
FE	FIRE EXTINGUISHER				
FF	FINISH FLOOR				
FIN	FINISH				
FJ	FLOOR JOIST				

ARCHITECTURAL SYMBOLS

	DETAIL		WINDOW MARK		ALIGN FINISHES
	BUILDING SECTION		DOOR MARK		SMOKE DETECTOR
	WALL SECTION		WALL TYPE		FIRE EXTINGUISHER
	INTERIOR ELEVATION		WORK POINT		AREA DRAIN
	EXTERIOR ELEVATION		NOTE		FLOOR DRAIN
	ELEVATION MARK		ACCESSIBLE PATH OF TRAVEL		FLOOR MATERIAL TRANSITION
			FENCE		SECURITY OPENING
			EXIT SIGN		

LAOBS APPROVAL STAMP

OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE REQUIREMENTS PER LAMC 12.21.G:

<3 HABITABLE ROOMS = 100 SF / UNIT (STUDIOS & 1BR UNITS)

<3 HABITABLE ROOMS = 125 SF / UNIT (2BR UNITS)

<3 HABITABLE ROOMS = 175 SF / UNIT (3BR UNITS)

OPEN SPACE REQUIRED			
UNIT TYPE	HABITABLE ROOMS	# OF UNITS	REQD OPEN SPACE
1 BR	2	172	17,200 SF
2 BR	3	22	2,750 SF
3 BR	4	1	175 SF
STUDIO	1	5	500 SF
GRAND TOTAL		200	20,625 SF

PROJECT SEEKS A 58.2% REDUCTION OF OPEN SPACE PER LAMC 12.22.A.25

REQUIRED OPEN SPACE = 20,625 SF X 50% = 10,312.50 SF

50% MIN COMMON OPEN SPACE = 10,312.50 SF X 50% = 5,156.25 SF

25% OF COMMON OPEN SPACE SHALL BE PLANTED 10,312.50 SF X 25% = 2,578.125 SF

TREE REQUIREMENTS:

(1) 24" BOX TREE FOR EVERY 4 UNITS 200 UNITS = 50 TREES

(1) 24" BOX TREE FOR EVERY 500 SF FRONT YARD LANDSCAPING: 1,830 SF = 4 TREES

NOTES:

1. A KITCHEN IS NOT CONSIDERED A HABITABLE ROOM FOR THE PURPOSES OF CALCULATING OPEN SPACE

2. PER LAMC 12.21.G.2(a)(1)(ii) COMMON OPEN SPACE MUST HAVE MINIMUM AREA OF 400 SF WITH NO HORIZONTAL DIMENSIONS LESS THAN 15 WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES.

OPEN SPACE PROVIDED			
NAME	TYPE	LEVEL	AREA
COMMON OPEN SPACE		1ST FL FFE	7,160 SF
COMMON OPEN SPACE		3RD FL FFE	4,770 SF
COMMON OPEN SPACE			11,930 SF
GRAND TOTAL			11,930 SF

PLANTED OPEN SPACE = 3,460 SF

OCCUPANCY AREA CALCULATIONS

UNIT SCHEDULE & AFFORDABILITY

UNIT SCHEDULE							
NAME	NUMBER OF BEDROOMS	COUNT	REQUIRED OPEN SPACE	REQUIRED PARKING	AREA	Level	
1 BR	1	36	3,600 SF	0	14,290 SF	3RD FL FFE	
1 BR	1	34	3,400 SF	0	13,440 SF	4TH FL FFE	
1 BR	1	34	3,400 SF	0	13,434 SF	5TH FL FFE	
1 BR	1	34	3,400 SF	0	13,440 SF	6TH FL FFE	
1 BR	1	34	3,400 SF	0	13,434 SF	7TH FL FFE	
1 BR-172		172	17,200 SF	0	68,053 SF		
2 BR	2	2	250 SF	0	1,161 SF	3RD FL FFE	
2 BR	2	5	625 SF	0	2,891 SF	4TH FL FFE	
2 BR	2	5	625 SF	0	2,982 SF	5TH FL FFE	
2 BR	2	5	625 SF	0	2,982 SF	6TH FL FFE	
2 BR	2	5	625 SF	0	2,982 SF	7TH FL FFE	
2 BR-22		22	2,750 SF	0	13,090 SF		
3 BR	2	1	175 SF	0	785 SF	3RD FL FFE	
3 BR-1		1	175 SF	0	785 SF		
STUDIO	0	1	100 SF	0	361 SF	3RD FL FFE	
STUDIO	0	1	100 SF	0	361 SF	4TH FL FFE	
STUDIO	0	1	100 SF	0	361 SF	5TH FL FFE	
STUDIO	0	1	100 SF	0	361 SF	6TH FL FFE	
STUDIO	0	1	100 SF	0	361 SF	7TH FL FFE	
STUDIO-5		5	500 SF	0	1,803 SF		
Grand total: 200		200	20,625 SF	0	83,739 SF		

ZONING CODE AREA CALCULATIONS

RESIDENTIAL FLOOR AREA RATIO DEFINITION PER LAMC 12.03:

A RATIO ESTABLISHING THE RELATIONSHIP BETWEEN A PROPERTY AND THE AMOUNT OF DEVELOPMENT PERMITTED FOR THAT PROPERTY, EXPRESSED AS A PERCENTAGE OR A RATIO OF THE LOT SIZE

BASE ALLOWABLE REAR PER LAMC 12.08.1: 45% OF LOT SIZE PER LA R1-1 ZONE

TOTAL ALLOWABLE FLOOR AREA: LOT AREA X ALLOWABLE FAR = ALLOWABLE FLOOR AREA 41,810 SF X 45% = 18,814.50 SF ALLOWED

AREA SCHEDULE (FLOOR AREA)			
LEVEL	FAR	AREA	
1ST FL FFE	MISC	3,363 SF	
2ND FL FFE	MISC	2,669 SF	
3RD FL FFE	MISC	1,860 SF	
4TH FL FFE	MISC	1,971 SF	
5TH FL FFE	MISC	1,971 SF	
6TH FL FFE	MISC	1,971 SF	
7TH FL FFE	MISC	1,971 SF	
MISC		15,889 SF	
1ST FL FFE	PARKING	22,760 SF	
2ND FL FFE	PARKING	22,763 SF	
PARKING		45,523 SF	
3RD FL FFE	RESIDENTIAL	16,804 SF	
4TH FL FFE	RESIDENTIAL	17,168 SF	
5TH FL FFE	RESIDENTIAL	17,168 SF	
6TH FL FFE	RESIDENTIAL	17,168 SF	
7TH FL FFE	RESIDENTIAL	17,168 SF	
RESIDENTIAL		85,478 SF	
GRAND TOTAL		146,896 SF	

TOTAL PROVIDED FLOOR AREA: 146,896 SF

PROJECT SEEKS AN OFF-MENU REQUEST TO ALLOW 782% RFAR

RESIDENTIAL FLOOR AREA RATIO (REAR) DEFINITION PER LAMC 12.03:

THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A RESIDENTIAL OR NON-RESIDENTIAL BUILDING ON A LOT IN AN RA, RE, RS, OR R1 ZONE. ANY FLOOR OR PORTION OF A FLOOR WITH A CEILING HEIGHT GREATER THAN 14 FEET SHALL COUNT AS TWICE THE SQUARE FOOTAGE OF THAT AREA. THE AREA OF STAIRWAYS AND ELEVATOR SHAFTS SHALL ONLY BE COUNTED ONCE REGARDLESS OF CEILING HEIGHT. AREA OF AN ATTIC OR PORTION OF AN ATTIC WITH A CEILING HEIGHT OF MORE THAN 7 FEET SHALL BE INCLUDED IN THE RESIDENTIAL FLOOR AREA CALCULATION.

AUTOMOBILE PARKING

ZERO PARKING REQUIRED FOR 100% AFFORDABLE HOUSING DEVELOPMENT WITHIN 1/2 MILE OF MAJOR TRANSIT STOP PER AB1763.

PARKING SCHEDULE (STALL SIZE)			
COMPACT	RESIDENTIAL		48
EV	RESIDENTIAL		19
EV ACCESSIBLE	RESIDENTIAL		2
1ST FL FFE			69
COMPACT	RESIDENTIAL		47
EV	RESIDENTIAL		22
2ND FL FFE			69
Grand total			138

OF WHICH 2% SHALL BE ACCESSIBLE OF WHICH AT LEAST 1 SHALL BE VAN ACCESSIBLE

3 ACCESSIBLE STALLS 1 VAN ACCESSIBLE STALL

OF WHICH 30% SHALL BE EV CAPABLE OF WHICH AT LEAST 10% SHALL BE EV INSTALLED

43 EV CAPABLE STALLS 15 EV STALLS WITH CHARGERS

BICYCLE PARKING

BICYCLE PARKING REQUIRED PER LAMC 12.21.A.16:

LONG TERM PARKING: UNITS 1-25: 1 STALL PER UNIT UNITS 26-100: 1 STALL PER 1.5 UNITS UNITS 101-200: 1 STALL PER 2 UNITS 125 STALLS REQUIRED

SHORT TERM PARKING: UNITS 1-25: 1 STALL PER 10 UNITS UNITS 26-100: 1 STALL PER 15 UNITS UNITS 101-200: 1 STALL PER 20 UNITS 13 STALLS REQUIRED

BICYCLE PARKING PROVIDED:

LONG TERM PARKING: 85 STALLS PROJECT SEEKS WAIVER

SHORT TERM PARKING: 12 STALLS

BUILDING CODES USED

2023 LOS ANGELES MUNICIPAL CODE (LAMC)	2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA BUILDING CODE (CBC)	2022 CALIFORNIA RESIDENTIAL CODE (CRC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)	2022 CALIFORNIA GREEN BUILDING CODE (CGBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)	
2022 CALIFORNIA PLUMBING CODE (CPC)	

SEPARATE PERMITS

MECHANICAL	FIRE SPRINKLER SYSTEM
ELECTRICAL	BLOCK WALL
PLUMBING	
FIRE ALARM SYSTEM	

DEFERRED SUBMITTALS

FIRE ALARM SYSTEM
FIRE-SPRINKLER SYSTEM
MECHANICAL
ELECTRICAL
PLUMBING

PROJECT INFORMATION

PROJECT NAME:	UNCOMMON ETHEL
ADDRESS:	5501-5511 ETHEL AVE SHERMAN OAKS, CA 91401
ENTITLEMENTS:	NOT YET FILED
OWNER:	5511 ETHEL LLC
PROJECT DESCRIPTION:	NEW CONSTRUCTION, 7-STORY, 200-UNIT, 146,896 SF, 100% AFFORDABLE HOUSING DEVELOPMENT SEEKING ON-MENU & OFF-MENU INCENTIVES PER LAMC 12.22.A25 & AB1763
PROJECT FUNDING:	100% PRIVATELY FUNDED THIS IS NOT A PUBLIC HOUSING FACILITY OWNED AND/OR OPERATED BY, FOR OR ON BEHALF OF A PUBLIC ENTITY AND NO TAX CREDIT SHALL BE RECEIVED FROM STATE OR FEDERAL GOVERNMENTS. NOT A TCAC FACILITY AND NOT A SOCIAL SERVICE CENTER.
CONSTRUCTION TYPE:	TYPE-IA (1ST-2ND FLOORS) TYPE-IIIa (3RD-7TH FLOORS) 2-HR EXT WALLS PER LABC TABLE 601
OCCUPANCY TYPE:	R-2, A-3 S-2, B
SPRINKLERED:	NFPA-13 PER LAFC 903.2
FIRE ALARM:	MANUAL ALARM
ACCESSIBILITY:	CBC 11A

ZONING INFORMATION

ZONE:	R1-1
ZONING INFORMATION:	Z1-2462 MODIFICATIONS TO SF ZONES AND SF ZONE HILLSIDE AREA Z1-2452 TRANSIT PRIORITY AREA IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE:	LOW RESIDENTIAL (RDS DENSITY ALLOWED BY GENERAL PLAN)
ASSESSOR PARCEL NUMBER:	2345-005-016
TRACT:	TR 1000
BLOCK:	NONE
LOT:	88, ARB 19
FLOOD ZONE:	OUTSIDE FLOOD ZONE
METHANE ZONE:	NONE
SITE AREA:	41,810 SF PER SURVEY
REQUIRED SETBACKS:	FRONT: 20'-0" SIDE: 10'-0" (5'-0" + 1' EVERY STORY ABOVE THE 2ND) REAR: 15'-0"
PROVIDED SETBACKS:	FRONT: 20'-0" SIDE: 8'-11" PER LAMC 12.22.A.25 20% REDUCTION REAR: 15'-0"
ALLOWABLE HEIGHT PER LAMC:	28'-0" PER LAMC 12.21.1.A + 33' PER AB1763 = 61'-0"
PROVIDED HEIGHT PER LAMC:	80'-4"; SEE ELEVATIONS & SURVEY FOR LOWEST ADJ. GRADE
ALLOWABLE HEIGHT PER LABC:	85'-0" PER LABC TABLE 504.3
PROVIDED HEIGHT PER LABC:	75'-10 1/2" S-2 & 8'6016 FOR AVG. GRADE PLANE & ROOF EEL. CALCS
ALLOWABLE FLOOR AREA:	25,399 SF (45% RFAR PER R1-1 & 35% BONUS PER LAMC 12.22.A.25)
PROVIDED FLOOR AREA:	146,896 SF = 343% RFAR
ALLOWABLE DENSITY PER GENERAL PLAN:	LOW RESIDENTIAL GENERAL PLAN DESIGNATION PER VAN NUYS : NORTH SHERMAN OAKS COMMUNITY PLAN = RDS DENSITY = 1 UNIT PER 5,000 SF OF LOT AREA 41,810 / 5,000 = 8.36 ROUND UP = 9 UNITS BASE DENSITY
ALLOWABLE DENSITY PER AB1763:	UNLIMITED
PROVIDED DENSITY:	200 UNITS, 160 HUD LOW INCOME, 39 HCD MODERATE INCOME
REQUIRED PARKING:	NONE WHEN WITHIN 1/2 MILE OF MAJOR TRANSIT STOP, SEE 6075 FOR TRANSIT VERIFICATION FORM
PROVIDED PARKING:	138 STALLS, SEE PARKING SECTION

INCENTIVES REQUESTED

BASE INCENTIVES (S):

ZERO PARKING WHEN WITHIN 1/2 MILE OF MAJOR TRANSIT STOP PER AB1763
UNLIMITED DENSITY PER AB1763

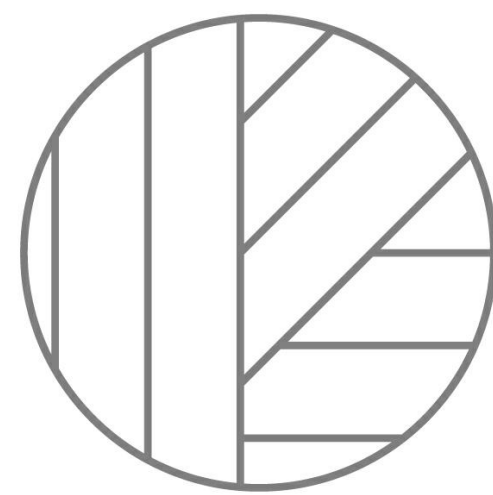
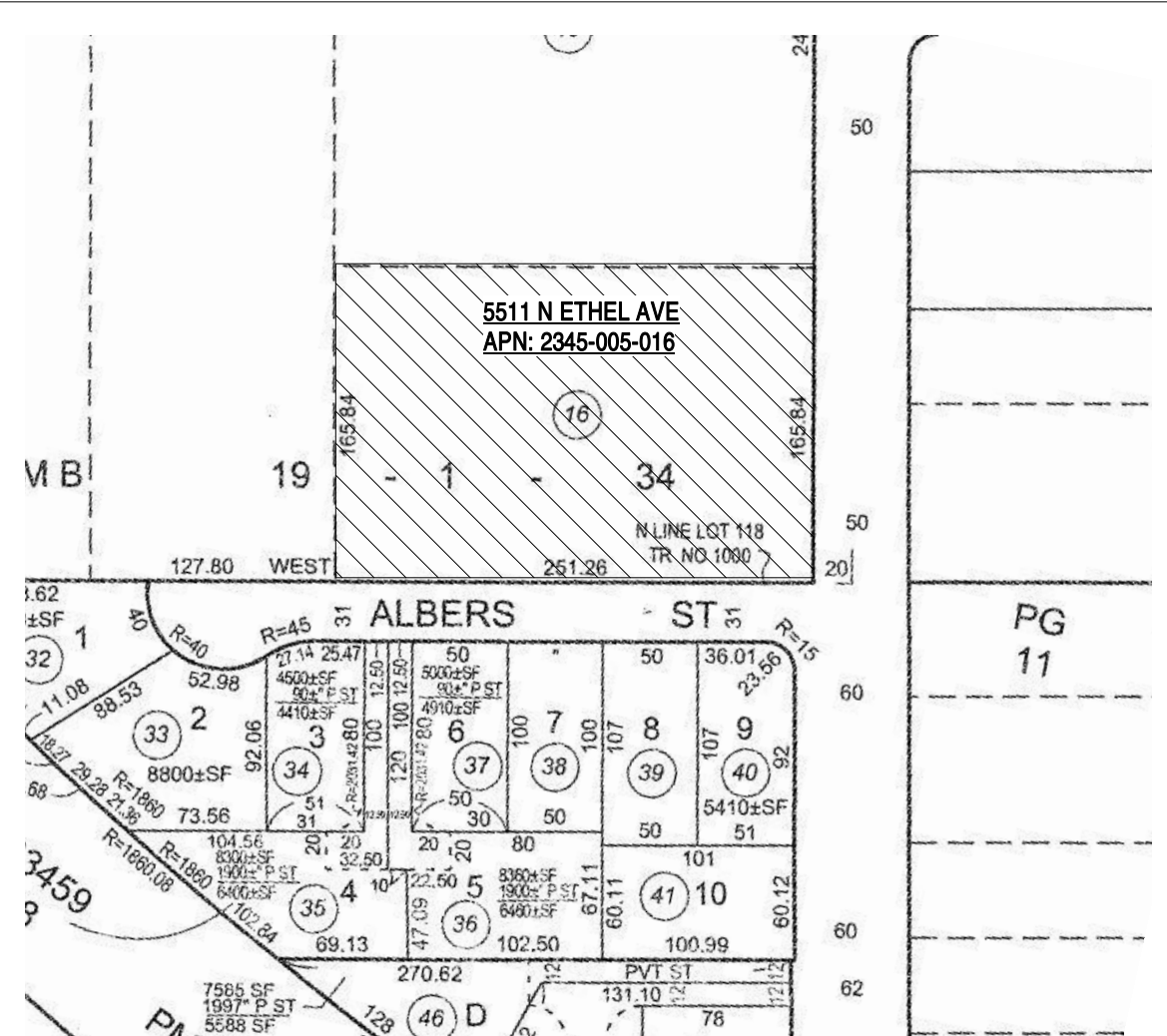
ADDITIONAL INCENTIVES (S):

20% REDUCTION IN SIDE YARD PER LAMC 12.22.A.25
20% FRONT YARD REDUCTION PER LAMC 12.22.A.25
58.7% REDUCTION IN REQUIRED OPEN SPACE PER LAMC 12.22.A.25

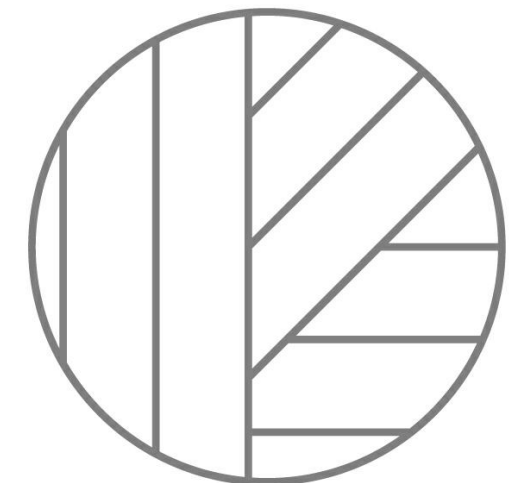
WAIVER OF DEVELOPMENT STANDARDS (I):

WAIVER TO ALLOW 26.4% REDUCTION IN BICYCLE PARKING
WAIVER OF HEIGHT REQUIREMENT TO ALLOW 8'-4" BUILDING HEIGHT
WAIVER OF FAR/RFAR REQUIREMENT TO ALLOW 782% INCREASE IN RFAR
WAIVER OF R-1 ENCROACHMENT PLANE REQUIREMENT

VICINITY MAP

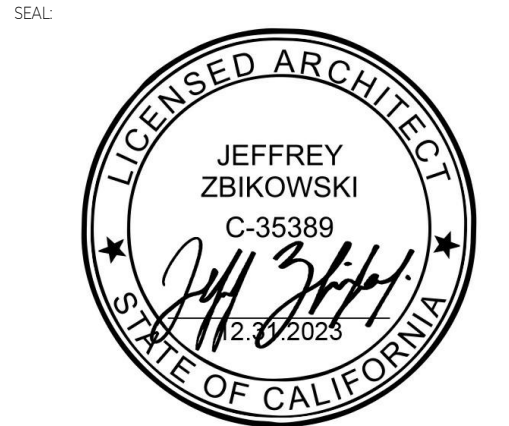


ARCHITECT
JEFF



JZA
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ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



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PROJECT NAME
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ETHEL**

NOT FOR CONSTRUCTION

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5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
**SITE PHOTOS &
EXISTING CONDITIONS**

SHEET NUMBER
C002

DRAWING SET TITLE
ENTITLEMENT SET



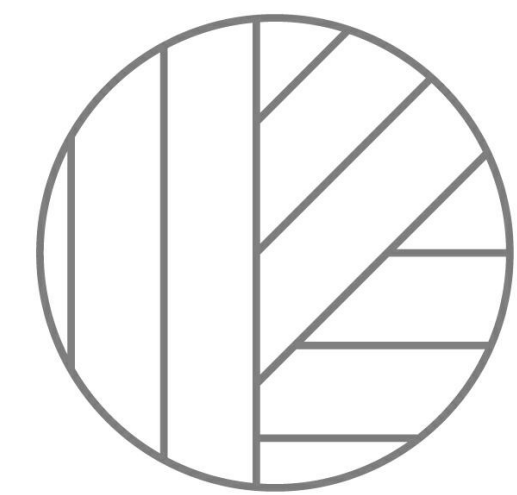
CORNER VIEW NTS 3



CORNER VIEW NTS 2



CORNER VIEW NTS 1



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ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

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CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
ETHEL**

NOT FOR CONSTRUCTION

PROJECT ADDRESS
**5511 N ETHEL AVE
SHERMAN OAKS, CA**

JOB NUMBER
2234

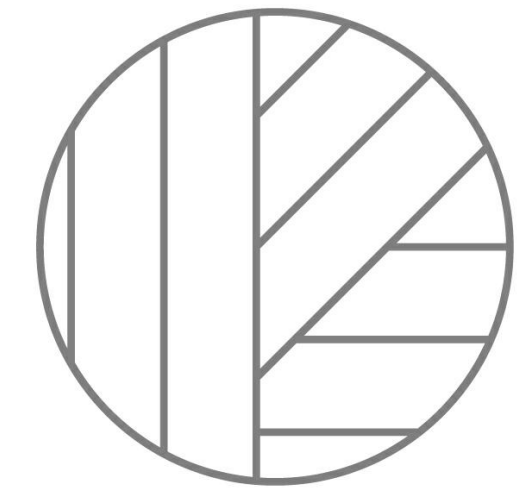
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5.31.2023

SHEET TITLE
RENDERINGS

SHEET NUMBER
G003

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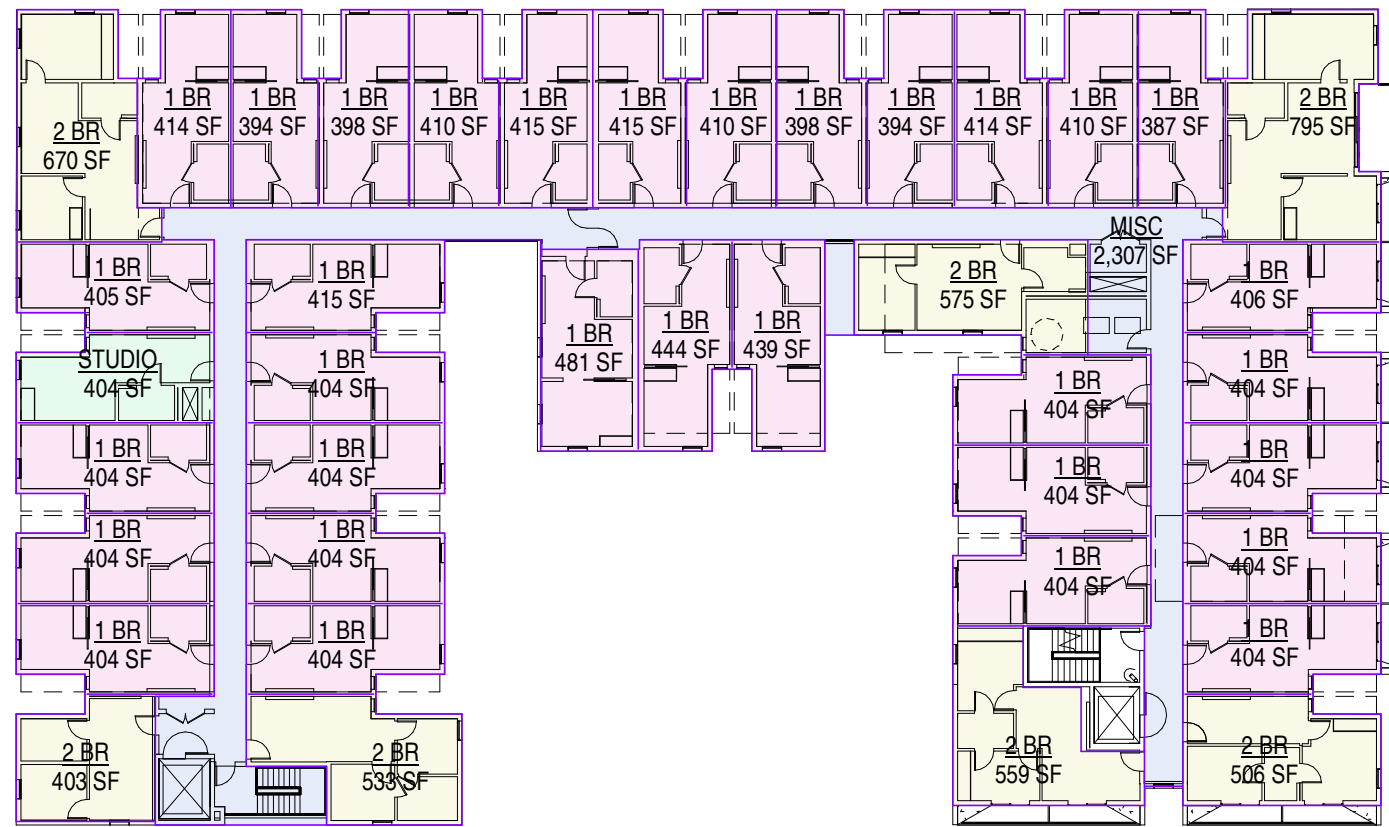
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JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

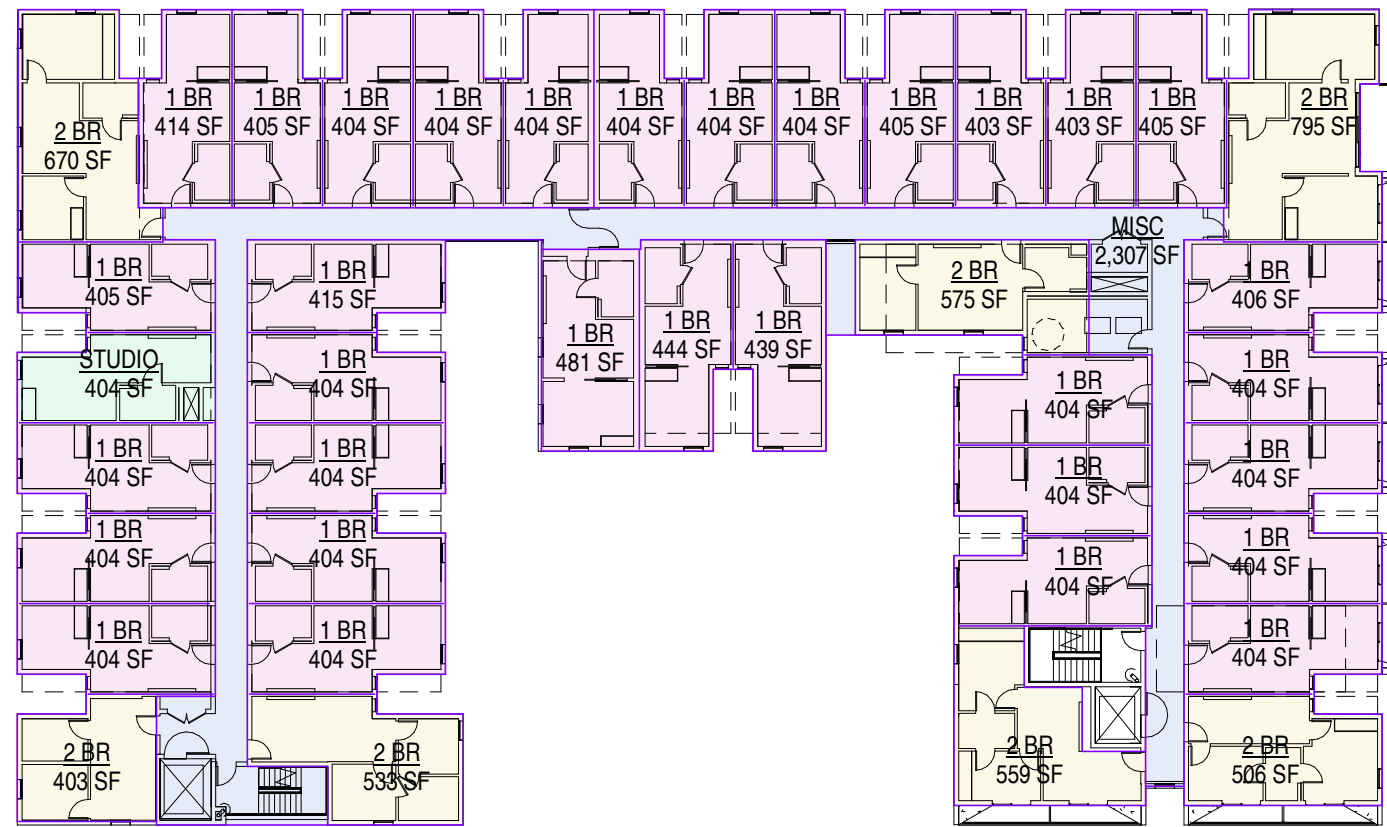
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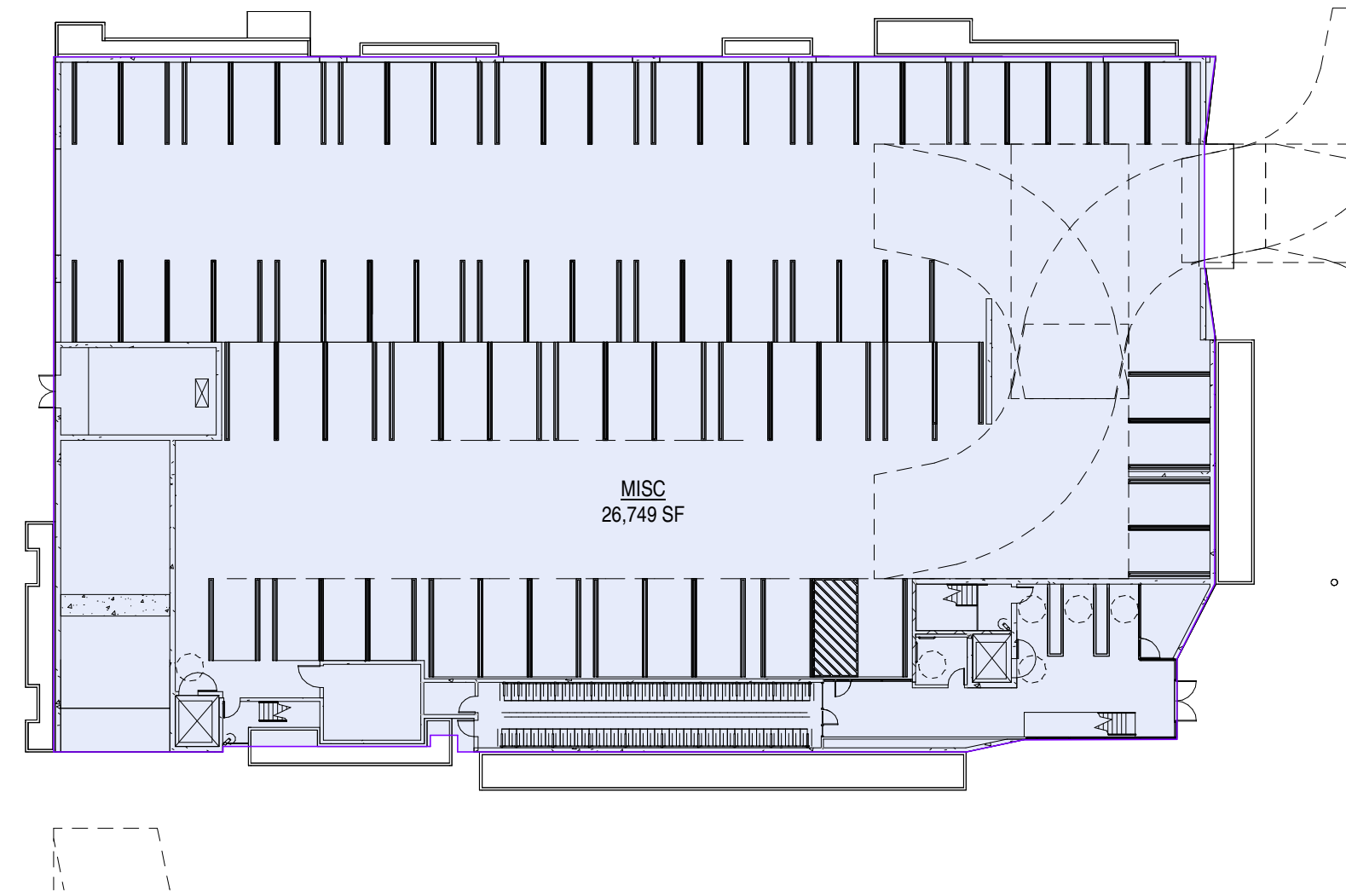
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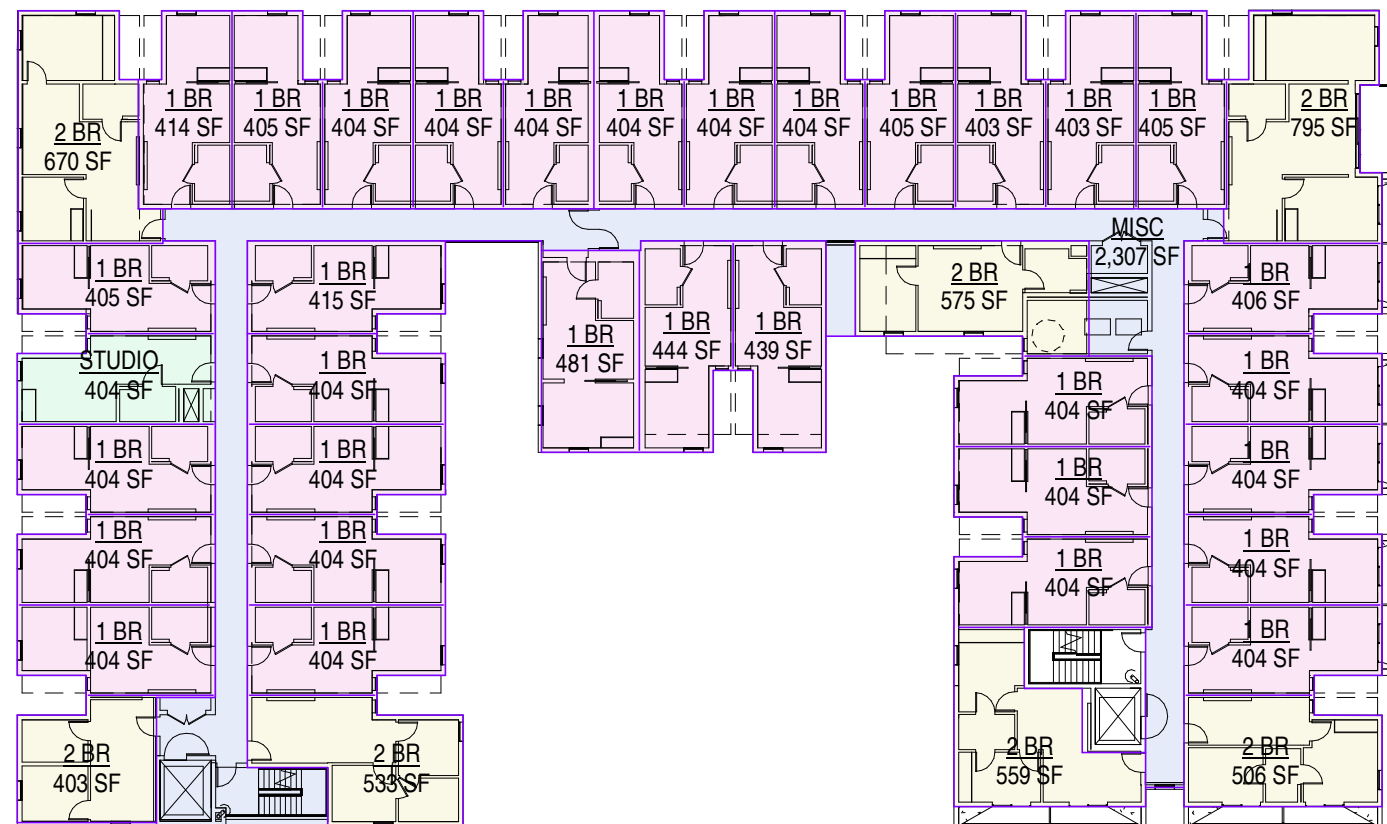
7TH FL DIAGRAM 1" = 30'-0" 7



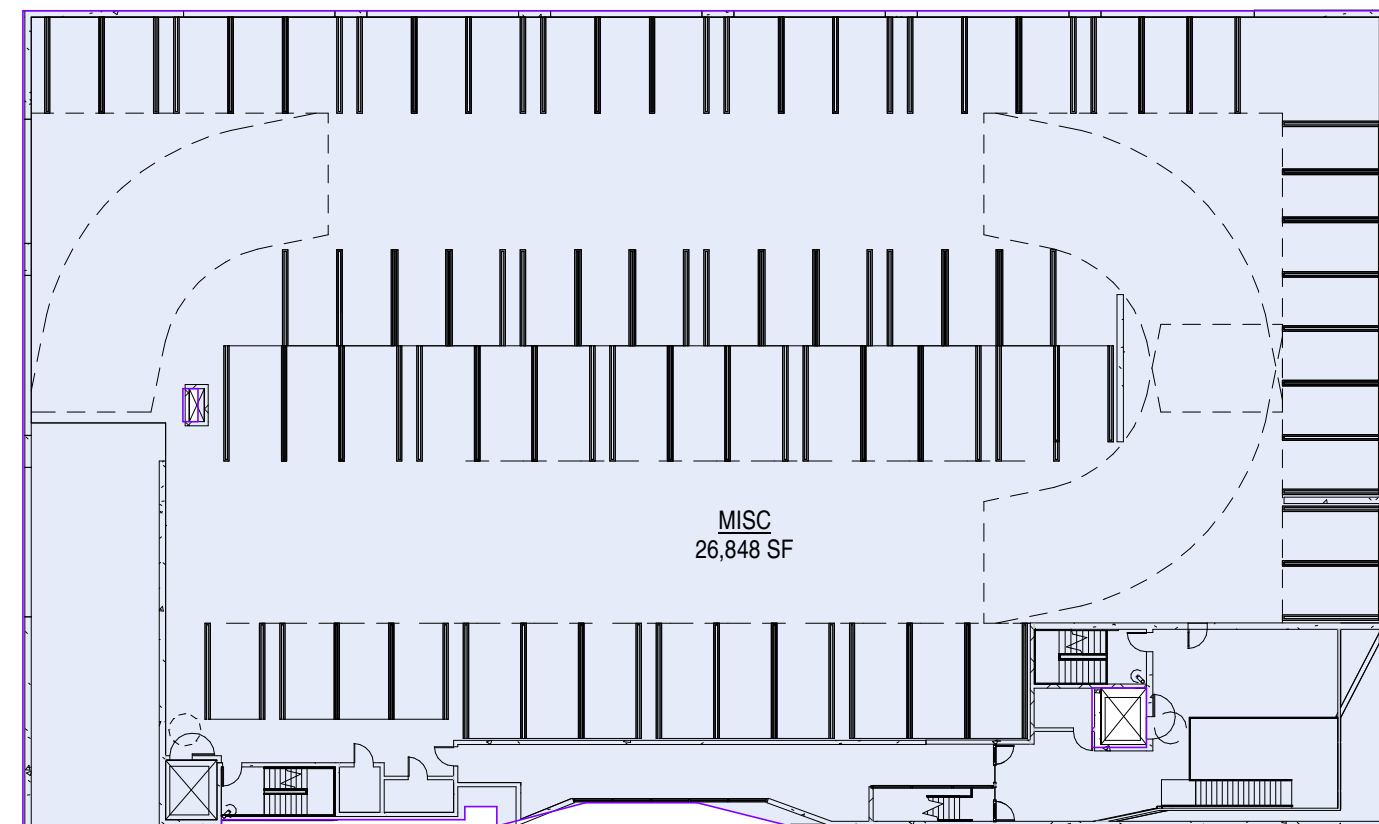
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1ST FL DIAGRAM 1" = 30'-0" 1

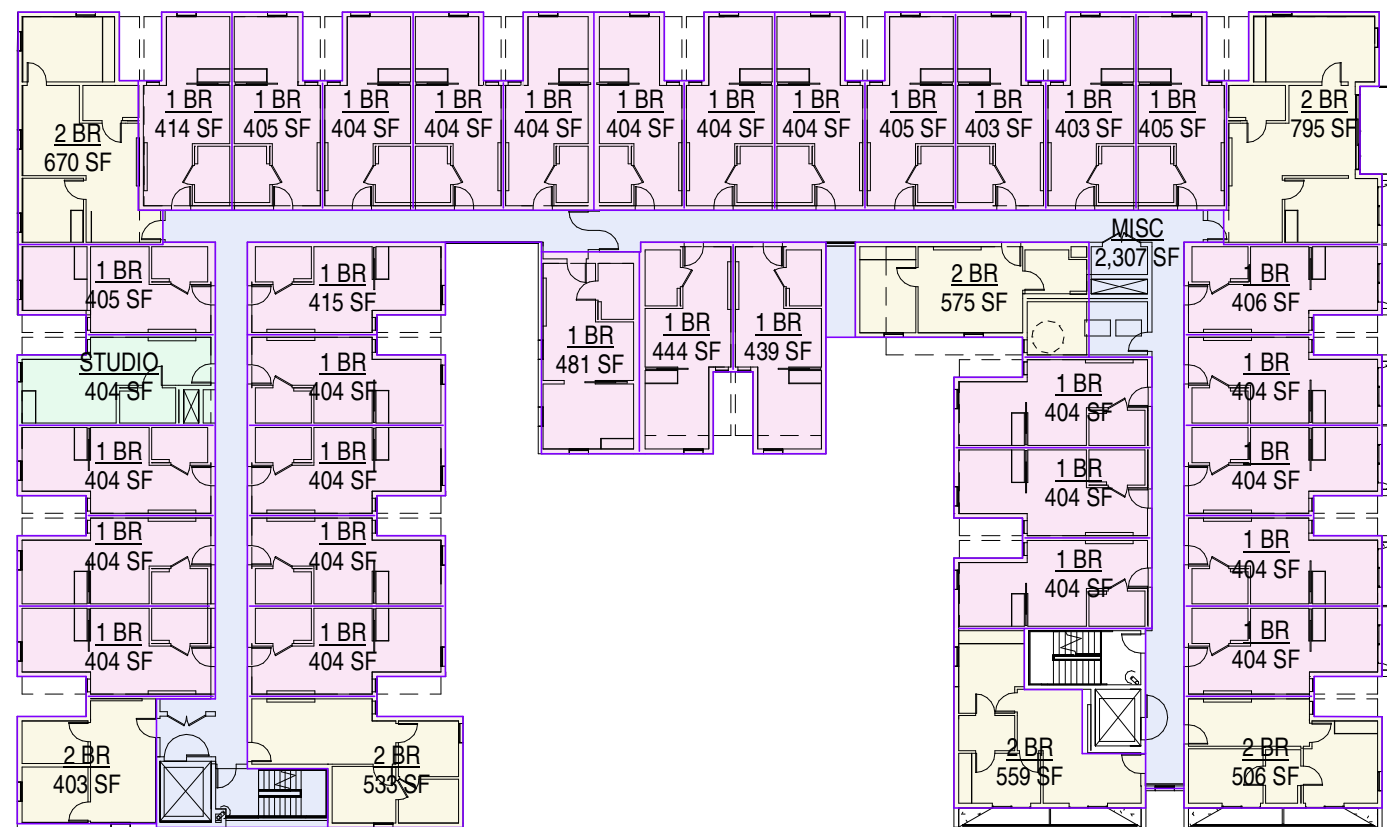


5TH FLOOR DIAGRAM 1" = 30'-0" 5

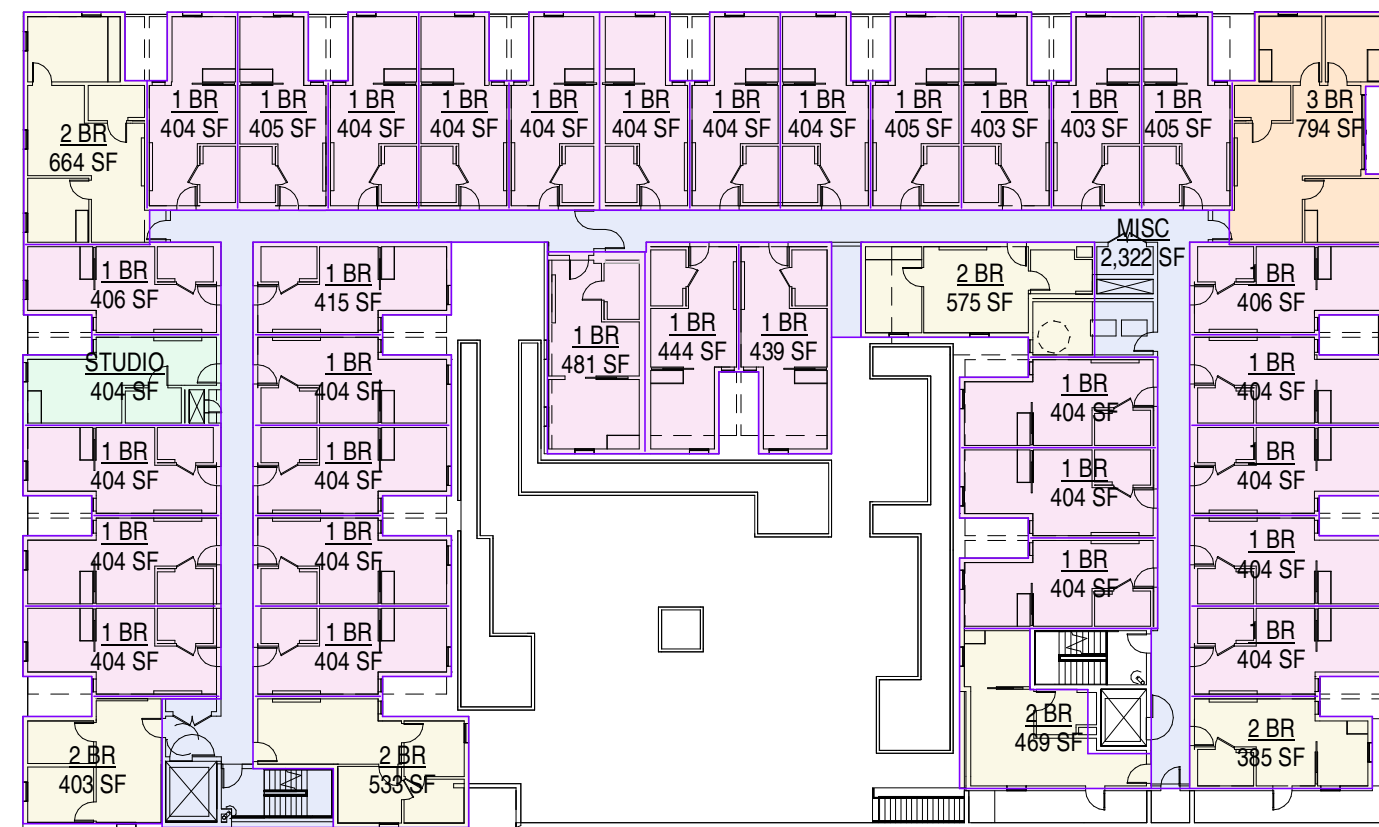


2ND FL DIAGRAM 1" = 30'-0" 2

AREA SCHEDULE (BUILDING AREA)			
TYPE	LEVEL	AREA	TYPE OF CONSTRUCTION
1 BR	3RD FL FFE	13,088 SF	
1 BR	4TH FL FFE	13,106 SF	
1 BR	5TH FL FFE	13,106 SF	
1 BR	6TH FL FFE	13,106 SF	
1 BR	7TH FL FFE	13,106 SF	
2 BR	3RD FL FFE	65,524 SF	
2 BR	4TH FL FFE	5,028 SF	
2 BR	5TH FL FFE	4,041 SF	
2 BR	6TH FL FFE	4,041 SF	
2 BR	7TH FL FFE	4,041 SF	
3 BR	3RD FL FFE	794 SF	
MISC	1ST FL FFE	26,749 SF	
MISC	2ND FL FFE	26,848 SF	
MISC	3RD FL FFE	2,307 SF	
MISC	4TH FL FFE	2,307 SF	
MISC	5TH FL FFE	2,307 SF	
MISC	6TH FL FFE	2,307 SF	
MISC	7TH FL FFE	2,307 SF	
STUDIO	3RD FL FFE	404 SF	
STUDIO	4TH FL FFE	404 SF	
STUDIO	5TH FL FFE	404 SF	
STUDIO	6TH FL FFE	404 SF	
STUDIO	7TH FL FFE	404 SF	
GRAND TOTAL		152,677 SF	



6TH FL DIAGRAM 1" = 30'-0" 6



3RD FL DIAGRAM 1" = 30'-0" 3

6/20/2023, 2:42:29 PM

CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
ETHEL**

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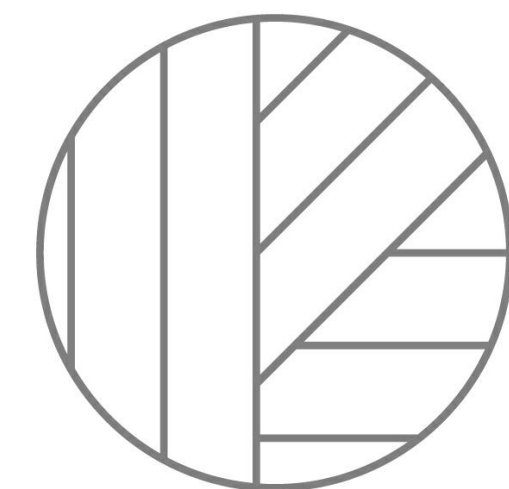
PROJECT ADDRESS
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
**GROSS AREA
CALCULATIONS**

SHEET NUMBER
C009
DRAWING SET TITLE
ENTITLEMENT SET



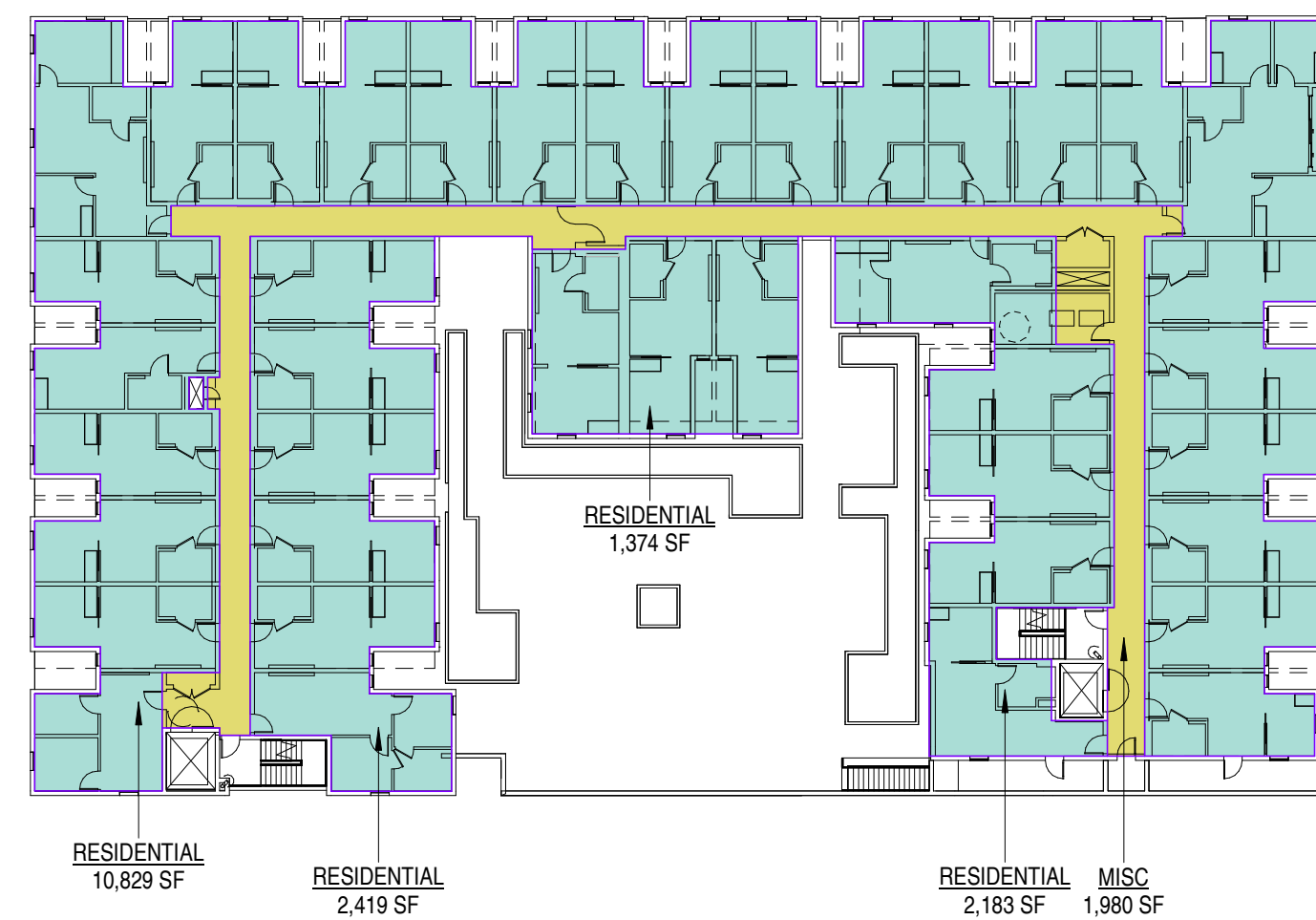
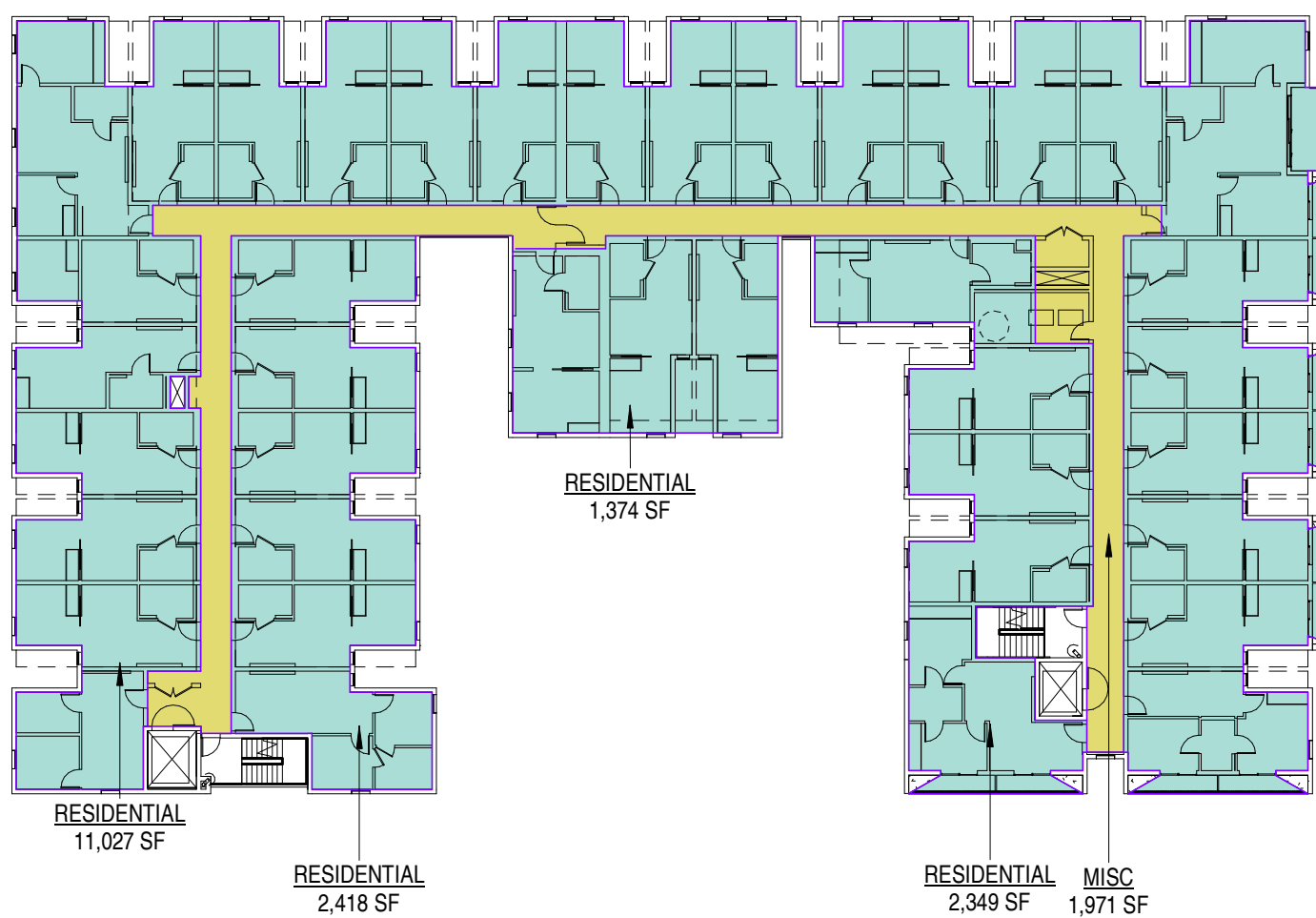
JZA
ARCHITECTURE

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

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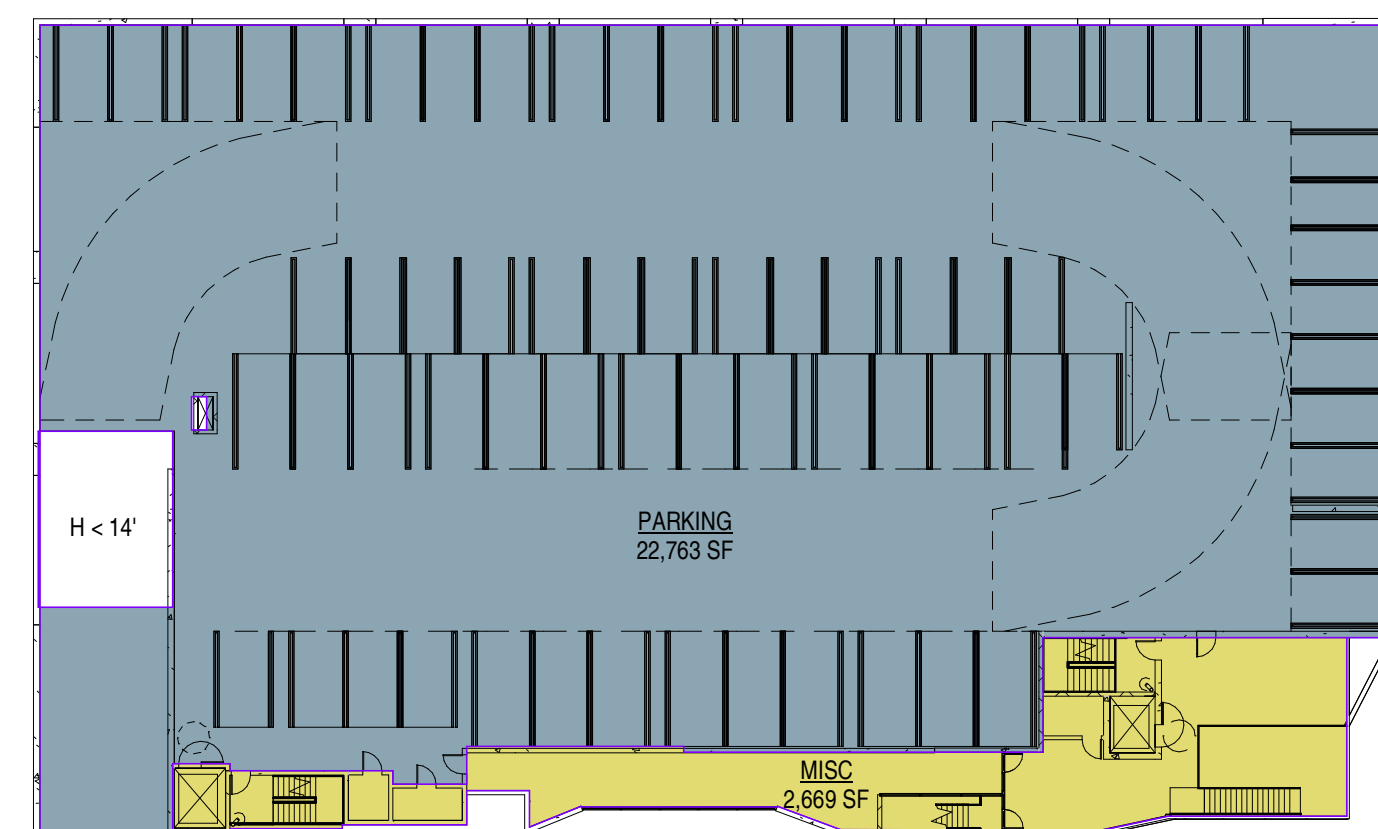
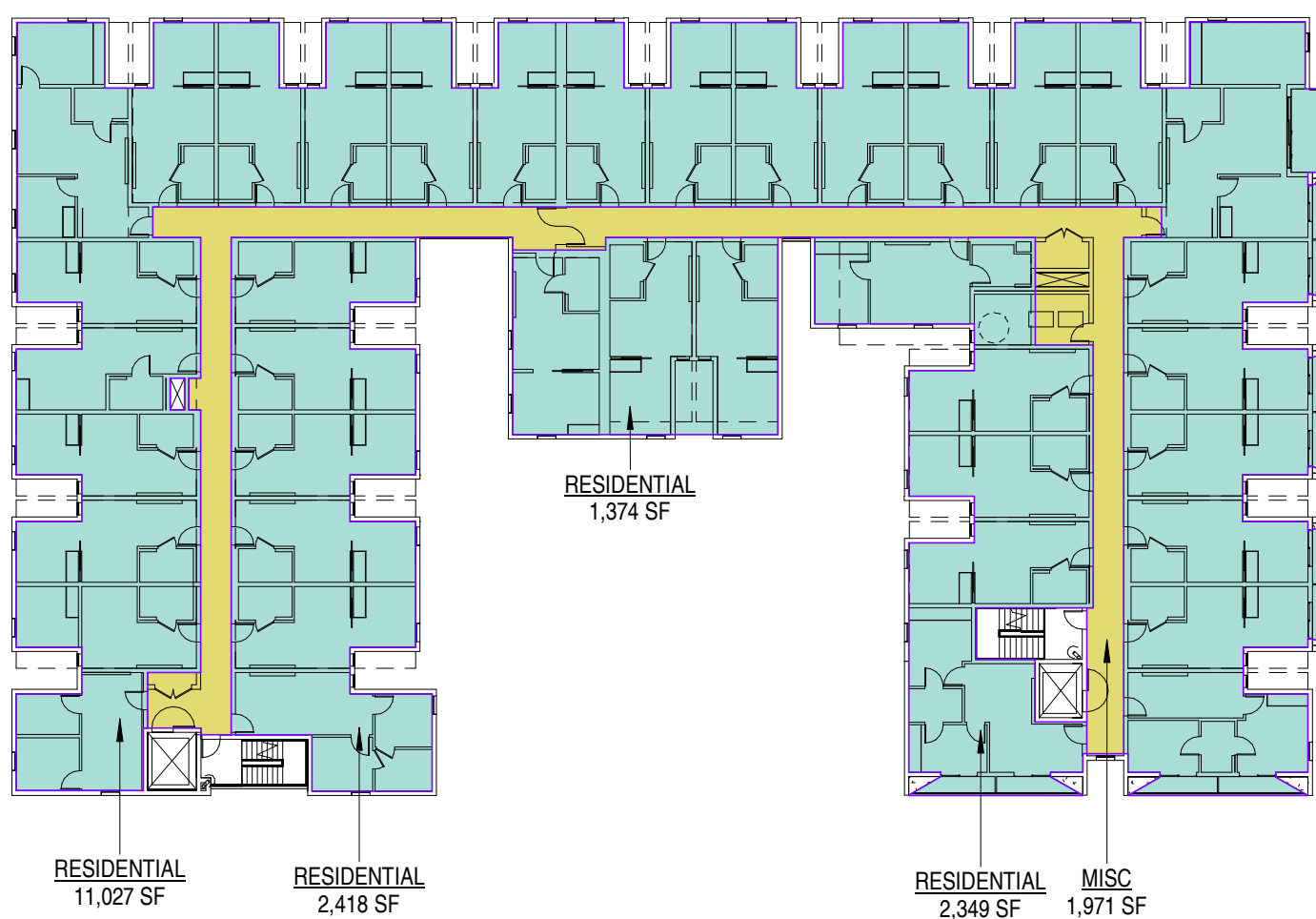
REVISIONS



6TH FLOOR FAR DIAGRAM 1" = 30'-0" 6

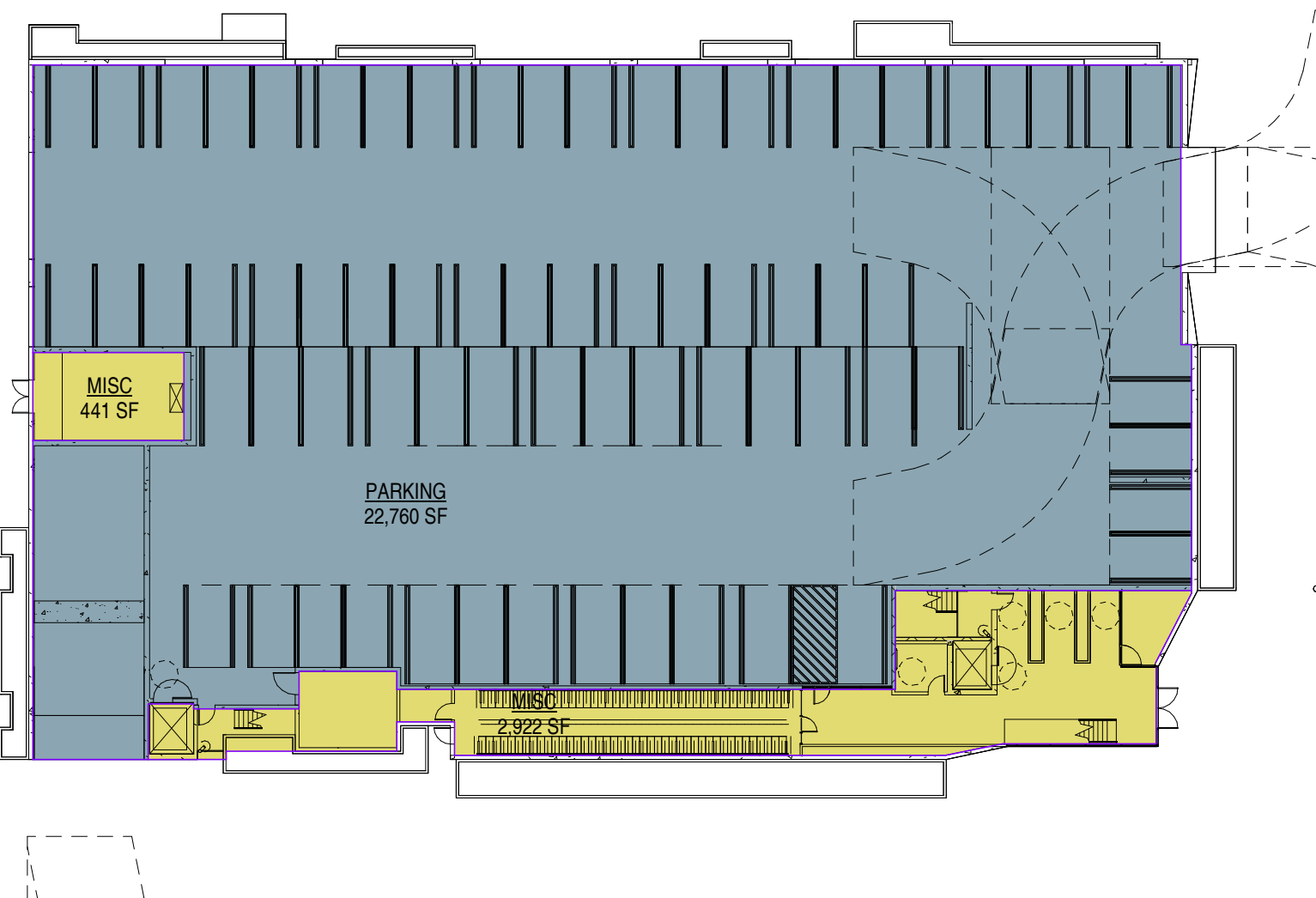
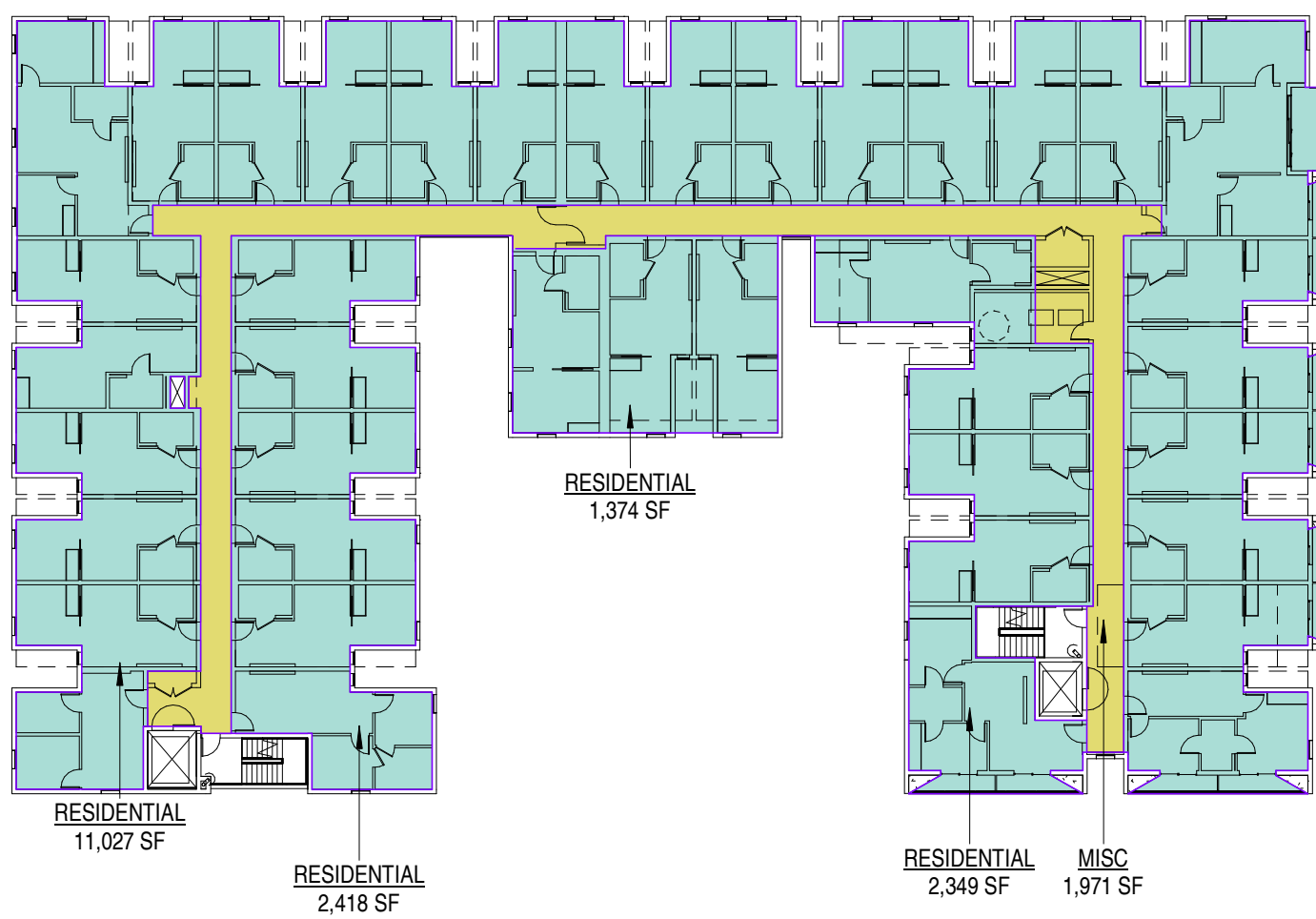
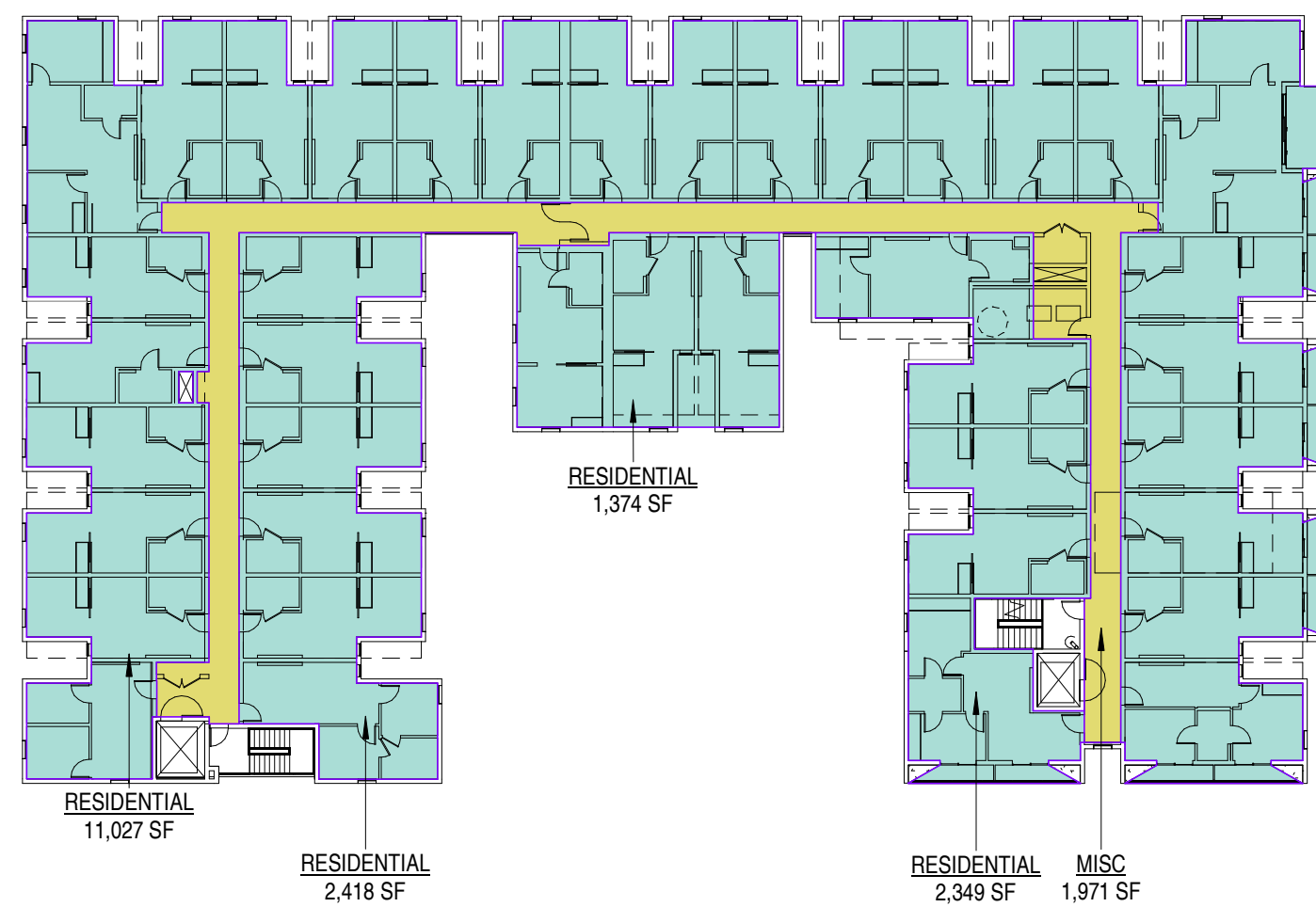
3RD FLOOR FAR DIAGRAM 1" = 30'-0" 3

AREA SCHEDULE (FLOOR AREA)		
LEVEL	FAR	AREA
1ST FL FFE	MISC	3,363 SF
2ND FL FFE	MISC	2,669 SF
3RD FL FFE	MISC	1,980 SF
4TH FL FFE	MISC	1,971 SF
5TH FL FFE	MISC	1,971 SF
6TH FL FFE	MISC	1,971 SF
7TH FL FFE	MISC	1,971 SF
MISC		15,895 SF
1ST FL FFE	PARKING	22,780 SF
2ND FL FFE	PARKING	22,783 SF
PARKING		45,523 SF
3RD FL FFE	RESIDENTIAL	16,804 SF
4TH FL FFE	RESIDENTIAL	17,168 SF
5TH FL FFE	RESIDENTIAL	17,168 SF
6TH FL FFE	RESIDENTIAL	17,168 SF
7TH FL FFE	RESIDENTIAL	17,168 SF
RESIDENTIAL		85,478 SF
GRAND TOTAL		146,896 SF



5TH FLOOR FAR DIAGRAM 1" = 30'-0" 5

2ND FLOOR FAR DIAGRAM 1" = 30'-0" 2



7TH FLOOR FAR DIAGRAM 1" = 30'-0" 7

4TH FLOOR FAR DIAGRAM 1" = 30'-0" 4

1ST FLOOR FAR DIAGRAM 1" = 30'-0" 1

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UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
ETHEL**

NOT FOR CONSTRUCTION

PROJECT ADDRESS
**5511 N ETHEL AVE
SHERMAN OAKS, CA**

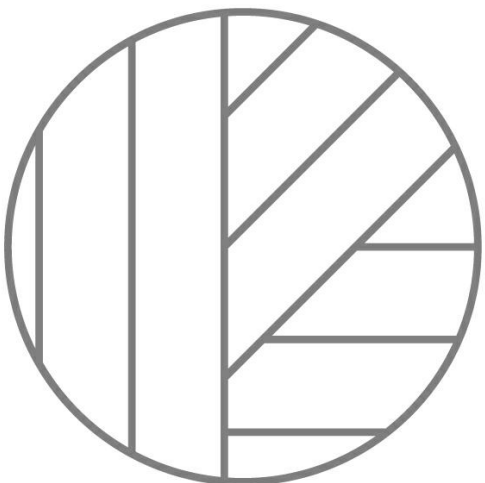
JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
**ZONING CODE AREA
DIAGRAMS**

SHEET NUMBER
C010
DRAWING SET TITLE
ENTITLEMENT SET

6/2/2023 2:42:25 PM



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ARCHITECTURE

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



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PROJECT ADDRESS
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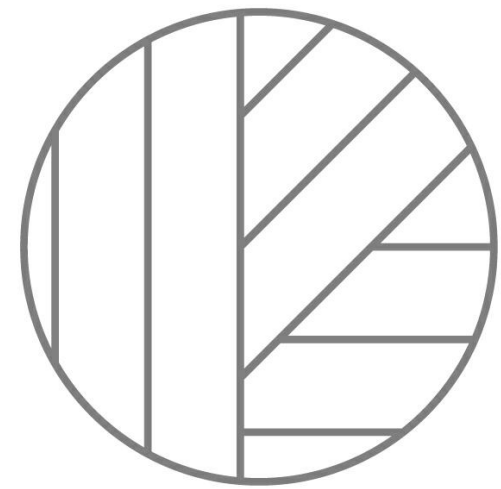
JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
**OPEN SPACE
CALCULATIONS**

SHEET NUMBER
C012

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ENTITLEMENT SET



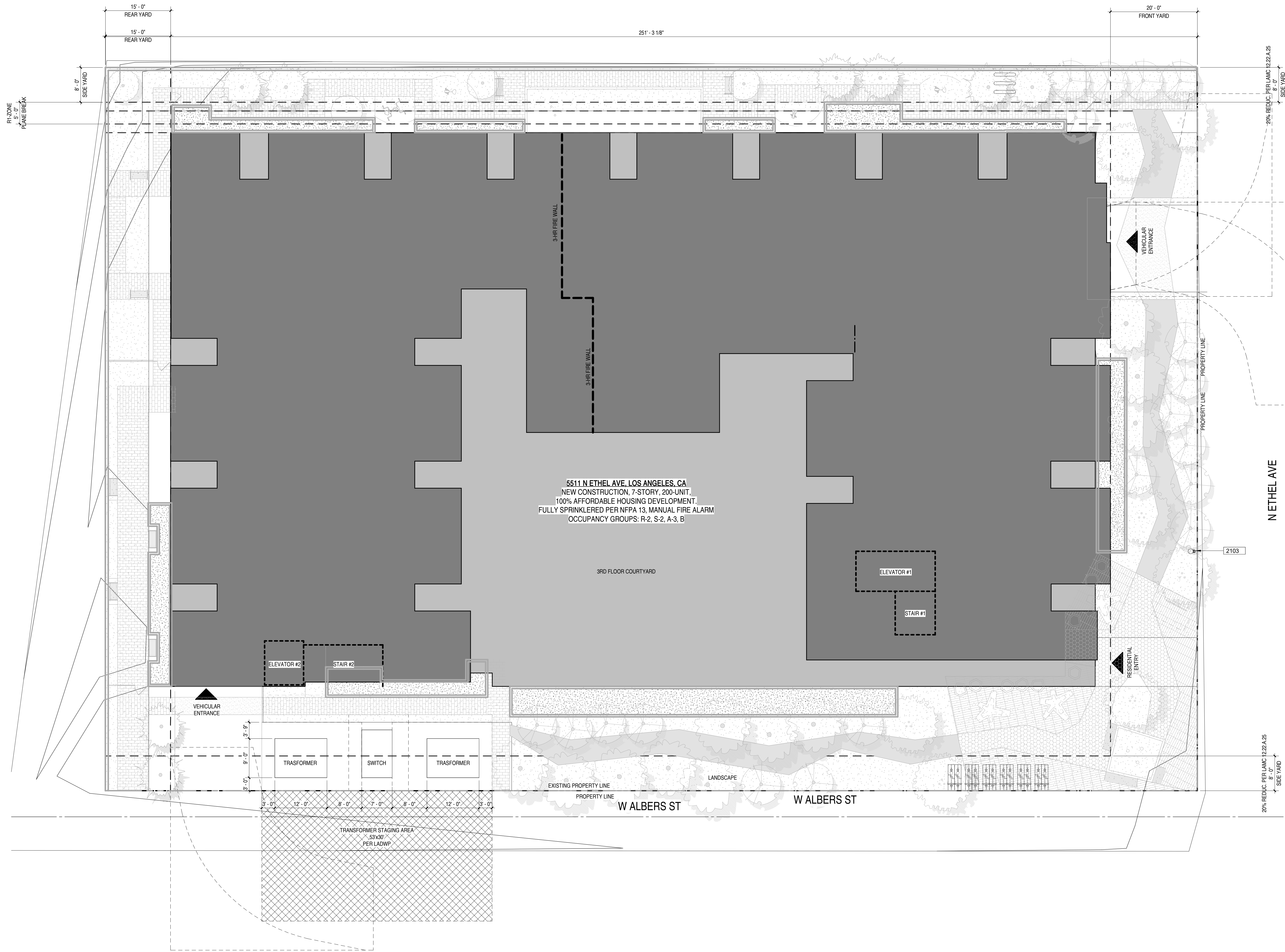
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ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

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CHATSWORTH, CA 91311

PROJECT NAME:
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ETHEL**

PROJECT ADDRESS:
NOT FOR CONSTRUCTION
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER:
2234

DATE:
5.31.2023

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A000
DRAWING SET TITLE:
ENTITLEMENT SET

6/20/2023 2:38:25 PM

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, LINO
B. ALL DIMENSIONS ARE TO CL-ING
C. ALL DIMENSIONS INDICATED AS 1/2" ARE FROM FINISH TO FINISH
D. WALL BASE TO BE 4" REVEAL BASE MOLINGS AT ALL WALLS
E. GRADE AWAY FROM FOOTINGS, 1% MIN.
F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FUTURE SOLAR ELECTRIC. CAL GREEN 4.11.4 ENERGY CODE 110.10 LAPS REQUIREMENT NO. 96
G. HEATERS SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE
H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER MSD 11
J. EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCHA
K. ROOFING MATERIAL TO BE MAINTAIN ROOFING, COARSE SOL PREMIUM, MISQUITE, CLASS A ROOF COVERING

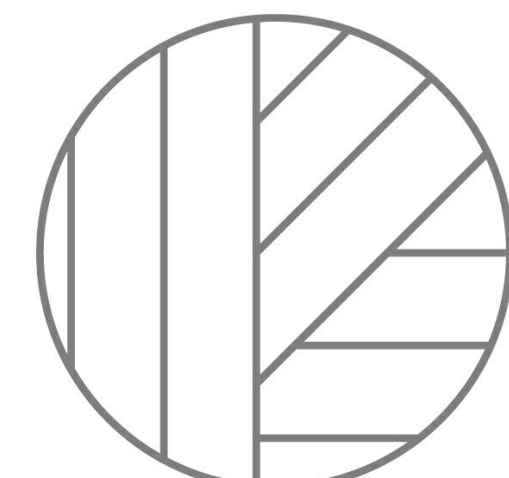
- L. ROOF TO HAVE A 3-YEAR AGED SRI VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475
M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER MSD 11
N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPPING SHALL COVER THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER MSD 11
O. BUILDINGS SHALL HAVE APPROVED REDUCED NUMBERS BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER MSD 11
P. PROTECTION OF WOOD AND WOOD ASSED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY
R. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1
S. PROVIDE ANTI-GRABITTI FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
T.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
NEW WALL, SEE A900 FOR WALL TYPE
DEMOLISHED WALL
WOOD POST PER STRUCT DWGS
WALL TAG, SEE A900 FOR WALL TYPE
DOOR TAG, SEE A900 FOR DOOR TYPE
WINDOW TAG, SEE A900 FOR WINDOW TYPE
SMOKE DETECTOR
CARBON MONOXIDE DETECTOR
BATHROOM EXHAUST FAN

KEYNOTES

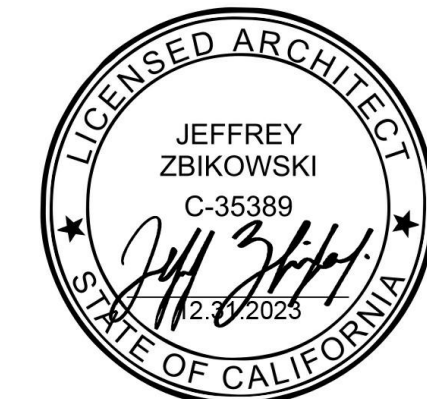
- 2103 FIRE DEPARTMENT CONNECTION, PER LAPD REQUIREMENTS. SEE FIRE PROTECTION DWGS.



JZA
ARCHITECTURE

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

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PROJECT NAME
**UNCOMMON
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PROJECT ADDRESS
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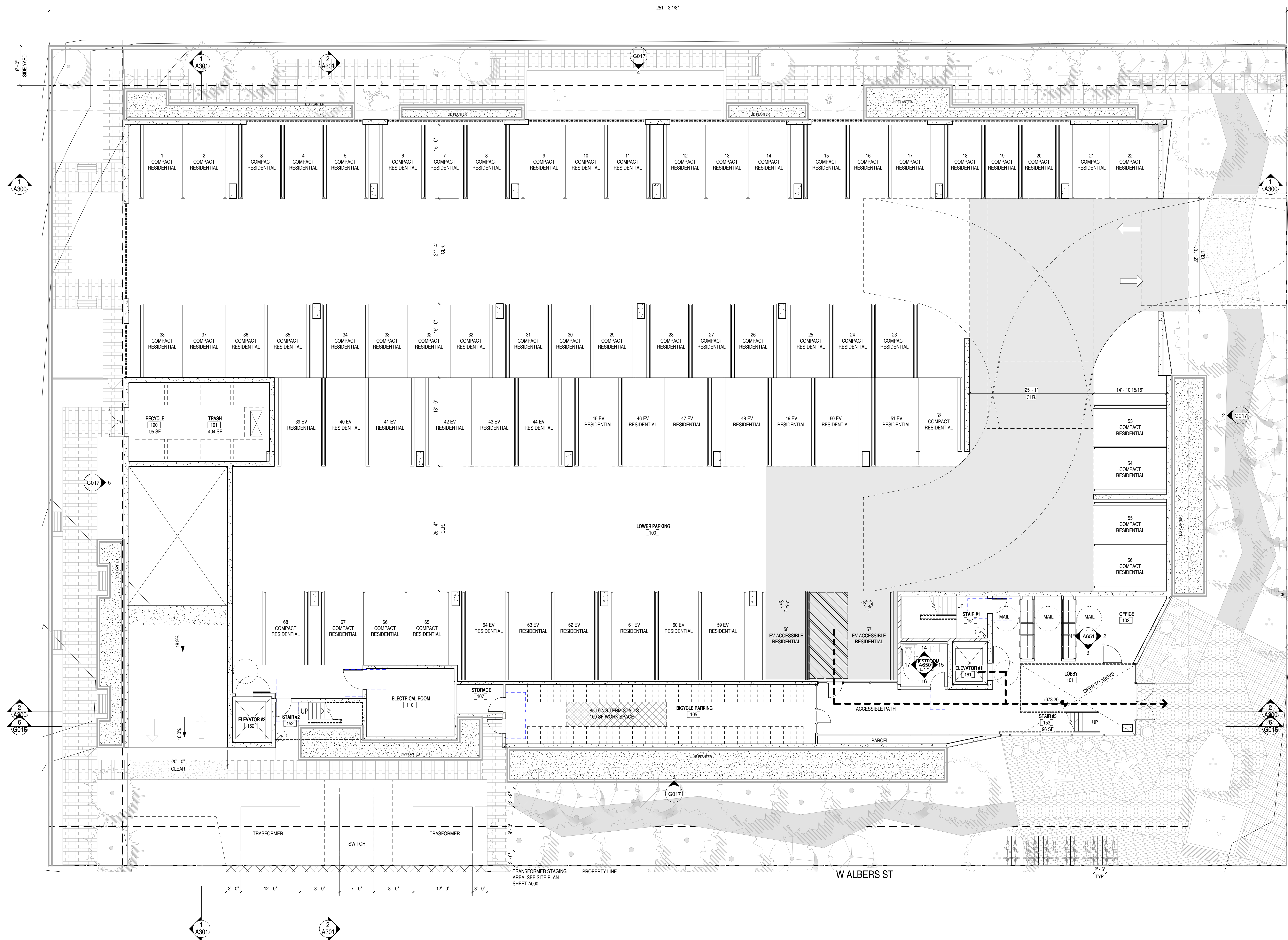
JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
1ST FLOOR PLANS

SHEET NUMBER
A110
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SHEET NOTES

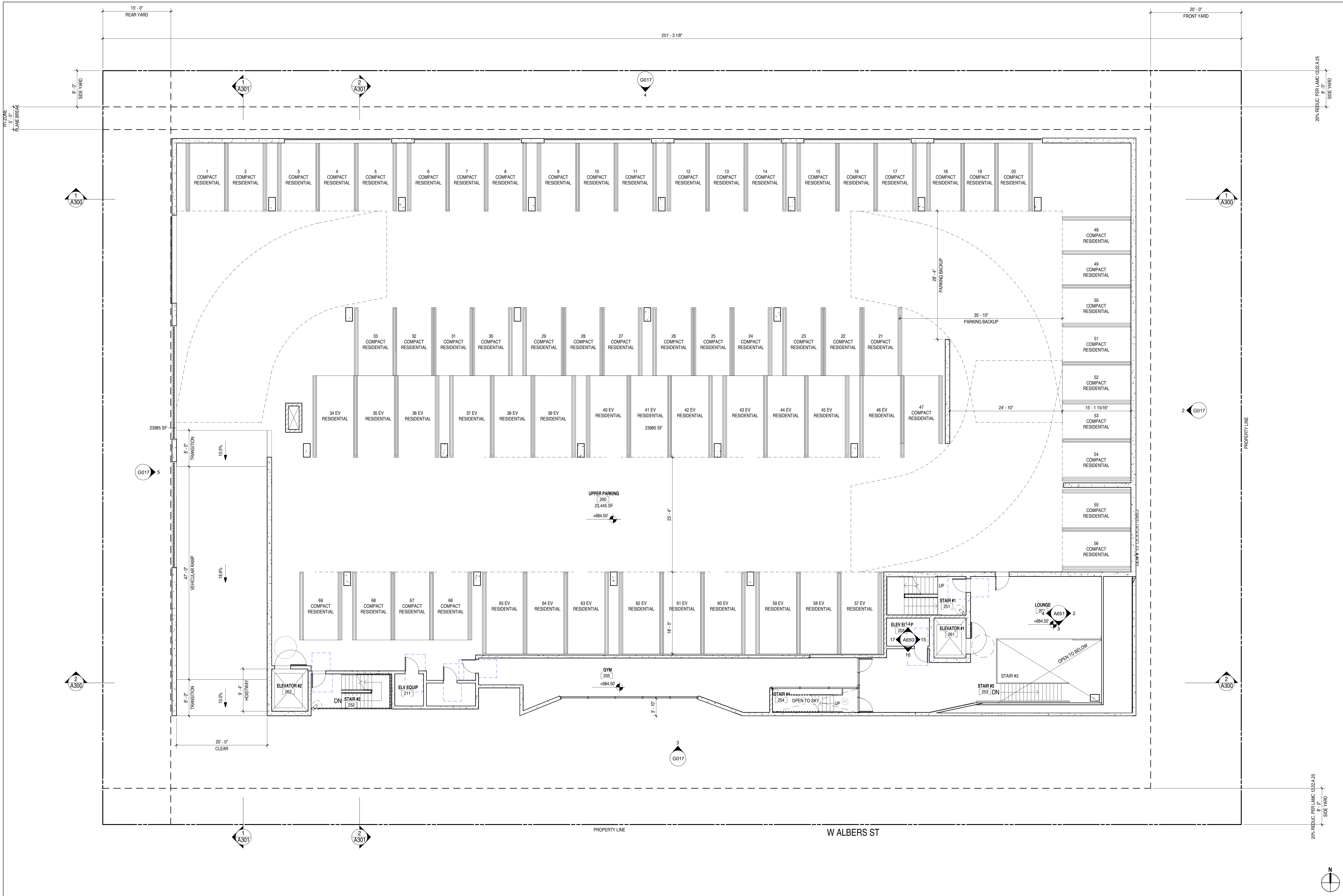
- ALL INTERIOR WALLS TO BE TYPE 1A, LINO
- ALL DIMENSIONS ARE TO CL-ING
- ALL DIMENSIONS INDICATED AS 1/8" ARE FROM FINISH TO FINISH
- WALL BASE TO BE 4" RECESSED BASE MOLDINGS AT ALL WALLS
- SPACE AWAY FROM FOOTINGS, 1/8" MIN
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FUTURE SOLAR ELECTRIC. CAL GREEN 6.11.4 ENERGY CODE 110.10 LAPS REQUIREMENT NO. 96
- ROOF SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 80°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE CROWN TOP OF ROOF
- FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 802.1
- EDGE FLASHING TO BE 1 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
- ROOFING MATERIAL TO BE MAINTAIN ROOFING, LOCATED SOL PREMIUM, MISQULTE, CLASS A ROOF COVERING
- ROOF TO HAVE A 5-YEAR AGED SRI VALUE OF AT LEAST 14 OR A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475
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- PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY
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LEGEND

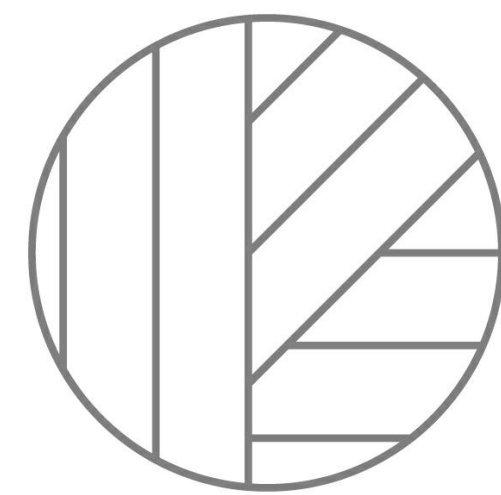
- EXISTING WALL TO REMAIN (NOT A PART)
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- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A900 FOR WALL TYPE
- DOOR TAG, SEE A900 FOR DOOR TYPE
- WINDOW TAG, SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

1ST FLOOR PLAN 1/8" = 1'-0" 1



2ND FLOOR PLAN			1/8" = 1'-0"	1
SHEET NOTES			KEYNOTES	
<p>A. ALL INTERIOR WALLS TO BE TYPE 1A, LINO</p> <p>B. ALL DIMENSIONS ARE TO CL-ING</p> <p>C. ALL DIMENSIONS INDICATED AS 1/2" ARE FROM FINISH TO FINISH</p> <p>D. WALL BASE TO BE 4" REVEAL BASE MOLINGS AT ALL WALLS</p> <p>E. SPACE AWAY FROM FOOTINGS, 1% MIN.</p> <p>F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS TOP FUTURE SOLAR ELECTRIC. CAL GREEN 4.11.4. ENERGY CODE 110.16 LAPS REQUIREMENT NO. 96</p> <p>G. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE</p> <p>H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 902.1.1</p> <p>J. EDGE FLASHING TO BE 1/2 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCEA</p> <p>K. ROOFING MATERIAL TO BE METAL/ROOF ROOFING, EGRESS SOL PREMIUM - MEDQUITE, CLASS A ROOF COVERING</p> <p>L. ROOF TO HAVE A 5-YEAR AGED SRI VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475</p> <p>M. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 902.1.1</p> <p>N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY DRAFT TOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFT TOPPING SHALL COVER THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER 902.1</p> <p>O. BUILDING SHALL HAVE APPROVED ACCESS NUMBERS BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 901.1.1</p> <p>P. PROTECTION OF WOOD AND WOOD ASSED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 901.7.1 BY</p> <p>Q. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U-1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U-1</p> <p>R. PROVIDE ANTI-GRAB ITTI FINISH WITHIN FIRST 3 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS</p> <p>S.</p> <p>T.</p>			<p>LEGEND</p> <p>EXISTING WALL TO REMAIN (NOT A PART)</p> <p>NEW WALL, SEE A900 FOR WALL TYPE</p> <p>DEMOLISHED WALL</p> <p>WOOD POST PER STRUCT DWGS</p> <p>WALL TAG, SEE A900 FOR WALL TYPE</p> <p>DOOR TAG, SEE A900 FOR DOOR TYPE</p> <p>WINDOW TAG, SEE A900 FOR WINDOW TYPE</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE DETECTOR</p> <p>BATHROOM EXHAUST FAN</p>	



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



REVISIONS

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UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT ADDRESS
**UNCOMMON
ETHEL**

NOT FOR CONSTRUCTION

5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

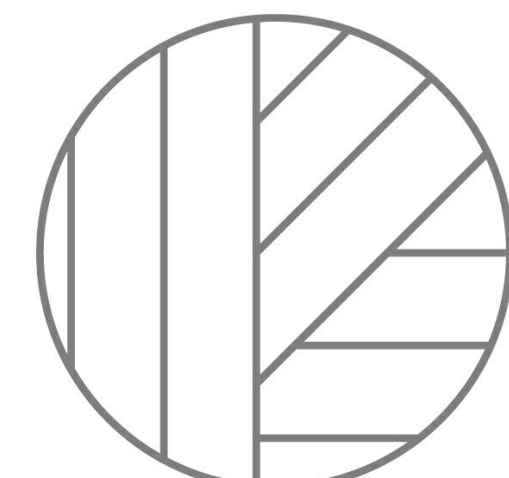
DATE
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SHEET TITLE
2ND FLOOR PLAN

SHEET NUMBER
A120

DRAWING SET TITLE
ENTITLEMENT SET

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ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

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UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
ETHEL**

NOT FOR CONSTRUCTION
PROJECT ADDRESS
5511 N ETHEL AVE
SHERMAN OAKS, CA

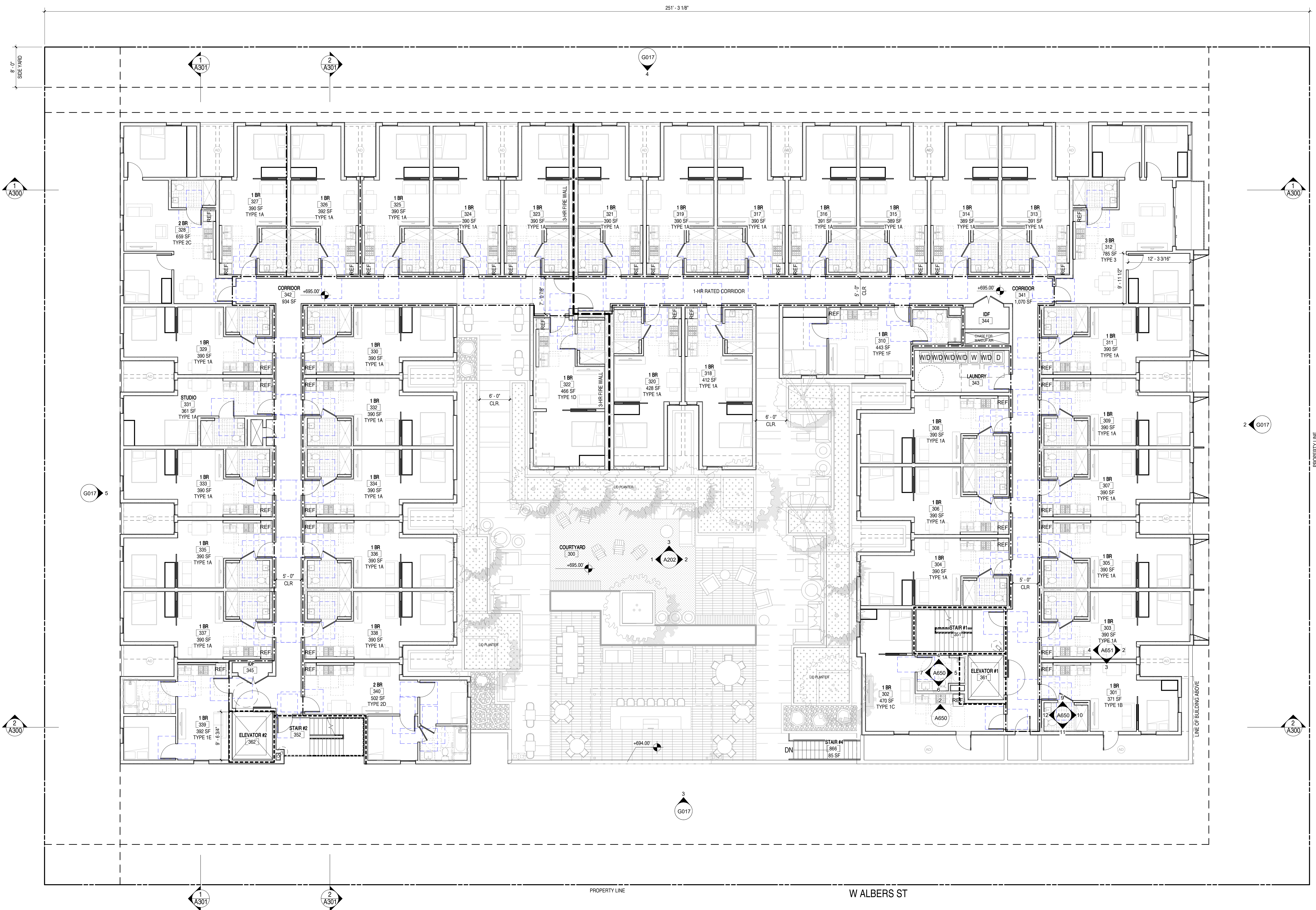
JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
3RD FLOOR PLAN

SHEET NUMBER
A130
DRAWING SET TITLE
ENTITLEMENT SET

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SHEET NOTES

- ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- ALL DIMENSIONS ARE TO CL-ING
- ALL DIMENSIONS INDICATED AS 1/8" ARE FROM FINISH TO FINISH
- WALL BASE TO BE 4" RECESSED BASE MOLDINGS AT ALL WALLS
- SPACE AWAY FROM FOOTINGS, 1/8" MIN
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS TOP FUTURE SOLAR ELECTRIC. CAL GREEN 6.11.4 ENERGY CODE 110.15 LAPS REQUIREMENT NO. 96
- WATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 50°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL INHABITABLE ROOMS AT THE COolest TEMPERATURE
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 902.1.1
- EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
- ROOFING MATERIAL TO BE MAINTAIN ROOFING, EXCESS SOL PREMIUM - MEDSQUITE, CLASS A ROOF COVERING
- ROOF TO HAVE A 5-YEAR AGED SRI VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 902.1.1
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPS SHALL COVER THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER 902.1
- BUILDINGS SHALL HAVE APPROVED ACCESS NUMBERS BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 910.1.1
- PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY
- THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1
- PROVIDE ANTI-GRABIT FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A900 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A900 FOR WALL TYPE
- DOOR TAG, SEE A900 FOR DOOR TYPE
- WINDOW TAG, SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

3RD FLOOR PLAN 1/8" = 1'-0" 1




4TH FLOOR PLAN			1/8" = 1'-0"	1
SHEET NOTES			KEYNOTES	
<p>A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO</p> <p>B. ALL DIMENSIONS ARE TO CL/CLND</p> <p>C. ALL DIMENSIONS INDICATED AS 1/8" ARE FROM FINISH TO FINISH</p> <p>D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS</p> <p>E. SPACE AWAY FROM FOOTINGS, 1/8" MIN</p> <p>F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FUTURE SOLAR ELECTRIC. CAL GREEN 4.11.4 ENERGY CODE 110.15 LAPS REQUIREMENT NO. 96</p> <p>G. HEATERS SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL INHABITABLE ROOMS AT THE DESIGN TEMPERATURE</p> <p>H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 902.1.1</p> <p>J. EDGE FLASHING TO BE 1/8" GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA</p> <p>K. ROOFING MATERIAL TO BE BALAKRIST ROOFING, EXCESS SOL PREMIUM - MISCUTITE, CLASS A ROOF COVERING</p> <p>L. ROOF TO HAVE A 3-YEAR AGED SRI VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475</p> <p>M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 902.1.1</p> <p>N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPS SHALL COVER THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER SET 5</p> <p>O. BUILDING SHALL HAVE APPROVED REVIEWED NUMBERS BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 910.1.1</p> <p>P. PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 910.1.1 BY</p> <p>Q. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U-1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U-1</p> <p>R. PROVIDE ANTI-DRAFT ITI FINISH WITHIN FIRST 3 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS</p> <p>T.</p>			<p>EXISTING WALL TO REMAIN (NOT A PART)</p> <p>NEW WALL, SEE A900 FOR WALL TYPE</p> <p>DEMOLISHED WALL</p> <p>WOOD POST PER STRUCT DWGS</p> <p>WALL TAG, SEE A900 FOR WALL TYPE</p> <p>DOOR TAG, SEE A900 FOR DOOR TYPE</p> <p>WINDOW TAG, SEE A900 FOR WINDOW TYPE</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE DETECTOR</p> <p>BATHROOM EXHAUST FAN</p>	



JZA
ARCHITECTURE

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

SEAL:



JEFFREY
ZBIKOWSKI
C-35389
STATE OF CALIFORNIA
2022

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CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
ETHEL**

PROJECT ADDRESS
NOT FOR CONSTRUCTION

5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

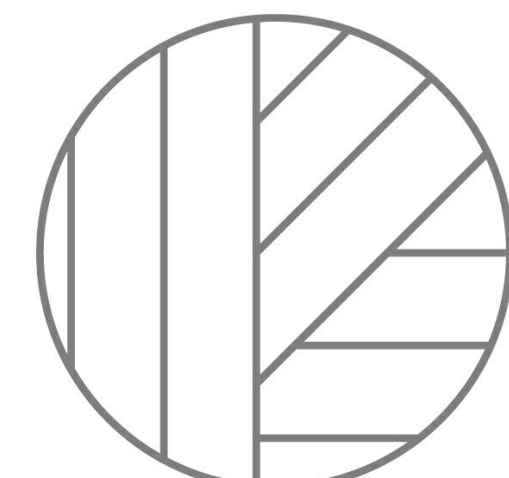
DATE
5.31.2023

SHEET TITLE
4TH FLOOR PLAN

SHEET NUMBER
A140

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ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

SEAL:



REVISIONS

N ETHEL AVE

W ALBERS ST

5TH FLOOR PLAN 1/8" = 1'-0" 1

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CL-ING
- C. ALL DIMENSIONS INDICATED AS 1/8" ARE FROM FINISH TO FINISH
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS, 1% MIN.
- F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FUTURE SOLAR ELECTRIC. CAL. GREEN 4.11.4 ENERGY CODE 110.15 LAPS REQUIREMENT NO. 96
- G. ROOF SHALL BE CAPABLE OF WITHSTANDING A MINIMUM ROOM TEMPERATURE OF 180°F AT A POINT 2 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE GROUND FLOOR
- H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 902.1.1
- J. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FACIA
- K. ROOFING MATERIAL TO BE MAINTAIN ROOFING, EGRESS SOL PREMIUM - MEGALITE, CLASS A ROOF COVERING
- L. ROOF TO HAVE A 5-YEAR AGED SRI VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475
- M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 902.1.1
- N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPPING SHALL COVER THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER 902.1.1
- O. BUILDINGS SHALL HAVE APPROVED ROOMS NUMBERS BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 910.1.1
- P. PROTECTION OF WOOD AND WOOD-AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY
- Q. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1
- R. PROVIDE ANTI-GRABITTI FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS
- T.

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A900 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A900 FOR WALL TYPE
- DOOR TAG, SEE A900 FOR DOOR TYPE
- WINDOW TAG, SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

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CHATSWORTH, CA 91311

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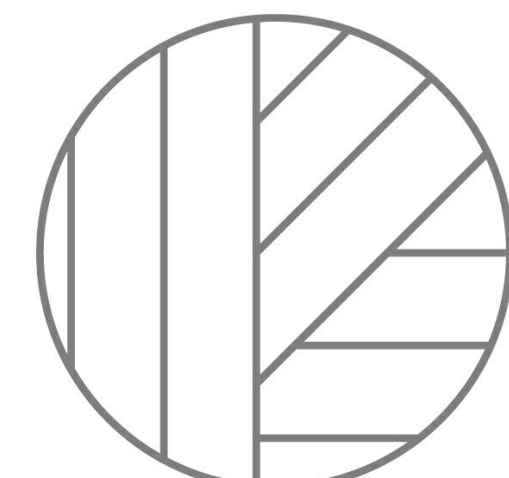
PROJECT ADDRESS
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5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234
DATE
5.31.2023

SHEET TITLE
5TH FLOOR PLAN

SHEET NUMBER
A150
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ENTITLEMENT SET

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ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

SEAL:



REVISIONS

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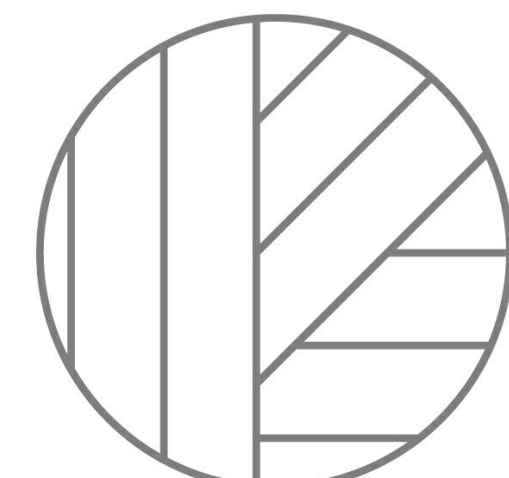
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6TH FLOOR PLAN

SHEET NUMBER
A160
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6TH FLOOR PLAN			1/8" = 1'-0"	1
SHEET NOTES			KEYNOTES	
<p>A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO</p> <p>B. ALL DIMENSIONS ARE TO CL-ING</p> <p>C. ALL DIMENSIONS INDICATED AS 1/2" ARE FROM FINISH TO FINISH</p> <p>D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS</p> <p>E. GRADE AWAY FROM FOOTINGS, 1% MIN.</p> <p>F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FUTURE SOLAR ELECTRIC. CAL GREEN 6.11.4 ENERGY CODE 110.16 LAPS REQUIREMENT NO. 96</p> <p>G. HEATERS SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE</p> <p>H. FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 802.1.1</p> <p>J. EDGE FLASHING TO BE 16 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASADA</p> <p>K. ROOFING MATERIAL TO BE MAINTAIN ROOFING, EGRESS SOL PREMIUM - MESQUITE, CLASS A ROOF COVERING</p> <p>L. ROOF TO HAVE A 3-YEAR AGED SRI VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475.</p> <p>M. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 802.1.1</p> <p>N. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTTOPPING SHALL COVER THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER 802.1</p> <p>O. BUILDINGS SHALL HAVE APPROVED ACCESS NUMBERS BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 910.1.1.</p> <p>P. PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY</p> <p>Q. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U-1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U-1.</p> <p>R. PROVIDE ANTI-GRABITTI FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.</p>			<p>EXISTING WALL TO REMAIN (NOT A PART)</p> <p>NEW WALL, SEE A900 FOR WALL TYPE</p> <p>DEMOLISHED WALL</p> <p>WOOD POST PER STRUCT DWGS</p> <p>WALL TAG, SEE A900 FOR WALL TYPE</p> <p>DOOR TAG, SEE A900 FOR DOOR TYPE</p> <p>WINDOW TAG, SEE A900 FOR WINDOW TYPE</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE DETECTOR</p> <p>BATHROOM EXHAUST FAN</p>	



JZA
ARCHITECTURE

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

SEAL:



REVISIONS

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WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME
**UNCOMMON
ETHEL**

NOT FOR CONSTRUCTION
PROJECT ADDRESS
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER
2234

DATE
5.31.2023

SHEET TITLE
7TH FLOOR PLAN

SHEET NUMBER
A170
DRAWING SET TITLE
ENTITLEMENT SET

6/30/2023 2:38:49 PM

SHEET NOTES

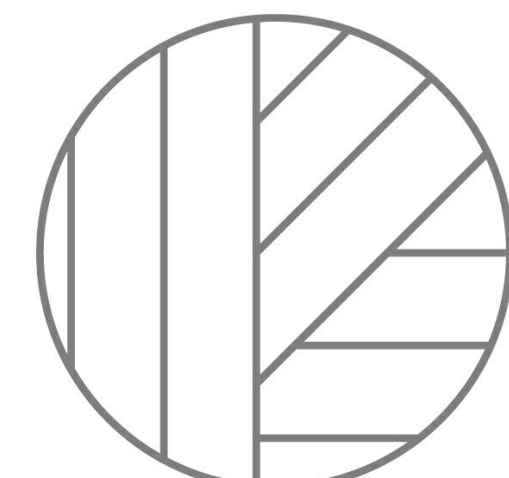
- ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- ALL DIMENSIONS ARE TO CL-ING
- ALL DIMENSIONS INDICATED AS 1/2" ARE FROM FINISH TO FINISH
- WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- GRADE AWAY FROM FOOTINGS, 1% MIN.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS TOP FUTURE SOLAR ELECTRIC. CAL. GREEN 4.11.4 ENERGY CODE 110.16 LAPS REQUIREMENT NO. 96
- ROOF SHALL BE CAPABLE OF WITHSTANDING A MINIMUM ROOM TEMPERATURE OF 180° AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE GROUND FLOOR
- FIRE BLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 802.1.1
- EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
- ROOFING MATERIAL TO BE MAINTAIN ROOFING, EGRESS SOL PREMIUM - MESQUITE, CLASS A ROOF COVERING
- ROOF TO HAVE A 5-YEAR AGED SR VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCCING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER 802.1.1
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPPING SHALL COVER THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER SET 5
- BUILDINGS SHALL HAVE APPROVED ACCESS NUMBERS BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 910.1.1
- PROTECTION OF WOOD AND WOOD-AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY
- THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH APPA 11 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF APPA 11
- PROVIDE ANTI-DRAFT FINISH WITHIN FIRST 8 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS

LEGEND

- EXISTING WALL TO REMAIN (NOT A PART)
- NEW WALL, SEE A900 FOR WALL TYPE
- DEMOLISHED WALL
- WOOD POST PER STRUCT DWGS
- WALL TAG, SEE A900 FOR WALL TYPE
- DOOR TAG, SEE A900 FOR DOOR TYPE
- WINDOW TAG, SEE A900 FOR WINDOW TYPE
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- BATHROOM EXHAUST FAN

KEYNOTES

7TH FLOOR PLAN 1/8" = 1'-0" 1



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



REVISIONS

6/20/22, JEFF ZBIKOWSKI ARCHITECTURE
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CLIENT NAME
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

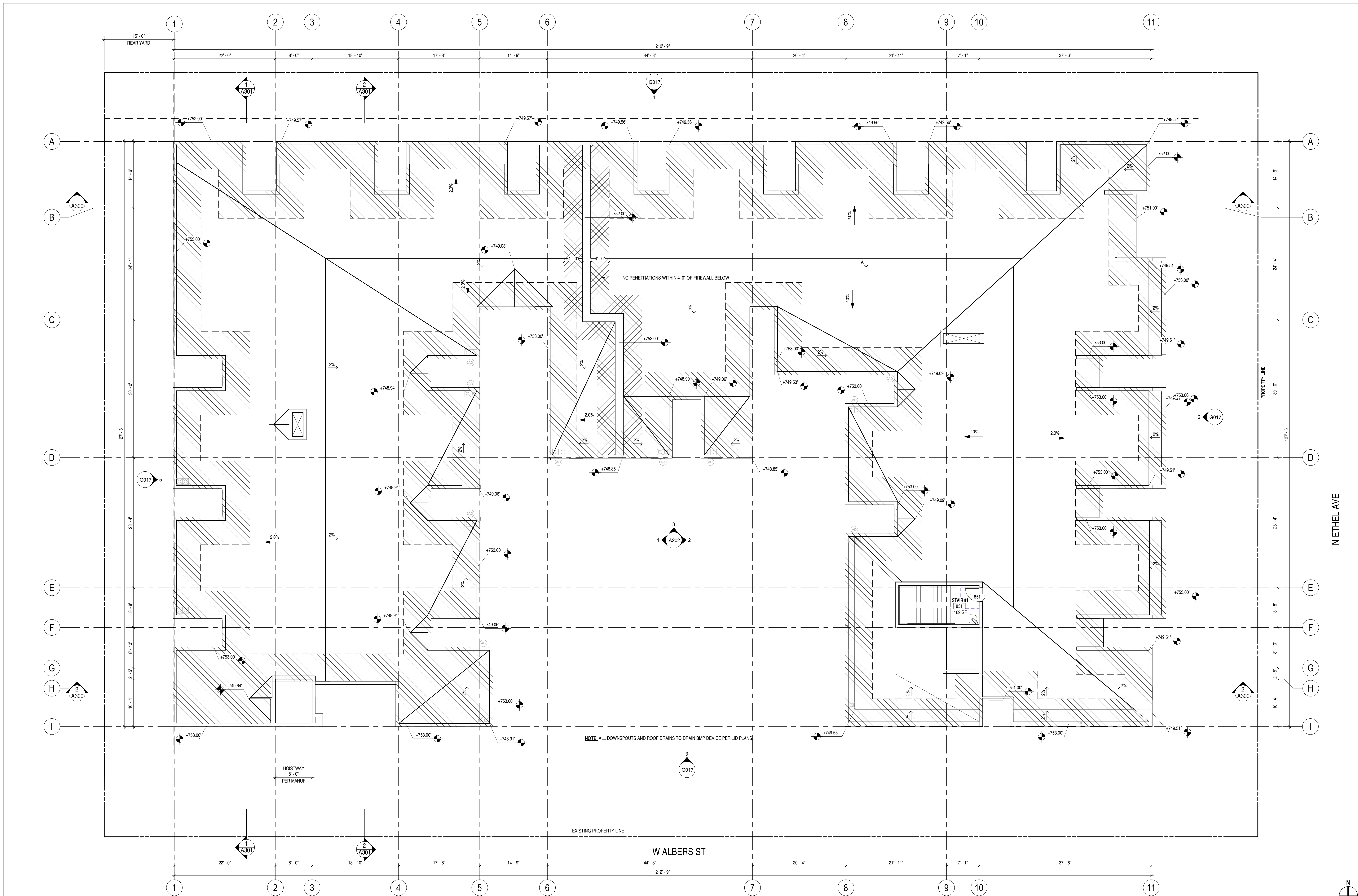
PROJECT NAME
**UNCOMMON
ETHEL**

PROJECT ADDRESS
**5511 N ETHEL AVE
SHERMAN OAKS, CA**

JOB NUMBER
2234
DATE
5.31.2023

SHEET TITLE
ROOF PLAN
SHEET NUMBER
A180
DRAWING SET TITLE
ENTITLEMENT SET

6/20/2023 2:38:50 PM



SHEET NOTES		LEGEND		KEYNOTES	
<p>A. ALL EXTERIOR WALLS TO BE TYPE 1A, LINO</p> <p>B. ALL DIMENSIONS ARE TO OUTLINE</p> <p>C. ALL DIMENSIONS INDICATED AS 1/8" ARE FROM FINISH TO FINISH</p> <p>D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS</p> <p>E. SPACE AWAY FROM FOOTINGS, 1/8" MIN.</p> <p>F. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE LOAD END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FUTURE SOLAR ELECTRIC. CAL GREEN 6.11 & ENERGY CODE 110.16 LAPS REQUIREMENT NO. 96</p> <p>G. ROOF SHALL BE CAPABLE OF WITHSTANDING A MINIMUM ROOM TEMPERATURE OF 180° AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE</p> <p>H. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER 902.1.1</p> <p>I. EDGE FLASHING TO BE 1/8 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FAISCEA</p> <p>J. ROOFING MATERIAL TO BE MAINTAIN ROOFING, EXPOSED SOL PREMIUM - MESQUITE, CLASS A ROOF COVERING</p> <p>K. ROOF TO HAVE A 3-YEAR AGED SRI VALUE OF AT LEAST 14 OR BOTH A 3-YEAR AGED SOLAR REFLECTANCE OF AT LEAST 0.20 AND A THERMAL EMITTANCE OF AT LEAST 0.75, ESR #1475</p> <p>L. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF. SPACE PER 902.1.1</p> <p>M. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 100 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER 902.1</p> <p>N. BUILDING SHALL HAVE APPROVED NUMBERED BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACES IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR FROM THE PROPERTY PER 910.1</p> <p>O. PROTECTION OF WOOD AND WOOD ASSEMBLY PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY</p> <p>P. THE USE OF NATURAL, DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1</p> <p>Q. PROVIDE ANTI-GRABITTI FINISH WITHIN FIRST 3 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS</p>		<p>EXISTING WALL TO REMAIN (NOT A PART)</p> <p>NEW WALL, SEE A900 FOR WALL TYPE</p> <p>DEMOLISHED WALL</p> <p>WOOD POST PER STRUCT DWGS</p> <p>WALL TAG, SEE A900 FOR WALL TYPE</p> <p>DOOR TAG, SEE A900 FOR DOOR TYPE</p> <p>WINDOW TAG, SEE A900 FOR WINDOW TYPE</p> <p>SMOKE DETECTOR</p> <p>CARBON MONOXIDE DETECTOR</p> <p>BATHROOM EXHAUST FAN</p>			



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
1043 IRVING PL, SUITE B
SILVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



VISIONS:

KEYNOTES

SHEET NOTES

- | | |
|---|--|
| A | ALL INTERIORS TO BE TYPE 1A UNO. |
| B | ALL DIMENSIONS ARE TO FACE UNLESS NOTED. |
| C | ALL DIMENSIONS INDICATED AS "CLIP" ARE FROM FINISH TO FINISH. |
| D | WALL BASE TO BE 6" REVEAL, BASE MOLDED AT JOINTS. |
| E | GRADE IRAY FROM FOOTINGS, 15% MIN. |
| F | THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A FUTURE LOW VOLTAGE DISTRIBUTION PANEL. THE FUTURE ELECTRICAL INSTALLATION, RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END, LEAST DISTANCE TO THE MAIN ELECTRICAL SERVICE PANEL. THE FUTURE LOW VOLTAGE DISTRIBUTION PANEL SHALL BE PERMANENTLY MARKED FOR FUTURE SQUARE ELECTRICAL. (CLIP GREEN 421, ENERGY EFFICIENT LOW VOLTAGE DISTRIBUTION PANEL) |
| G | HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68° AT A POINT 4 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN HABITABLE ROOMS. |
| H | FIRE BLOODS SHALL BE PROVIDED TO CUT OFF ALL AN CONCEALED DRAFT OPENINGS BOTH VERTICAL AND HORIZONTAL AND TO ALL EFFECTIVE FIRE BARRIER BETWEEN EXTERIOR AND INTERIOR WALLS. |
| I | EDGE FLASHING TO BE 18 GA GALVANIZED STEEL, EXPOSED SOL. PRELUM. SCHEDULE 40 |
| J | ROOFING MATERIAL TO BE ALUMINUMIZED STEEL, PAVESOL PUT. METALFLEX, MISCELL. CLASS A ROOF COVERING |
| K | ROOF FLASHING TO BE 18 GA GALVANIZED STEEL, EXPOSED SOL. PRELUM. SCHEDULE 40 |
| L | ROOF FLASHING TO BE 18 GA GALVANIZED STEEL, EXPOSED SOL. PRELUM. SCHEDULE 40 |
| M | ROOF FLASHING TO BE 18 GA GALVANIZED STEEL, EXPOSED SOL. PRELUM. SCHEDULE 40 |
| N | IN COMMERCE CONSTRUCTION WHERE THERE IS USABLE SPACE FOR A FLOORING CONSTRUCTION, THE FLOOR SHALL BE FINISHED TO THE AREA OF THE CONCEALED SPACE. THE SPACE DOES NOT EXCEED 1,000 SQUARE FEET. THE ROOFING SHALL COVER THE CONCEALED SPACE. THE SPACE SHALL BE FINISHED TO THE AREA OF THE CONCEALED SPACE. THE SPACE SHALL BE FINISHED TO THE AREA OF THE CONCEALED SPACE. |
| O | BUILDINGS SHALL HAVE APPROVED ANCHORS IN BUILDING MATERIALS OR APPROVED IDENTIFICATION PLACES IN PLACE. IDENTIFY THE PLACES (COLOR AND LOCATION) FROM THE STREET OR FROM THE SIDE OF THE BUILDING. THE IDENTIFICATION PLACES SHALL BE IDENTIFIED BY THE ARCHITECT. |
| P | PROTECTION OF WOOD AND WOOD GRAINED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 1017.11.7. |
| Q | THE USE OF NATURAL DURAL WOOD OR WOOD COAT THAT IS PRESERVATIVE TREATED TO PROTECT AGAINST INSECT AND FUNGUS SPECIES, PROTECTIVE AND INSECT PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AREA U. |
| R | PROTECT AGAINST INSECT AND FUNGUS SPECIES, PROTECTIVE AND INSECT PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AREA U. |
| S | PROTECT AGAINST INSECT AND FUNGUS SPECIES, PROTECTIVE AND INSECT PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AREA U. |
| T | PROTECT AGAINST INSECT AND FUNGUS SPECIES, PROTECTIVE AND INSECT PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AREA U. |

LEGEND

- | | |
|--|--|
| | GYP BOARD CEILING - ATTACHED TO UNDERSIDE OF FRAMING ABOVE |
| | GYP BOARD DROP CEILING |
| | PLASTER CEILING |
| | WOOD POST PER STRUCT DWGS |
| | SEE SHT A900 FOR WALL TYPES |
| | EXIT SIGN |
| | FIRE EXTINGUISHER |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE DETECTOR |
| | BATHROOM EXHAUST |
| | FAN COIL ACCESS PANEL |
| | RECESSED LIGHT - SEE ELEC. INTERIOR DWGS |
| | SURFACE MOUNT LIGHT. SEE ELEC. INTERIOR DWGS |
| | WALL SCONCE. SEE ELEC. INTERIOR DWGS |
| | LINEAR LIGHT FIXTURE. SEE ELEC. INTERIOR DWGS |

022. JEFF ZBIKOWSKI ARCHITECTURE

UNCOMMON DEVELOPERS
220 N WINNETKA AVE
HATSWORTH, CA 91311

PROJECT NAME:

UNCOMMON ETHICAL

NOT FOR CONSTRUCTION

511 N ETHEL AVE
HERMAN OAKS, CA

234

31.2023

MEET TITLE:

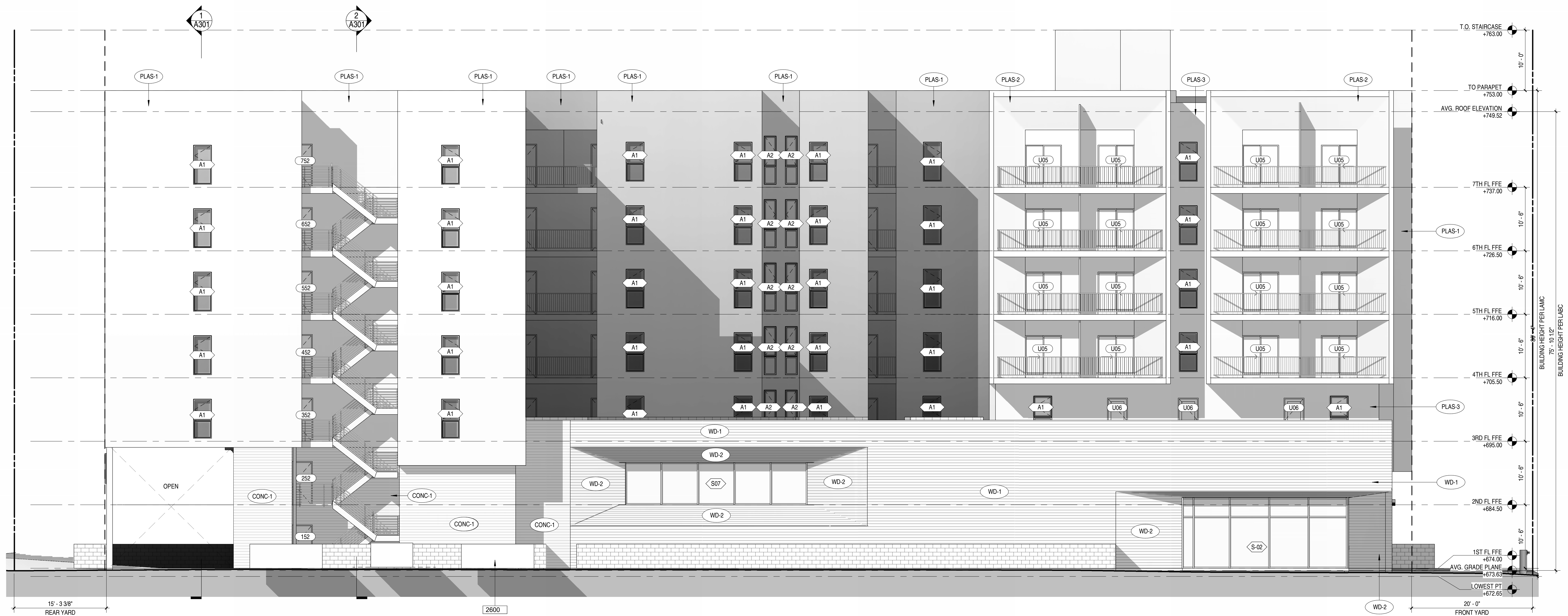
ELEVATIONS

SHEET NUMBER

A200

ENTITLEMENT SET

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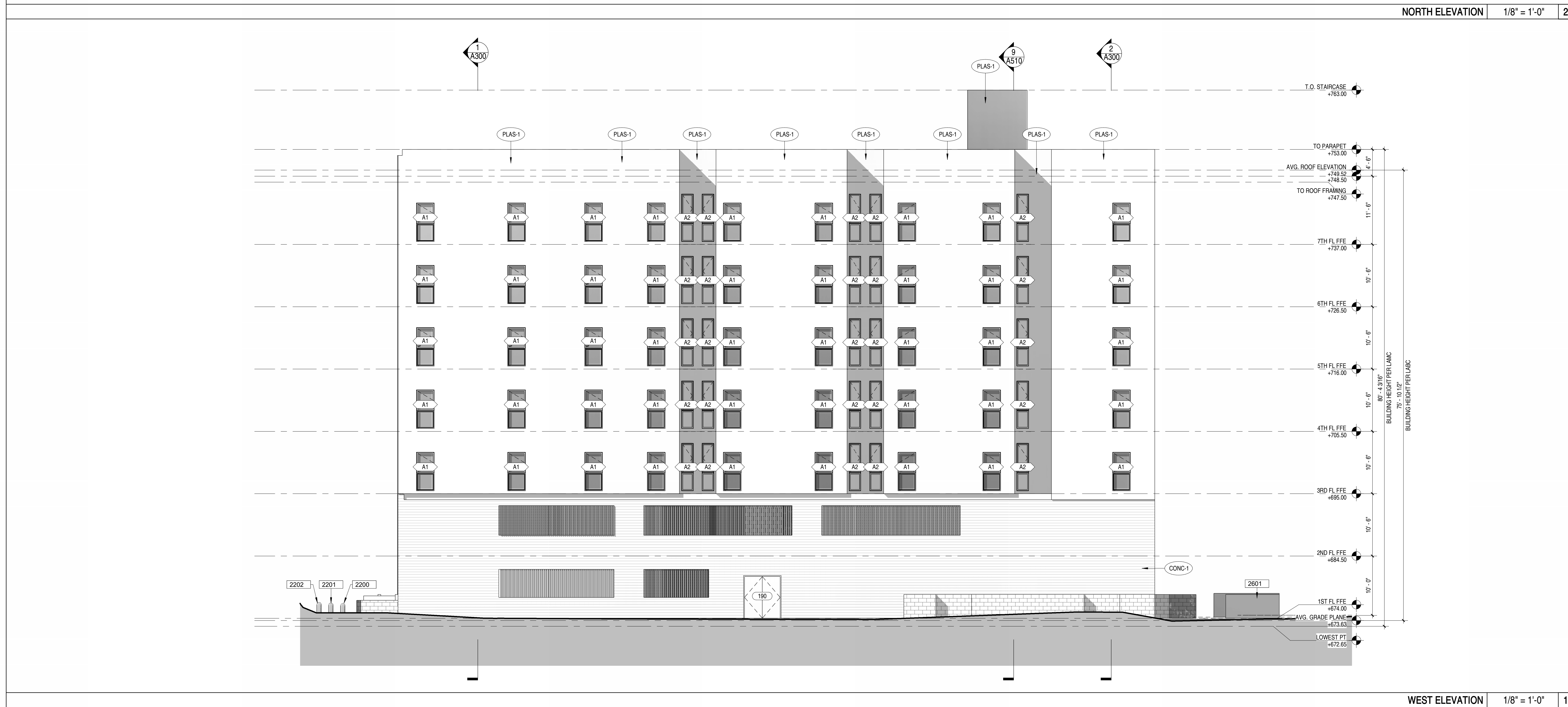
SOUTH ELEVATION	1/8" = 1'-0"	2
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2

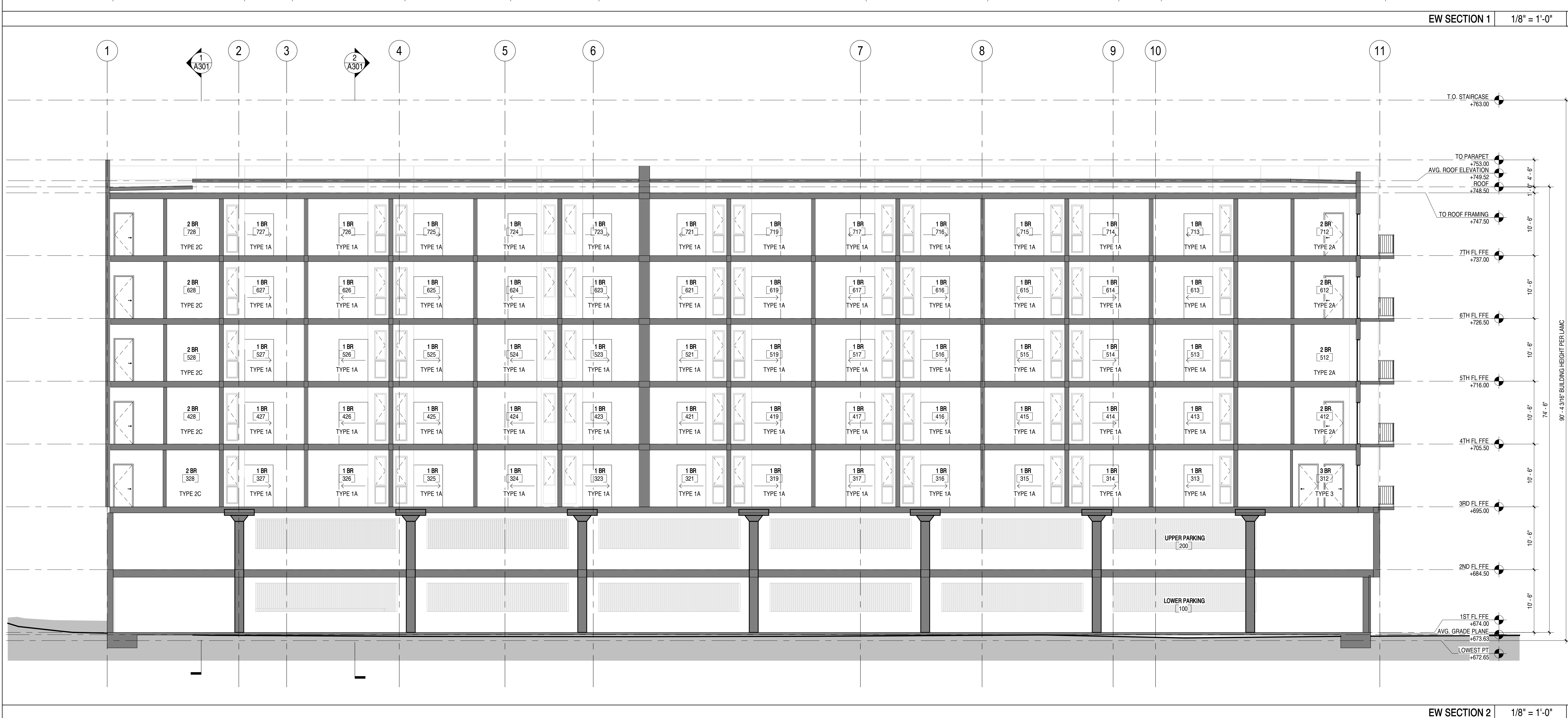


EAST ELEVATION	1/8" = 1'-0"	1
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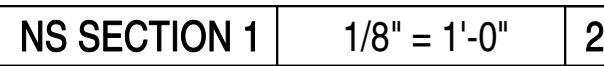
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













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2007-07-06 PM



LEGEND

- | | |
|---|--|
|  | GYP BOARD CEILING - ATTACHED TO UNDERSIDE OF FRAMING ABOVE |
|  | GYP BOARD DROP CEILING |
|  | PLASTER CEILING |
|  | WOOD POST PER STRUCT DWGS |
|  | SEE SHT A900 FOR WALL TYPES |
|  | EXIT SIGN |
|  | FIRE EXTINGUISHER |
|  | SMOKE DETECTOR |
|  | CARBON MONOXIDE DETECTOR |
|  | BATHROOM EXHAUST |
|  | FAN COIL ACCESS PANEL |
|  | RECESSED LIGHT. SEE ELEC. INTERIOR DWGS |
|  | SURFACE MOUNT LIGHT. SEE ELEC. INTERIOR DWGS |
|  | WALL SCONCE. SEE ELEC. INTERIOR DWGS |
|  | LINEAR LIGHT FIXTURE. SEE ELEC. INTERIOR DWGS |



ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA



REVISIONS

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UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:

UNCOMMON
ETHEL

NOT FOR CONSTRUCTION

5511 N ETHEL AVE
SHERMAN OAKS, CA

2234

DATE:
5.31.2023

SHEET TITLE:
PLUMB

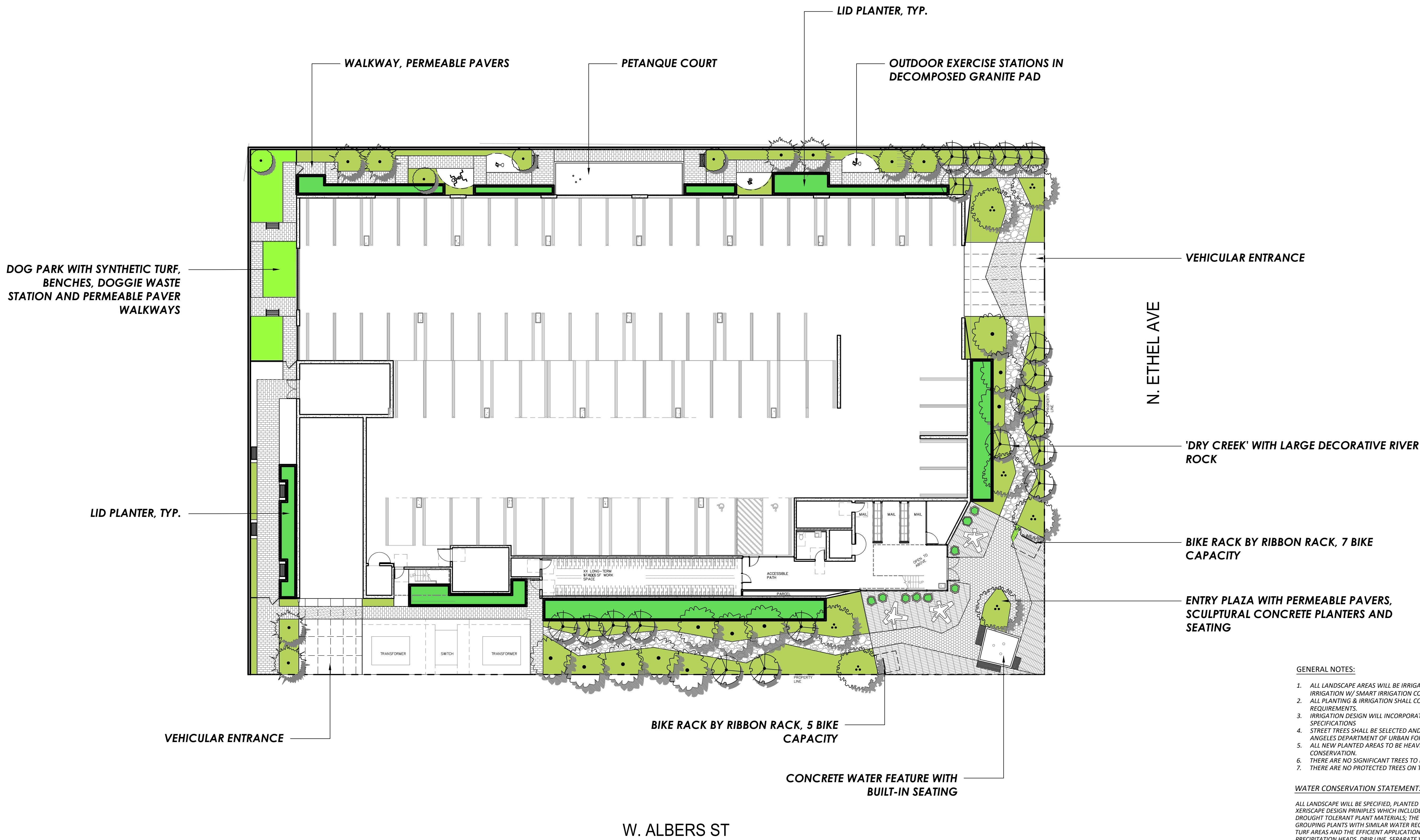
BUILDING SECTIONS

SHEET NUMBER

A301

DRAWING SET TITLE:
ENTITLEMENT SET

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PLANT LEGEND - GROUND LEVEL			
SYMBOL	BOTANICAL NAME "COMMON NAME"	SIZE/QT.	WUCOLS
TREES - 24" BOX MIN.			
	ACACIA ANEUA "MULGA"	24"BOX/2	LOW
	ARBUTUS MARINA "STRAWBERRY TREE"	24"BOX/8	LOW
	CERCIDIUM ' DESERT MUSEUM' "DESERT MUSEUM PALO VERDE"	24"BOX/18	VERY LOW
	CERCIS OCCIDENTALIS "WESTERN REDBUD"	24"BOX/4	LOW
	OLEA EUROPAEA "OLIVE"	24"BOX/7	LOW

SHRUBS & GROUND COVERS			
	BOTANICAL NAME "COMMON NAME"	SIZE	WUCOLS
	ANIGOZANTHOS SPECIES "KANGAROO PAW"	5 GAL.	MODERATE
	ARISTIDA PURPUREA "PURPLE THREE AWN"	5 GAL.	VERY LOW
	CALANDRINA GRANDIFLORA "ROCK PURSLANE"	5 GAL.	LOW
	CISTUS SPECIES "ROCKROSE"	5 GAL.	LOW
	DIETES SPECIES "FORTNIGHT LILY"	5 GAL.	LOW
	GREVILLEA NOELLI "NOEL'S GREVILLEA"	5 GAL.	LOW
	HESPERALOE SPECIES "YUCCA"	5 GAL.	VERY LOW
	JUNIPERUS SPECIES "JUNIPER"	5 GAL.	LOW
	KALANCHOE BEHARENSIS "ELEPHANT EARS"	5 GAL.	LOW
	LAVANDULA SPECIES "LAVENDER"	5 GAL.	LOW
	MUHLENBERGIA SPECIES "MUHLY"	5 GAL.	LOW
	PELARGONIUM SPECIES "GERANIUM"	5 GAL.	LOW
	PENNISSETUM SPECIES "FOUNTAIN GRASS"	5 GAL.	LOW
	PHORMIUM SPECIES "NEW ZEALAND FLAX"	5 GAL.	LOW
	SALVIA SPECIES "SAGE"	5 GAL.	LOW
	SEDUM SPECIES "STONE CROP"	5 GAL.	LOW
	SENECIO SPECIES "CHALKSTICKS"	5 GAL.	LOW
	WESTRINGIA SPECIES "COAST ROSEMARY"	5 GAL.	LOW

- GENERAL NOTES:
- ALL LANDSCAPE AREAS WILL BE IRRIGATED W/ A HIGH EFFICIENCY IRRIGATION W/ SMART IRRIGATION CONTROLS.
 - ALL PLANTING & IRRIGATION SHALL COMPLY WITH CITY OF LOS ANGELES REQUIREMENTS.
 - IRRIGATION DESIGN WILL INCORPORATE EPA WATERSENSE SPECIFICATIONS.
 - STREET TREES SHALL BE SELECTED AND INSTALLED PER CITY OF LOS ANGELES DEPARTMENT OF URBAN FORESTRY.
 - ALL NEW PLANTED AREAS TO BE HEAVILY MULCHED FOR WATER CONSERVATION.
 - THERE ARE NO SIGNIFICANT TREES TO BE REMOVED ON THE SITE.
 - THERE ARE NO PROTECTED TREES ON THE SITE.

WATER CONSERVATION STATEMENT:

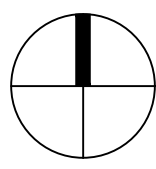
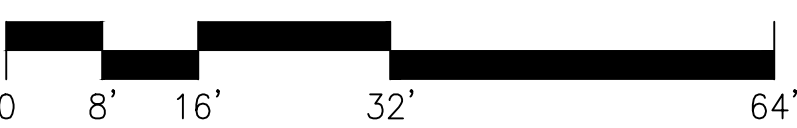
ALL LANDSCAPE WILL BE SPECIFIED, PLANTED & IRRIGATED ACCORDING TO XERISCAPE DESIGN PRINCIPLES WHICH INCLUDE: THE PREDOMINANT USE OF DROUGHT TOLERANT PLANT MATERIALS; THE PRACTICE OF HYDROZONING OR GROUPING PLANTS WITH SIMILAR WATER REQUIREMENTS TOGETHER; MINIMIZING TURF AREAS AND THE EFFICIENT APPLICATION OF WATER BY USING MATCH PRECIPITATION HEADS, DRIP LINE, SEPARATE VALVES FOR TURF AND GROUND COVER AREAS AND RAIN SHUT OFF DEVICES. THIS PROJECT WILL COMPLY WITH THE STATE WATER CONSERVATION ORDINANCE EFFECTIVE JANUARY 1, 2010.

LANDSCAPE AREA	
LEVEL 1	
PLANTERS	= 3,709 S.F.
LID PLANTERS	= 1,333 S.F.
DRY CREEK	= 1,115 S.F.
LEVEL 3	
PLANTERS	= 710 S.F.
LID PLANTERS	= 481 S.F.
TOTAL LANDSCAPE AREA PROVIDED	= 7,466 S.F.

OUTDOOR COMMON OPEN SPACE	
OUTDOOR COMMON OPEN SPACE PROVIDED LEVEL 1	= 7,280 S.F.
MINIMUM (25%) REQUIRED LANDSCAPE AREA LEVEL 1	= 1,820 S.F.
LANDSCAPE AREA PROVIDED LEVEL 1	= 3,417 S.F.
OUTDOOR COMMON OPEN SPACE PROVIDED LEVEL 3	= 4,770 S.F.
MINIMUM (25%) REQUIRED LANDSCAPE AREA LEVEL 3	= 1,194 S.F.
LANDSCAPE AREA PROVIDED LEVEL 3	= 1,240 S.F.

TREE COUNT SUMMARY	
TOTAL NO. OF UNITS	= 200
NO. OF TREES (24" BOX MIN.) REQUIRED 1 PER 4 UNITS	= 50
NO. OF TREES (24" BOX MIN.) PLANTED:	
LEVEL 1	= 49
LEVEL 3	= 14
TOTAL PROVIDED	= 63

SCALE: 1/16" = 1'-0"



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CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

SEAL:

REVISIONS:



Site Planning Urban Design

P.O. Box 704 Montrose CA 9101
Tel 818 797 5914 Web www.tgpinc.n



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SHERMAN OAKS, CA

JOB NUMBER:
2234

DATE:
5.31.2023

SHEET TITLE:
GROUND LEVEL

SHEET NUMBER:
L1
DRAWING SET TITLE:
ENTITLEMENT SET


TREES

						
ACACIA ANEURA "MULGA"	FEIJOA SELLOWIANA "PINEAPPLE GUAVA"	ARBUTUS 'MARINA' "MARINA STRAWBERRY TREE"	CERCIDIUM 'DESERT MUSEUM' "DESERT MUSEUM PALO VERDE"	CERCIS OCCIDENTALIS "WESTERN REDBUD"	OLEA EUROPAEA "FRUITLESS OLIVE"	PRUNUS ILICIFOLIA LYONII "CATALINA CHERRY"

SHRUBS AND GROUND COVERS

								
ANIGOZANTHOS SPECIES "KANGAROO PAW"	ARISTIDA PURPUREA "PURPLE THREE AWN"	CALANDRINA GRANDIFLORA "ROCK PURSLANE"	CISTUS SPECIES "ROCKROSE"	DIETES SPECIES "FORTNIGHT LILY"	GREVILLEA NOELLI "NOEL'S GREVILLEA"	HESPERALOE SPECIES "YUCCA"	JUNIPERUS SPECIES "JUNIPER"	KALANCHOE BEHARENSIS "ELEPHANT EARS"

SHRUBS AND GROUND COVERS

								
LAVANDULA SPECIES "LAVENDER"	LEYMUS CONDENSATUS 'CANYON PRINCE' "CANYON PRINCE WILD RYE"	MUHLENBERGIA SPECIES "MUHLI"	PELARGONIUM SPECIES "GERANIUM"	PENNISETUM SPECIES "FOUNTAIN GRASS"	PHORMIUM SPECIES "NEW ZEALAND FLAX"	SALVIA SPECIES "SAGE"	SEDUM SPECIES "STONE CROP"	SENECIO SPECIES "CHALKSTICKS"

SHRUBS AND GROUND COVERS


WESTRINGIA SPECIES "COAST ROSEMARY"

ARCHITECT
JEFF ZBIKOWSKI ARCHITECTURE
4043 IRVING PL, SUITE B
CULVER CITY, CA 90232
WWW.JZARCH.LA // 310.853.5004
INFO@JZARCH.LA

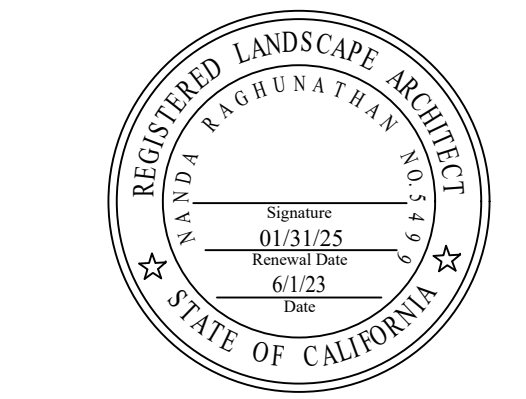
SCALE:

REVISIONS:

TGP

Landscape Architecture
Site Planning Urban Design

P.O. Box 704 Montrose CA 91021
Tel 818 797 5914 Web www.tgpinc.net



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CLIENT NAME:
UNCOMMON DEVELOPERS
9220 N WINNETKA AVE
CHATSWORTH, CA 91311

PROJECT NAME:
UNCOMMON
ETHEL

NOT FOR CONSTRUCTION
PROJECT ADDRESS:
5511 N ETHEL AVE
SHERMAN OAKS, CA

JOB NUMBER:
2234

DATE:
5.31.2023

SHEET TITLE:
PLANT IMAGES

SHEET NUMBER:
L3
DRAWING SET TITLE:
ENTITLEMENT SET