



**Attachment L**

**Architectural Plan Set**





## PROJECT INFORMATION

|  |   |  |  |
|--|---|--|--|
| PROJECT NAME:                                  | TRIANGLE CENTER   |  |  |
| ADDRESS:                                       | 3984-3988 S MEIER STREET & 12740-12750 W ZANJA STREET, LA CA 90066  |  |  |
| PROJECT DESCRIPTION:                           | 144 UNIT, 5 STOREY, & 6-STOREY MIXED-USE BUILDING WITH AT-GRADE COMMERCIAL SPACE AND 2 LEVELS OF SUBTERRANEAN GARAGE SITUATED IN BETWEEN LOS ANGELES, AND CULVER CITY.  |  |  |
| ZONING:  | CULVER CITY:<br>CG- COMMERCIAL GENERAL<br><br>LOS ANGELES:<br>R3-1 MULTIPLE DWELLING ZONE GENERAL PLAN:<br>MEDIUM RESIDENTIAL SPECIFIC PLAN:<br>LOS ANGELES COASTAL TRANSPORTATION CORRIDOR TRAFFIC PRIORITY AREA   |  |  |
| PARCEL NUMBER:                                 | 4236-020-001, 4236-020-002, 4236-020-003, 4236-020-004, 4236-020-005, & 4236-020-006  |  |  |
| LOT NUMBER:                                    | 64, 65, 66, 67, 68, 69, 70, & 71  |  |  |
| CONSTRUCTION TYPE:                             | TYPE III-A OVER TYPE I-A  |  |  |
| SITE AREA:                                     | 57,342 SQ FT (+/- 1.32 ACRES)<br>33,858 SQ FT (+/- 0.78 ACRES) CULVER CITY<br>23,484 SQ FT (+/- 0.54 ACRES) LOS ANGELES   |  |  |
| CULVER CITY INCENTIVES UTILIZED: (PER AB 2345) | PARKING PER AB2345: (0-1 BDRM = 1 SPACE, 2+ BDRM = 1.5 SPACES)<br>#1 - 11' HEIGHT INCREASE (TO 67')<br>#2 - ADDITIONAL OFF-MENU DENSITY INCREASE 27 UNITS   |  |  |
| LOS ANGELES INCENTIVES UTILIZED: (PER AB 2345) | PARKING PER AB2345: (0-1 BDRM = 1 SPACE, 2+ BDRM = 1.5 SPACES)<br>#1 - 11' HEIGHT INCREASE (TO 58')<br>#2 - DENSITY CALCULATION: THE AREA OF ANY LAND REQUIRED TO BE DEDICATED FOR STREET OR ALLEY PURPOSES MAY BE INCLUDED AS LOT AREA FOR PURPOSES OF CALCULATING THE MAXIMUM DENSITY PERMITTED BY THE UNDERLYING ZONE IN WHICH THE PROJECT IS LOCATED. |  |  |

## PROJECT DENSITY

| CITY        | LOT AREA | TOTAL UNITS | ADDITIONAL UNIT REQUEST | TOTAL UNITS |
|-------------|----------|-------------|-------------------------|-------------|
| CULVER      | 33,858   | 77          | 27                      | 104         |
| LOS ANGELES | 23,484   | 40          | 40                      | 40          |
| TOTAL       | 57,342   | 117         | 27                      | 144         |

SPR, PROJECT UTILIZING AB 2345 FOR ADDITIONAL DENSITY WITH 2 INCENTIVES UTILIZED PLUS PARKING REQUIREMENT

## PROJECT AFFORDABLE UNITS

| AFFORDABLE REQUIRED | AFFORDABLE PROVIDED | AFFORDABILITY LEVEL  |
|---------------------|---------------------|----------------------|
| 12 IN CULVER CITY:  | 5                   | VERY LOW INCOME      |
|                     | 11                  | MODERATE INCOME      |
| 3 IN LOS ANGELES:   | 3                   | EXTREMELY LOW INCOME |
| 15 REQUIRED         | 19 PROVIDED         |                      |

## PROJECT UNIT TYPE

| UNIT TYPE       | CULVER CITY | LOS ANGELES | TOTAL UNITS    |
|-----------------|-------------|-------------|----------------|
| MICRO / STUDIO  | 9 UNITS     | -           | 9 UNITS (6%)   |
| STUDIO          | 12 UNITS    | 4 UNITS     | 16 UNITS (11%) |
| 1 BEDROOM       | 53 UNITS    | 24 UNITS    | 77 UNITS (54%) |
| 1 BEDROOM + DEN | 5 UNITS     | -           | 5 UNITS (3%)   |
| 2 BEDROOM       | 24 UNITS    | 12 UNITS    | 36 UNITS (25%) |
| 2 BEDROOM + DEN | 1 UNIT      | -           | 1 UNIT (1%)    |
| TOTAL:          | 104 UNITS   | 40 UNITS    | 144 UNITS      |

## PROJECT GROSS BUILDING AREA

| BUILDING LEVEL                 | TYPE / USE                 | SQ. FT.  |
|--------------------------------|----------------------------|----------|
| GROUND FLOOR                   | COMMERCIAL / RETAIL        | 19,012   |
| GROUND FLOOR                   | COMMON (LOBBY)             | 419      |
| GROUND FLOOR                   | RESIDENTIAL                | 3,360    |
| GROUND FLOOR                   | RESIDENTIAL COMMON AREA    | 3,422    |
| GROUND FLOOR                   | RESIDENTIAL AMENITY (YOGA) | 245      |
| 2ND FLOOR                      | RESIDENTIAL AREA           | 25,301   |
| 2ND FLOOR                      | RESIDENTIAL AMENITY        | 2,143    |
| 2ND FLOOR                      | COMMON AREA                | 3,388    |
| 3RD FLOOR                      | RESIDENTIAL AREA           | 27,723   |
| 3RD FLOOR                      | COMMON AREA                | 2,882    |
| 4TH FLOOR                      | RESIDENTIAL AREA           | 27,433   |
| 4TH FLOOR                      | COMMON AREA                | 2,882    |
| 5TH FLOOR                      | RESIDENTIAL AREA           | 27,117   |
| 5TH FLOOR                      | COMMON AREA                | 2,860    |
| 6TH FLOOR                      | RESIDENTIAL AREA           | 17,409   |
| 6TH FLOOR                      | COMMON AREA                | 2,029    |
| TOTAL GROSS BUILDING AREA      |                            | 167,625  |
| (TOTAL PROJECT FAR             |                            | 2.92 :1) |
| TOTAL RESIDENTIAL AREA         |                            | 130,319  |
| TOTAL COMMON AREA              |                            | 15,487   |
| TOTAL INDOOR AMENITY           |                            | 2,388    |
| TOTAL RETAIL AREA              |                            | 19,431   |
| OUTDOOR AMENITY SPACES         |                            | 660      |
| GROUND FLOOR OUTDOOR DOG RUN   |                            | 14,716   |
| 2ND FLOOR OUTDOOR POOL DECK    |                            | 6,035    |
| 6TH FLOOR OUTDOOR AMENITY DECK |                            | 21,418   |
| TOTAL OUTDOOR AMENITY SPACES   |                            |          |

## PROJECT PARKING

|                                      |                   |     |
|--------------------------------------|-------------------|-----|
| PARKING REQUIRED                     |                   |     |
| LOS ANGELES                          | RESIDENTIAL       | 46  |
| CULVER CITY                          | RESIDENTIAL       | 120 |
| TOTAL RESIDENTIAL PARKING REQUIRED   |                   | 166 |
| CULVER CITY                          | COMMERCIAL RETAIL | 55  |
| GRAND TOTAL SITE PARKING REQUIRED    |                   | 221 |
| ALL PARKING IS SHARED BY BOTH CITIES |                   |     |

|                                |              |                   |                   |              |
|--------------------------------|--------------|-------------------|-------------------|--------------|
| PARKING PROVIDED               |              |                   |                   |              |
| RESIDENTIAL (ASSIGNED) PARKING |              |                   |                   |              |
| TANDEM TENANT                  | GROUND FLOOR | BASEMENT LEVEL -1 | BASEMENT LEVEL -2 | TOTAL STALLS |
| COMPACT (LA)                   | -            | 19x2 = 38         | 17 x2 = 34        | 72           |
| STANDARD SINGLE TENANT         | -            | 13                | 69                | 82           |
| ACCESSIBLE NON-VAN             | -            | 5                 | -                 | 5            |
| ACCESSIBLE VAN                 | -            | 1                 | -                 | 1            |
| EV PARKING STALL               | -            | 4                 | 4                 | 8            |
| TOTAL RESIDENTIAL PROVIDED:    |              |                   |                   |              |
|                                |              | 61                | 107               | 168 (>166)   |
| COMMERCIAL PARKING             |              |                   |                   |              |
| STANDARD                       | GROUND FLOOR | BASEMENT LEVEL -1 | BASEMENT LEVEL -2 | TOTAL STALLS |
| COMPACT (LA)                   | 20           | 38                | -                 | 58           |
| ACCESSIBLE                     | -            | -                 | -                 | -            |
| ACCESSIBLE VAN                 | 2            | -                 | -                 | 2            |
| CLEAN AIR                      | 1            | -                 | -                 | 1            |
| HOV                            | 3            | -                 | -                 | 3            |
|                                | 2            | -                 | -                 | 2            |
| TOTAL COMMERCIAL PROVIDED:     |              |                   |                   |              |
|                                | 28           | 38                | -                 | 66 (>55)     |
| TOTAL SITE PARKING PROVIDED:   |              |                   |                   |              |
|                                | 28           | 99                | 107               | 234 (>221)   |

## PROJECT BICYCLE PARKING

| TYPE                   | CULVER CITY | LOS ANGELES | TOTAL REQUIRED | TOTAL PROVIDED |
|------------------------|-------------|-------------|----------------|----------------|
| RETAIL                 | 3 REQ.      | -           | 3 STALLS       | 4 STALLS       |
| RESIDENTIAL SHORT TERM | -           | 4 REQ.      | 4 STALLS       | 6 STALLS       |
| RESIDENTIAL LONG TERM  | 13 REQ.     | 40 REQ.     | 53 STALLS      | 54 STALLS      |
| OTHER (NON - RES)      | 4 REQ.      | -           | 4 STALLS       | 5 STALLS       |
| GRAND TOTAL :          | 20 STALLS   | 44 UNITS    | 64 STALLS      | 69 STALLS      |

## SHEET INDEX

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| AP-1          | NEIGHBORHOOD SITE PHOTOS ON WASHINGTON BLVD. |
| AP-1a         | NEIGHBORHOOD SITE PHOTOS ON ZANJA ST.        |
| AP-1b         | NEIGHBORHOOD SITE PHOTOS ON MEIER ST.        |
| AP-2          | CITY MAP                                     |
| AP-3          | OPEN SPACE CALCULATIONS - CULVER CITY SIDE   |
| AP-4          | OPEN SPACE CALCULATIONS - LOS ANGELES SIDE   |
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| AP-6          | BASEMENT PARKING LEVEL P1 FLOOR PLAN         |
| AP-7          | GROUND FLOOR / SITE PLAN                     |
| AP-7a         | SITE DETAILS                                 |
| AP-7b         | FIRE ACCESS SITE PLAN                        |
| AP-8          | SECOND FLOOR PLAN                            |
| AP-9          | THIRD FLOOR PLAN                             |
| AP-10         | FOURTH FLOOR PLAN                            |
| AP-11         | FIFTH FLOOR PLAN                             |
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| AP-14         | BUILDING ELEVATIONS                          |
| AP-15         | BUILDING ELEVATIONS                          |
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| AP-17         | BUILDING SECTIONS                            |
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| AP-18a        | CURB USES / STREET PARKING PLAN              |
| AP-19         | LIGHTING AND SIGNAGE EXHIBIT                 |
| AP-20         | MATERIAL BOARD                               |
| AP-21         | RENDERINGS                                   |
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| AP-23         | RENDERINGS                                   |

|        |                                |
|--------|--------------------------------|
| CIVIL: |                                |
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| C-2    | CIVIL TENTATIVE TRACT MAP      |
| C-3    | CIVIL TENTATIVE TRACT MAP      |
| C-4    | HIGHWAY DEDICATION SITE PLAN   |
| C-5    | CIVIL EXISTING PARKING EXHIBIT |
| C-6    | CIVIL PROPOSED PARKING EXHIBIT |
| C-7    | CIVIL EXISTING UTILITY EXHIBIT |
| C-8    | CIVIL LID EXHIBIT              |

|            |                             |
|------------|-----------------------------|
| LANDSCAPE: |                             |
| L-1        | GROUND LEVEL LANDSCAPE PLAN |
| L-2        | PODIUM LEVEL SITE PLAN      |
| L-3        | SIXTH LEVEL SITE PLAN       |

|              |                                   |
|--------------|-----------------------------------|
| PHOTOMETRIC: |                                   |
| 1 OF 3       | PHOTOMETRIC SITE PLAN             |
| 2 OF 3       | PHOTOMETRIC 2ND FLOOR PLAN        |
| 3 OF 3       | PHOTOMETRIC 6TH FLOOR PLAN / ROOF |
|              | 14,000 SQ FT)                     |
|              | 15,240 SQ FT)                     |

## PROJECT OPEN SPACE

|  |               |
|--|---------------|
| REQUIRED                                 |               |
| (LOS ANGELES (PER LAMC SECTION 12.21.G): | 4,300 SQ FT)  |
| (CULVER CITY (PER CCMC 17.400.065-G-3):  | 10,400 SQ FT) |
| TOTAL OPEN SPACE REQUIRED:               | 14,700 SQ FT  |

|  |               |
|--|---------------|
| PROVIDED                                 |               |
| (LOS ANGELES (PER LAMC SECTION 12.21.G): | 15,953 SQ FT) |
| (CULVER CITY (PER CCMC 17.400.065-G-3):  | 14,988 SQ FT) |
| TOTAL OPEN SPACE PROVIDED:               | 30,941 SQ FT  |

## DIRECTORY

|                                   |  |
|-----------------------------------|--|
| OWNER :                           |  |
| TRIANGLE CENTRE LP                |  |
| 11955 WEST WASHINGTON BLVD. # 103 |  |
| CULVER CITY, CA 90066             |  |
| CONTACT: KEVIN READ               |  |
| (T) 310.701.0282                  |  |
| EMAIL: KPR@OCEANHOLD.COM          |  |
| OR CONTACT: REID KAUFMANN         |  |
| (T) 424.526.1001                  |  |
| EMAIL: RKAUFMANN@BASTION.LA       |  |

|                                   |  |
|-----------------------------------|--|
| APPLICANT:                        |  |
| BASTION DEVELOPMENT CORPORATION   |  |
| 11955 WEST WASHINGTON BLVD. # 103 |  |
| CULVER CITY, CA 90066             |  |
| CONTACT: KEVIN READ               |  |
| (T) 310.701.0282                  |  |
| EMAIL: KPR@OCENHOLD.COM           |  |
| OR CONTACT: REID KAUFMANN         |  |
| (T) 424.526.1001                  |  |
| EMAIL: RKAUFMANN@BASTION.LA       |  |

|   |  |
|---|--|
| CIVIL ENGINEER                          |  |
| X ENGINEERING & CONSULTING, INC.        |  |
| 6 HUTTON CENTRE DRIVE, SUITE #650       |  |
| SANTA ANA, CA 92707                     |  |
| CONTACT: PUNEET COMAR, P.E., Q.S.D.     |  |
| (T) 949.522.7727                        |  |
| EMAIL: PUNEET.COMAR@XENGINEERINGINC.COM |  |

|                                    |  |
|------------------------------------|--|
| ARCHITECT                          |  |
| PK-ARCHITECTURE                    |  |
| 29616 AGOURA ROAD                  |  |
| AGOURA HILLS, CA 91301             |  |
| CONTACT: BRIAN POLIQUIN            |  |
| EMIAL: BPOLQUIN@PKARCHITECTURE.NET |  |
| OR CONTACT: ANTHONY MOLINA         |  |
| EMAIL: AMOLINA@PKARCHITECTURE.NET  |  |
| (T) 818.584.0057                   |  |
| FAX 818.584.0019                   |  |

|                                    |  |
|------------------------------------|--|
| LANDSCAPE ARCHITECT:               |  |
| IMA 5281 CALIFORNIA AVE, SUITE 350 |  |
| IRVINE, CA 92617                   |  |
| CONTACT: BLAIR EVANS               |  |
| (T) 949.954.7514                   |  |
| EMAIL: BEVANS@IMADESIGN.COM        |  |

|                                   |  |
|-----------------------------------|--|
| PHOTOMETRIC                       |  |
| VECTOR ENGINEERING GROUP          |  |
| 19012 SADDLEBACK RIDGE ROAD       |  |
| SANTA CLARITA, CA 91351           |  |
| CONTACT: JO A. RAYNER, PE         |  |
| (T) 818.818.73109120              |  |
| EMIAL: VECTORENGINEERINGGROUP.COM |  |

## VICINITY MAP



## LEGAL DESCRIPTION

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF CULVER CITY AND LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS: LOTS 64 TO 71 INCLUSIVE OF TRACT 5951, PARTLY WITHIN THE CITY OF CULVER CITY AND PARTLY WITHIN THE CITY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 77 PAGE 72 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.





## CULVER CITY - PROJECT INFORMATION

|  |   |  |                                    |
|--|---|--|------------------------------------|
| PROJECT DESCRIPTION:   | 104 UNIT 6-STORY MIXED-USE BUILDING WITH AT-GRADE COMMERCIAL SPACE AND 2 LEVELS OF SUBTERRANEAN GARAGE  |  |                                    |
| ZONING:  | CG- COMMERCIAL GENERAL  |  |                                    |
| PARCEL NUMBER:   | 4236-020-001, 4236-020-002, 4236-020-003, 4236-020-004, 4236-020-005, 4236-020-006, 4236-020-030  |  |                                    |
| LOT NUMBER:  | 64, 65, 66, 67, 68, 69  |  |                                    |
| ALLOWABLE BUILDING HEIGHT:<br>PER CCMC 17.400.065.E.4-2<br>ADJACENT TO R3 ZONE | 45'-0"<br>+ 22'-0" HEIGHT<br>= 67'-0"   | IN CG ZONE ON LOTS LESS THAN 150 FEET IN DEPTH<br>PER AB 2345 INCENTIVE #1<br>MAX. ALLOWABLE HEIGHT  |                                    |
| PROPOSED BUILDING HEIGHT:  | 67'-0" 6 - STOREY   |  |                                    |
| SETBACKS REQUIRED:<br>PER CCMC 17.400.065.E.4-2                                | BELOW GRADE:  | NO SETBACKS REQUIRED   |                                    |
|  | FRONT: (WASHINGTON BLVD.)   | NO SETBACKS REQUIRED   | (ADJACENT TO NON-RESIDENTIAL ZONE) |
|  | SIDE: (ZANJA ST.)   | NO SETBACKS REQUIRED   | (ADJACENT TO NON-RESIDENTIAL ZONE) |
|  | REAR: ADJ. TO L.A. R-3 PARCEL (MEIER ST.)<br>BLDG. 15'<<br>BLDG. 15'>   | 10' SETBACK IS REQUIRED (ADJACENT TO RESIDENTIAL ZONE)<br>A 60-DEGREE, CLEAR-ZONE ANGLE MUST BE MAINTAINED, MEASURED FROM 15 FEET ABOVE THE EXISTING GRADE, AND 10 FEET FROM THE REAR PROPERTY LINES. (ADJACENT TO RESIDENTIAL ZONE)<br>50' SETBACK IS REQUIRED (ADJACENT TO RESIDENTIAL ZONE) |                                    |
|  | BLDG. 45'>  |  |                                    |
| SETBACKS PROVIDED:<br>WAIVER OF SETBACKS)                                      | BELOW GRADE:  | 4" TO 7'-2" VARIES   |                                    |
|  | FRONT: (WASHINGTON BLVD.)   | 5' TO 22' VARIES   | (ADJACENT TO NON-RESIDENTIAL ZONE) |
|  | SIDE: (ZANJA ST.)   | 0' TO 1'-8"  | (ADJACENT TO NON-RESIDENTIAL ZONE) |
|  | REAR: ADJ. TO L.A. R-3 PARCEL (MEIER ST.)<br>BLDG. 15'<<br>BLDG. 15'><br>BLDG. 45'>   | 0' TO 11'-10" (ADJACENT TO RESIDENTIAL ZONE)<br>0' TO 11'-10" (ADJACENT TO RESIDENTIAL ZONE)<br>0' TO 11'-10" (ADJACENT TO RESIDENTIAL ZONE)   |                                    |
| SITE AREA:   | 33,858 SQ FT (0.77± ACRE)   |  |                                    |
| PROPOSED GROSS SQ FT:<br>(CULVER CITY FAR)                                     | 19,012 SQ FT - RETAIL<br>419 SQ FT - COMMON (LOBBY)<br>92,955 SQ FT - RESIDENTIAL<br>2,143 SQ FT - AMENITY<br>11,472 SQ FT - COMMON<br>126,001 SQ FT GROSS  |  |                                    |
| INCENTIVES UTILIZED:<br>(PER AB 2345)  | PARKING PER AB2345: (0-1 BDRM = 1 SPACE, 2+ BDRM = 1.5 SPACES)<br>#1 22' HEIGHT INCREASE (TO 67') FROM 45 FOOT CODE LIMIT (PER AB 2345)<br>#2 SETBACK: WAIVER OF SETBACK REQUIRED FOR CULVER CITY PORTION OF PROJECT SIDE ADJACENT TO CITY OF LOS ANGELES R3 ZONE<br>#3 DENSITY BONUS INCENTIVE (PER GC 65915(e)(1)): |  |                                    |

## CULVER CITY - DENSITY

| PARCELS LOT AREA    | BASE DENSITY PER CCMC 17.220.020.A (TABLE 2-6) AND CCMC 17.400.065.E.3 | COMMUNITY BENEFIT DENSITY @ 65 DU / ACRE PER 17.400.065.E.3.a | 50 % DENSITY BONUS PER AB 2345 (applied to base density) | TOTAL DWELLING UNITS WITH 50% DENSITY BONUS | ADDITIONAL DENSITY BONUS INCENTIVE REQUEST | OVERALL CULVER CITY PARCEL UNITS |
|---------------------|--|---|--|---|--|----------------------------------|
| 33,858 / 0.77 ACRES | 35 DU/ACRE = 27.2 = 27UNITS  | 65 DU/ACRE= 50.52 = 51 UNITS                                  | +26 UNITS  | 51+26 = 77 UNITS                            | 27 UNITS                                   | 104 UNITS                        |

## CULVER CITY - AFFORDABLE UNITS

| UNIT TYPE   | VERY LOW INCOME UNITS PROVIDED | MODERATE INCOME UNITS PROVIDED | EXTREMELY LOW INCOME UNITS PROVIDED | TOTAL |
|---|--------------------------------|--------------------------------|-------------------------------------|-------|
| MICRO / STUDIOS   | 1                              | 2                              | -                                   | 2     |
| STUDIOS   | 1                              | 2                              | -                                   | 3     |
| 1 BEDROOMS  | 2                              | 6                              | -                                   | 8     |
| 2 BEDROOMS  | 1                              | 2                              | -                                   | 3     |
| TOTAL   | 5                              | 11                             | -                                   | 16    |
| TOTAL PROVIDED:   |                                |                                |                                     | 16    |
| AFFORDABILITY AB 2345 REQ.: 15% OF BASE DENSITY (28 UNITS) AS VLI UNITS: 4.2 UNITS = 5 VLI UNITS FOR 55 YEARS   |                                |                                |                                     |       |
| C.C. COMM. BENEFIT: 15% OF TOTAL UNITS @ 65 DU/ACRE (77 UNITS): 11.55 UNITS<br>15% OF AB 2345 DENSITY BONUS UNITS (27 UNITS): 4.05<br>TOTAL COMMUNITY BENEFIT UNITS:15.6 UNITS = 16 AFFORDABLE UNITS FOR 55 YEARS |                                |                                |                                     |       |
| TOTAL AFFORDABLE: 16 UNITS (5 VLI, 11 WORKFORCE) OR 15.4% OF TOTAL CULVER CITY PARCEL UNITS   |                                |                                |                                     |       |

## CULVER CITY - UNIT TYPE

| UNIT TYPE       | QUANTITY  | MIX.   | AVERAGE SQ FT. |
|-----------------|-----------|--------|----------------|
| MICRO / STUDIO  | 9 UNITS   | 8.6 %  | 495 SQ FT.     |
| STUDIO          | 12 UNITS  | 11.6 % | 658 SQ FT      |
| 1 BEDROOM       | 53 UNITS  | 51 %   | 833 SQ FT      |
| 1 BEDROOM + DEN | 5 UNITS   | 4.8 %  | 942 SQ FT      |
| 2 BEDROOM       | 24 UNITS  | 23.1 % | 1,178 SQ FT.   |
| 2 BEDROOM + DEN | 1 UNITS   | .9%    | 1,280 SQ FT.   |
| TOTAL:          | 104 UNITS |        |                |

## CULVER CITY - PARKING REQUIRED

| TYPE / USE   | QUANTITY                   | FORMULA (CODE SECTION)                         | STALLS REQUIRED |
|--|----------------------------|--|-----------------|
| 19,012 SQ. FT OF RETAIL  | RETAIL SPACE: A, B, C, & D | 1/350 SQ FT (PER CCMC 17.320.020 - TABLE 3-3B) | 55              |
|  |                            | TOTAL RETAIL:                                  | 55              |
| MICRO / STUDIO   | 9 UNITS                    | 1 PER UNIT (PER AB 2345)                       | 9               |
| STUDIO   | 12 UNITS                   | 1 PER UNIT (PER AB 2345)                       | 12              |
| 1 BEDROOM  | 53 UNITS                   | 1 PER UNIT (PER AB 2345)                       | 53              |
| 1 BEDROOM + DEN  | 5 UNITS                    | 1.5 PER UNIT (PER AB 2345)                     | 8               |
| 2 + BEDROOM  | 25 UNITS                   | 1.5 PER UNIT (PER AB 2345)                     | 38              |
|  |                            | TOTAL RESIDENTIAL:                             | 120             |
| SPR, PROJECT UTILIZING AB2345 FOR ADDITIONAL DENSITY WITH 2 INCENTIVES UTILIZED PLUS PARKING REQUIREMENT |                            |  |                 |

## CULVER CITY - PARKING PROVIDED

| RETAIL             |                               |  |            | STALLS |
|--------------------|-------------------------------|--|------------|--------|
| PARKING STALL TYPE |                               | CODE SECTION                               | PROVIDED   |        |
| STANDARD           |                               | PER CCMC 17.320.020 - TABLE 3-3B           | 39         |        |
| ACCESSIBLE         |                               | PER TABLE 11B-208.2                        | 2          |        |
| ACCESSIBLE (VAN)   |                               | PER TABLE 11B-208.2                        | 1          |        |
| EV CAPABLE         | 20 % OF REQUIRED PARKING      | CCMC SECTION 17.320.035. SUB SECTION 0.2.A | 12         |        |
| EV READY           | 10 % OF REQUIRED PARKING      | CCMC SECTION 17.320.035. SUB SECTION 0.2.B | 6          |        |
| FULL EV CHARGING   | 10 % OF REQUIRED PARKING      | CCMC SECTION 17.320.035. SUB SECTION 0.2.C | 6          |        |
| TOTAL RETAIL:      |                               |  | 66 (>55)   |        |
| RESIDENTIAL        |                               |  |            | STALLS |
| PARKING STALL TYPE |                               | CODE SECTION                               | PROVIDED   |        |
| STANDARD / TANDEM  |                               | PER AB-2345                                | 63         |        |
| ACCESSIBLE         |                               | PER TABLE 11B-208.2                        | 5          |        |
| ACCESSIBLE (VAN)   |                               | PER TABLE 11B-208.2                        | 1          |        |
| EV CAPABLE         | 20 % OF REQUIRED PARKING (26) | CCMC SECTION 17.320.035. SUB SECTION 0.2.A | 26         |        |
| EV READY           | 10 % OF REQUIRED PARKING (13) | CCMC SECTION 17.320.035. SUB SECTION 0.2.B | 13         |        |
| FULL EV CHARGING   | 10 % OF REQUIRED PARKING (13) | CCMC SECTION 17.320.035. SUB SECTION 0.2.C | 13         |        |
| TOTAL RESIDENTIAL: |                               |  | 121 (>120) |        |

## CULVER CITY - BICYCLE PARKING

| VEHICLE PARKING STALLS REQUIRED   | FORMULA  | BICYCLE STALLS REQUIRED | BICYCLE STALLS PROVIDED |
|---|--|-------------------------|-------------------------|
| 55 RETAIL VEHICLE STALLS  | 5 % OF REQUIRED VEHICLE STALLS   | 3 (SHORT TERM)          | 4                       |
| 121 RESIDENTIAL VEHICLE STALLS  | 10% OF REQUIRED VEHICLE STALLS   | 13 (LONG TERM)          | 14                      |
| 55 TOTAL STALLS REQUIRED  | 5 % OF TOTAL REQUIRED VEHICLE STALLS (NON RES. USES - EMPLOYEE & VISITORS) | 3 (SHORT TERM)          | 4                       |
| IN ADDITION TO THE CODE REQUIRED BICYCLE PARKING SPACES, ONE BICYCLE SHARING SPACE WITH ACCOMPANYING BICYCLE TO BE OWNED/ENSURED/MAINTAINED BY THE PROJECT'S PROPERTY MANAGEMENT COMPANY. |  | 1 (SHORT TERM)          | 1                       |
| TOTAL: 20 23 (>20)  |  |                         |                         |

## CULVER CITY - OPEN SPACE

|   |               |
|---|---------------|
| TOTAL OPEN SPACE REQUIRED:              | 10,400 SQ FT) |
| TOTAL OPEN SPACE PROVIDED:              | 15,240 SQ FT) |
| SEE OPEN SPACE CALCULATIONS SHEET AP1.6 |               |





## LOS ANGELES - PROJECT INFORMATION

|  |  |                         |  |
|--|--|-------------------------|--|
| PROJECT DESCRIPTION:   | R3-1 MULTIPLE DWELLING ZONE - GENERAL PLAN: MEDIUM RESIDENTIAL SPECIFIC PLAN: LOS ANGELES COASTAL TRANSPORTATION CORRIDOR  |                         |  |
| ZONING:  | 4236-020-030   |                         |  |
| PARCEL NUMBER:   | 4236-020-030   |                         |  |
| ADDRESS:   | 3984 S. MEIER ST, 12750 W ZANJA ST.,<br>3988 S. MEIER ST, 12740 W. ZANJA S.  |                         |  |
| LOT NUMBER & (SQ FT):  | LOT #70 (9,442 SQ FT), & LOT # 71 (10,208 SQ FT)   |                         |  |
| ALLOWABLE BUILDING HEIGHT:   | 45'-0" (R3-1 ZONE PER LAMC 12.2.1)<br>+ 11'-0" INCREASE IN HEIGHT - "PER LAMC 12.22-A.25(F)(5)"<br>56'-0" MAX. ALLOWABLE HEIGHT  |                         |  |
| PROPOSED BUILDING HEIGHT:  | 56'-0", 5-STOREY   |                         |  |
| DEDICATION REQUIRED:   | 3' FRONT YARD (MEIER ST)<br>5' SIDE YARD (ZANJA ST) REQUESTING TO BE WAIVED<br>2'-6" ALLEY (ALLEY) REQUESTING TO BE WAIVED<br>15' CORNER (MEIER ST, & ZANJA ST)  |                         |  |
| DEDICATION PROVIDED:   | 3' FRONT YARD (MEIER ST)<br>15' CORNER (MEIER ST, & ZANJA ST)  |                         |  |
| SETBACKS REQUIRED:   | 15' FRONT YARD (MEIER ST)<br>8' SIDE YARD YARD (ZANJA ST) (5' MIN. + 1' FOR EACH STORY OVER 2ND FLOOR)   |                         |  |
| SETBACKS PROVIDED:   | 15' FRONT YARD (MEIER ST)<br>8' SIDE YARD (ZANJA ST)   |                         |  |
| SITE AREA (CURRENT LOT):   | 19,650 SQ FT   | (+/- 0.45 ACRES)        |  |
| ALLEY AREA (MERGE):  | 3,834 SQ FT  | (+/- 0.09 ACRES)        |  |
| SITE AREA (INCLUSIVE OF ALLEY UNDER VTTM & LAMC 12.22.A.25(F)(7)): | 23,484 SQ FT   | (+/- 0.54 ACRES)        |  |
| HIGHWAY EASEMENTS:   | - 2,851 SQ FT  | (0.06± ACRE)            |  |
| SETBACK AREA:  | - 3,705 SQ FT  | (0.15± ACRE)            |  |
| BUILDABLE AREA (FAR):  | 16,928 SQ FT   | (0.39± ACRES)           |  |
| FLOOR AREA ALLOWED:  | 68,559 SQ FT   | (16,928 * 3:1 = 50,784) |  |
| PROPOSED GROSS SQ FT:  | 37,364 SQ FT - RESIDENTIAL<br>245 SQ FT - AMENITY<br>4,015 SQ FT - COMMON<br>41,624 SQ FT - TOTAL GROSS  |                         |  |
| INCENTIVES UTILIZED:<br>(PER LAMC 12.22.A.25)                      | PARKING PER CALIFORNIA GOVERNMENT CODE SEC. 65915(P)(1) =<br>(0-1 BDRM = 1 SPACE, 2 + BDRM = 1.5 SPACES)<br>#1 - 11' HEIGHT INCREASE TO 56' - PER LAMC 12.22.A.25(F)(5)<br>#2 - DENSITY CALCULATION PER LAMC 12.22.A.25(F)(7)<br>"AREA DEDICATED FOR STREET OR ALLEY PURPOSES MAY BE INCLUDED AS LOT AREA FOR PURPOSES OF CALCULATING THE MAXIMUM DENSITY PERMITTED BY THE UNDERLYING ZONE IN WHICH THE PROJECT IS LOCATED." |                         |  |

## LOS ANGELES - DENSITY

| "LOT AREA (DENSITY)" | BASE DENSITY @ 55 DU / ACRE | 32.5 % DENSITY BONUS PER AB 2345 | AFFORDABLE UNITS REQUIRED | AFFORDABLE UNITS PROVIDED |
|----------------------|-----------------------------|----------------------------------|---------------------------|---------------------------|
| 23,484               | 30                          | 40                               | 3                         | 3                         |
| PROPOSED DENSITY: 40 |                             |                                  |                           |                           |

SPR, PROJECT UTILIZING "LAMC 12.22.A.25" FOR ADDITIONAL DENSITY WITH 2 INCENTIVES UTILIZED PLUS PARKING REQUIREMENT

## LOS ANGELES - AFFORDABLE UNITS

| UNIT TYPE             | VERY LOW INCOME UNITS PROVIDED | MODERATE INCOME UNITS PROVIDED | EXTREMELY LOW INCOME UNITS PROVIDED | TOTAL |
|-----------------------|--------------------------------|--------------------------------|-------------------------------------|-------|
| STUDIOS               | 1                              | -                              | -                                   | 1     |
| 1 BEDROOMS            | 1                              | -                              | -                                   | 1     |
| TOTAL 2 BEDROOMS      | 1                              | -                              | -                                   | 1     |
|                       | 3                              | -                              | -                                   | 3     |
| TOTAL PROVIDED:       |                                |                                |                                     | 3     |
| (10% OF BASE DENSITY) |                                |                                |                                     |       |

## LOS ANGELES - UNIT TYPE

| UNIT TYPE | QUANTITY | MIX. | AVERAGE SQ FT. |
|-----------|----------|------|----------------|
| STUDIO    | 4 UNITS  | 10%  | 620 SQ FT.     |
| 1 BEDROOM | 24 UNITS | 60%  | 816 SQ FT      |
| 2 BEDROOM | 12 UNITS | 30%  | 1,191 SQ FT.   |
| TOTAL:    | 40 UNITS |      |                |

## PROJECT GROSS BUILDING AREA

| BUILDING LEVEL                 | TYPE / USE                 | SQ. FT. |
|--------------------------------|----------------------------|---------|
| GROUND FLOOR                   | P1 PARKING ACCESS          | 419     |
| GROUND FLOOR                   | RESIDENTIAL                | 3,360   |
| GROUND FLOOR                   | RESIDENTIAL COMMON AREA    | 1,087   |
| GROUND FLOOR                   | RESIDENTIAL AMENITY (YOGA) | 245     |
| 2ND FLOOR                      | RESIDENTIAL AREA           | 8,030   |
| 2ND FLOOR                      | COMMON AREA                | 736     |
| 3RD FLOOR                      | RESIDENTIAL AREA           | 8,509   |
| 3RD FLOOR                      | COMMON AREA                | 736     |
| 4TH FLOOR                      | RESIDENTIAL AREA           | 8,341   |
| 4TH FLOOR                      | COMMON AREA                | 736     |
| 5TH FLOOR                      | RESIDENTIAL AREA           | 8,543   |
| 5TH FLOOR                      | COMMON AREA                | 732     |
| TOTAL GROSS BUILDING AREA      |                            | 41,474  |
| TOTAL RESIDENTIAL AREA         |                            | 36,783  |
| TOTAL COMMON AREA              |                            | 4,691   |
| OUTDOOR AMENITY SPACES         |                            |         |
| GROUND FLOOR OUTDOOR DOG RUN   |                            | 662     |
| 2ND FLOOR OUTDOOR POOL DECK    |                            | 7,256   |
| 6TH FLOOR OUTDOOR AMENITY DECK |                            | 6,035   |
| TOTAL OUTDOOR AMENITY SPACES   |                            | 13,953  |

## LOS ANGELES - CONSTRUCTION SQ. FT.

| UNIT TYPE    | RESIDENTIAL FLOOR ARE | NON-RESIDENTIAL FLOOR AREA | TOTALS        |
|--------------|-----------------------|----------------------------|---------------|
| FLOOR AREA   | 50,865 SQ FT.         | 38,986 SQ FT.              | 89,851 SQ FT. |
| TOTAL RATIOS | 57 %                  | 43 %                       | 100 %         |

## LOS ANGELES - PARKING REQUIRED

| UNIT TYPE          | QUANTITY | FORMULA PER (AB 2345) | STALLS REQUIRED |
|--------------------|----------|-----------------------|-----------------|
| STUDIO             | 4 UNITS  | 1 PER UNIT            | 4               |
| 1 BEDROOM          | 24 UNITS | 1 PER UNIT            | 24              |
| 2 BEDROOM          | 12 UNITS | 1.5 PER UNIT          | 18              |
| TOTAL RESIDENTIAL: |          |                       | 46              |

PARKING RATIOS PROVIDED PER DENSITY BONUS STATUTE, CALIFORNIA GOVERNMENT CODE SEC. 65915(P)(1)

## LOS ANGELES - PARKING PROVIDED

| RESIDENTIAL PARKING STALL TYPE    | CODE SECTION   | STALLS PROVIDED |
|-----------------------------------|--|-----------------|
| STANDARD / TANDEM                 | GOV'T CODE SEC. 65915(P)(1)                          | 22              |
| ACCESSIBLE                        | PER TABLE 11B-208.2                                  | 2               |
| ACCESSIBLE (VAN)                  | PER TABLE 11B-208.2                                  | 1               |
| CLEAN AIR / VANPOOL / EV          | PER TABLE 5.106.5.2                                  | 6               |
| FUTURE ELECTRIC VEHICLE           | 30 % OF PARKING PROVIDED                             | 16              |
| ELECTRIC VEHICLE CHARGING STATION | LAMC SECTION 99.04.106.4.2.<br>PER TABLE 5.106.5.3.3 | (4 OF 16)       |
| TOTAL RESIDENTIAL:                |  | 47 (>46)        |

## LOS ANGELES - BICYCLE PARKING

| BICYCLE PARKING      | FORMULA      | STALLS REQUIRED | STALLS PROVIDED |
|----------------------|--------------|-----------------|-----------------|
| 40 RESIDENTIAL UNITS |              |                 |                 |
| SHORT - TERM         | 1 / 10 UNITS | 4               | 6               |
| LONG - TERM          | 1 / 1 UNITS  | 40              | 40              |
| TOTAL:               |              | 44              | 46              |

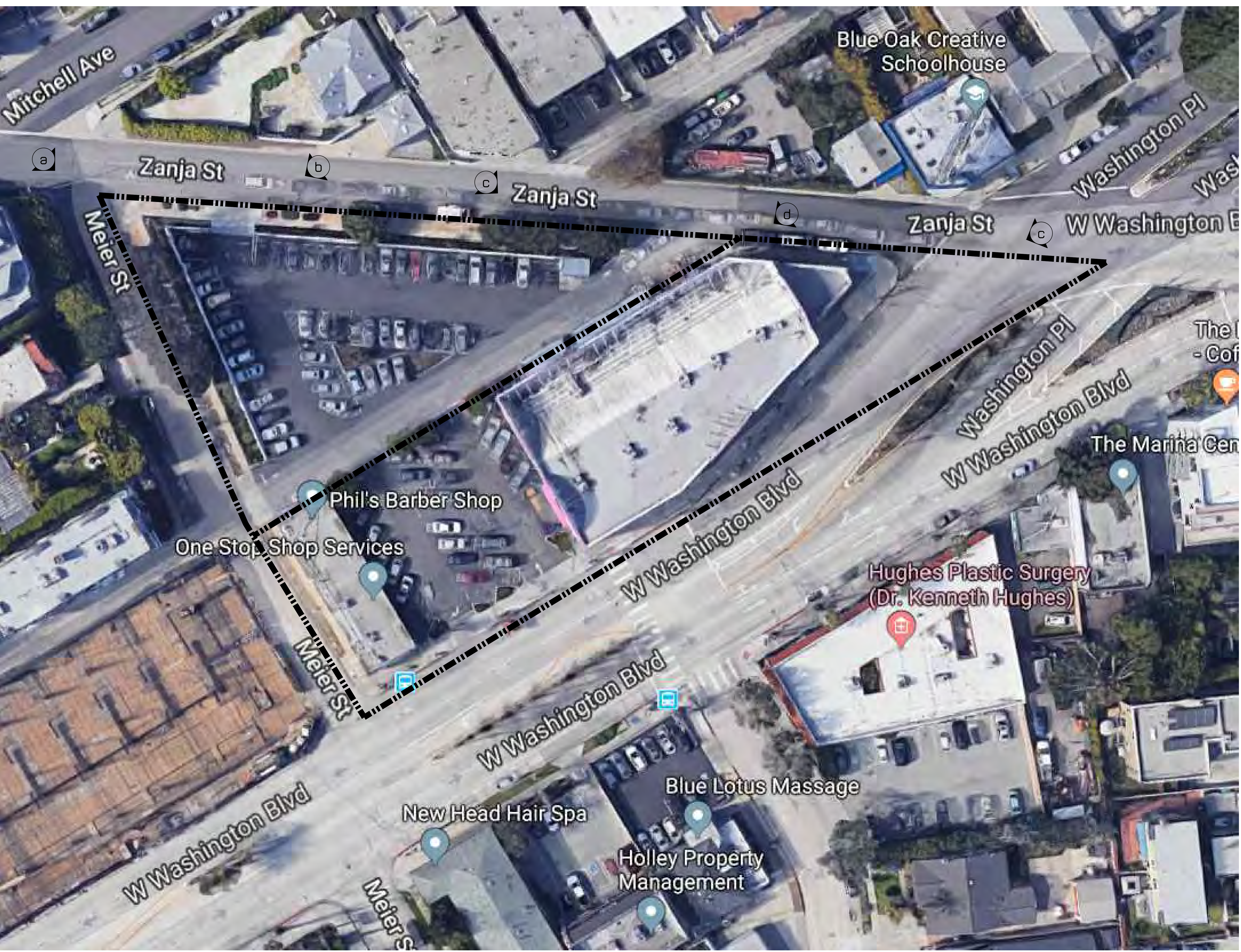
## PROJECT OPEN SPACE

TOTAL OPEN SPACE REQUIRED:  
(PER LAMC SECTION 12.21.G): 4,300 SQ FT)

TOTAL OPEN SPACE PROVIDED:  
(PER LAMC SECTION 12.21.G): 15,953 SQ FT)

SEE OPEN SPACE CALCULATIONS SHEET AP1.7





a | view along zanja st. toward meier st.



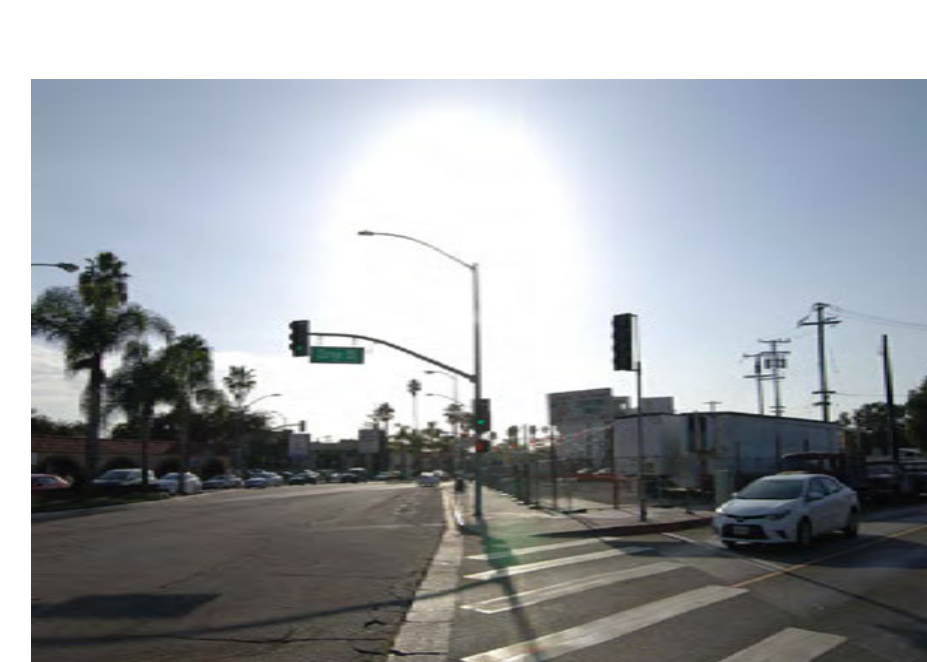
b | view along zanja st.



c | view along zanja st. toward alley



d | view along zanja st. toward alley



e | view from the corner of washington blvd. & zanja st.

existing site photos on zanja st  
 scale: 1/16" = 1'-0"

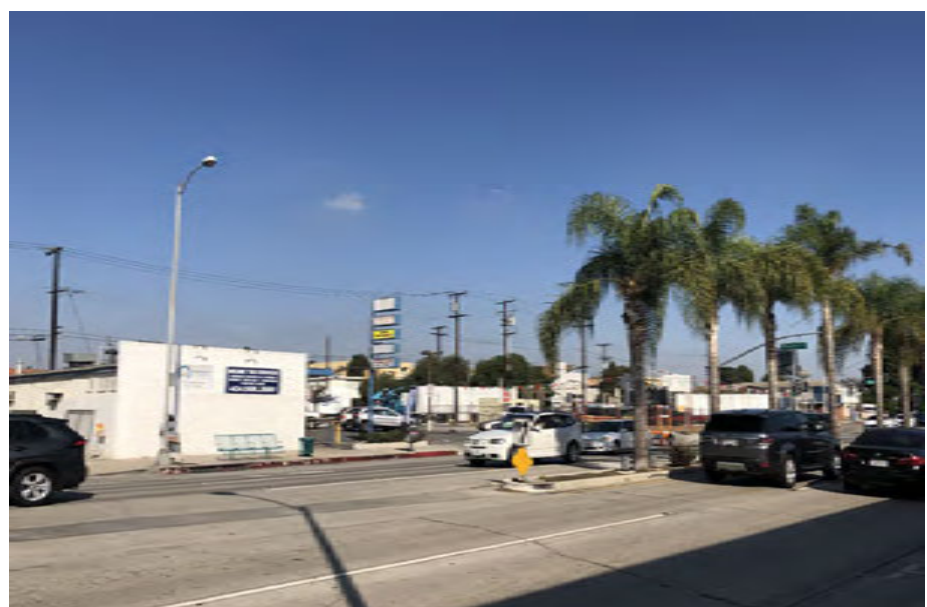




a | view along washington blvd.



b | view along washington blvd. toward meier st.



c | view along washington blvd.



d | view along washington blvd.



e | view from the corner of washington blvd. & zanja st.

existing site photos on washington blvd

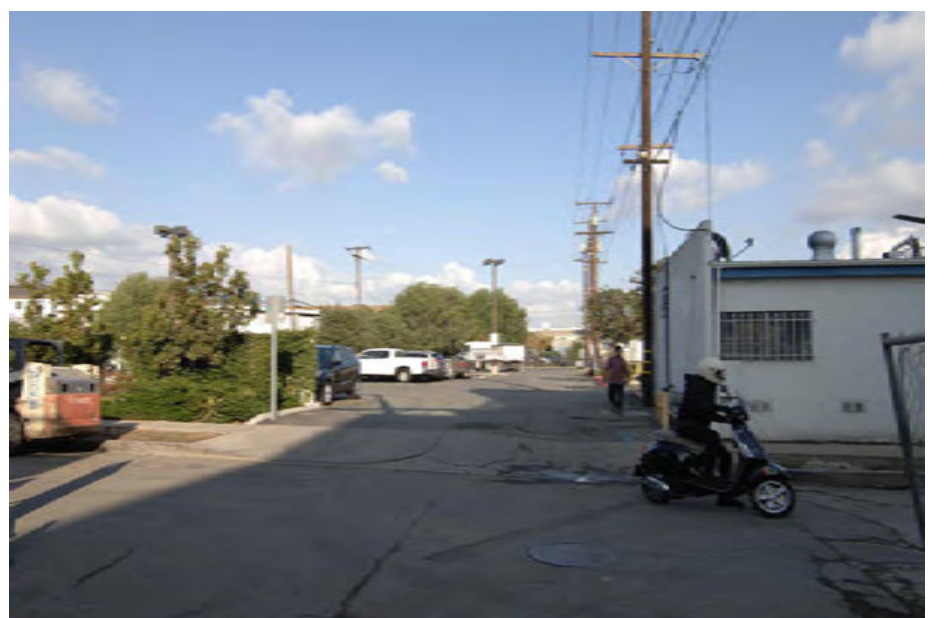




a | view along zanja st.  
toward meier st.



b | view along meier st.  
toward washington blvd.



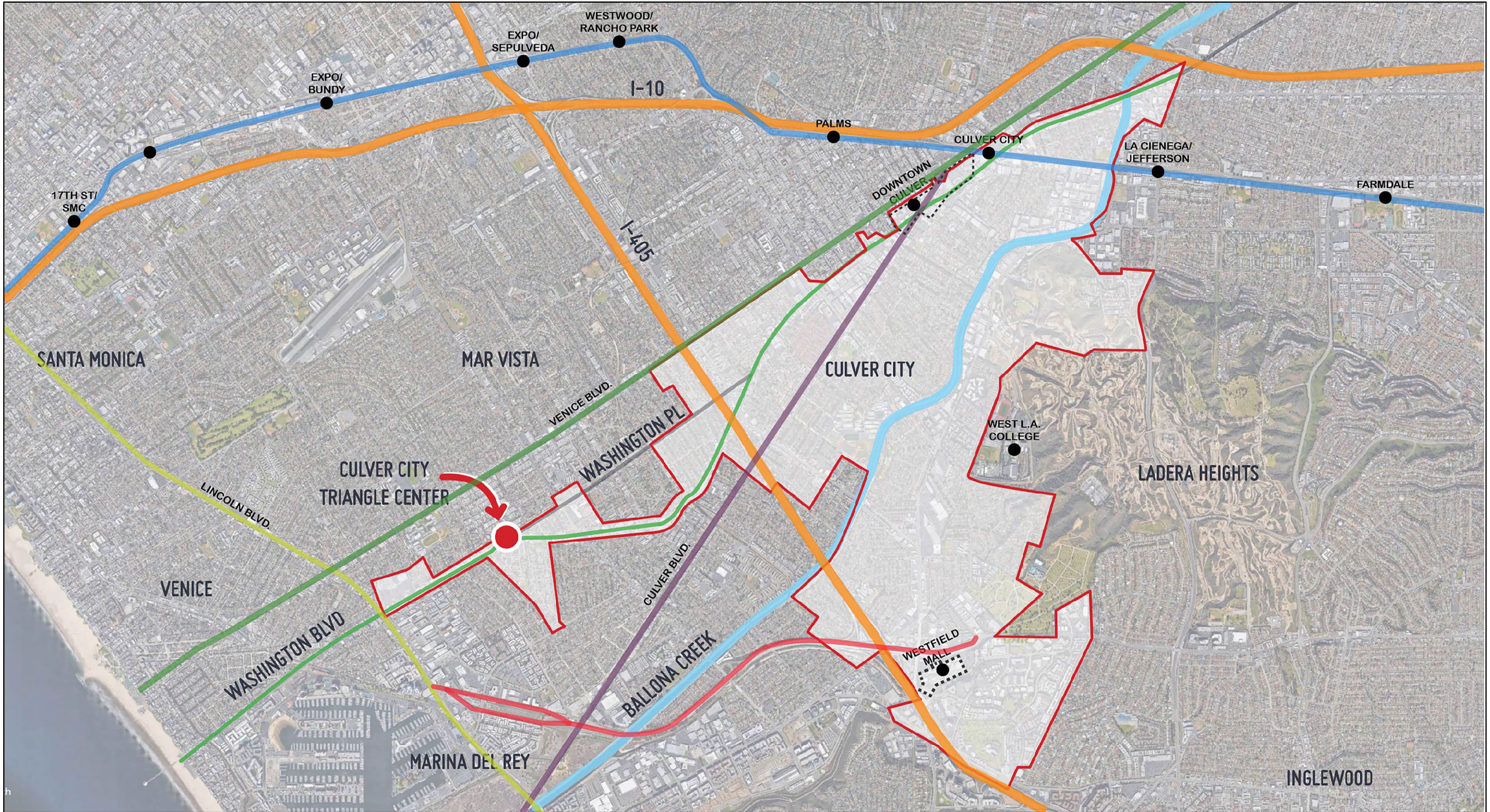
c | view along meier st.  
toward the alley



d | view along washington blvd.  
toward meier st.

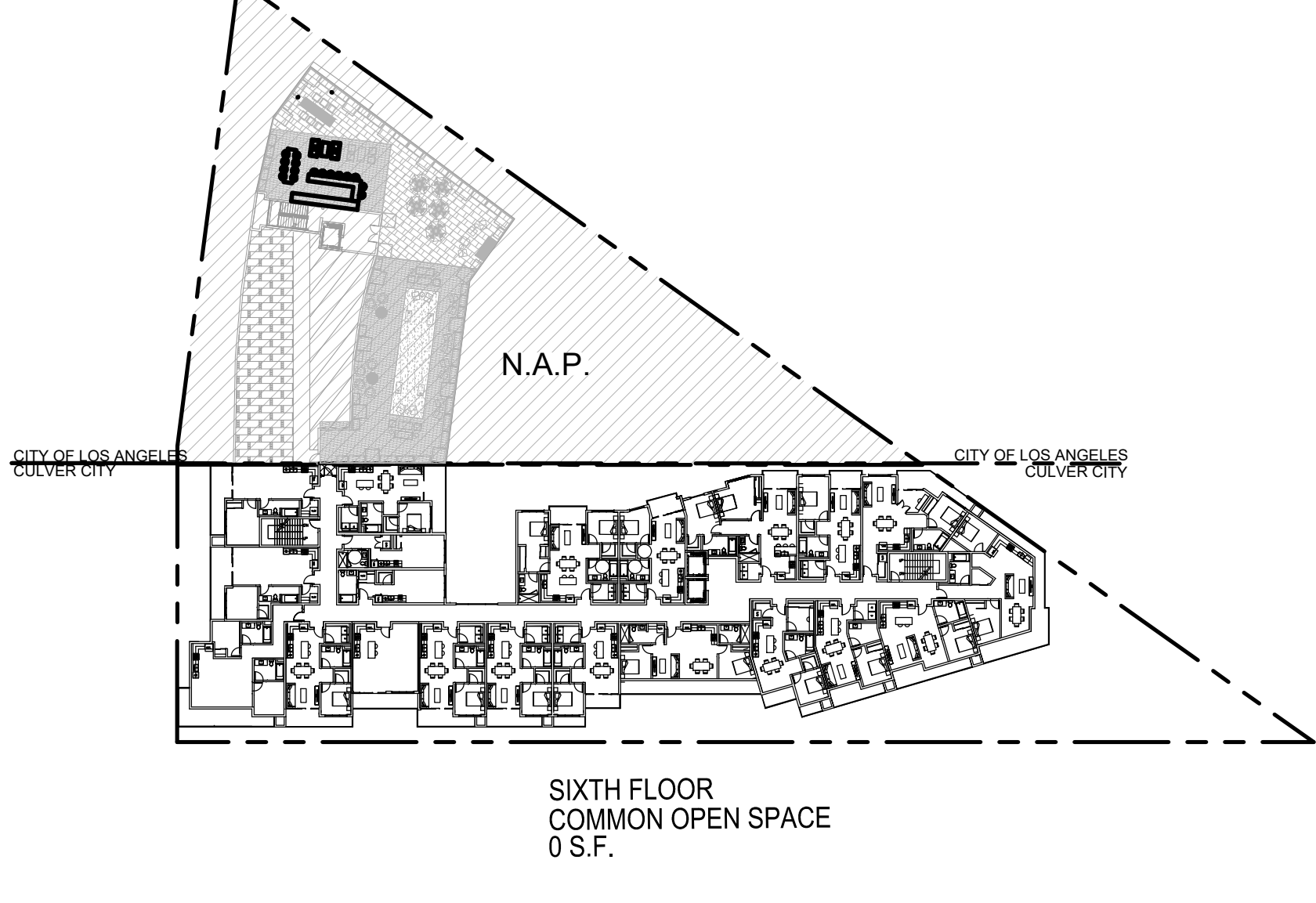
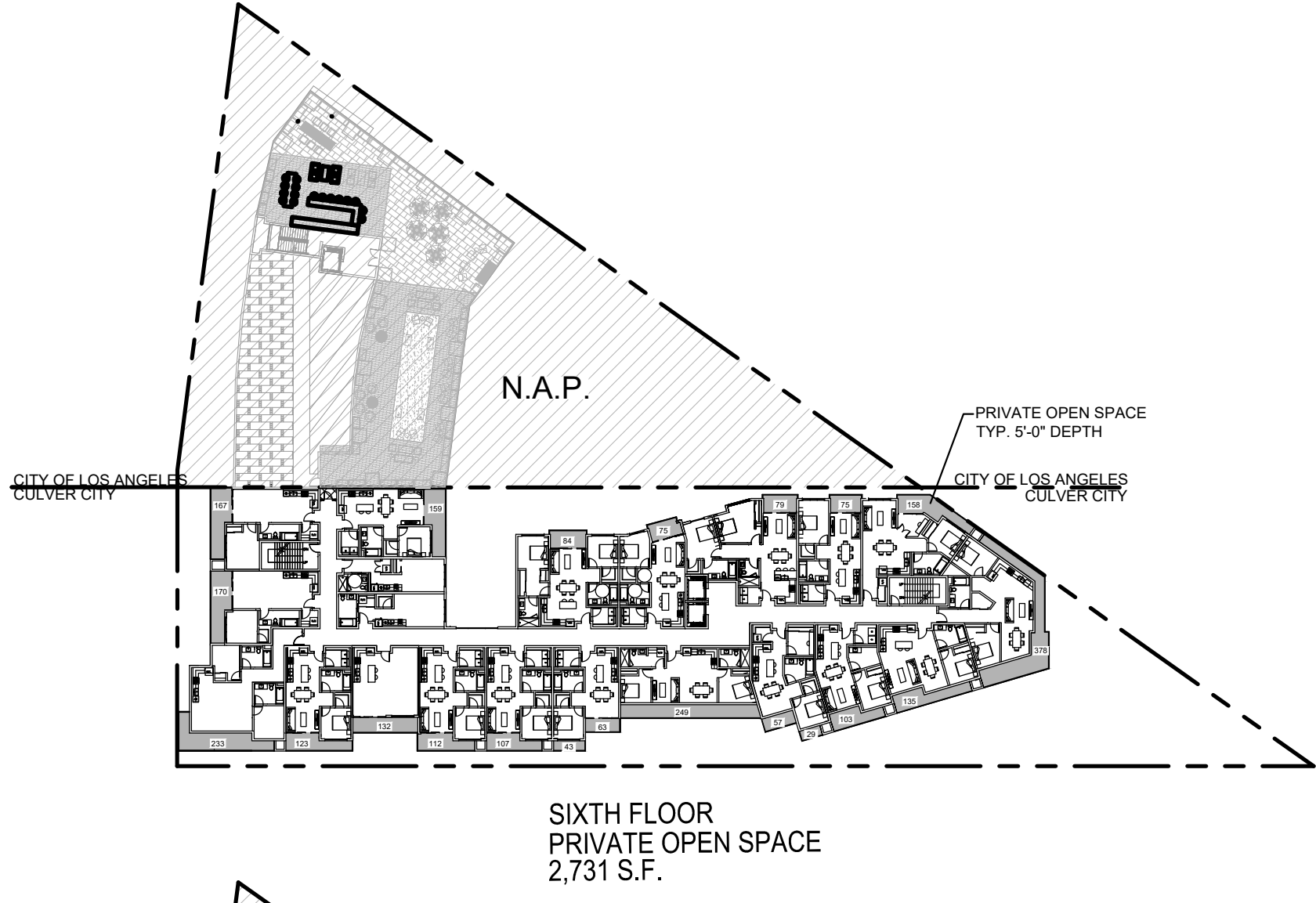
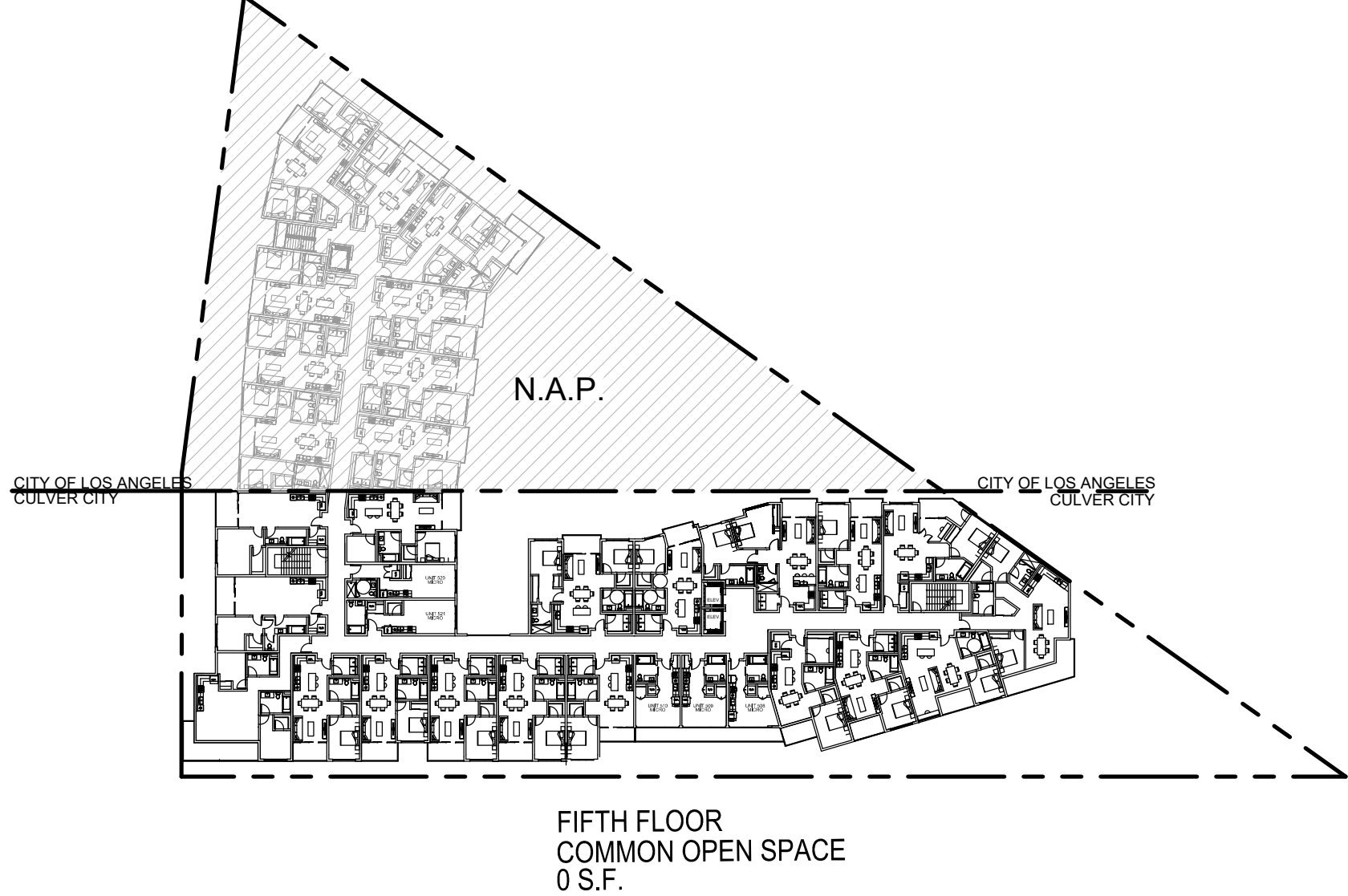
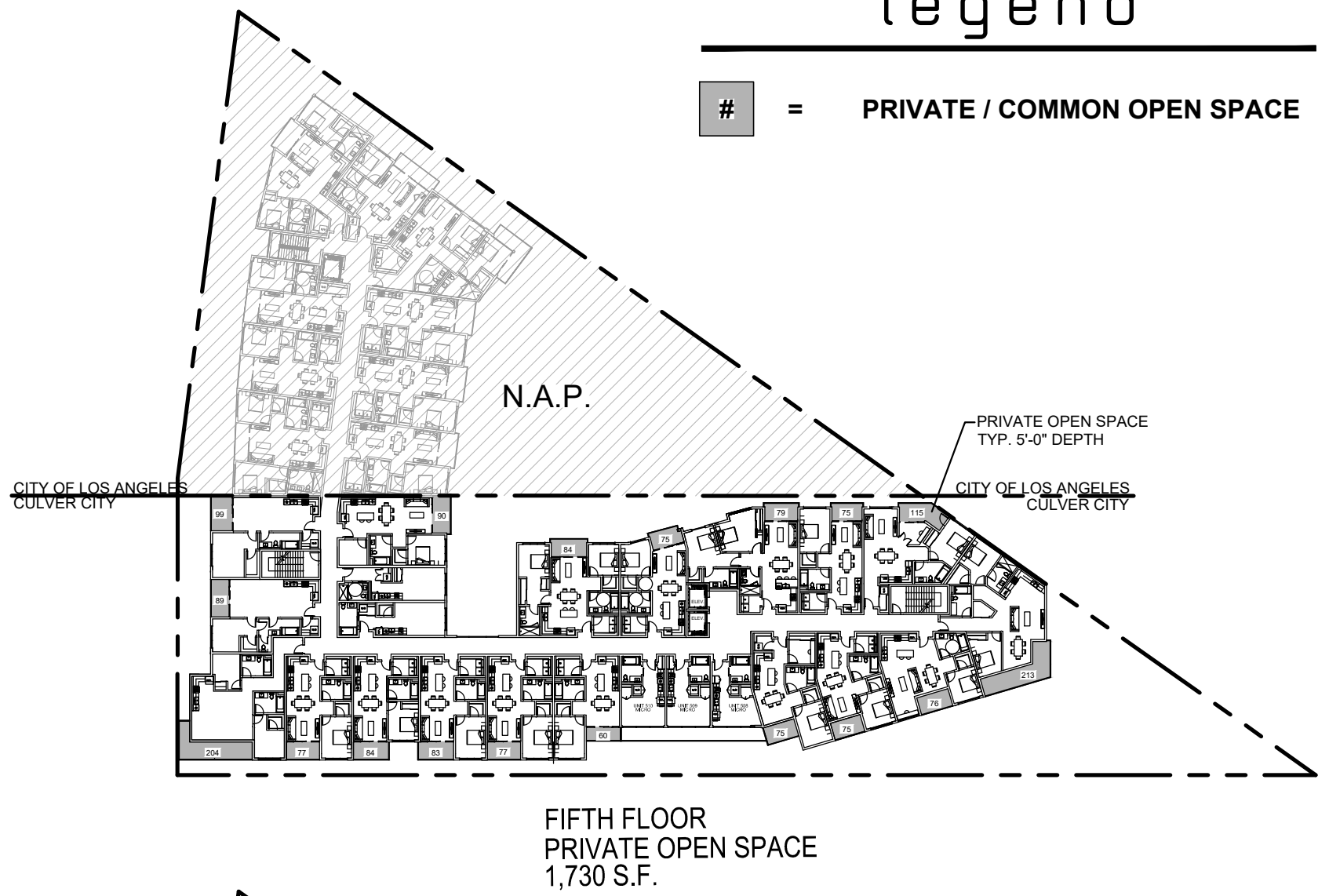
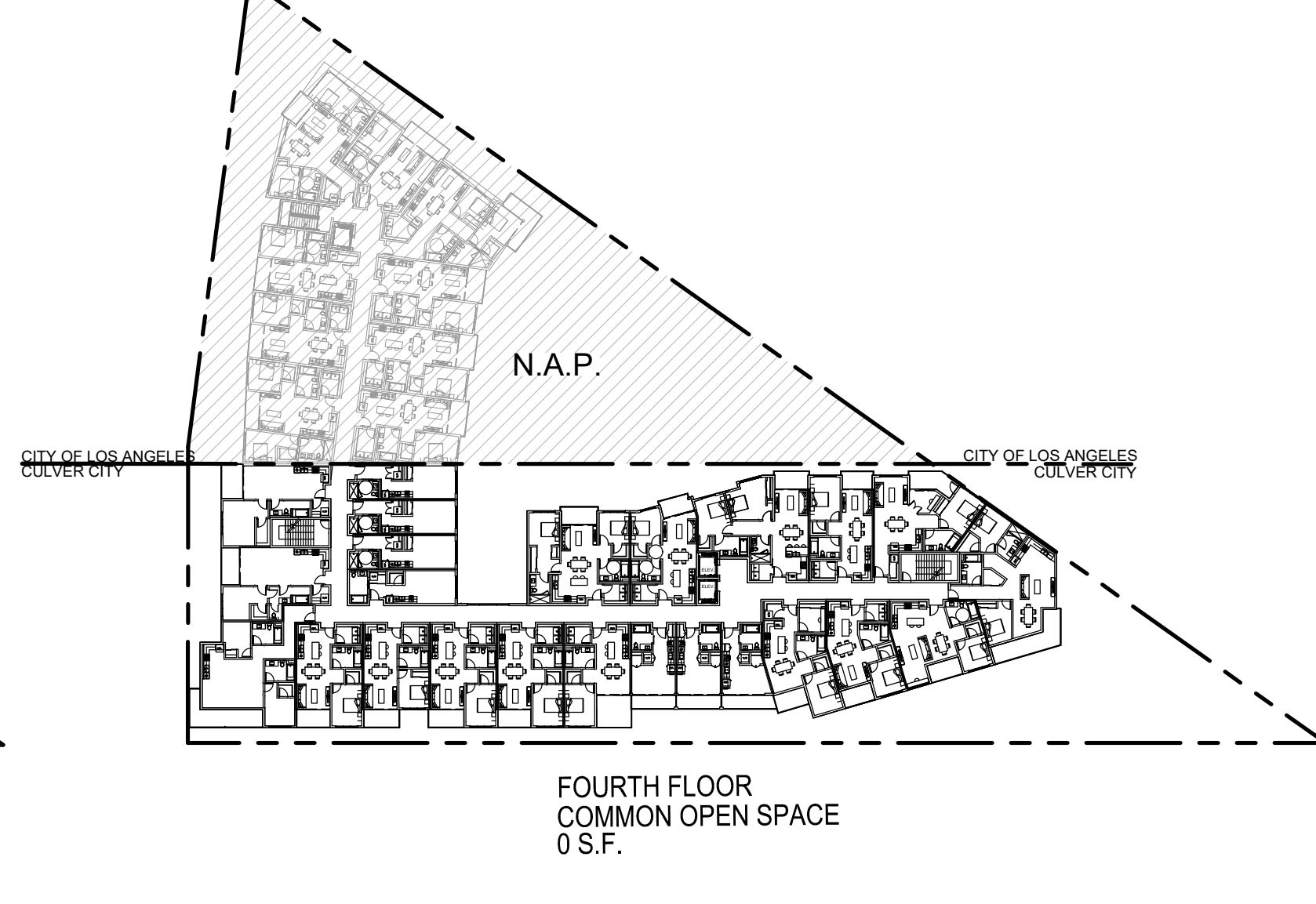
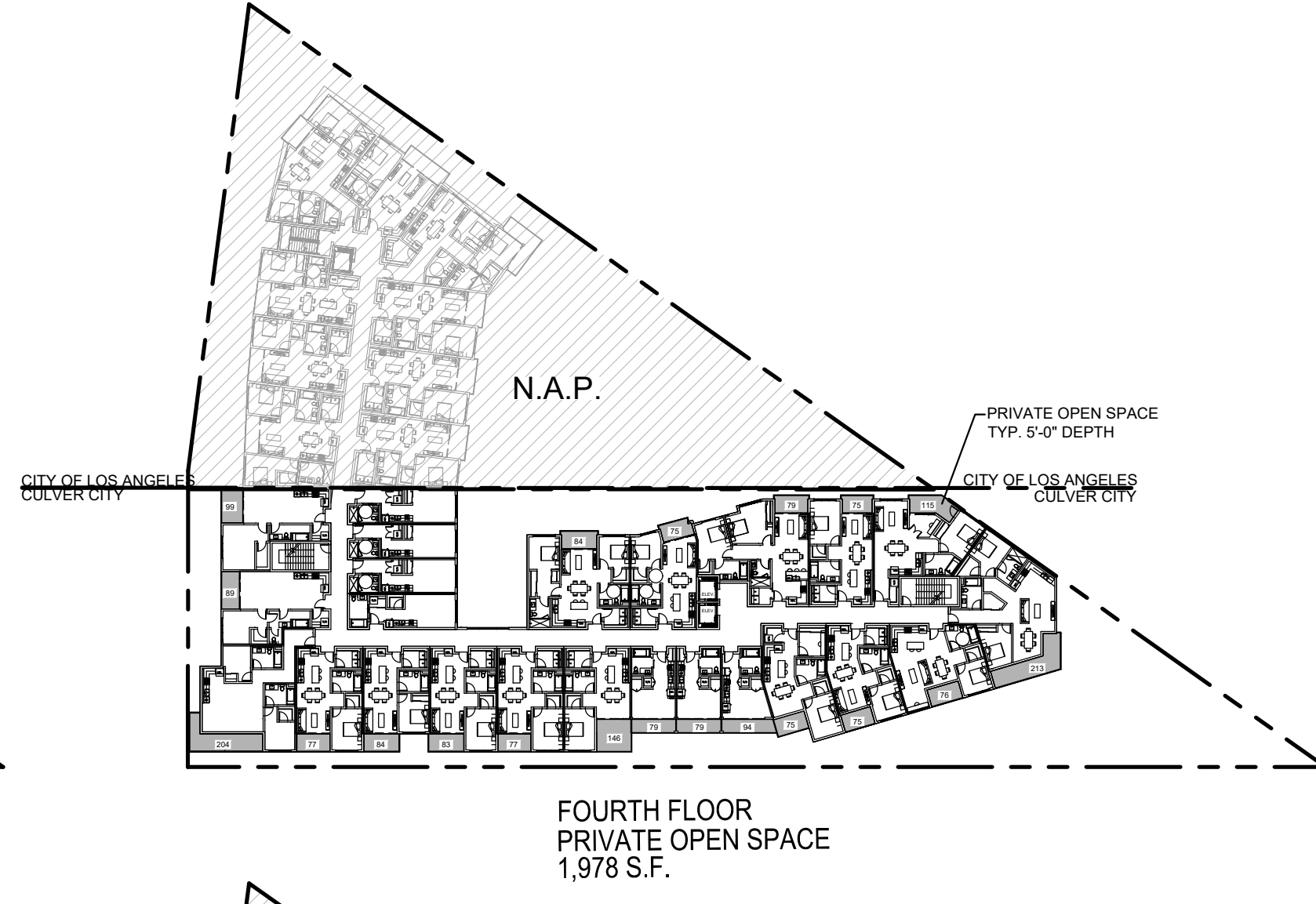
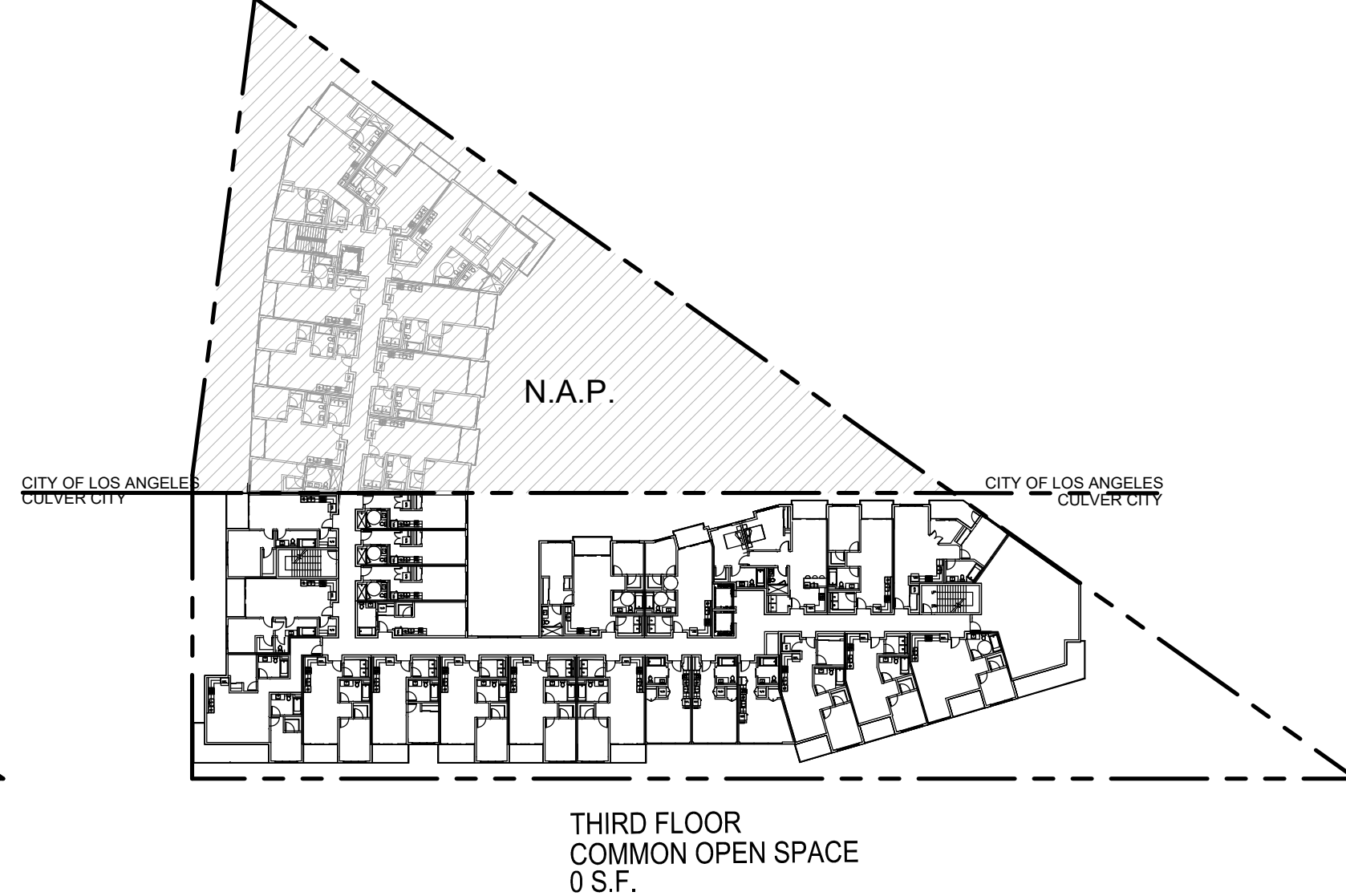
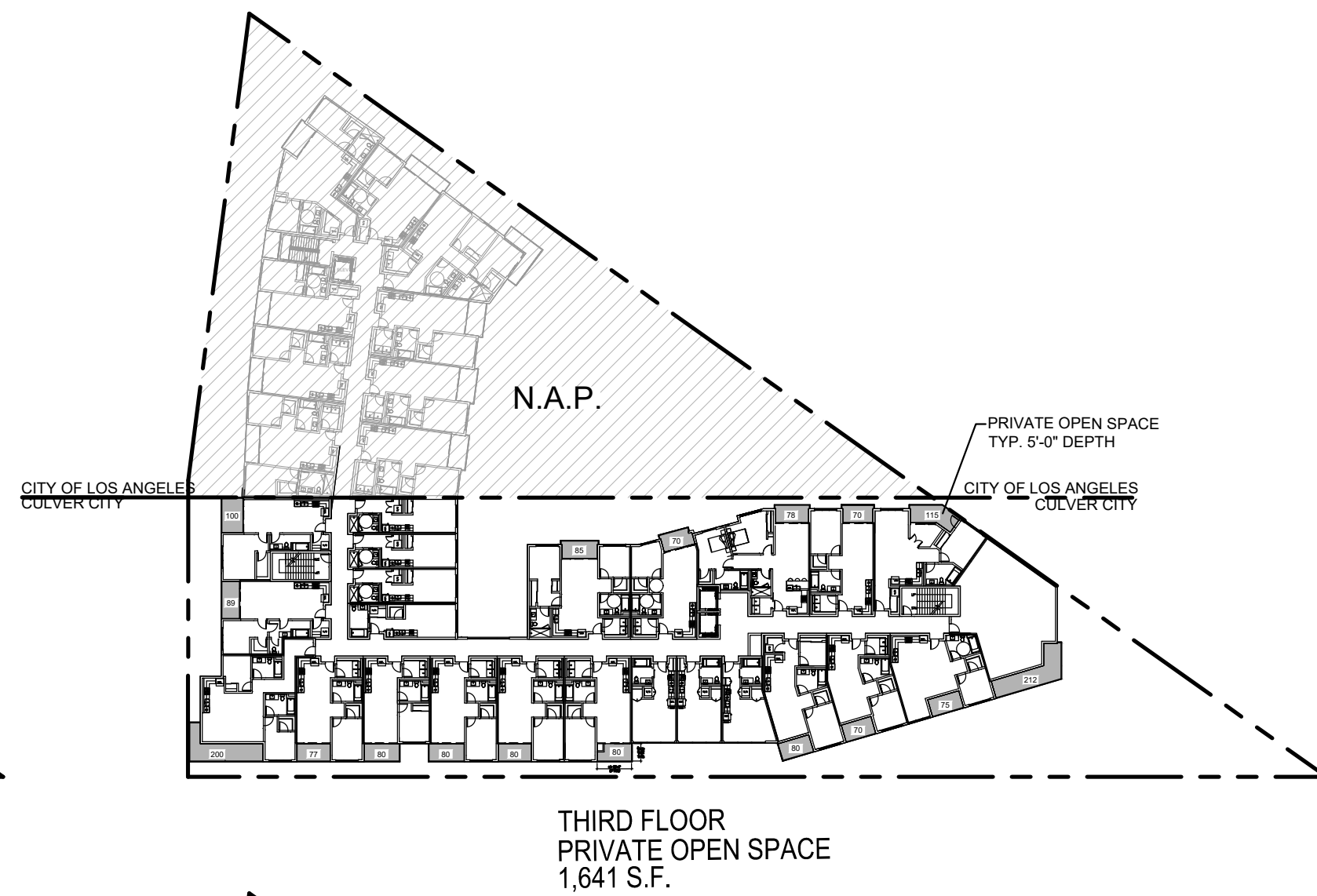
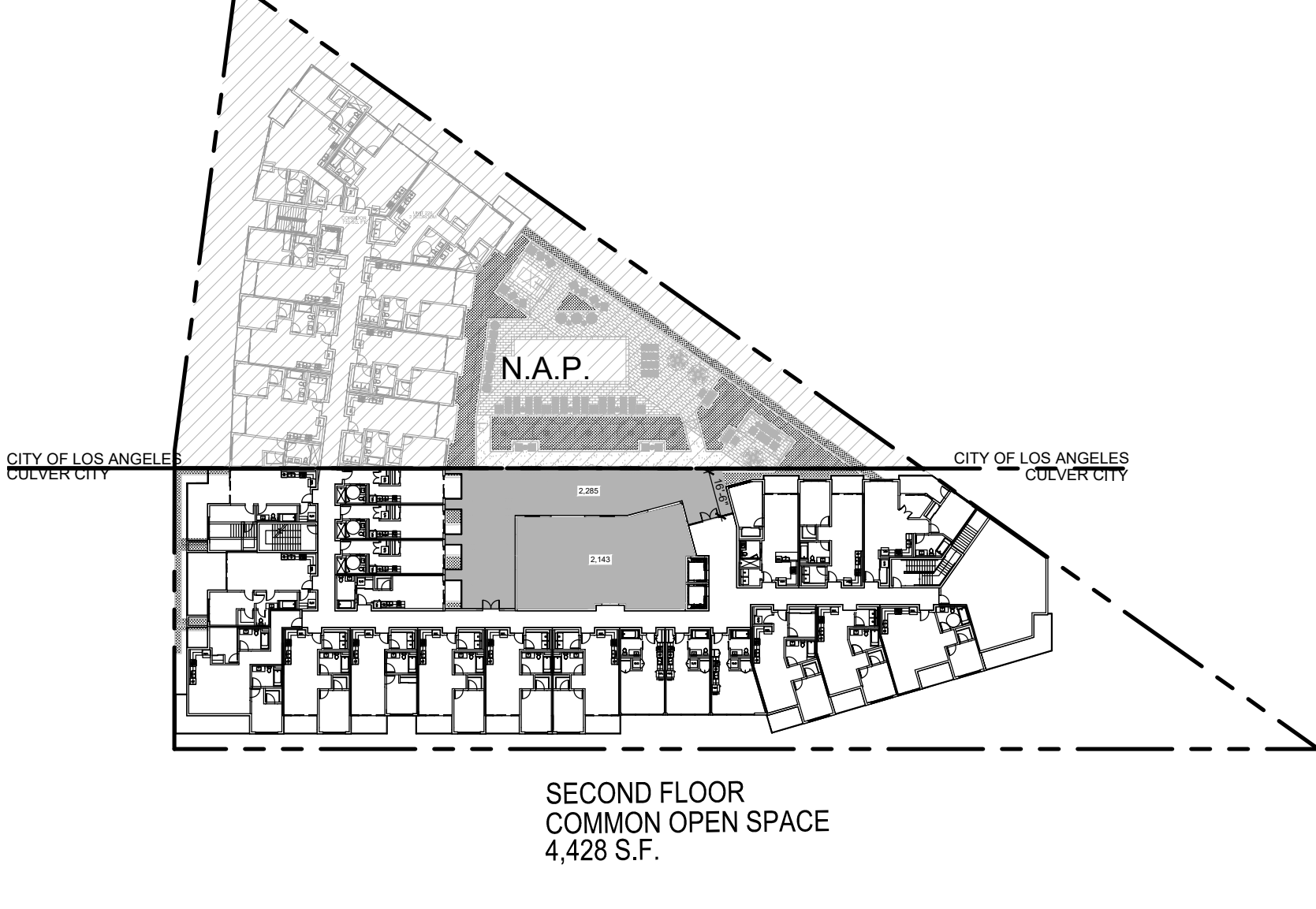
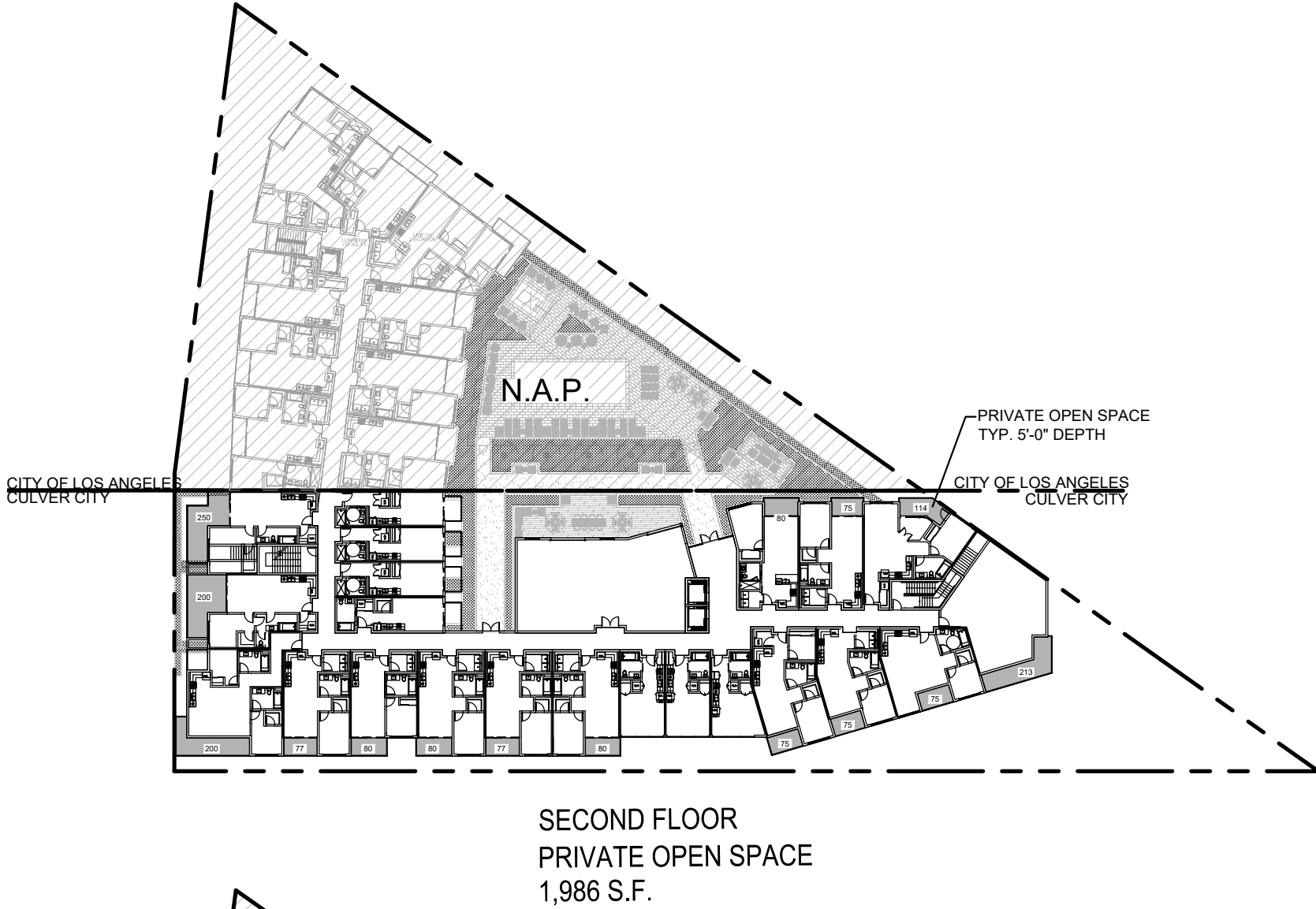
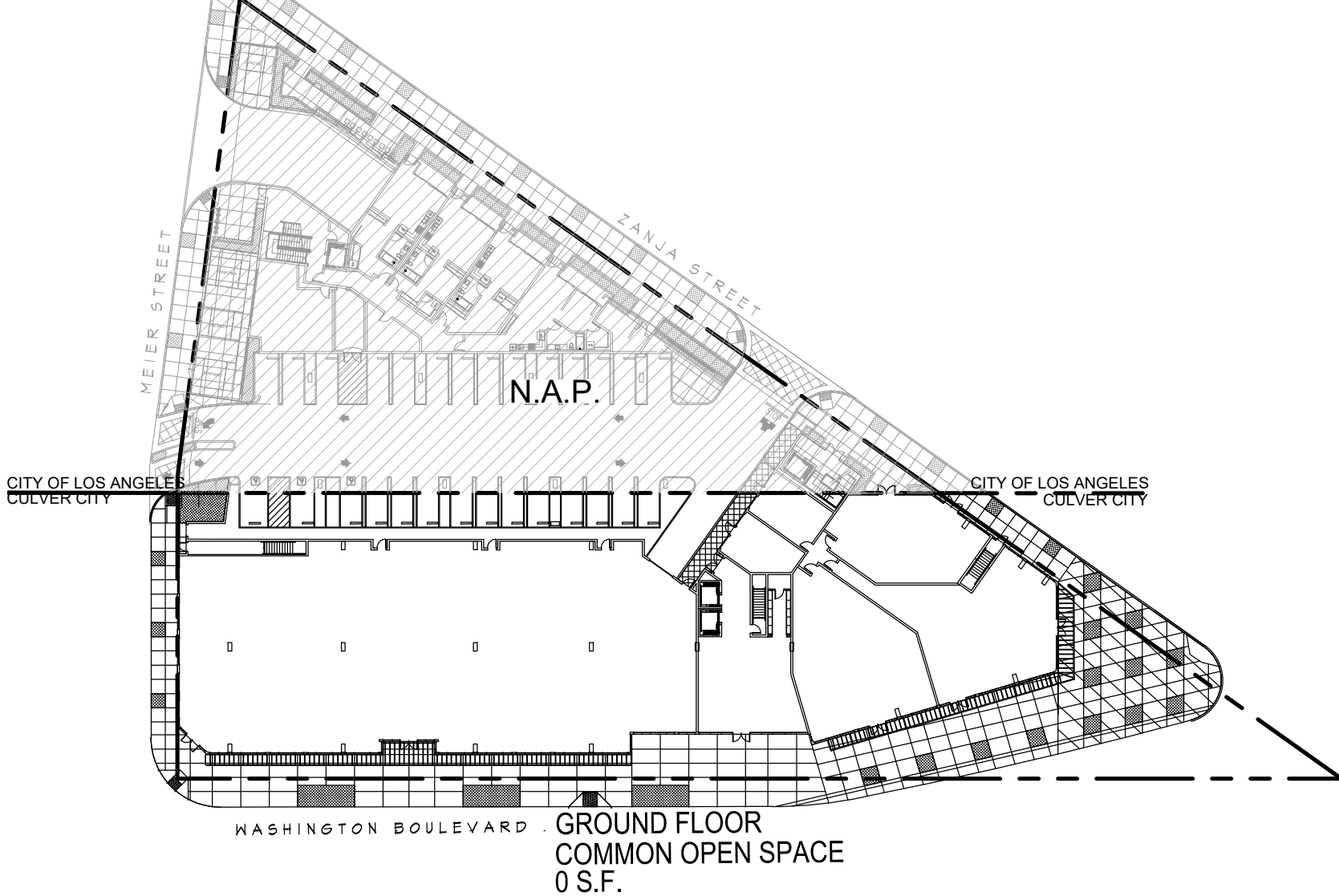
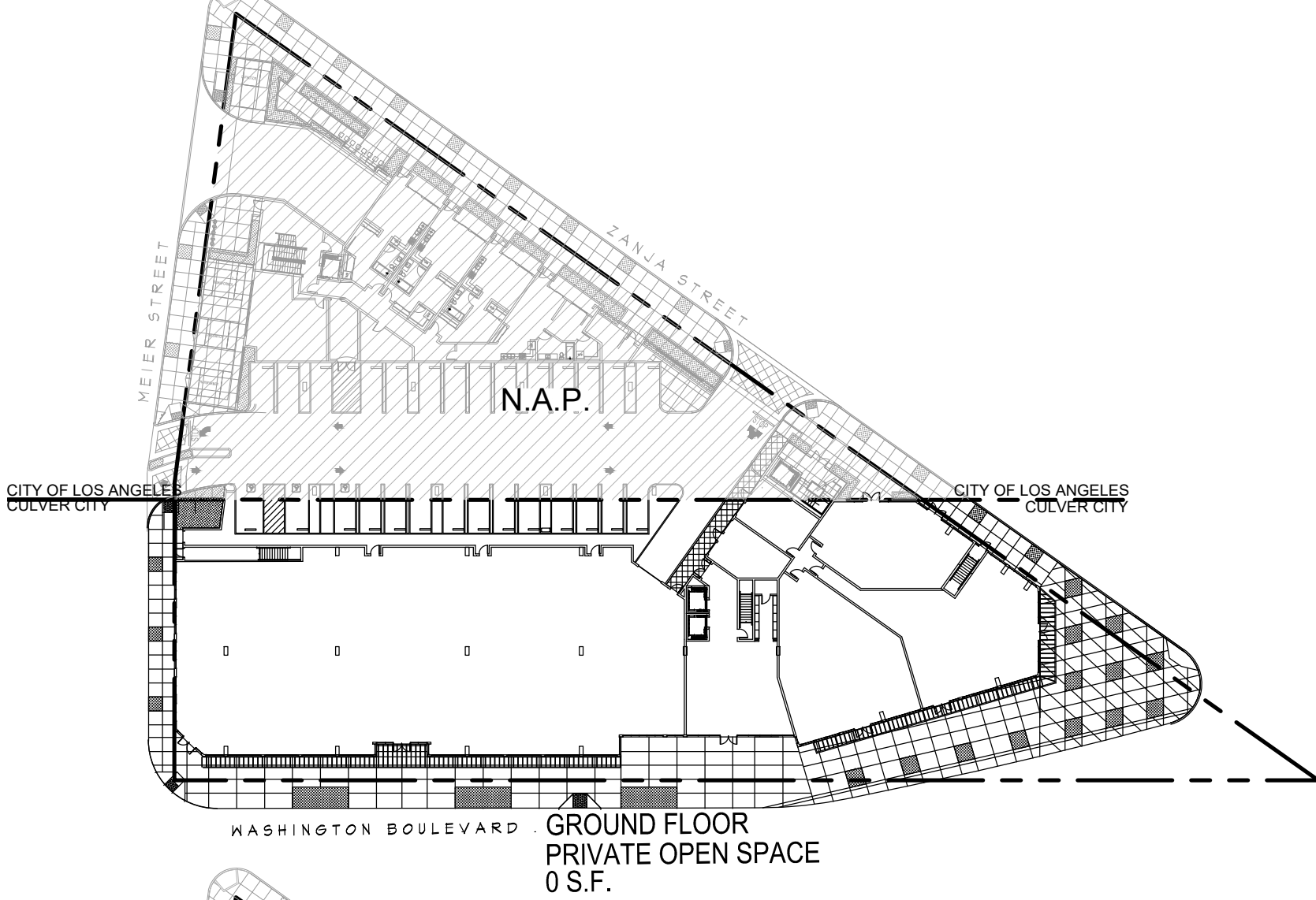
existing site photos on meier st





City Map





## legend

# = PRIVATE / COMMON OPEN SPACE

## open space - culver city

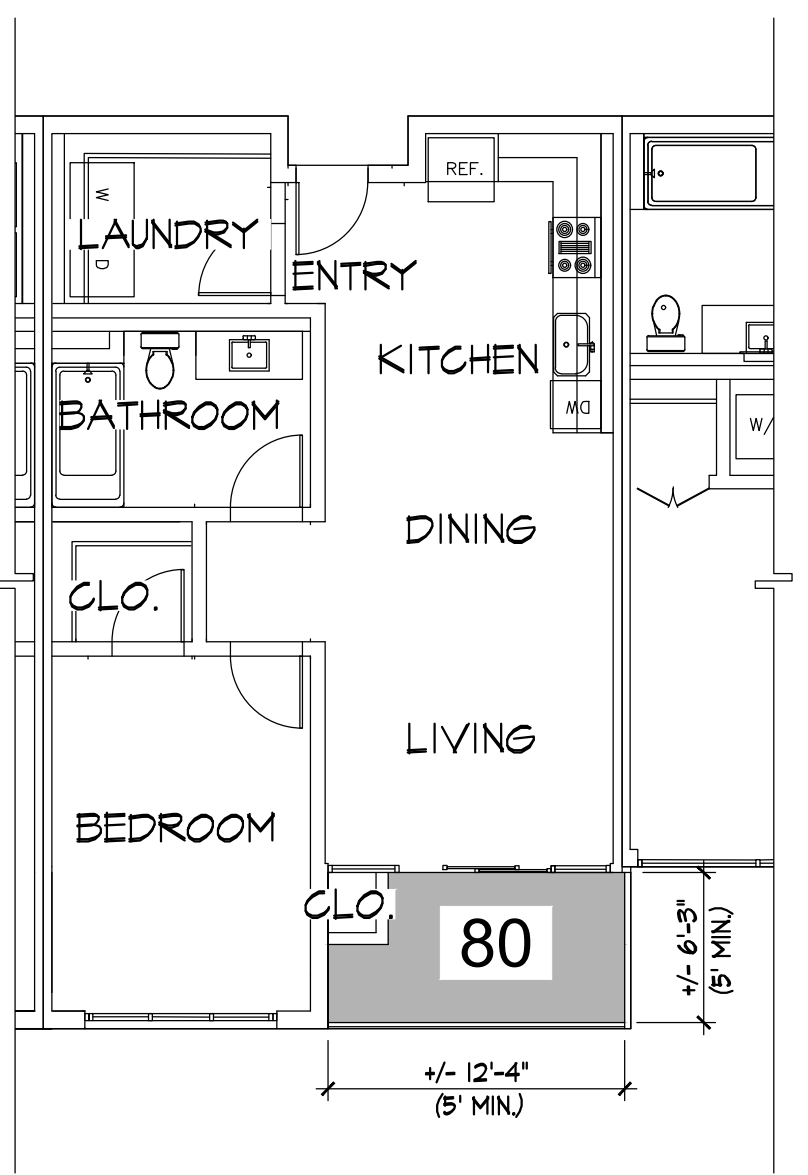
OPEN SPACE REQUIRED: PER CCMC 17.400.065-G-3;

3a. EACH UNIT, EXCEPT STUDIO MICRO-UNITS, SHALL HAVE A MINIMUM OF 75 SQUARE FEET OF COMMON AND/OR PRIVATE OPEN SPACE. STUDIO MICRO-UNITS ARE NOT REQUIRED TO PROVIDE PRIVATE OPEN SPACE. HOWEVER, A MINIMUM OF 100 SQUARE FEET OF COMMON OPEN SPACE PER UNIT SHALL BE REQUIRED, OF WHICH 100% MAY BE LOCATED ON THE ROOFTOP.

3d. PRIVATE AND COMMON OPEN SPACE REQUIREMENTS MAY BE SATISFIED BY A SELECTION OR COMBINATION OF THE FOLLOWING: ATRIUMS, BALCONIES, COURTYARDS, DECKS, GARDENS, GYMS/EXERCISE ROOMS, PATIOS, PLAYGROUNDS/TOT LOTS, ROOFTOP DECKS, PATIOS AND GARDENS, AND SWIMMING POOLS. THE DIRECTOR MAY APPROVE SIMILAR AMENITIES NOT LISTED ABOVE.

| OPEN SPACE REQUIRED: |                                  |                           |
|----------------------|----------------------------------|---------------------------|
| UNIT COUNT           | COMMON AND/OR PRIVATE OPEN SPACE | TOTAL OPEN SPACE REQUIRED |
| 104 UNITS            | 100 S.F. / UNIT                  | 10,400 S.F.               |

| OPEN SPACE PROVIDED:      |                       |                           |                        |
|---------------------------|-----------------------|---------------------------|------------------------|
| SECOND FLOOR              |                       | FIFTH FLOOR               |                        |
| 21 UNITS x 100 S.F. MIN.  | REQUIRED = 2,100 S.F. | 21 UNITS x 100 S.F.       | REQUIRED = 2,100 S.F.  |
| PRIVATE OPEN SPACE        | PROVIDED = 2,316 S.F. | PRIVATE OPEN SPACE        | PROVIDED = 2,044 S.F.  |
| COMMON OPEN SPACE         | PROVIDED = 4,428 S.F. | COMMON OPEN SPACE         | PROVIDED = 0 S.F.      |
| TOTAL OPEN SPACE          | PROVIDED = 6,744 S.F. | TOTAL OPEN SPACE PROVIDED | = 2,044 S.F.           |
| THIRD FLOOR               |                       | SIXTH FLOOR               |                        |
| 23 UNITS x 100 S.F. MIN.  | REQUIRED = 2,300 S.F. | 16 UNITS x 100 S.F.       | REQUIRED = 1,600 S.F.  |
| PRIVATE OPEN SPACE        | PROVIDED = 1,667 S.F. | PRIVATE OPEN SPACE        | PROVIDED = 2,870 S.F.  |
| COMMON OPEN SPACE         | PROVIDED = 0 S.F.     | COMMON OPEN SPACE         | PROVIDED = 0 S.F.      |
| TOTAL OPEN SPACE          | PROVIDED = 1,667 S.F. | TOTAL OPEN SPACE PROVIDED | = 2,870 S.F.           |
| FOURTH FLOOR              |                       | TOTAL OPEN SPACE          |                        |
| 23 UNITS x 100 S.F.       | REQUIRED = 2,300 S.F. | PRIVATE OPEN SPACE        | PROVIDED = 10,560 S.F. |
| PRIVATE OPEN SPACE        | PROVIDED = 1,663 S.F. | COMMON OPEN SPACE         | PROVIDED = 4,428 S.F.  |
| COMMON OPEN SPACE         | PROVIDED = 0 S.F.     | TOTAL OPEN SPACE          | PROVIDED = 14,988 S.F. |
| TOTAL OPEN SPACE PROVIDED | = 1,663 S.F.          |                           |                        |



## typical unit private open space

scale: 1/8" = 1'-0"

NOTE: PRIVATE OPEN SPACE AREAS SHALL BE AT LEAST 30 SQUARE FEET AND 5 FEET IN ANY DIRECTION, TO THE EXTENT FEASIBLE. PER CCMC 17.400.065-G-3-C.

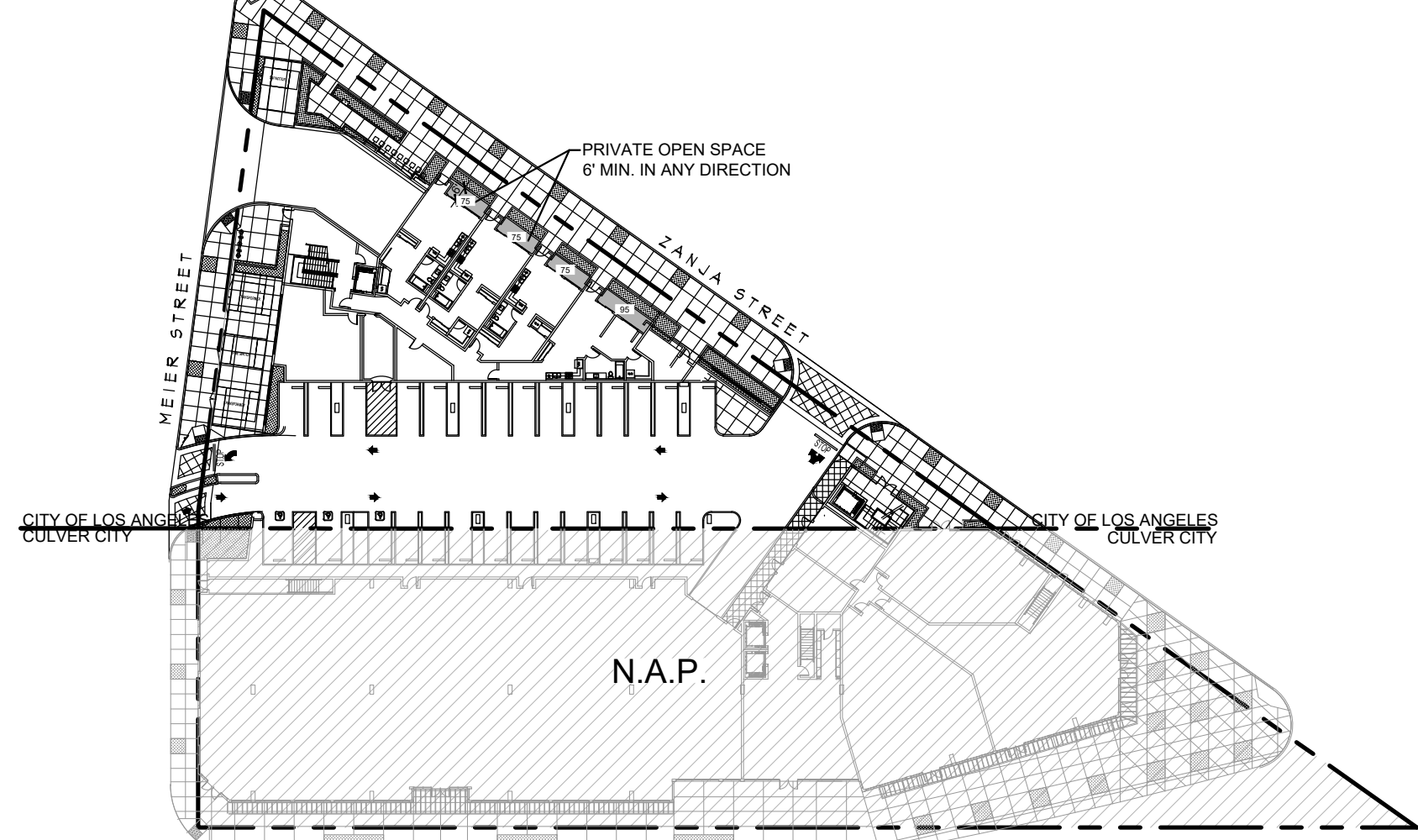
THE RAILING OR BALCONY WALL WIDTH CAN NOT BE COUNTED AS PART OF THIS DIMENSION OR OPEN SPACE.

## open space calculations

### culver side

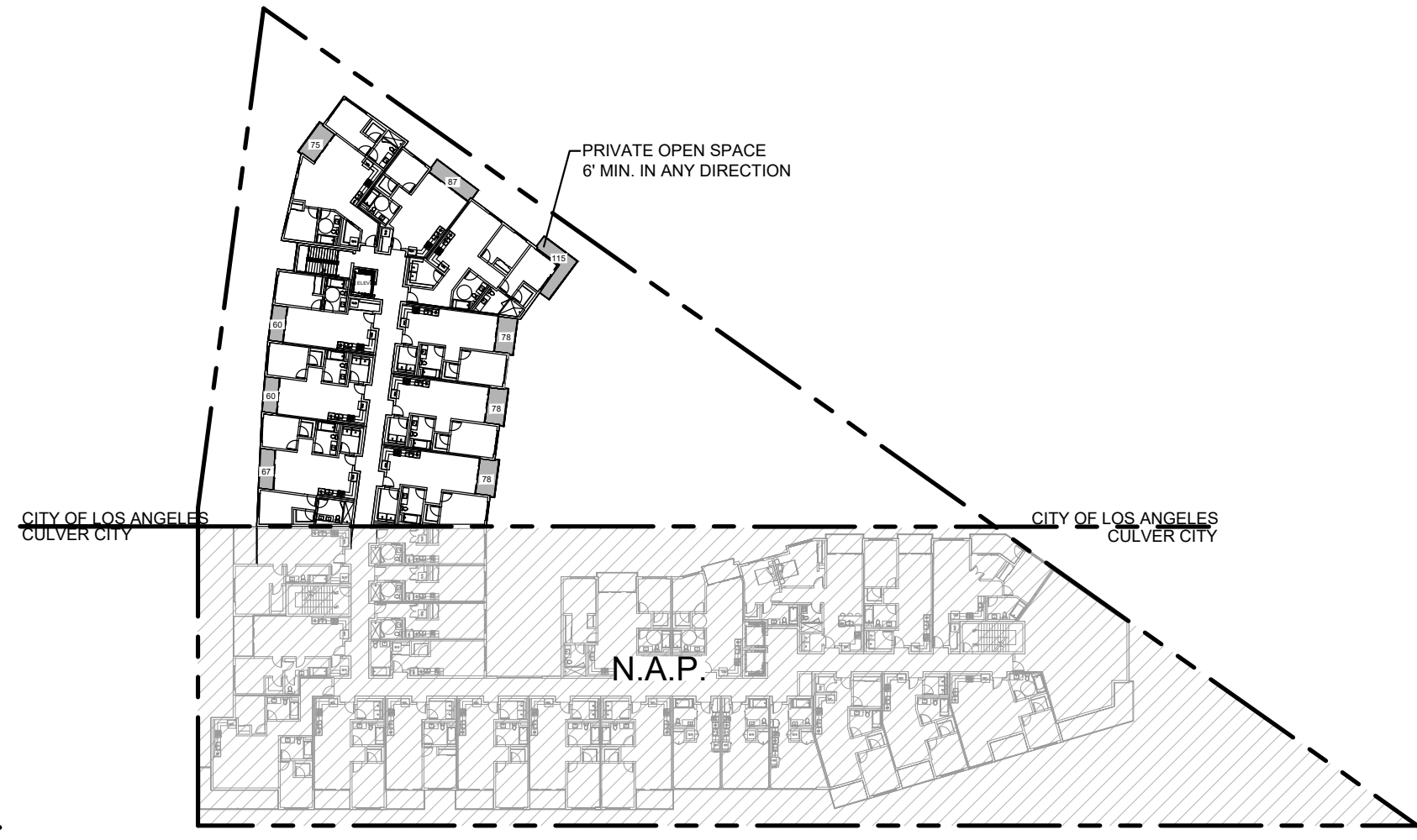
scale: 1/16" = 1'-0"





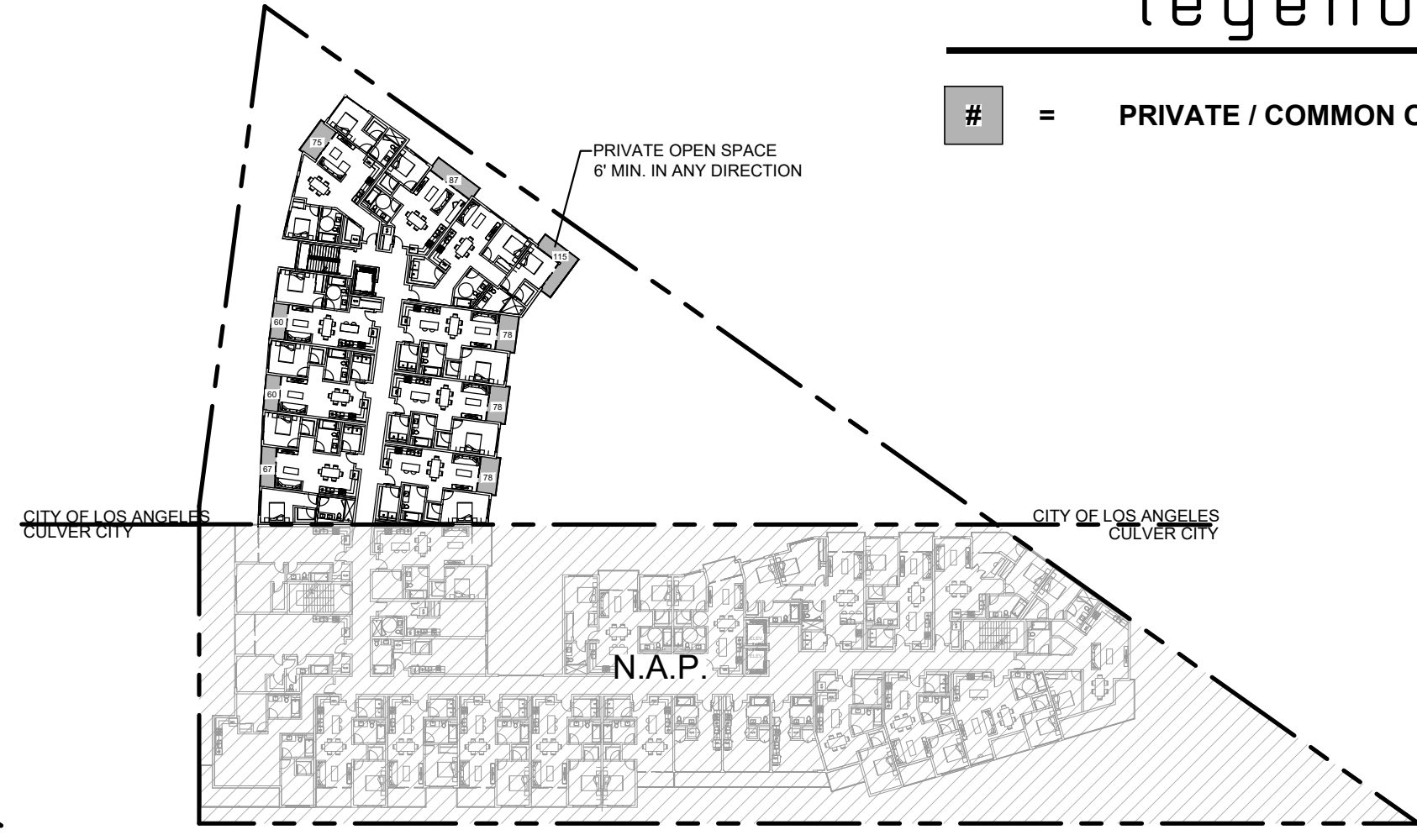
GROUND FLOOR  
PRIVATE OPEN SPACE  
320 S.F.

MAXIMUM 50 S.F. PER UNIT COUNTED TOWARD TOTAL  
AREAS ARE A MINIMUM OF 6'-0" IN ANY DIRECTION  
REFER TO FLOOR PLANS.



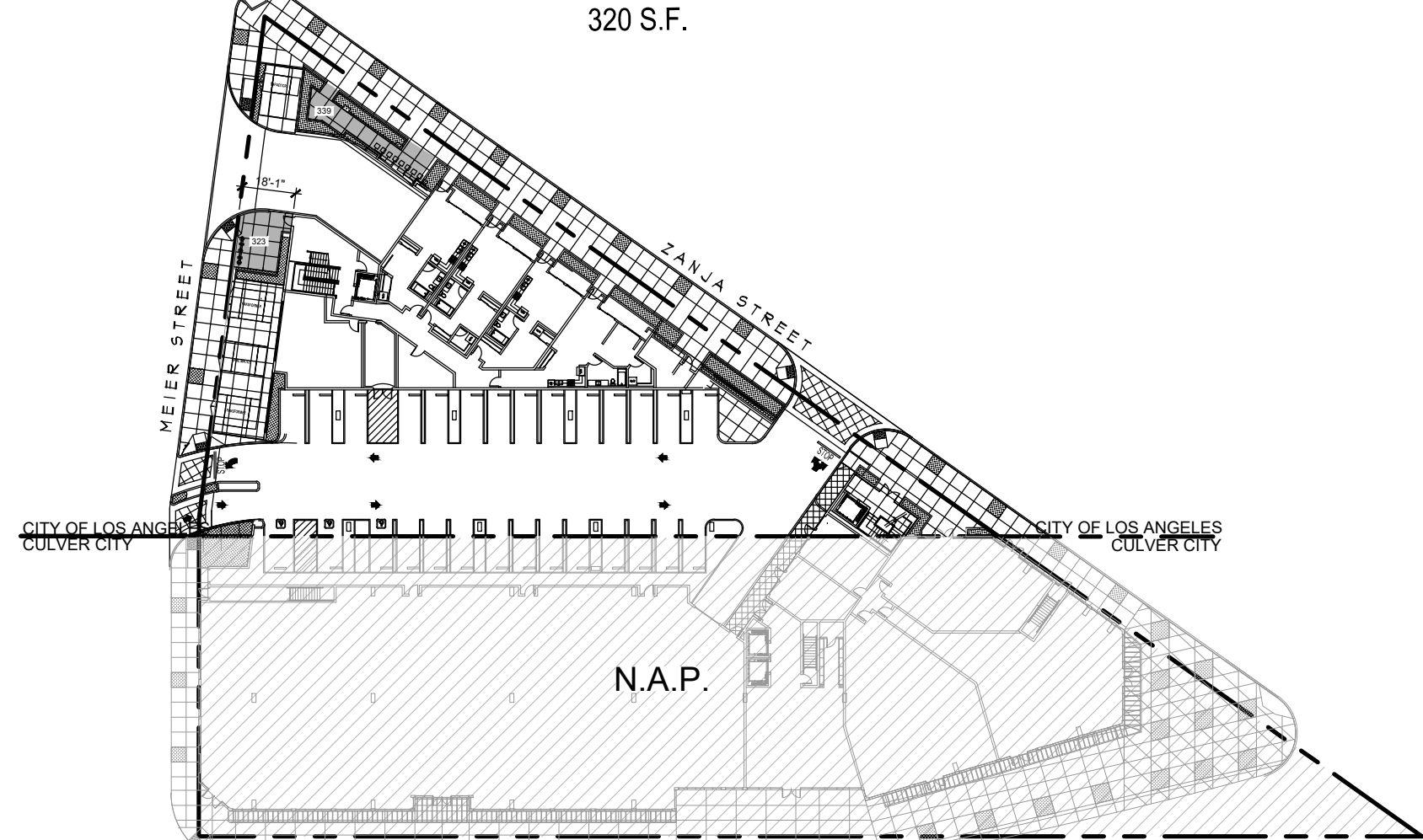
THIRD FLOOR  
PRIVATE OPEN SPACE  
698 S.F.

MAXIMUM 50 S.F. PER UNIT COUNTED TOWARD TOTAL  
AREAS ARE A MINIMUM OF 6'-0" IN ANY DIRECTION  
REFER TO FLOOR PLANS.



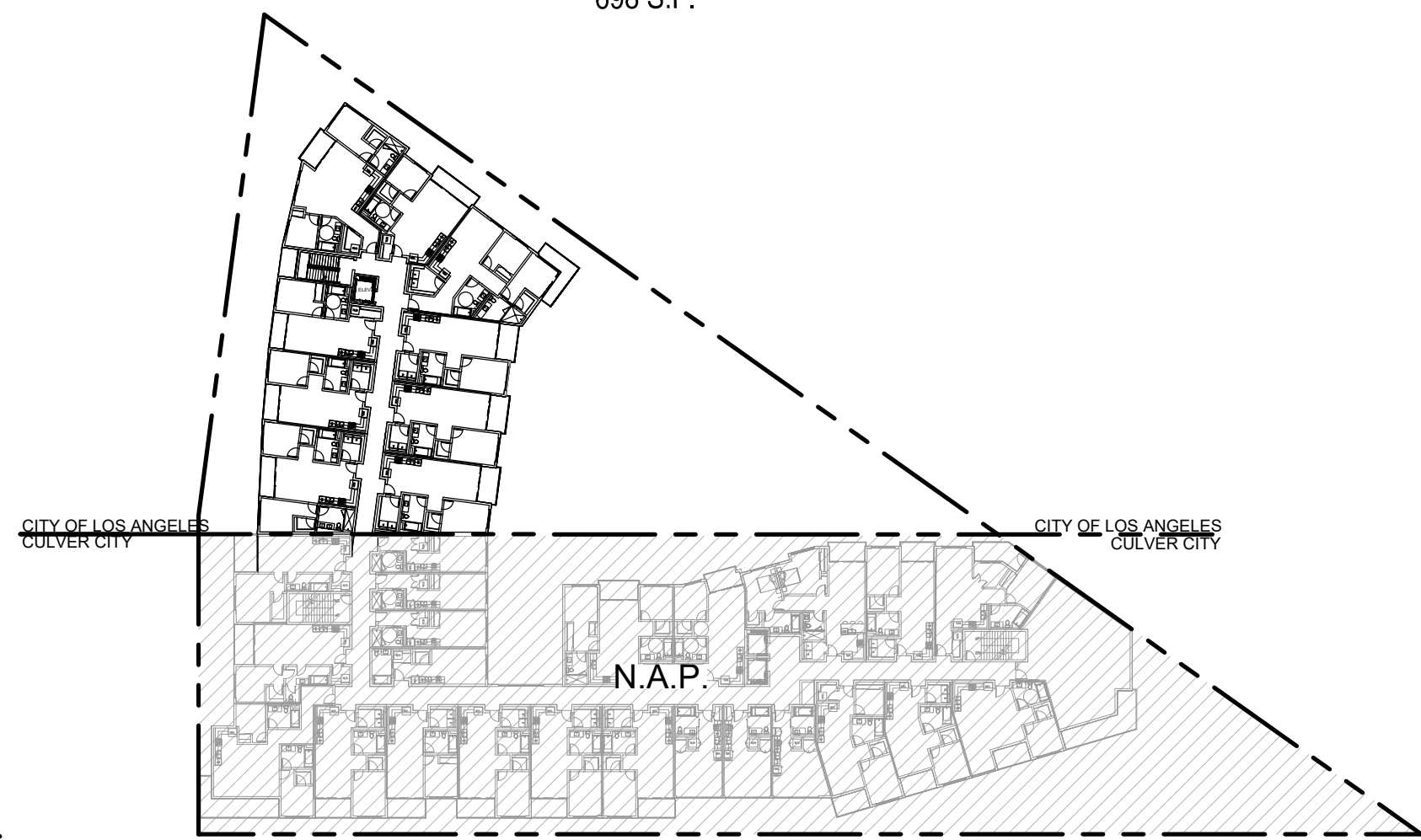
FIFTH FLOOR  
PRIVATE OPEN SPACE  
698 S.F.

MAXIMUM 50 S.F. PER UNIT COUNTED TOWARD TOTAL  
AREAS ARE A MINIMUM OF 6'-0" IN ANY DIRECTION  
REFER TO FLOOR PLANS.

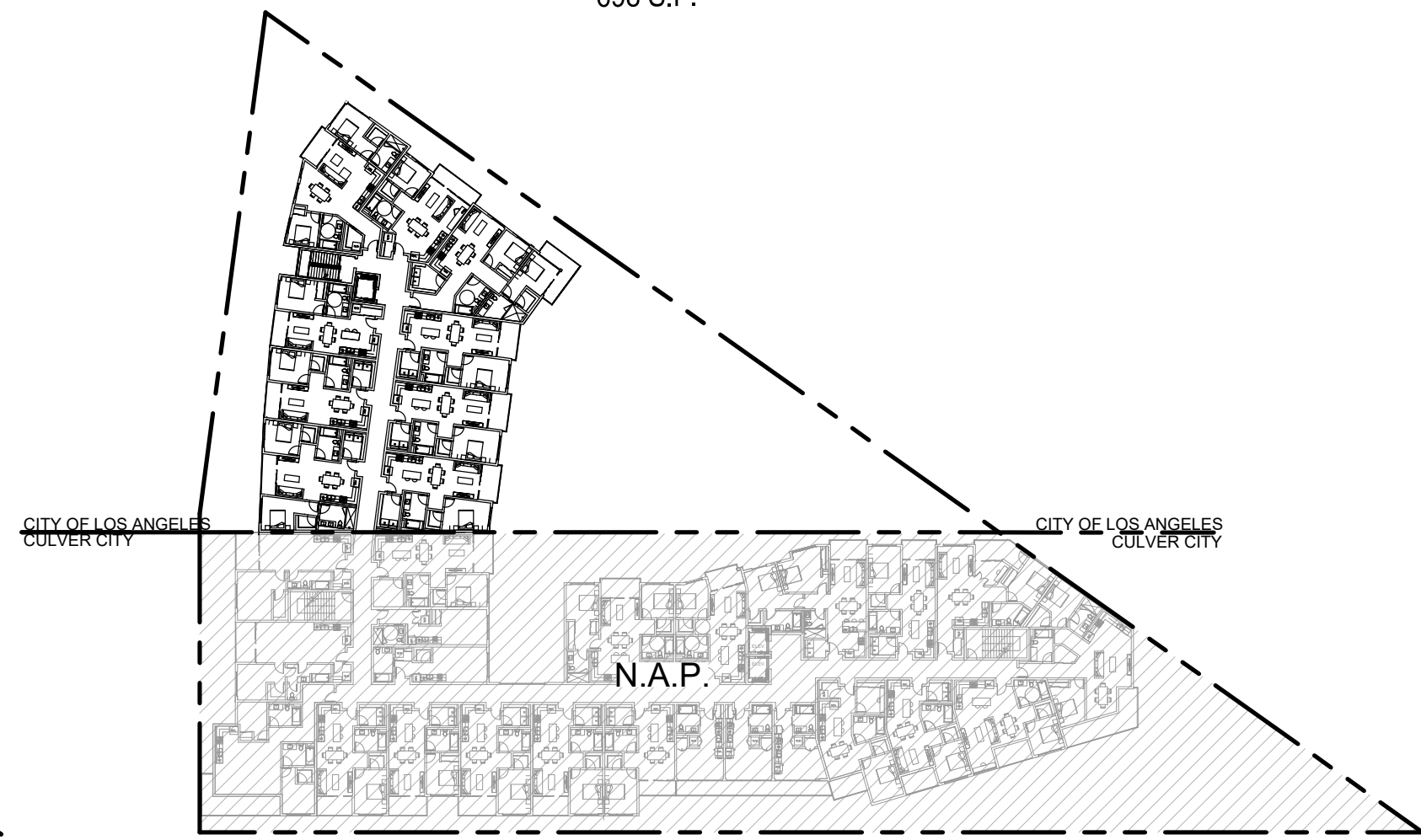


GROUND FLOOR  
COMMON OPEN SPACE  
662 S.F.

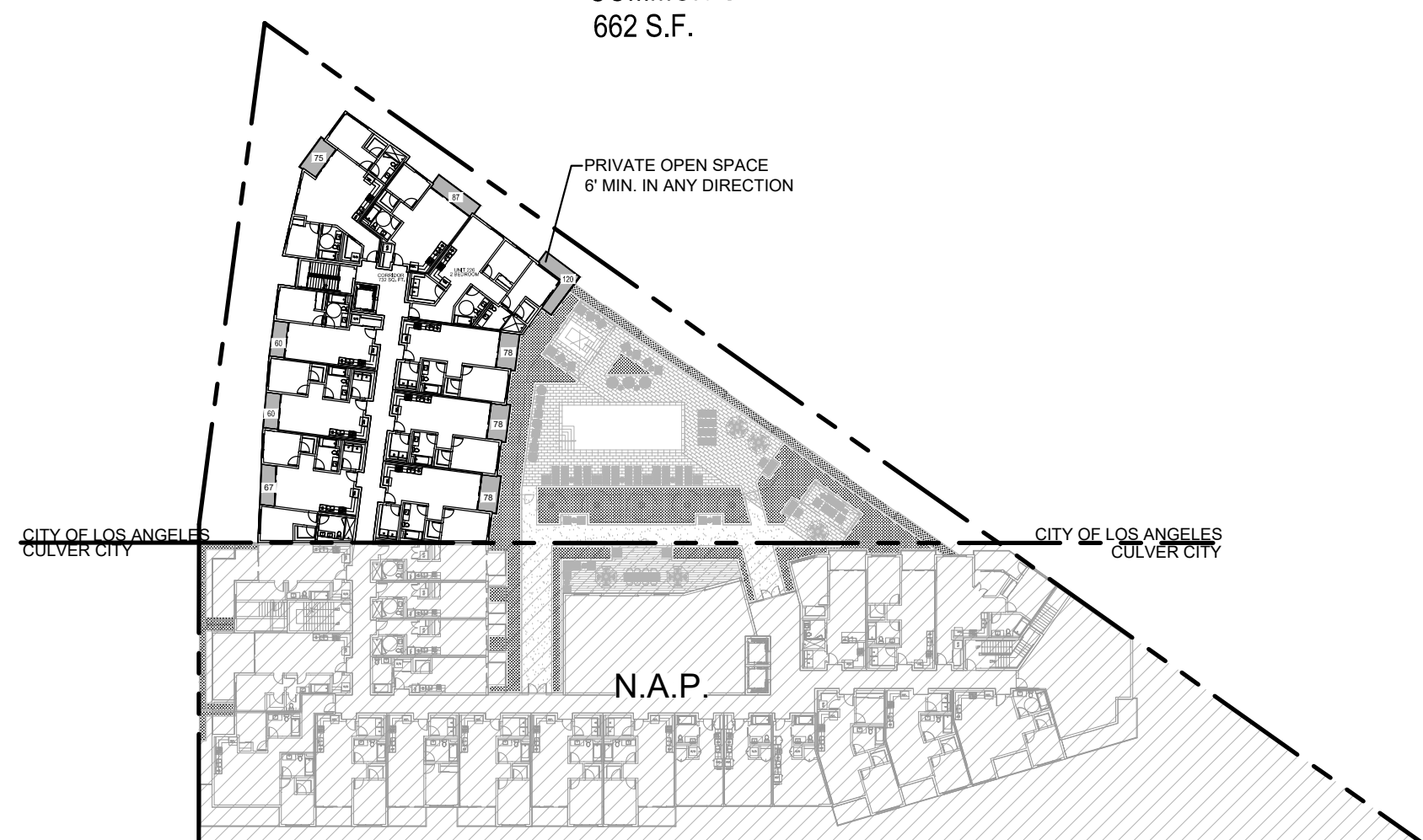
MAXIMUM 50 S.F. PER UNIT COUNTED TOWARD TOTAL  
AREAS ARE A MINIMUM OF 6'-0" IN ANY DIRECTION  
REFER TO FLOOR PLANS.



THIRD FLOOR  
COMMON OPEN SPACE  
0 S.F.

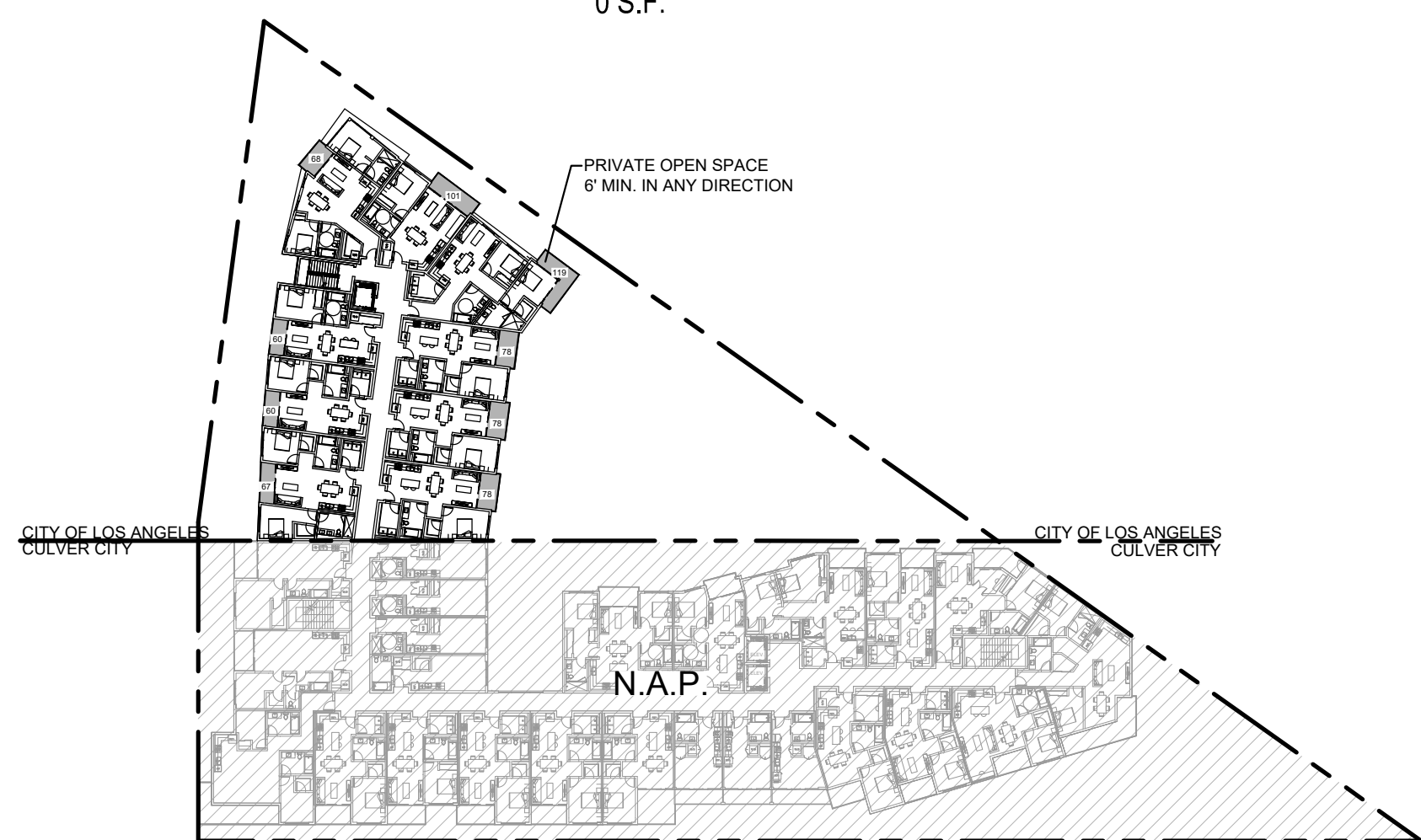


FIFTH FLOOR  
COMMON OPEN SPACE  
0 S.F.

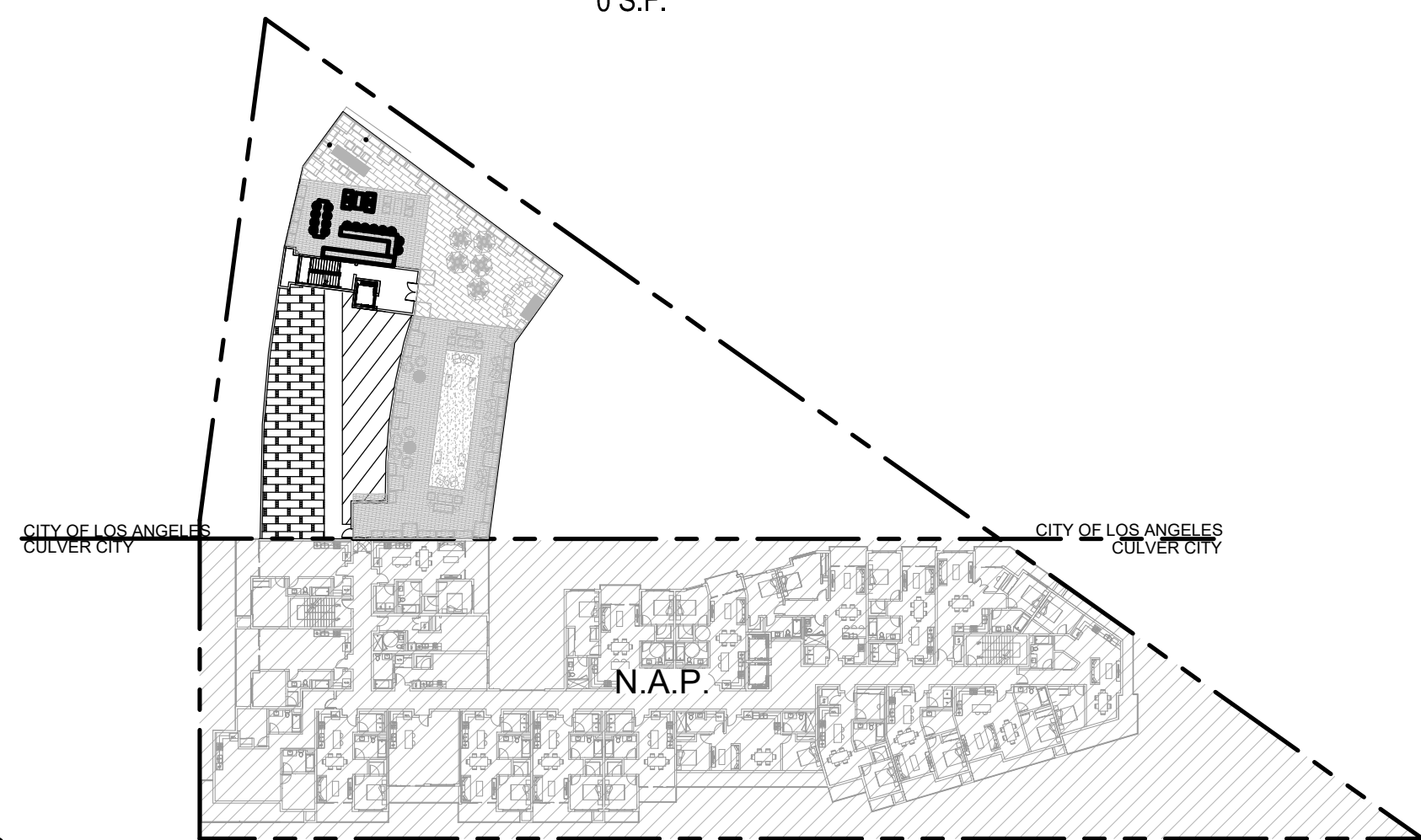


SECOND FLOOR  
PRIVATE OPEN SPACE  
703 S.F.

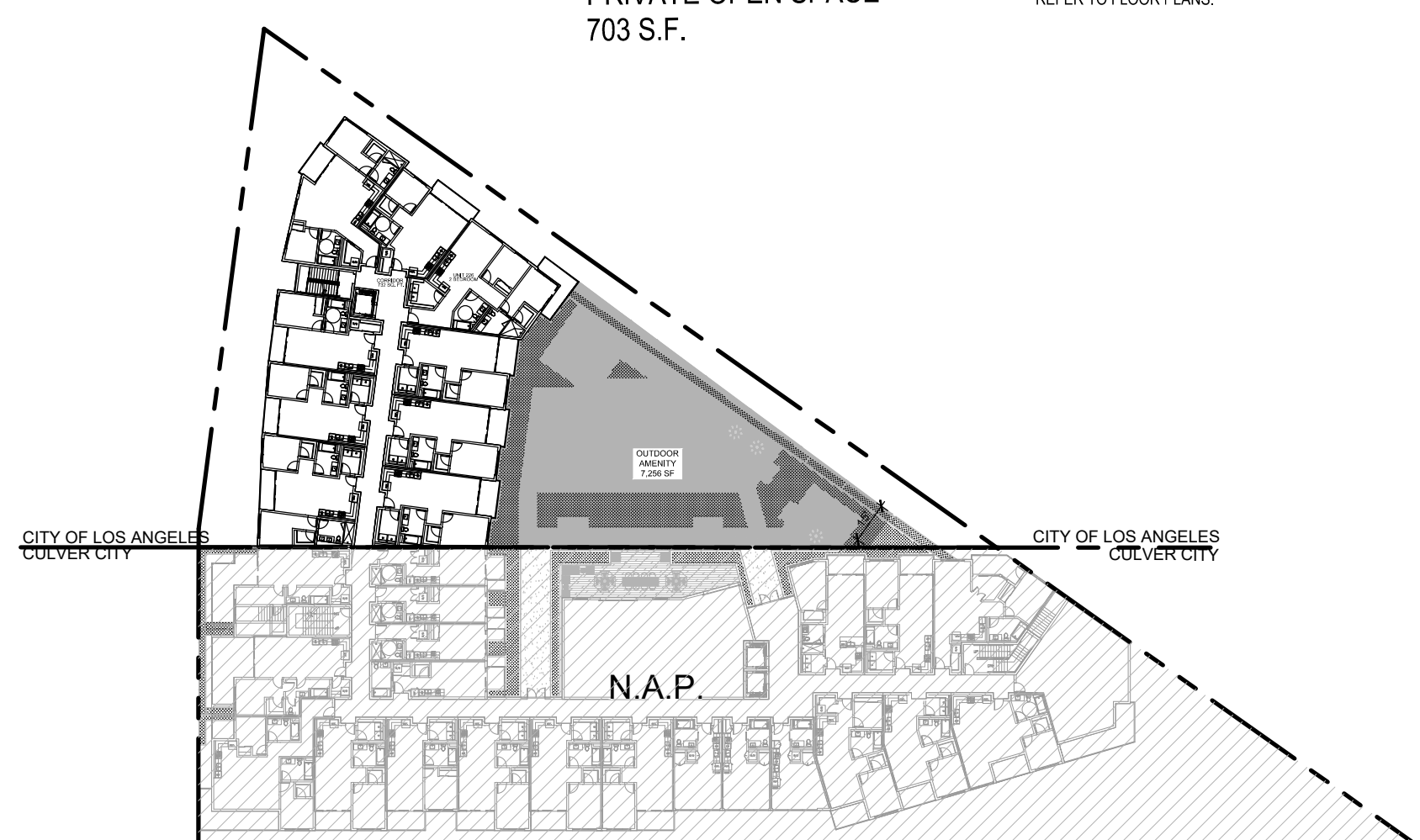
MAXIMUM 50 S.F. PER UNIT COUNTED TOWARD TOTAL  
AREAS ARE A MINIMUM OF 6'-0" IN ANY DIRECTION  
REFER TO FLOOR PLANS.



FOURTH FLOOR  
PRIVATE OPEN SPACE  
709 S.F.

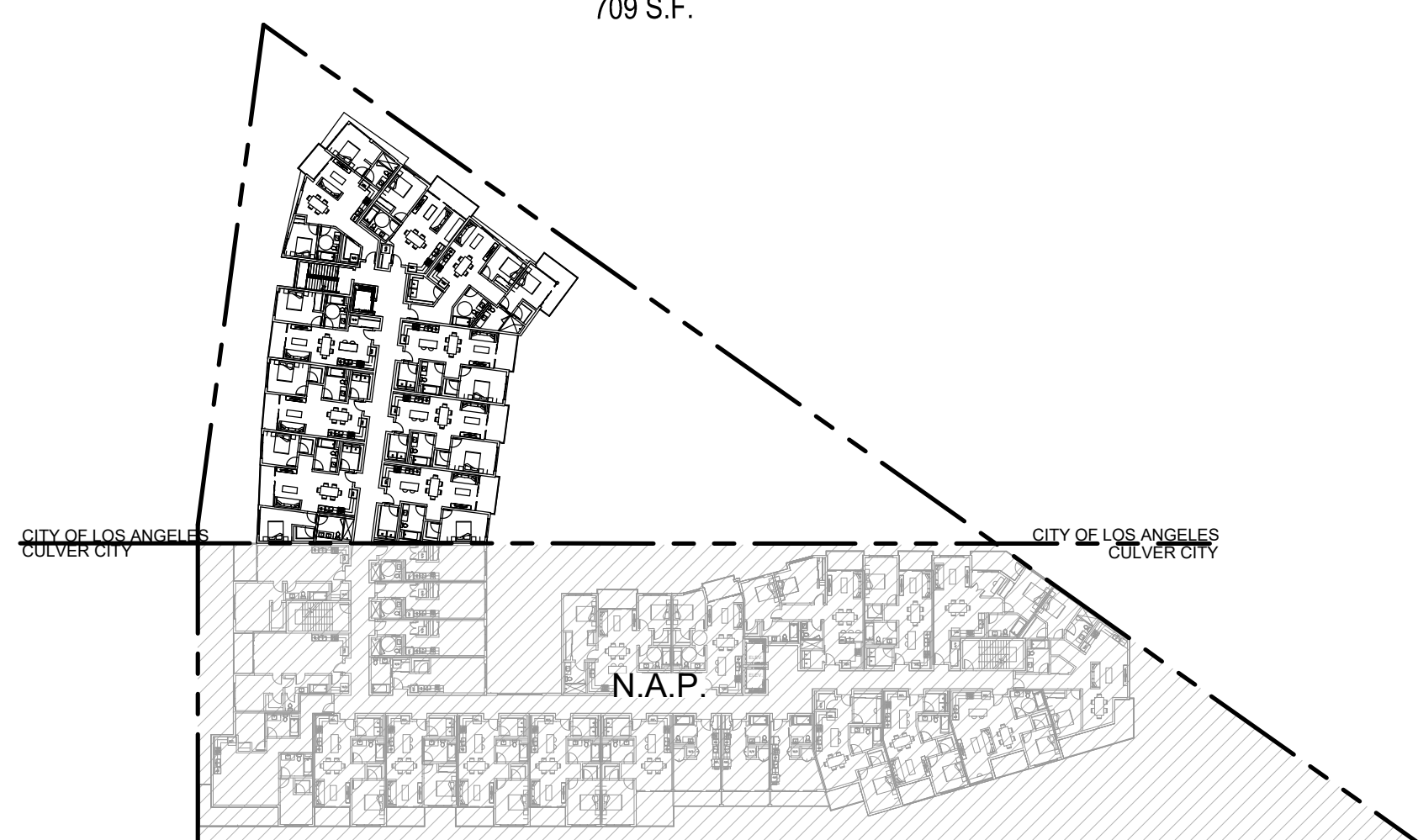


SIXTH FLOOR  
PRIVATE OPEN SPACE  
0 S.F.

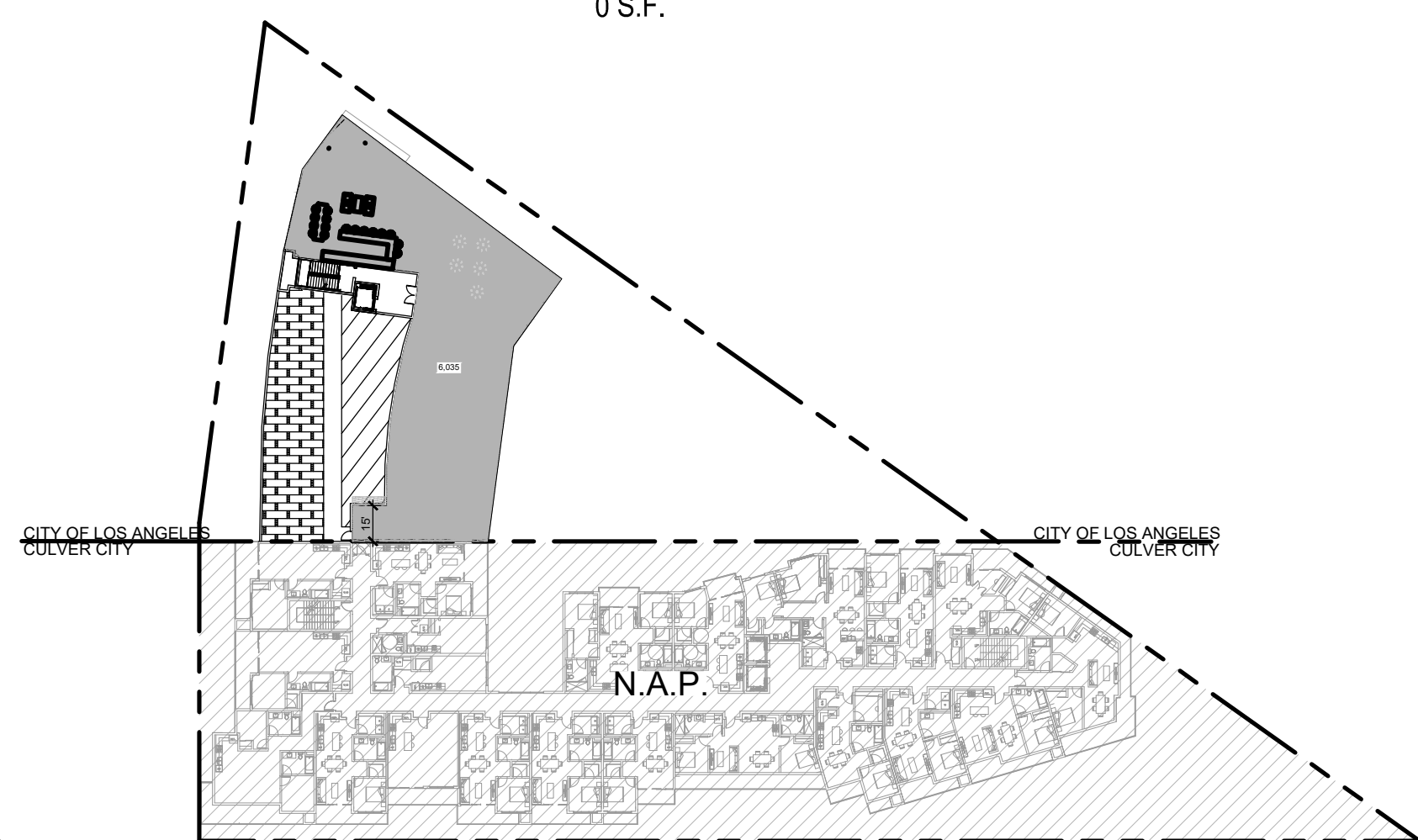


SECOND FLOOR  
COMMON OPEN SPACE  
7,256 S.F.

MAXIMUM 50 S.F. PER UNIT COUNTED TOWARD TOTAL  
AREAS ARE A MINIMUM OF 6'-0" IN ANY DIRECTION  
REFER TO FLOOR PLANS.



FOURTH FLOOR  
COMMON OPEN SPACE  
0 S.F.



SIXTH FLOOR  
COMMON OPEN SPACE  
6,035 S.F.

## legend

# = PRIVATE / COMMON OPEN SPACE

## open space - los angeles

OPEN SPACE REQUIRED (PER LAMC SECTION 12.21.G):  
100 SF OF OPEN SPACE IS REQUIRED FOR UNITS WITH LESS THAN (<) 3 HABITABLE ROOMS  
125 SF OF OPEN SPACE IS REQUIRED FOR UNITS WITH 3 HABITABLE ROOMS  
175 SF OF OPEN SPACE IS REQUIRED FOR UNITS WITH MORE THAN (>) 3 HABITABLE ROOMS

### GROUND FLOOR

|                                    |            |            |
|------------------------------------|------------|------------|
| 4 - UNITS W/ (<) 3 HABITABLE ROOMS | @ 100 S.F. | = 400 S.F. |
| 0 - UNITS W/ 3 HABITABLE ROOMS     | @ 125 S.F. | = 000 S.F. |
| 0 - UNITS W/ (>) 3 HABITABLE ROOMS | @ 175 S.F. | = 000 S.F. |
| OPEN SPACE REQUIRED:               |            | = 400 S.F. |

PRIVATE OPEN SPACE PROVIDED: = 320 S.F.  
"NOTE: "ONLY 50 S.F. OF PRIVATE OPEN SPACE / UNIT CAN BE COUNTED TOWARDS THE TOTAL OPEN SPACE S.F."

PRIVATE OPEN SPACE ALLOWED (4 UNITS @ 50 S.F. EACH): = 200 S.F."  
PROVIDED COMMON OPEN SPACE: = 662 S.F.  
TOTAL OPEN SPACE PROVIDED: = 862 S.F.

### SECOND FLOOR

|                                    |            |            |
|------------------------------------|------------|------------|
| 6 - UNITS W/ (<) 3 HABITABLE ROOMS | @ 100 S.F. | = 600 S.F. |
| 3 - UNITS W/ 3 HABITABLE ROOMS     | @ 125 S.F. | = 375 S.F. |
| 0 - UNITS W/ (>) 3 HABITABLE ROOMS | @ 175 S.F. | = 000 S.F. |
| REQUIRED OPEN SPACE                |            | = 975 S.F. |

PROVIDED PRIVATE OPEN SPACE = 703 S.F.  
"NOTE: "ONLY 50 S.F. OF PRIVATE OPEN SPACE / UNIT CAN BE COUNTED TOWARDS THE TOTAL OPEN SPACE S.F."

PRIVATE OPEN SPACE (9 UNITS @ 50 S.F. EACH) = 450 S.F."  
PROVIDED COMMON OPEN SPACE = 7,256 S.F.  
TOTAL OPEN SPACE PROVIDED = 7,706 S.F.

### THIRD FLOOR

|                                    |            |            |
|------------------------------------|------------|------------|
| 6 - UNITS W/ (<) 3 HABITABLE ROOMS | @ 100 S.F. | = 600 S.F. |
| 3 - UNITS W/ 3 HABITABLE ROOMS     | @ 125 S.F. | = 375 S.F. |
| 0 - UNITS W/ (>) 3 HABITABLE ROOMS | @ 175 S.F. | = 000 S.F. |
| REQUIRED OPEN SPACE                |            | = 975 S.F. |

PROVIDED PRIVATE OPEN SPACE = 698 S.F.  
"NOTE: "ONLY 50 S.F. OF PRIVATE OPEN SPACE / UNIT CAN BE COUNTED TOWARDS THE TOTAL OPEN SPACE S.F."

PRIVATE OPEN SPACE (9 UNITS @ 50 S.F. EACH) = 450 S.F."  
PROVIDED COMMON OPEN SPACE = 0 S.F.  
TOTAL OPEN SPACE PROVIDED = 450 S.F.

### FOURTH FLOOR

|                                    |            |            |
|------------------------------------|------------|------------|
| 6 - UNITS W/ (<) 3 HABITABLE ROOMS | @ 100 S.F. | = 600 S.F. |
| 3 - UNITS W/ 3 HABITABLE ROOMS     | @ 125 S.F. | = 375 S.F. |
| 0 - UNITS W/ (>) 3 HABITABLE ROOMS | @ 175 S.F. | = 000 S.F. |
| REQUIRED OPEN SPACE                |            | = 975 S.F. |

PROVIDED PRIVATE OPEN SPACE = 709 S.F.  
"NOTE: "ONLY 50 S.F. OF PRIVATE OPEN SPACE / UNIT CAN BE COUNTED TOWARDS THE TOTAL OPEN SPACE S.F."

PRIVATE OPEN SPACE (9 UNITS @ 50 S.F. EACH) = 450 S.F."  
PROVIDED COMMON OPEN SPACE = 0 S.F.  
TOTAL OPEN SPACE PROVIDED = 450 S.F.

### FIFTH FLOOR

|                                    |            |            |
|------------------------------------|------------|------------|
| 6 - UNITS W/ (<) 3 HABITABLE ROOMS | @ 100 S.F. | = 600 S.F. |
| 3 - UNITS W/ 3 HABITABLE ROOMS     | @ 125 S.F. | = 375 S.F. |
| 0 - UNITS W/ (>) 3 HABITABLE ROOMS | @ 175 S.F. | = 000 S.F. |
| REQUIRED OPEN SPACE                |            | = 975 S.F. |

PROVIDED PRIVATE OPEN SPACE = 698 S.F.  
NOTE: "ONLY 50 S.F. OF PRIVATE OPEN SPACE / UNIT CAN BE COUNTED TOWARDS THE TOTAL OPEN SPACE S.F."

PRIVATE OPEN SPACE (9 UNITS @ 50 S.F. EACH) = 450 S.F."  
PROVIDED COMMON OPEN SPACE = 0 S.F.  
TOTAL OPEN SPACE PROVIDED = 450 S.F.

### SIXTH FLOOR

|                     |  |          |
|---------------------|--|----------|
| 0 - UNITS           |  | = 0 S.F. |
| REQUIRED OPEN SPACE |  | = 0 S.F. |

PRIVATE OPEN SPACE PROVIDED = 0 S.F."  
PROVIDED COMMON OPEN SPACE = 6,035 S.F.  
TOTAL OPEN SPACE PROVIDED = 6,035 S.F.

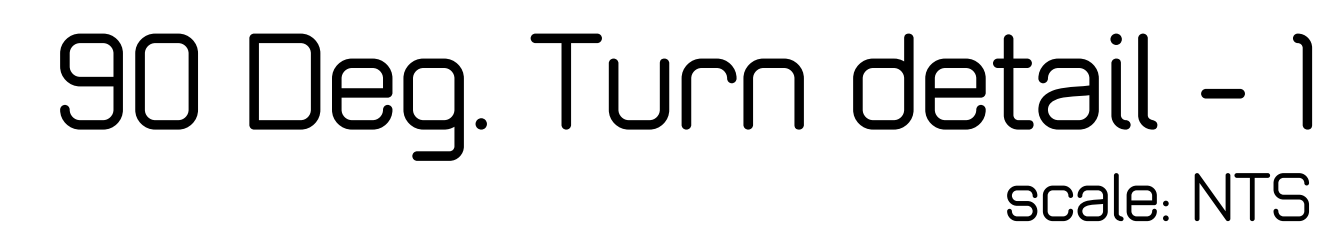
GRAND TOTAL OPEN SPACE REQUIRED = 4,300 S.F.  
GRAND TOTAL OPEN SPACE PROVIDED = 15,953 S.F.

### LANDSCAPE REQUIRED

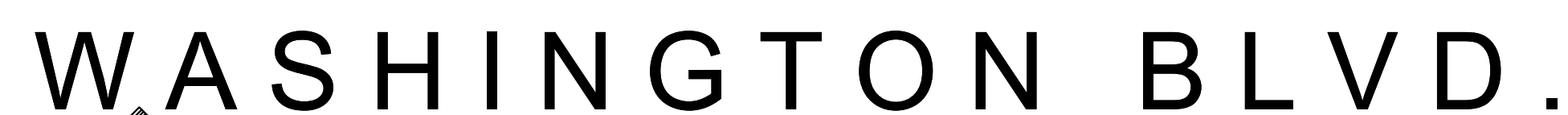
15% REQUIRED LANDSCAPE WITHIN COMMON OPEN SPACE  
13,953 S.F. @ 15% = 2,093 S.F.  
PROVIDED LANDSCAPE @ COMMON OPEN SPACE: = 3,740 S.F.



1. REPLACE SIDEWALK, CURB AND GUTTER AS NECESSARY TO MATCH ADJACENT SIDEWALKS PER PLANNING DEPARTMENT.
2. TOPOGRAPHY AT THE SITE SHOWN ON ATTACHED TOPOGRAPHY SURVEY.
3. REMOVE ALL EXISTING BUILDINGS AND THEIR COMPONENTS THAT ARE LOCATED ON THE LOTS GAP AND SEAL ALL COMPONENTS TO THE STREET UTILITIES.
4. ACCESS FOR EMERGENCY FIRE AND MEDICAL PERSONNEL. CONCRETE SURFACES BETWEEN THE STREET AND MAIN ENTRANCE OF EACH BUILDING SHALL BE PAVED TO ALLOW THE ROLLING OF A MEDICAL GURNY.
5. ALL ROOMS INTERIOR AND EXTERIOR SHALL BE PROVIDED WITH NUMBERS AND DESCRIPTION STAIRWAYS SHALL BE MARKED AT ACCESS POINTS ON OR NEAR THE STAIRWAY NUMBER. EACH STAIRWAY PROVIDES ROOF ACCESS OR NO ROOF ACCESS



① PROPERTY LINE  
 ② EXISTING RIGHT OF WAY - COORDINATE WITH CIVIL  
 ③ 15' DEDICATION  
 ④ PROPOSED 3' DEDICATION & ASSOCIATED SIDEWALK WIDENING  
 ⑤ 1' DEDICATION - REQUESTING TO BE WAIVED  
 ⑥ 3' STREET WIDENING & IMPROVEMENTS - REQUESTING TO BE WAIVED  
 ⑦ 2'-6" ALLEY DEDICATION - REQUESTING TO BE WAIVED  
 ⑧ NEW DRIVE APRON PER CIVIL DRAWINGS AND THE CITY OF L.A.  
 ⑨ CITY SETBACK  
 ⑩ TRASH ENCLOSURE & TRASH CHUTES ABOVE - CONCRETE BLOCK PAINTED  
 8 FT MIN CELLAR HEIGHTS  
 ⑪ CONCRETE WHEEL STOP, TYPICAL, PER DETAIL  $\left(\frac{B}{OP14}\right)$   
 ⑫ LANDSCAPING ARE - PER LANDSCAPE PLANS  
 ⑬ KNOX BOX - AT MOTORIZED ACCESS BATES TYP. INSTALLATION &  
 LOCATION SHALL BE APPROVED AND DETERMINED BY FIRE DEPT.  
 ⑭ STRUCTURAL COLUMN - PER STRUCTURAL PLANS  
 ⑮ BUILDING STAIRS WITH GLASS 111 STANOPIPE SYSTEM WITH 2 1/2" & 1 1/2"  
 REDUCING OUTLETS LOCATED AT EACH LANDING AND PER 100 FOOT OF  
 WITHIN AND 50 FOOT OF STREAM, NOTE 11A WITH ROOF ACCESS HATCH  
 ⑯ BUILDING ELEVATOR  
 ⑰ STANDARD PARKING STALL PER DETAIL  $\left(\frac{1}{-}\right)$   
 ⑱ AREA PARKING STALL PER DETAIL  $\left(\frac{1}{OP14}\right)$   
 ⑲ TANDEM PARKING STALL  
 ⑳ COMPACT PARKING STALL  
 ㉑ ZERO CURB PER DETAIL  
 ㉒ AREA CURB / RAMP PER DETAIL  $\left(\frac{B}{OP14}\right)$   
 ㉓ GAS METERS  
 ㉔ BASEMENT RAMP  
 ㉕ BASEMENT RETAINING WALL  
 ㉖ TRANSFORMER, SWITCH, AND CAPACITOR LOCATION  
 ㉗ RESIDENTIAL BICYCLE LONG TERM BIKE RACKS IN SECURE LOCKING  
 ENCLOSURE & WITHIN 50-FT WALKING DISTANCE OF AN ELEVATOR  
 ㉘ RESIDENTIAL BICYCLE SHORT TERM PARKING RACK WITHIN 50-FT OF THE  
 MAIN PEDESTRIAN ENTRANCE TO BUILDING - PER DETAIL  $\left(\frac{B}{OP14}\right)$   
 ㉙ RETAIL BICYCLE SHORT TERM PARKING RACK PER DETAIL  
 WITHIN 50-FT OF THE MAIN ENTRANCE TO BUILDING  
 HOV PARKING STALL  
 ㉚ CLEAN AIR VEHICLE PARKING STALL  
 ㉛ ELECTRICAL VEHICLE CHARGING STATION - (EVCS)  
 PER CBC (1B-228.3) AND TABLE 11B-228.3.2.1  
 ㉜ OUTLINE OF BUILDING ABOVE  
 ㉝ PHOTOVOLTAIC SYSTEM WITH AT LEAST ONE KILOWATT (1 KW) FOR EACH  
 10,000 SQ FT OF GROSS FLOOR AREA, OR FRACTION THEREOF, AND SHALL  
 CONFORM WITH 2022 CALIFORNIA ELEC. CODE, 2016 CALIFORNIA FIRE CODE CHAPTER  
 6 SECTION 605.11 - 605.11.2, CALIFORNIA BUILDING CODE, OR CALIFORNIA  
 RESIDENTIAL CODE, AND CALIFORNIA ELECTRICAL CODE.  
 ㉞ RIDESHARE PARKING STALL  
 ㉟ REFER TO SHEET AP18 FOR WASTE MANAGEMENT PLAN  
 REFER TO SHEET AP18-A FOR PUBLIC LIMITED METER PARKING TRUCK  
 PICK UP SCHEDULE  
 ENHANCED CROSSWALK AT INTERSECTION  
 ㊱ REFER TO SHEET APXX FOR PUBLIC LIMITED METER PARKING & DAYCARE  
 LOADING & UNLOADING SCHEDULE  
 ㊲ PARKING STALLS & METER COORDINATE WITH SHEET AP18-A  
 ㊳ EMERGENCY / PANIC KIOSK  
 ㊴ TRASH CHUTES  
 ㊵ DASHED LINE INDICATES HANGING STORAGE CABINET UNITS, PAINTED  
 WOOD CONSTRUCTION, PROVIDE LOCKING HANG AND DOOR PULLS, A MIN.  
 12" CURB CUT PER CIVIL DIM. OF 30"  
 ㊶ MEDIUM LOADING AREA OF 12'X35', 300 SF MIN, 12' MIN. HEAD  
 CLEARANCE PER CMC 17.320.050.  
 ㊷ 42" GLASS GARD RAILS WITH ALUMINUM ANODIZED DARK GRAY FRAMES  
 FOR BALCONIES AND AMBNEY DECK  
 ㊸ VEHICULAR 90 DEGREE TURN PER L.A.M.C. 12.21A5 AND DETAIL  $\left(\frac{B}{OP5}\right)$   
 ㊹ ONE BICYCLE SHARING SPACE WITH ACCOMPANYING BICYCLE TO BE  
 OWNED/INSURED/MAINTAINED BY THE PROJECT'S PROPERTY MANAGEMENT  
 COMPANY.  
 ㊺ UNIMPROVED CROSSWALKS FOR WASHINGTON BLVD AND ZANJA STREET  
 CROSSINGS  
 ㊻ NON-RESIDENTIAL USES - BICYCLE PARKING SPACES TO SERVE  
 BUSINESSES AND LINKS TO THE PROJECT.  
 ㊼ MECHANICAL SCREEN

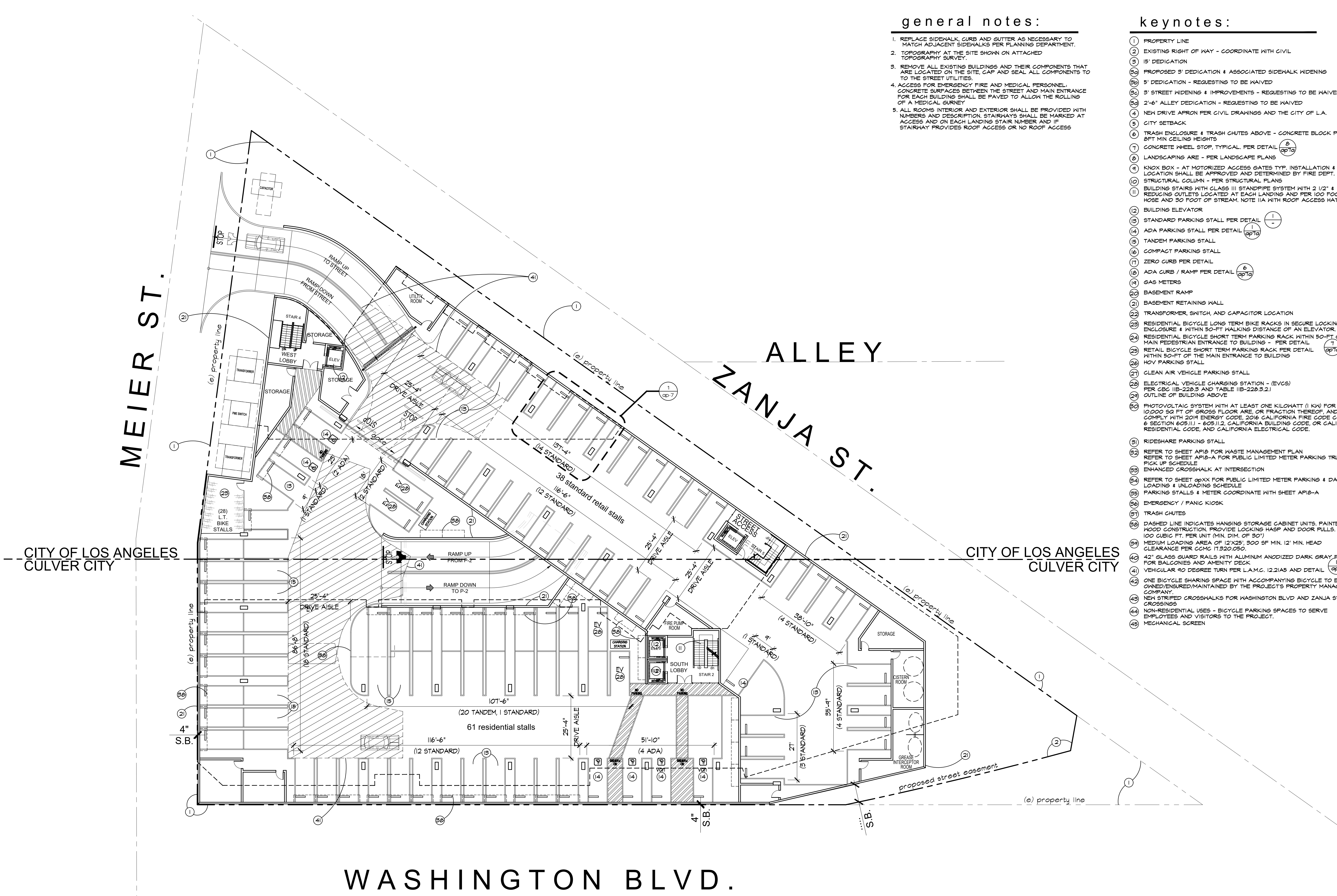


|                                       |            |
|---------------------------------------|------------|
| <u>RESIDENTIAL (ASSIGNED) PARKING</u> |            |
| TANDEM TENANT                         | 17 x2 = 34 |
| STANDARD SINGLE TENANT                | 73         |
| <u>TOTAL RESIDENTIAL PROVIDED:</u>    | <u>107</u> |

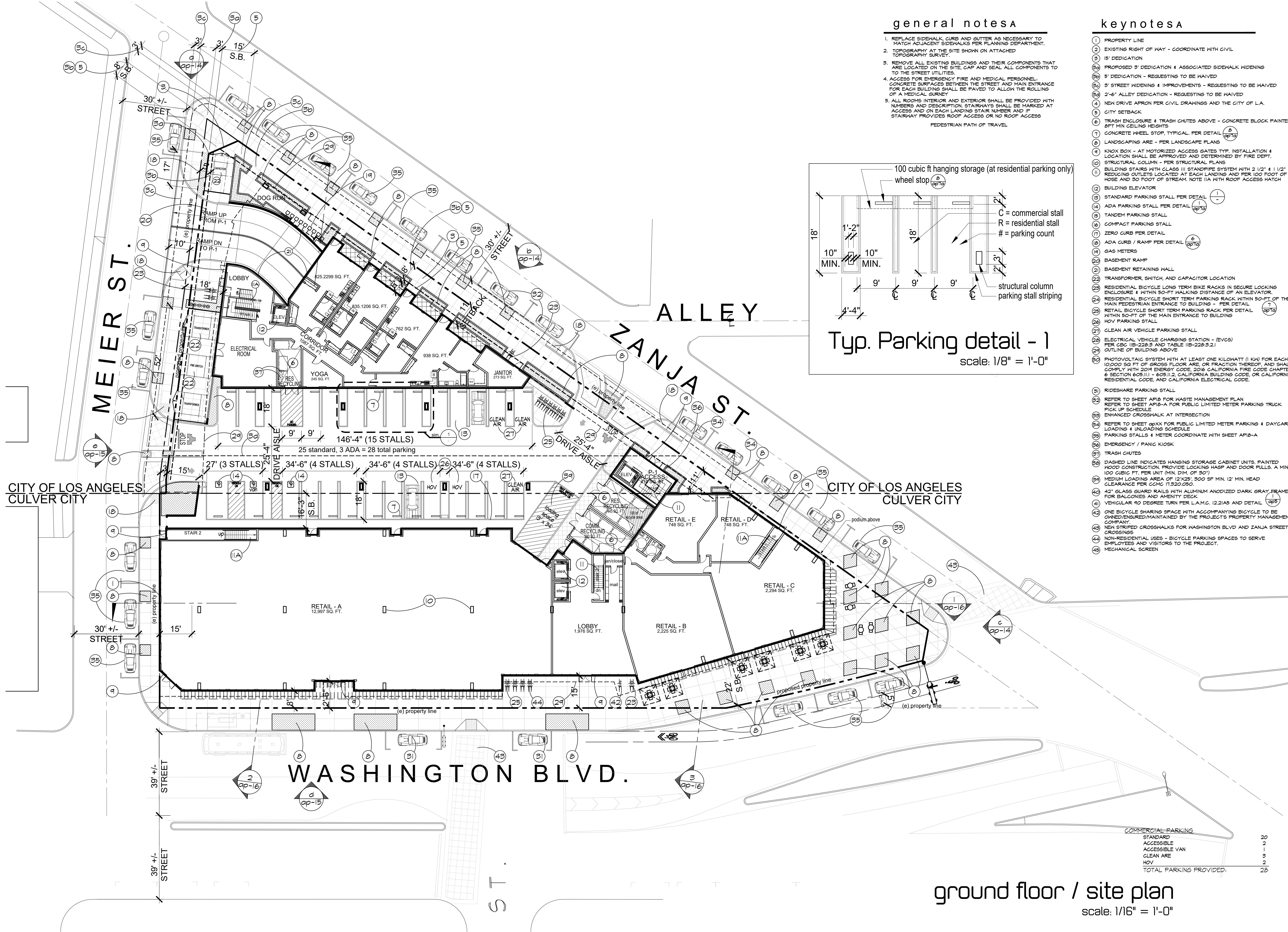
basement parking level 2  
scale: 1/16" = 1'-0"



basement parking level 1  
scale: 1/16" = 1'-0"





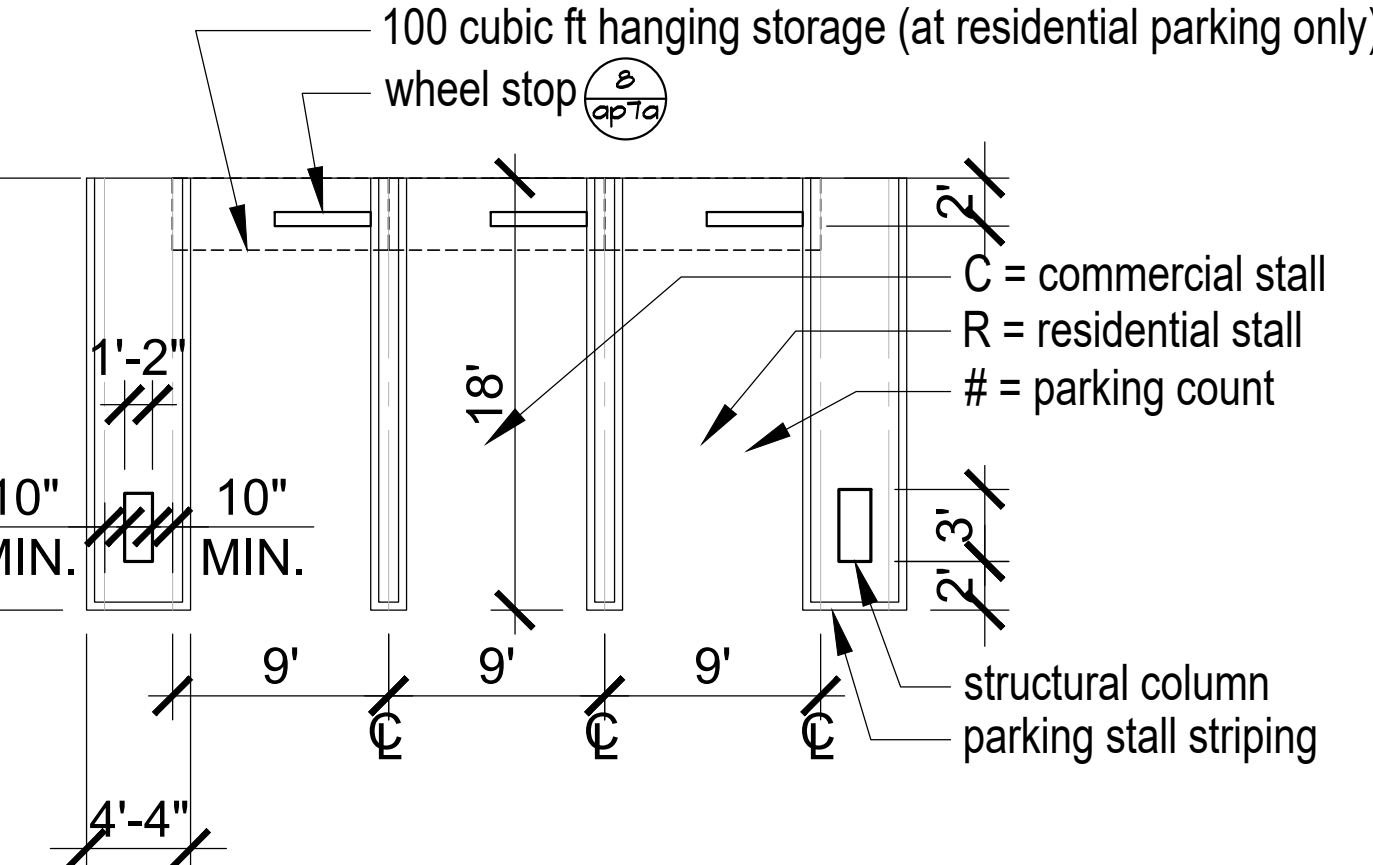


general notes a

1. REPLACE SIDEWALK, CURB AND GUTTER AS NECESSARY TO MATCH ADJACENT SIDEWALKS PER PLANNING DEPARTMENT.
2. TOPOGRAPHY AT THE SITE SHOWN ON ATTACHED TOPOGRAPHY SURVEY.
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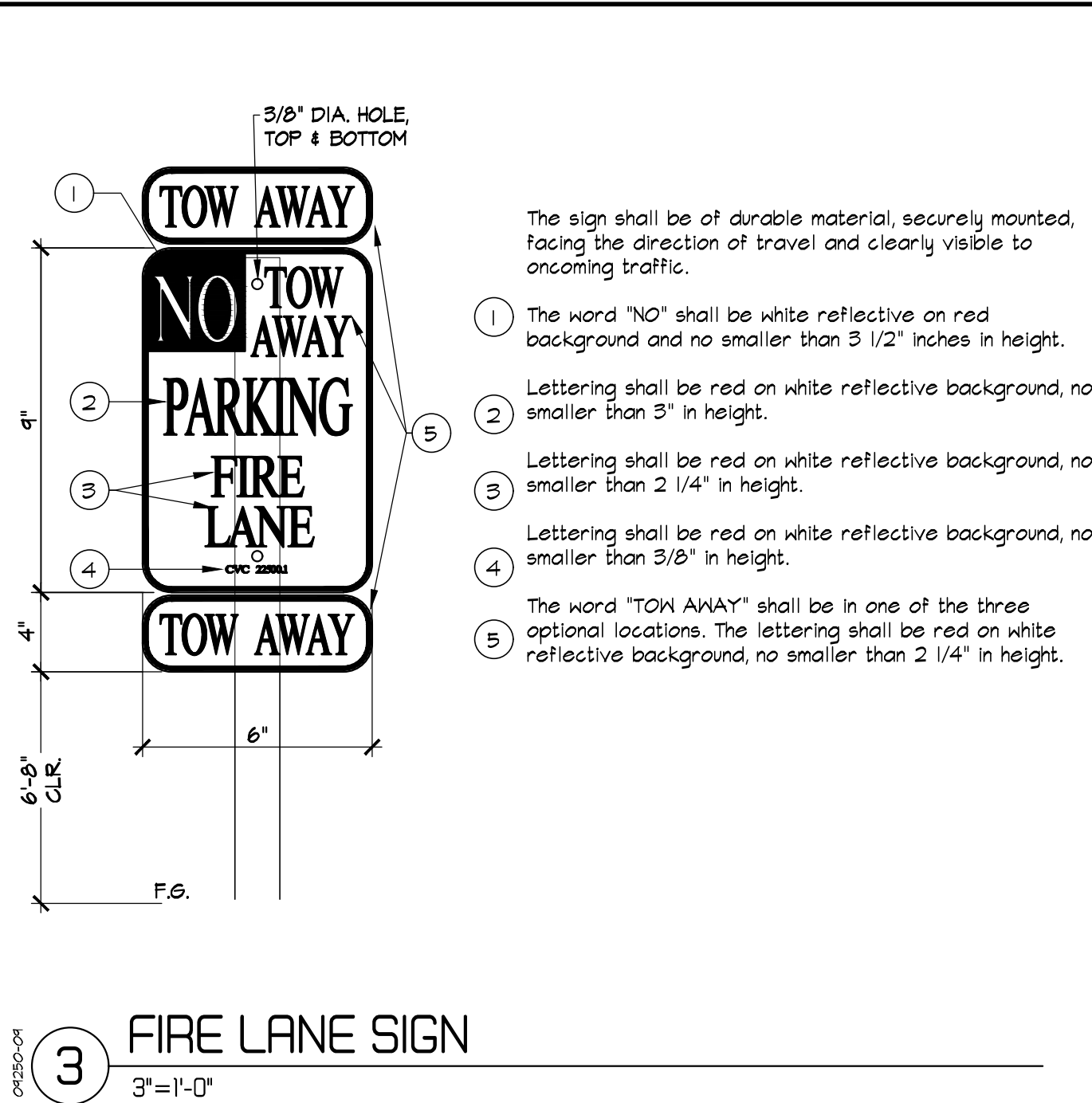
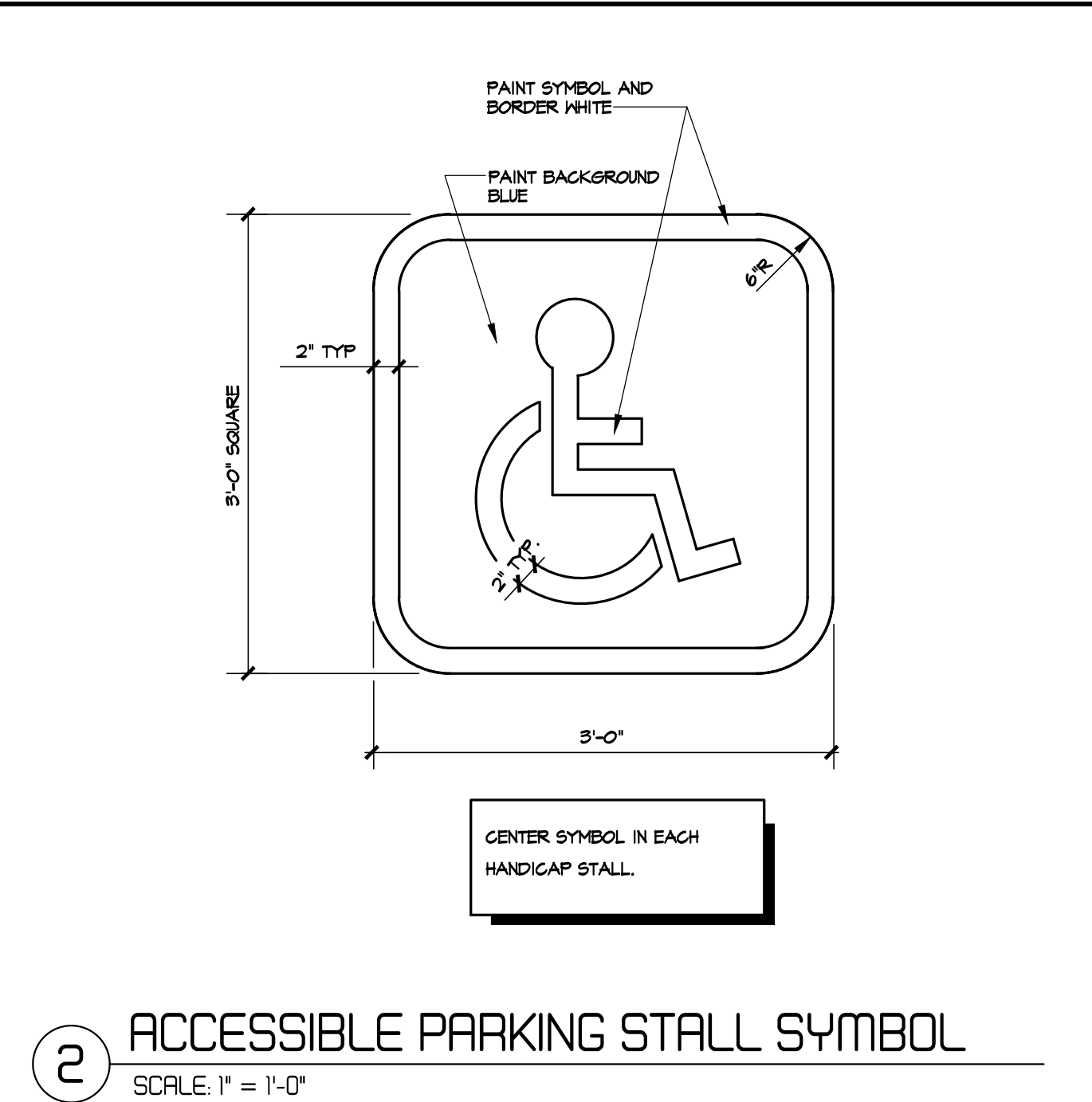
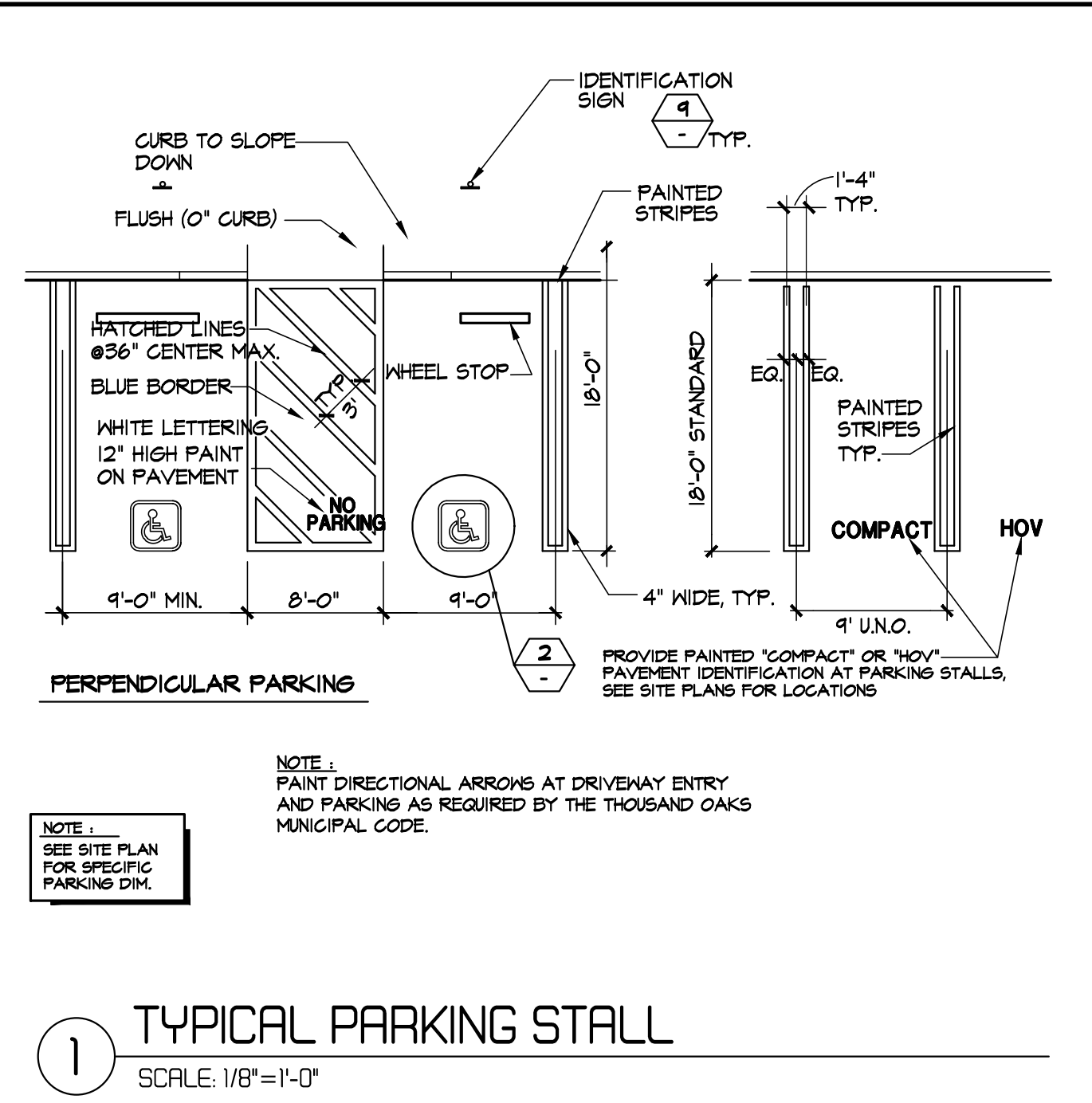
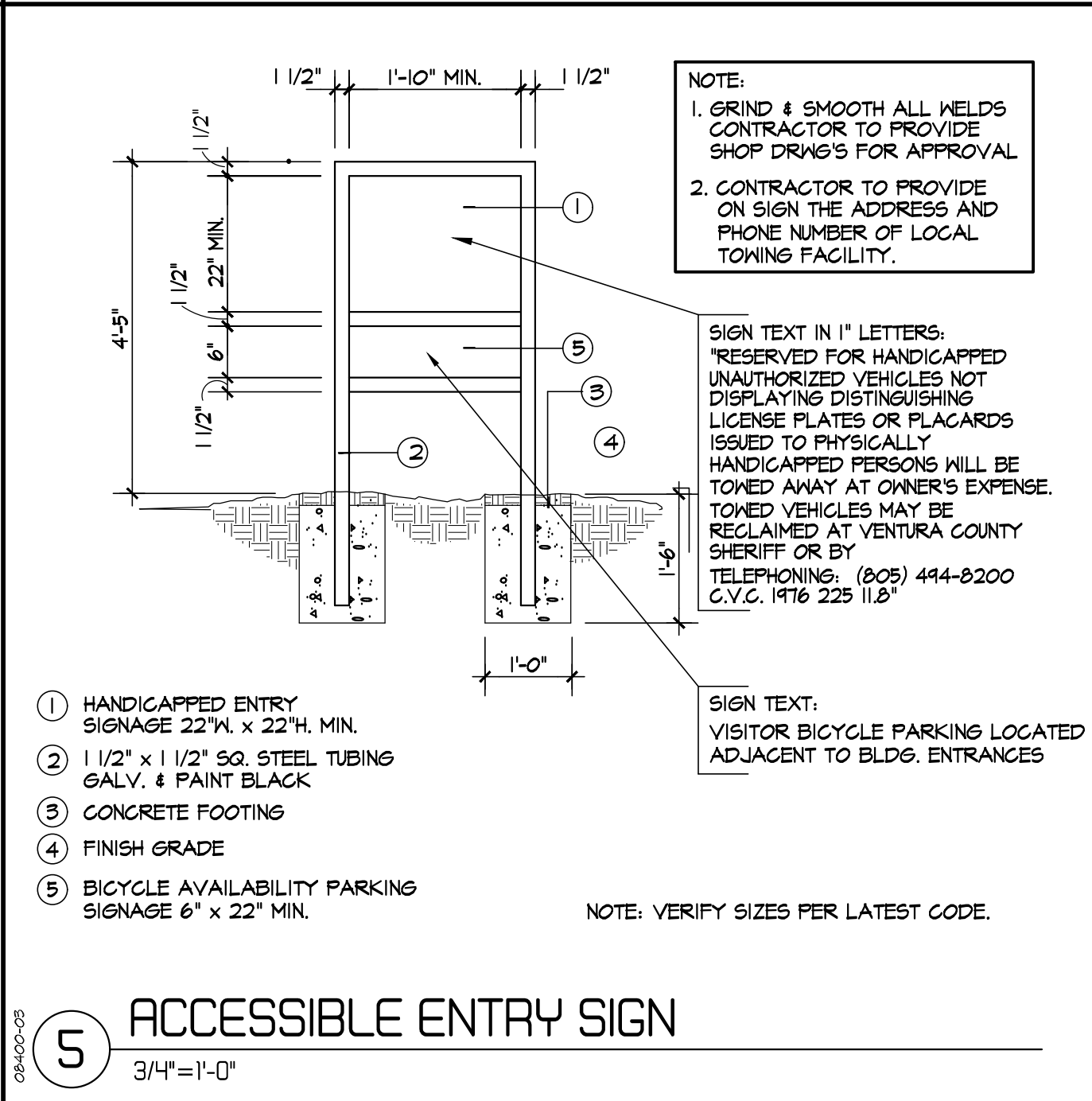
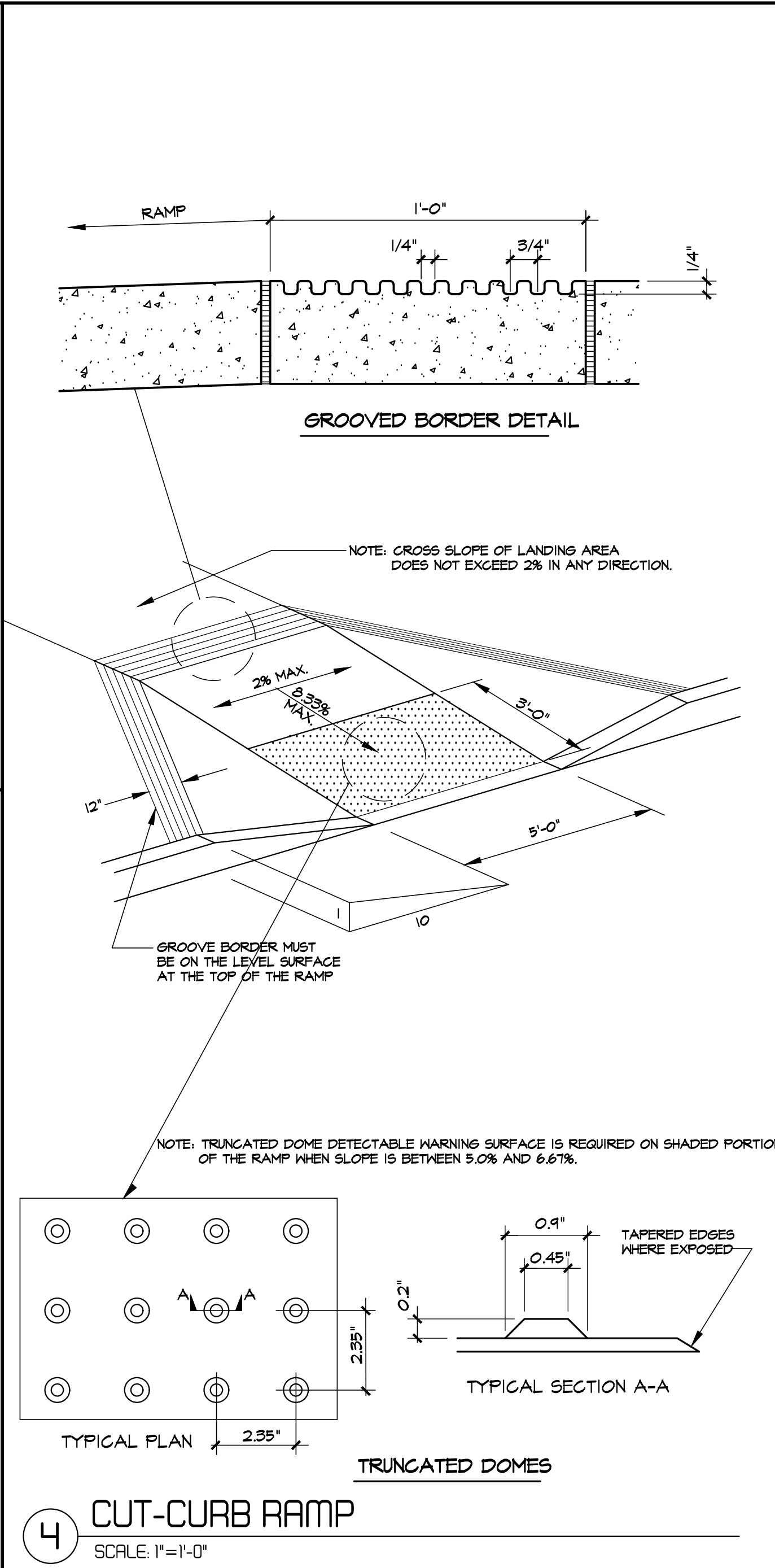
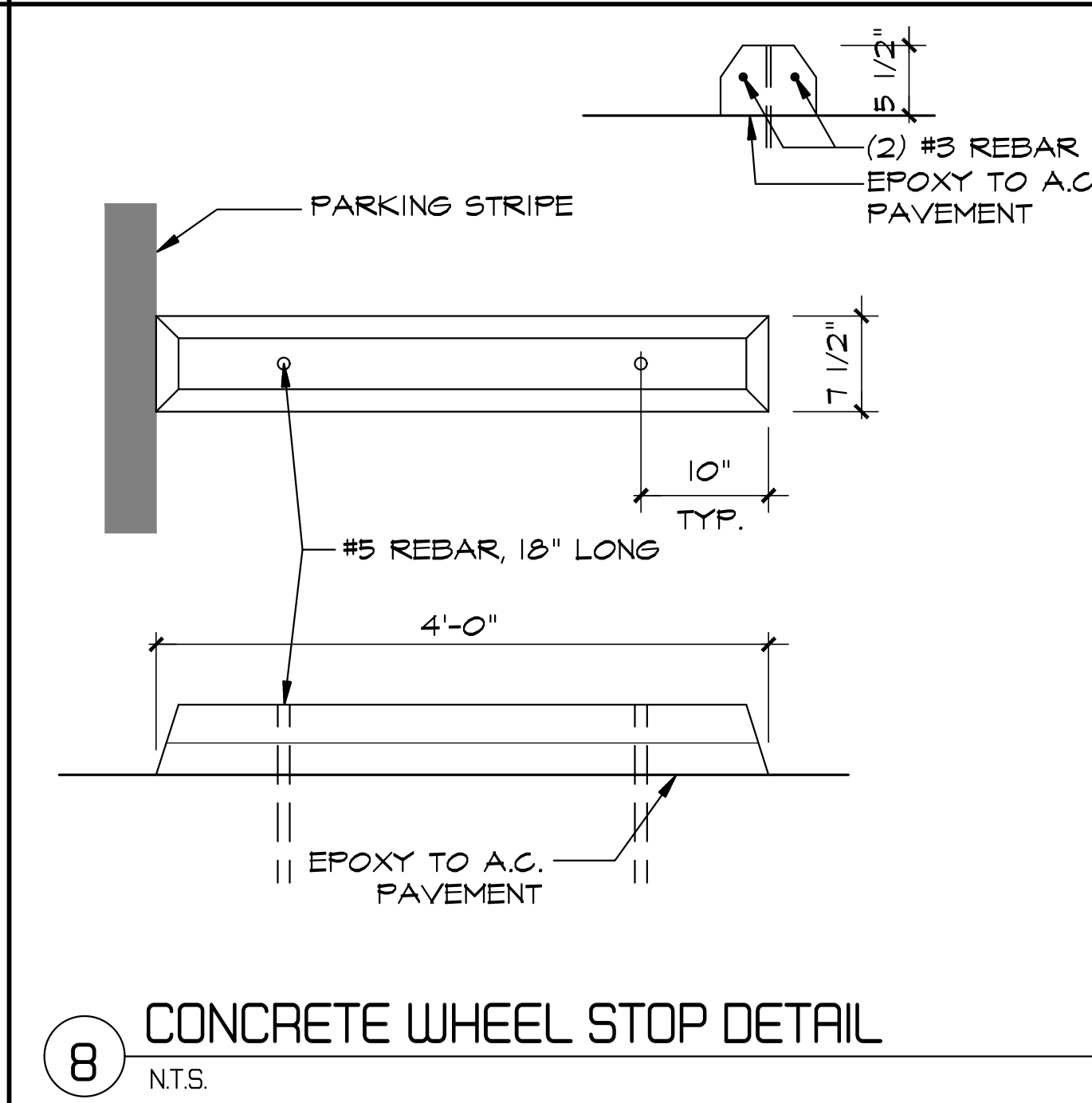
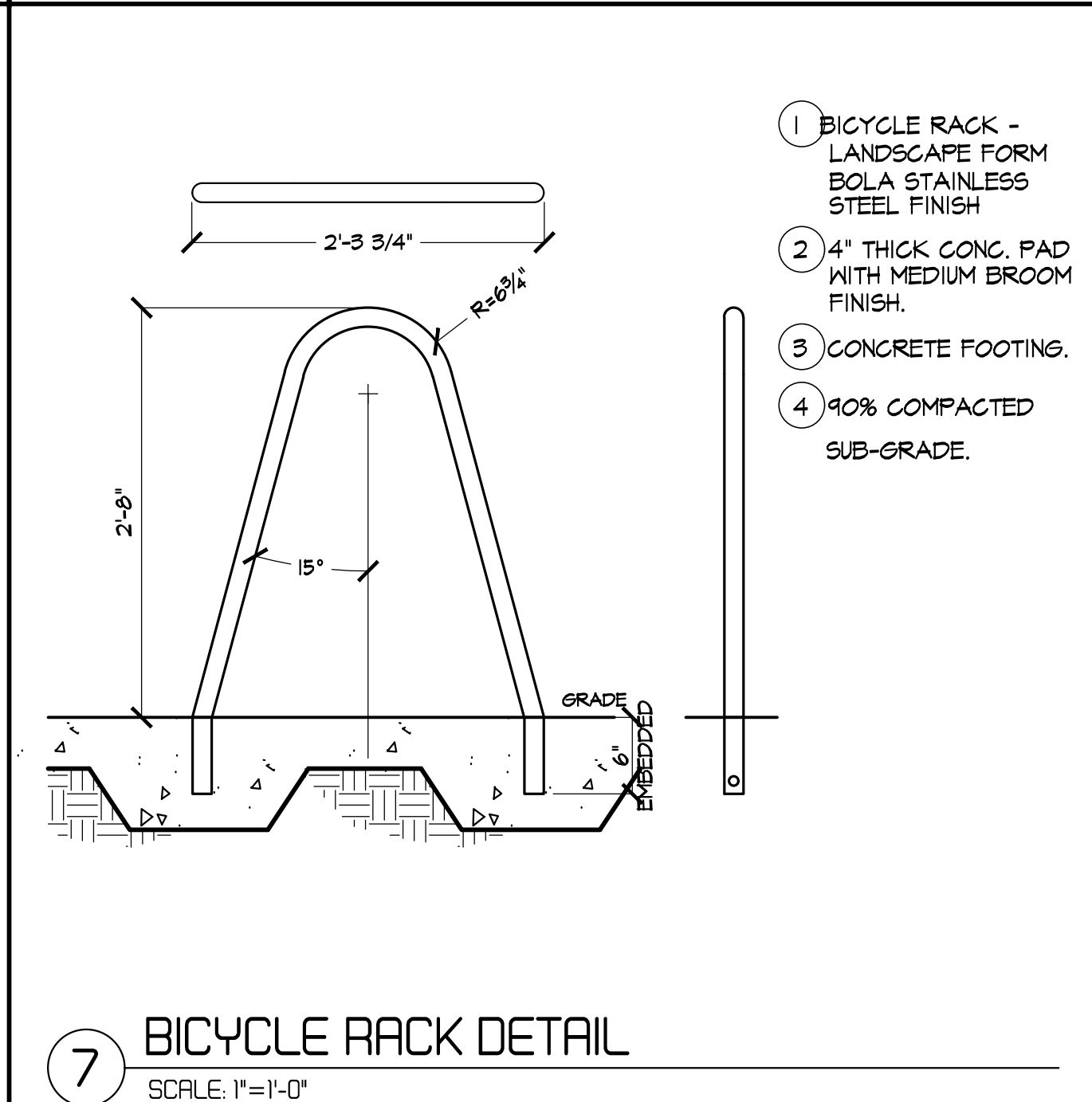
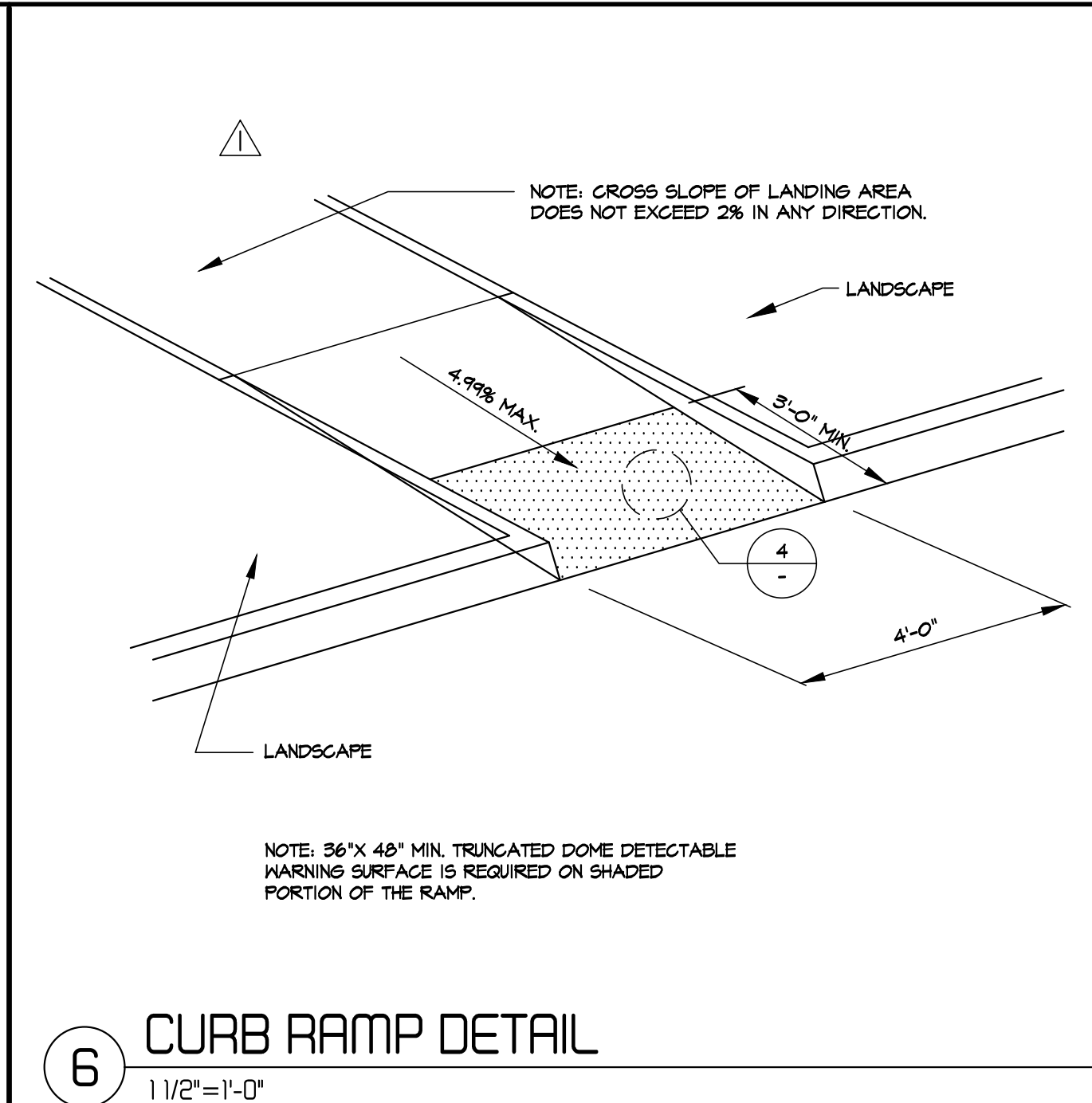
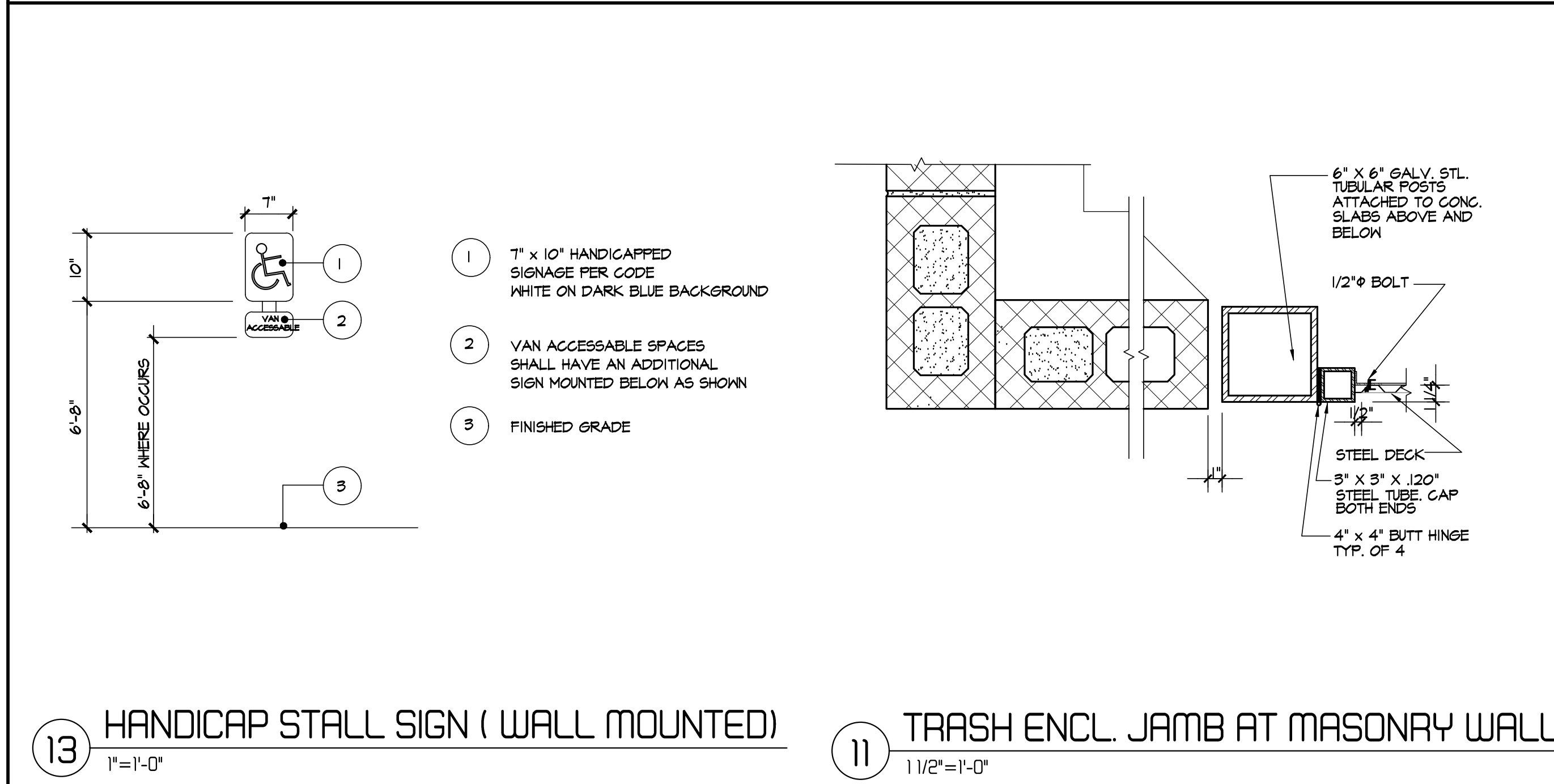
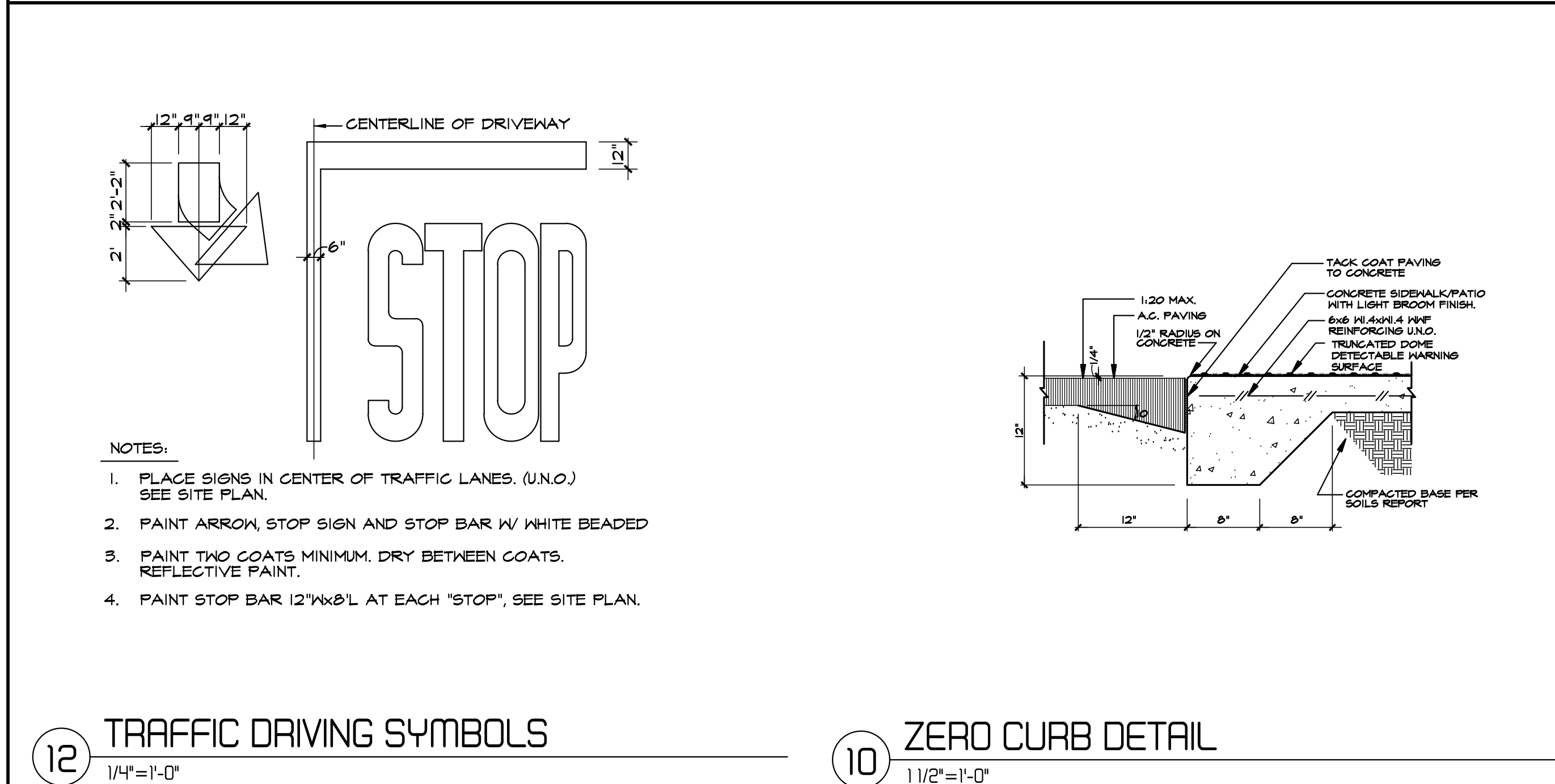
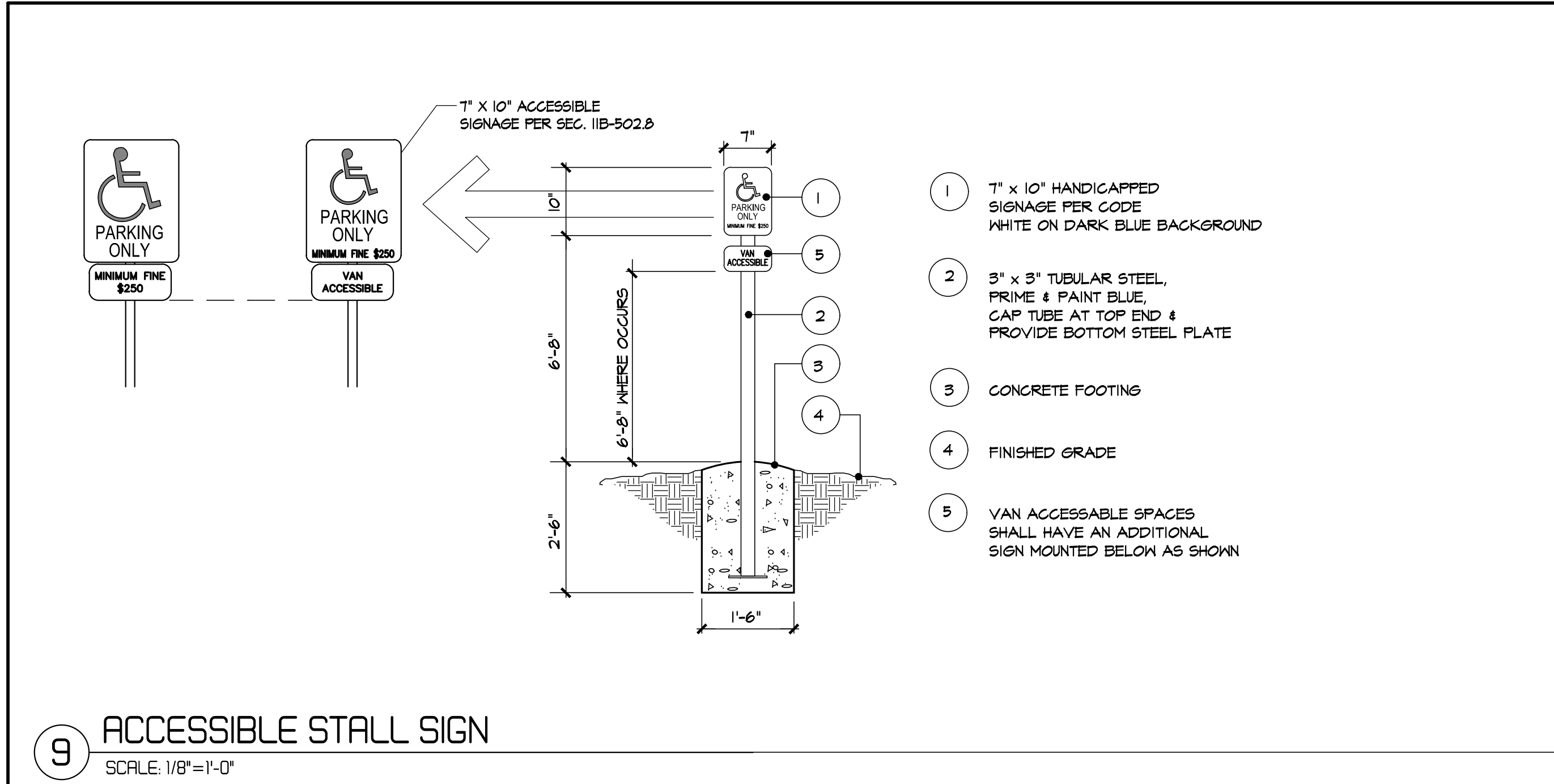
keynotes a

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- 2 EXISTING RIGHT OF WAY - COORDINATE WITH CIVIL
- 3 15' DEDICATION
- 3a PROPOSED 3' DEDICATION & ASSOCIATED SIDEWALK WIDENING
- 3b 5' DEDICATION - REQUESTING TO BE WAIVED
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- 5 CITY SETBACK
- 6 TRASH ENCLOSURE & TRASH CHUTES ABOVE - CONCRETE BLOCK PAINTED. 8FT MIN CEILING HEIGHTS
- 7 CONCRETE WHEEL STOP, TYPICAL. PER DETAIL (b) (ap-19)
- 8 LANDSCAPING ARE - PER LANDSCAPE PLANS
- 9 KNOX BOX - AT MOTORIZED ACCESS GATES TYP. INSTALLATION & LOCATION SHALL BE APPROVED AND DETERMINED BY FIRE DEPT.
- 10 STRUCTURAL COLUMN - PER STRUCTURAL PLANS
- 11 BUILDING STAIRS WITH GLASS III STANDPIPE SYSTEM WITH 2 1/2" & 1 1/2" REDUCING OUTLETS LOCATED AT EACH LANDING AND PER 100 FOOT OF HOSE AND 30 FOOT OF STREAM, NOTE 1/A WITH ROOF ACCESS HATCH
- 12 BUILDING ELEVATOR
- 13 STANDARD PARKING STALL PER DETAIL (c) (ap-19)
- 14 ADA PARKING STALL PER DETAIL (d) (ap-19)
- 15 TANDEM PARKING STALL
- 16 COMPACT PARKING STALL
- 17 ZERO CURB PER DETAIL (e) (ap-19)
- 18 ADA CURB / RAMP PER DETAIL (f) (ap-19)
- 19 GAS METERS
- 20 BASEMENT RAMP
- 21 BASEMENT RETAINING WALL
- 22 TRANSFORMER, SWITCH, AND CAPACITOR LOCATION
- 23 RESIDENTIAL BICYCLE LONG TERM BIKE RACKS IN SECURE LOCKING ENCLOSURE & WITHIN 50-FT WALKING DISTANCE OF AN ELEVATOR.
- 24 RESIDENTIAL BICYCLE SHORT TERM PARKING RACK WITHIN 50-FT OF THE MAIN PEDESTRIAN ENTRANCE TO BUILDING - PER DETAIL (g) (ap-19)
- 25 RETAIL BICYCLE SHORT TERM PARKING RACK PER DETAIL (h) (ap-19)
- 26 HOV PARKING STALL
- 27 CLEAN AIR VEHICLE PARKING STALL
- 28 ELECTRICAL VEHICLE CHARGING STATION - (EVCS) PER CBC 11B-228.3 AND TABLE 11B-228.3.2.1 OUTLINE OF BUILDING ABOVE
- 29 PHOTOVOLTAIC SYSTEM WITH AT LEAST ONE KILOWATT (1 KW) FOR EACH 10,000 SQ. FT. OF GROSS FLOOR AREA, OR FRACTION THEREOF, AND SHALL COMPLY WITH 2019 ENERGY CODE, 2016 CALIFORNIA FIRE CODE CHAPTER 6 SECTION 605.111 - 605.112, CALIFORNIA BUILDING CODE, OR CALIFORNIA RESIDENTIAL CODE, AND CALIFORNIA ELECTRICAL CODE.
- 30 RIDE SHARE PARKING STALL
- 31 REFER TO SHEET AP18 FOR WASTE MANAGEMENT PLAN
- 32 REFER TO SHEET AP18-A FOR PUBLIC LIMITED METER PARKING TRUCK PICK UP SCHEDULE
- 33 ENHANCED CROSSWALK AT INTERSECTION
- 34 REFER TO SHEET ap-xx FOR PUBLIC LIMITED METER PARKING & DAYCARE LOADING & UNLOADING SCHEDULE
- 35 PARKING STALLS & METER COORDINATE WITH SHEET AP18-A
- 36 EMERGENCY / PANIC KIOSK
- 37 TRASH CHUTES
- 38 DASHED LINE INDICATES HANGING STORAGE CABINET UNITS, PAINTED WOOD CONSTRUCTION, PROVIDE LOCKING HASP AND DOOR PULLS. A MIN. 100 CUBIC FT. PER UNIT (MIN. DIM. OF 30")
- 39 MEDIUM LOADING AREA OF 12'X25', 300 SF MIN. 12' MIN. HEAD CLEARANCE PER COMC. 17.320.090.
- 40 42" GLASS GUARD RAILS WITH ALUMINUM ANODIZED DARK GRAY FRAMES FOR BALCONIES AND AMENITY DECK
- 41 VEHICULAR 90 DEGREE TURN PER L.A.M.C. 12.21A5 AND DETAIL (ap-5)
- 42 ONE BICYCLE SHARING SPACE WITH ACCOMPANYING BICYCLE TO BE OWNED/ENSURED/MAINTAINED BY THE PROJECT'S PROPERTY MANAGEMENT COMPANY.
- 43 NEW STRIPED CROSSWALKS FOR WASHINGTON BLVD AND ZANJA STREET CROSSINGS
- 44 NON-RESIDENTIAL USES - BICYCLE PARKING SPACES TO SERVE EMPLOYEES AND VISITORS TO THE PROJECT.
- 45 MECHANICAL SCREEN

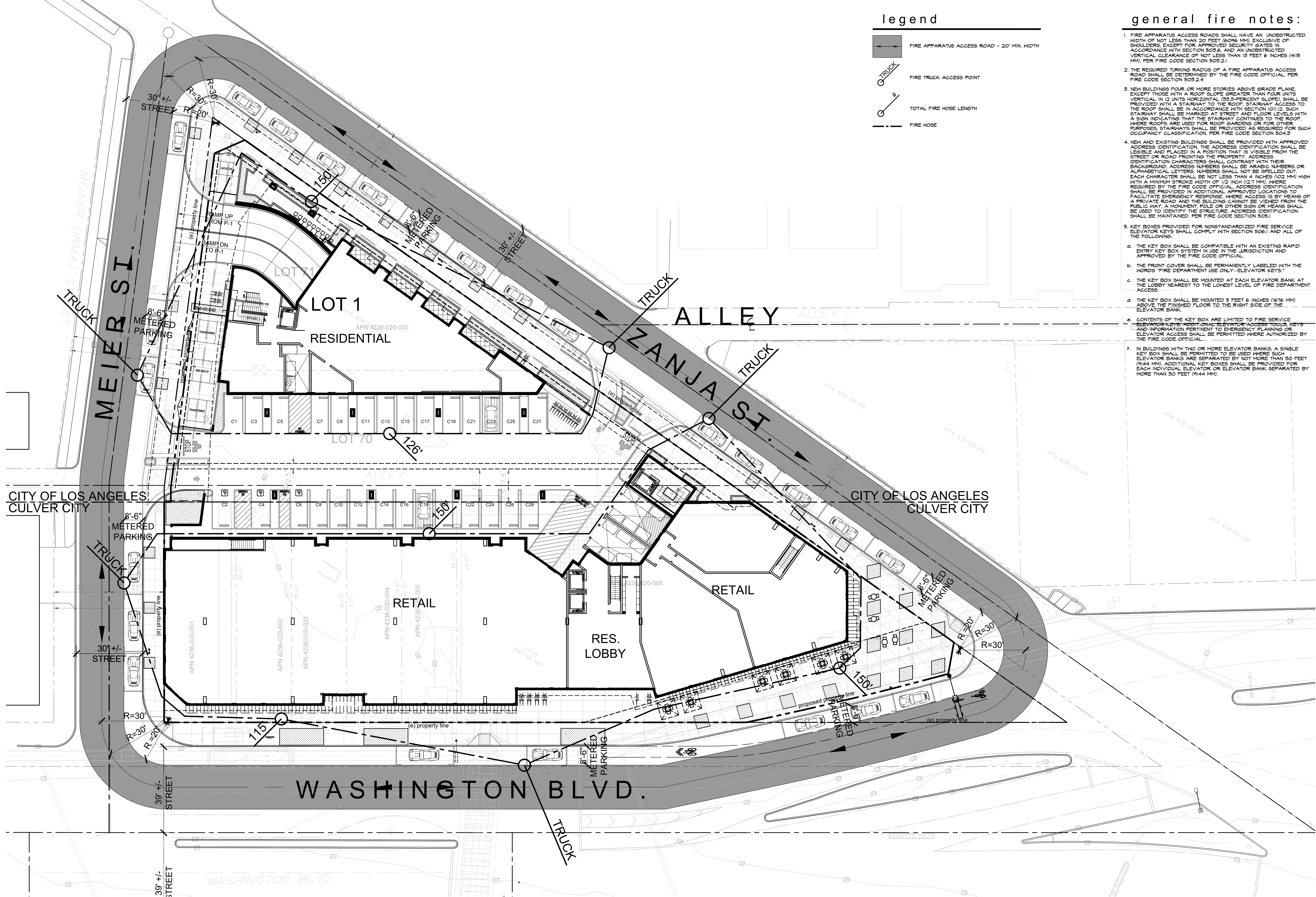


ground floor / site plan  
scale: 1/16" = 1'-0"









### legend

- FIRE APPARATUS ACCESS ROAD - 20' MIN. WIDTH
- FIRE TRUCK ACCESS POINT
- TOTAL FIRE HOSE LENGTH
- FIRE HOSE

### general fire notes:

1. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET (6096 MM), EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 505.6, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES (4115 MM), PER FIRE CODE SECTION 505.2.1.
2. THE REQUIRED TURNING RADIUS OF A FIRE APPARATUS ACCESS ROAD SHALL BE DETERMINED BY THE FIRE CODE OFFICIAL, PER FIRE CODE SECTION 505.2.4.
3. NEW BUILDINGS FOUR OR MORE STORIES ABOVE GRADE PLANE, EXCEPT THOSE WITH A ROOF SLOPE GREATER THAN FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (33.3-PERCENT SLOPE), SHALL BE PROVIDED WITH A STAIRWAY TO THE ROOF. STAIRWAY ACCESS TO THE ROOF SHALL BE IN ACCORDANCE WITH SECTION 1011.2. SUCH STAIRWAY SHALL BE MARKED AT STREET AND FLOOR LEVELS WITH A SIGN INDICATING THAT THE STAIRWAY CONTINUES TO THE ROOF. WHERE ROOFS ARE USED FOR ROOF GARDENS OR FOR OTHER PURPOSES, STAIRWAYS SHALL BE PROVIDED AS REQUIRED FOR SUCH OCCUPANCY CLASSIFICATION, PER FIRE CODE SECTION 504.3.
4. NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPILLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH (12.7 MM), WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED, PER FIRE CODE SECTION 505.1.
5. KEY BOXES PROVIDED FOR NONSTANDARDIZED FIRE SERVICE ELEVATOR KEYS SHALL COMPLY WITH SECTION 506.1 AND ALL OF THE FOLLOWING:
  - a. THE KEY BOX SHALL BE COMPATIBLE WITH AN EXISTING RAPID ENTRY KEY BOX SYSTEM IN USE IN THE JURISDICTION AND APPROVED BY THE FIRE CODE OFFICIAL.
  - b. THE FRONT COVER SHALL BE PERMANENTLY LABELED WITH THE WORDS 'FIRE DEPARTMENT USE ONLY-ELEVATOR KEYS.'
  - c. THE KEY BOX SHALL BE MOUNTED AT EACH ELEVATOR BANK AT THE LOBBY NEAREST TO THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.
  - d. THE KEY BOX SHALL BE MOUNTED 5 FEET 6 INCHES (1676 MM) ABOVE THE FINISHED FLOOR TO THE RIGHT SIDE OF THE ELEVATOR BANK.
  - e. CONTENTS OF THE KEY BOX ARE LIMITED TO FIRE SERVICE ELEVATOR KEYS, ADDITIONAL ELEVATOR ACCESS TOOLS, KEYS AND INFORMATION PERTINENT TO EMERGENCY PLANNING OR ELEVATOR ACCESS. SHALL BE PERMITTED WHERE AUTHORIZED BY THE FIRE CODE OFFICIAL.
7. IN BUILDINGS WITH TWO OR MORE ELEVATOR BANKS, A SINGLE KEY BOX SHALL BE PERMITTED TO BE USED WHERE SUCH ELEVATOR BANKS ARE SEPARATED BY NOT MORE THAN 30 FEET (9144 MM). ADDITIONAL KEY BOXES SHALL BE PROVIDED FOR EACH INDIVIDUAL ELEVATOR OR ELEVATOR BANK SEPARATED BY MORE THAN 30 FEET (9144 MM).



## general notes:

1. REPLACE SIDEWALK, CURB AND GUTTER AS NECESSARY TO MATCH ADJACENT SIDEWALKS PER PLANNING DEPARTMENT.
2. TOPOGRAPHY AT THE SITE SHOWN ON ATTACHED TOPOGRAPHY SURVEY.
3. REMOVE ALL EXISTING BUILDINGS AND THEIR COMPONENTS THAT ARE LOCATED ON THE SITE, CAP AND SEAL ALL COMPONENTS TO THE STREET UTILITIES.
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5. ALL ROOMS INTERIOR AND EXTERIOR SHALL BE PROVIDED WITH NUMBERS AND DESCRIPTION. STAIRWAYS SHALL BE MARKED AT ACCESS AND ON EACH LANDING STAIR NUMBER AND IF STAIRWAY PROVIDES ROOF ACCESS OR NO ROOF ACCESS

## keynotes:

- 1 PROPERTY LINE
- 2 EXISTING RIGHT OF WAY - COORDINATE WITH CIVIL
- 3 15' DEDICATION
- 3a PROPOSED 3' DEDICATION & ASSOCIATED SIDEWALK WIDENING
- 3b 5' DEDICATION - REQUESTING TO BE WAIVED
- 3c 3' STREET WIDENING & IMPROVEMENTS - REQUESTING TO BE WAIVED
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- 8 LANDSCAPING ARE - PER LANDSCAPE PLANS
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CITY OF LOS ANGELES  
CULVER CITY

CITY OF LOS ANGELES  
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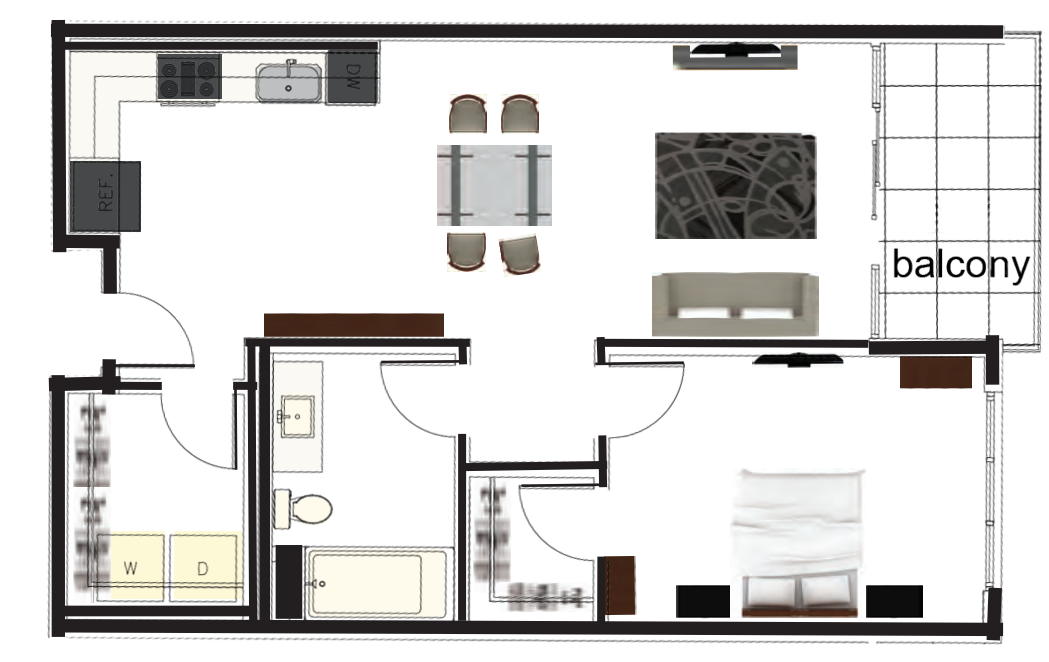
second level floor plan

scale: 1/16" = 1'-0"

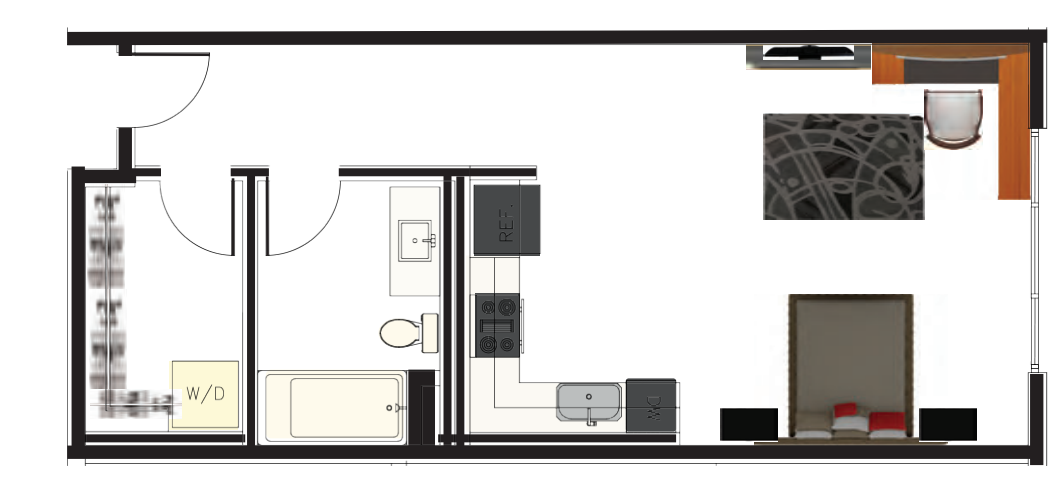




2 Bedroom  
1,105 SQ. FT.



1 Bedroom  
854 SQ. FT.



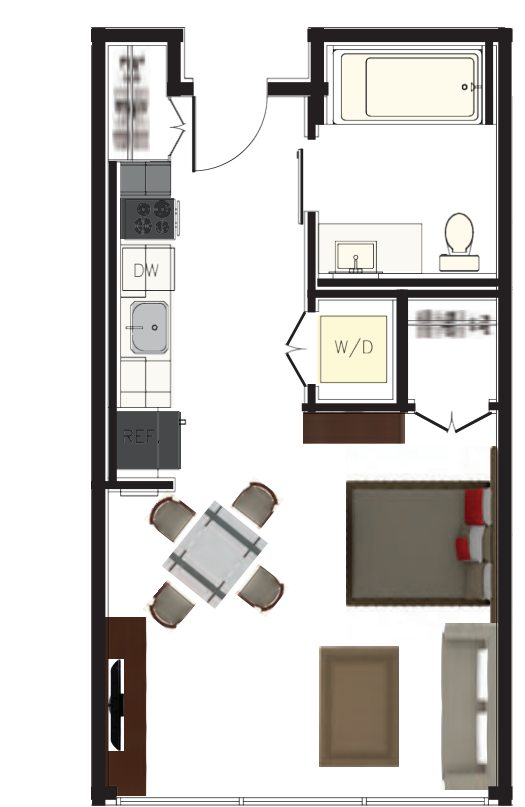
Studio  
653 SQ. FT.



2 Bedroom  
1,200 SQ. FT.



2 Bedroom  
1,191 SQ. FT.



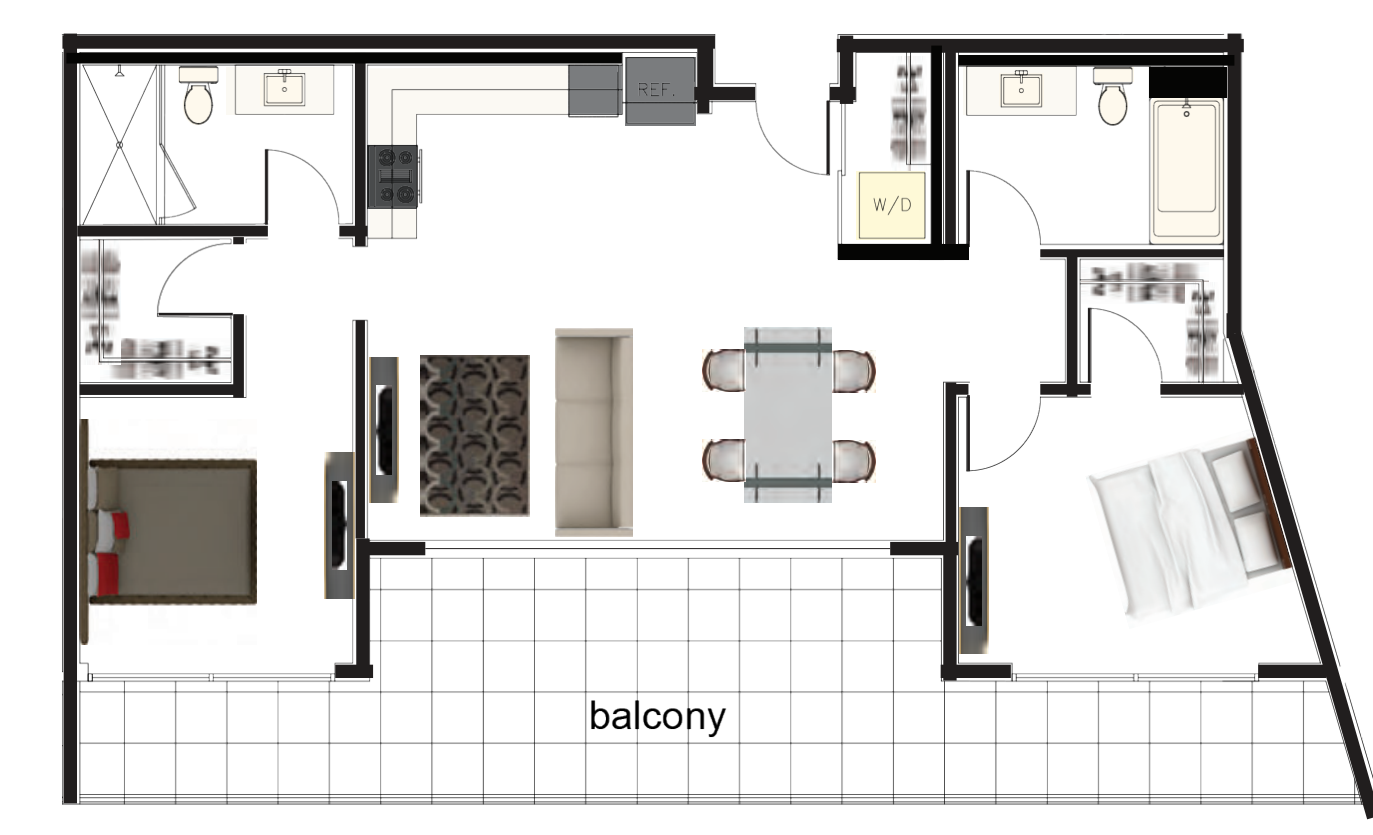
Studio  
500 SQ. FT.



1 Bedroom  
951 SQ. FT.



2 Bedroom  
1,298 SQ. FT.



2 Bedroom  
1,144 SQ. FT.

Typical Unit Plans  
Scale: 1/8" = 1'-0"



general notes:

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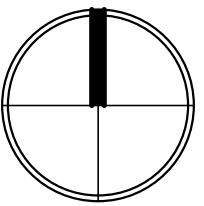
28619 agoura road  
agoura hills : california 91301

t: 818.584.0057 f: 866.800.1289  
w: pkarchitecture.net



Triangle Center - mixed use building

12727 Washington Boulevard  
Culver City, California 90066



true north

apc

third level floor plan

scale: 1/16" = 1'-0"

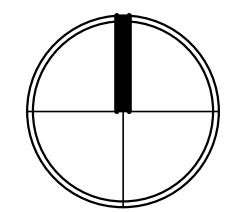


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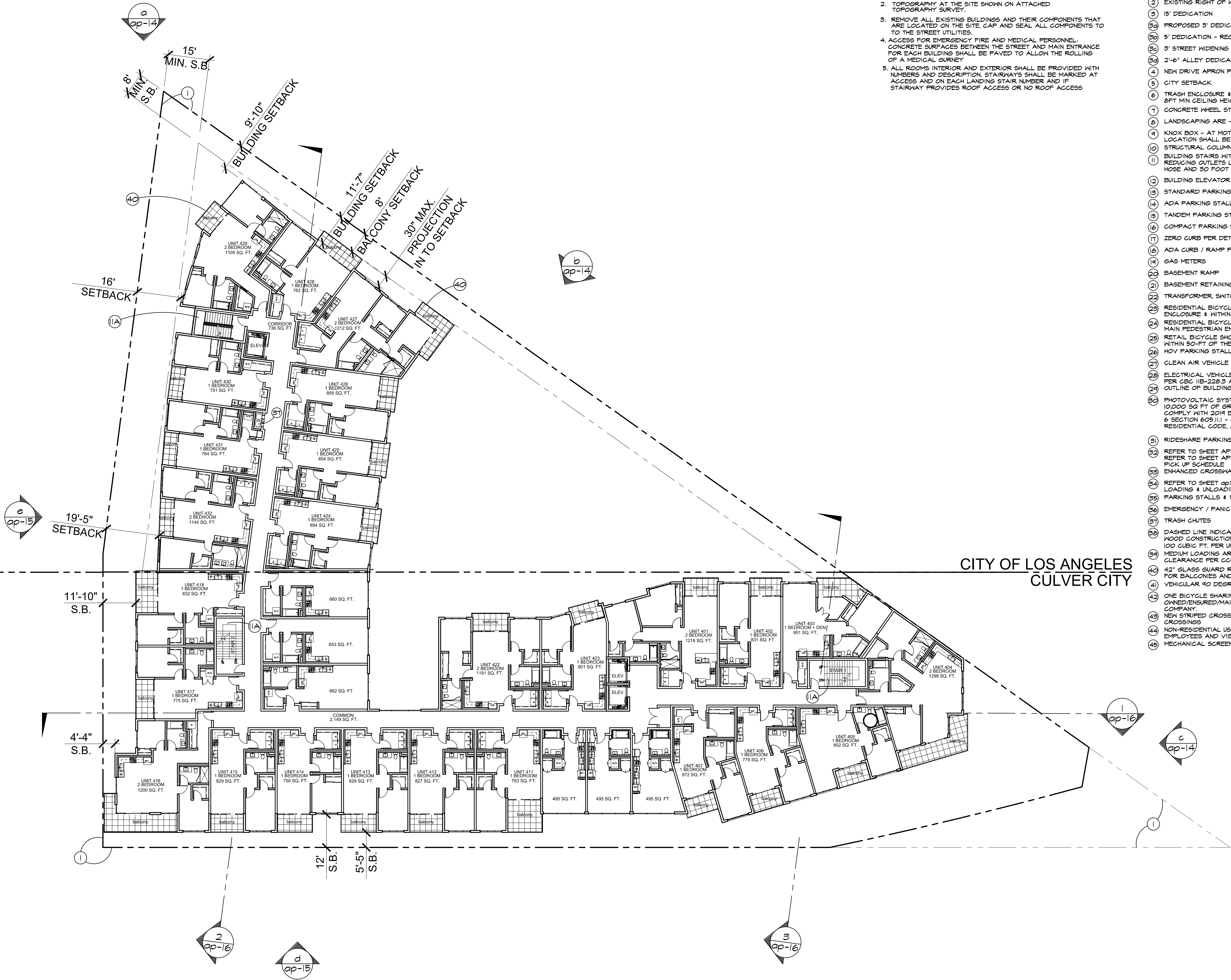
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true north

fourth level floor plan

scale: 1/16" = 1'-0"



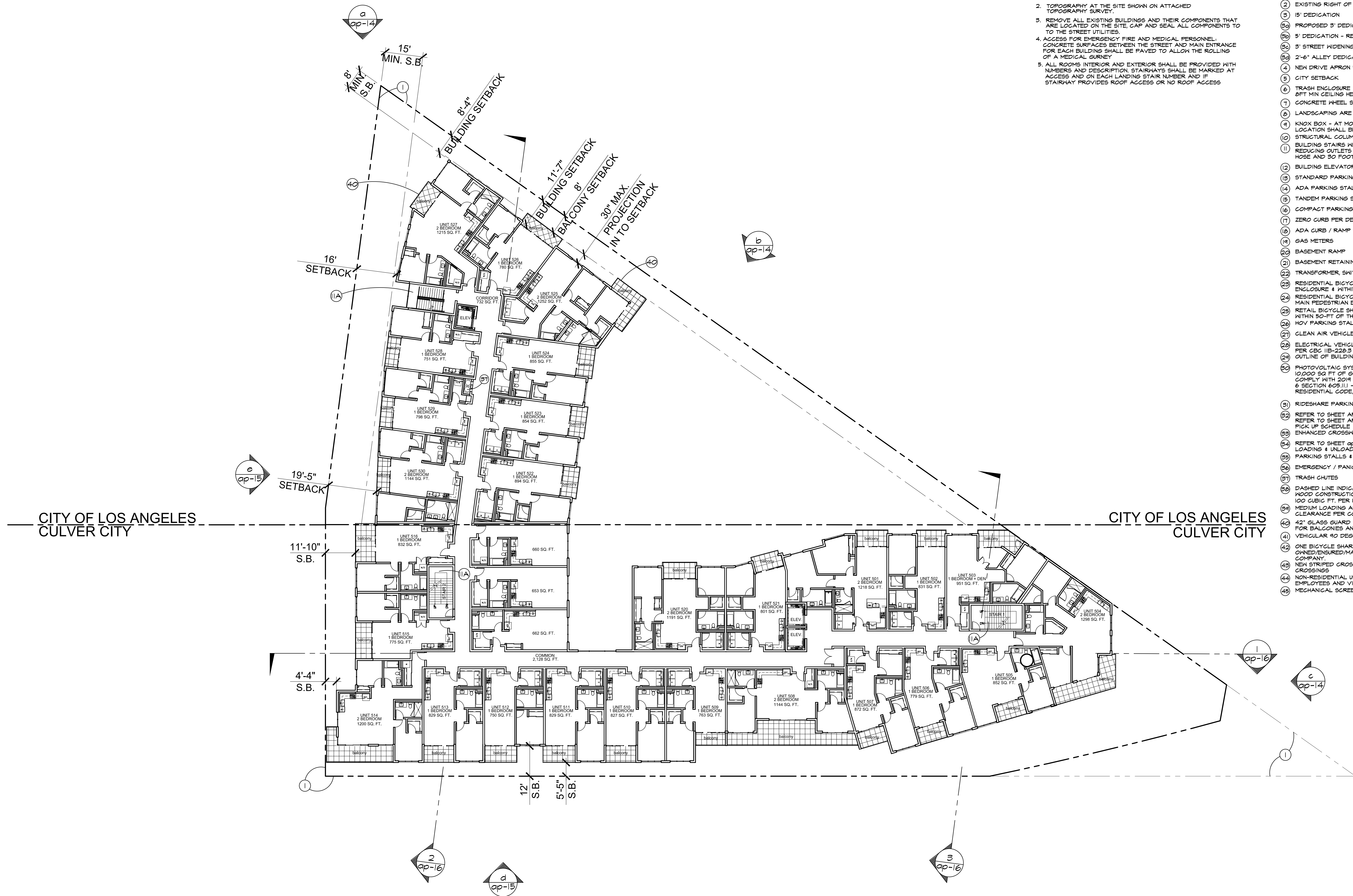


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fifth level floor plan  
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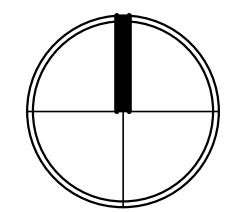


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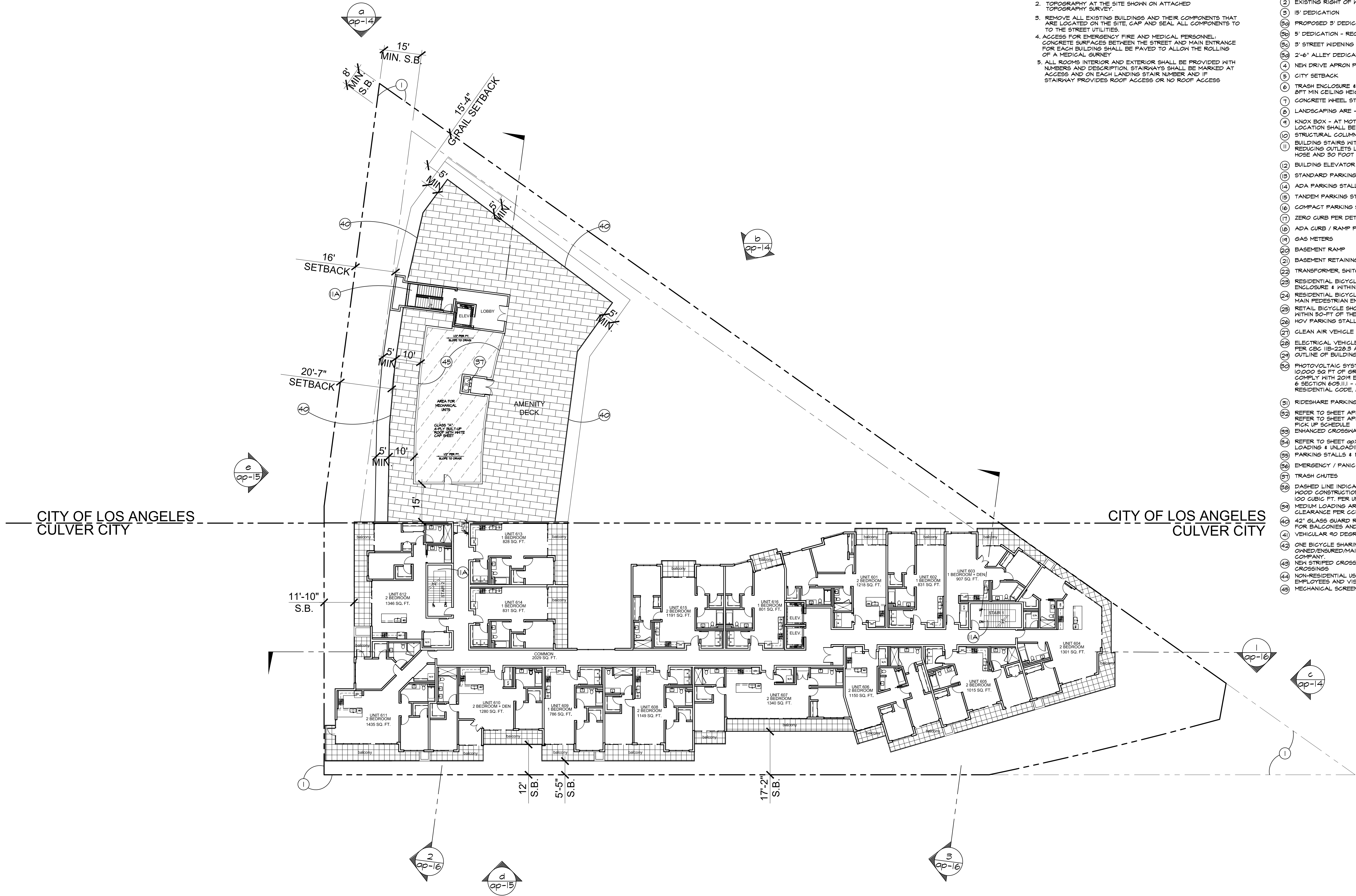
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- 30 PHOTOVOLTAIC SYSTEM WITH AT LEAST ONE KILOWATT (1 KW) FOR EACH 10,000 SQ FT OF GROSS FLOOR AREA, OR FRACTION THEREOF, AND SHALL COMPLY WITH 2019 ENERGY CODE, 2016 CALIFORNIA FIRE CODE CHAPTER 6 SECTION 605.11.1 - 605.11.2, CALIFORNIA BUILDING CODE, OR CALIFORNIA RESIDENTIAL CODE, AND CALIFORNIA ELECTRICAL CODE.
- 31 RIDESHARE PARKING STALL
- 32 REFER TO SHEET AP18 FOR WASTE MANAGEMENT PLAN
- 33 REFER TO SHEET AP18-A FOR PUBLIC LIMITED METER PARKING TRUCK PICK UP SCHEDULE
- 34 ENHANCED CROSSWALK AT INTERSECTION
- 35 REFER TO SHEET 02XX FOR PUBLIC LIMITED METER PARKING & DAYCARE LOADING & UNLOADING SCHEDULE
- 36 PARKING STALLS & METER COORDINATE WITH SHEET AP18-A
- 37 EMERGENCY / PANIC KIOSK
- 38 TRASH CHUTES
- 39 DASHED LINE INDICATES HANGING STORAGE CABINET UNITS. PAINTED WOOD CONSTRUCTION. PROVIDE LOCKING HASP AND DOOR PULLS. A MIN. 100 CUBIC FT. PER UNIT (MIN. DIM. OF 30")
- 40 MEDIUM LOADING AREA OF 12'X25', 300 SF MIN. 12' MIN. HEAD CLEARANCE PER COMC 11.920.050.
- 41 42" GLASS GUARD RAILS WITH ALUMINUM ANODIZED DARK GRAY FRAMES FOR BALCONIES AND AMENITY DECK
- 42 VEHICULAR 90 DEGREE TURN PER L.A.M.C. 12.21A5 AND DETAIL (ap-5)
- 43 ONE BICYCLE SHARING SPACE WITH ACCOMPANYING BICYCLE TO BE OWNED/ENSURED/MAINTAINED BY THE PROJECT'S PROPERTY MANAGEMENT COMPANY.
- 44 NEW STRIPED CROSSWALKS FOR WASHINGTON BLVD AND ZANJA STREET CROSSINGS
- 45 NON-RESIDENTIAL USES - BICYCLE PARKING SPACES TO SERVE EMPLOYEES AND VISITORS TO THE PROJECT.
- 46 MECHANICAL SCREEN

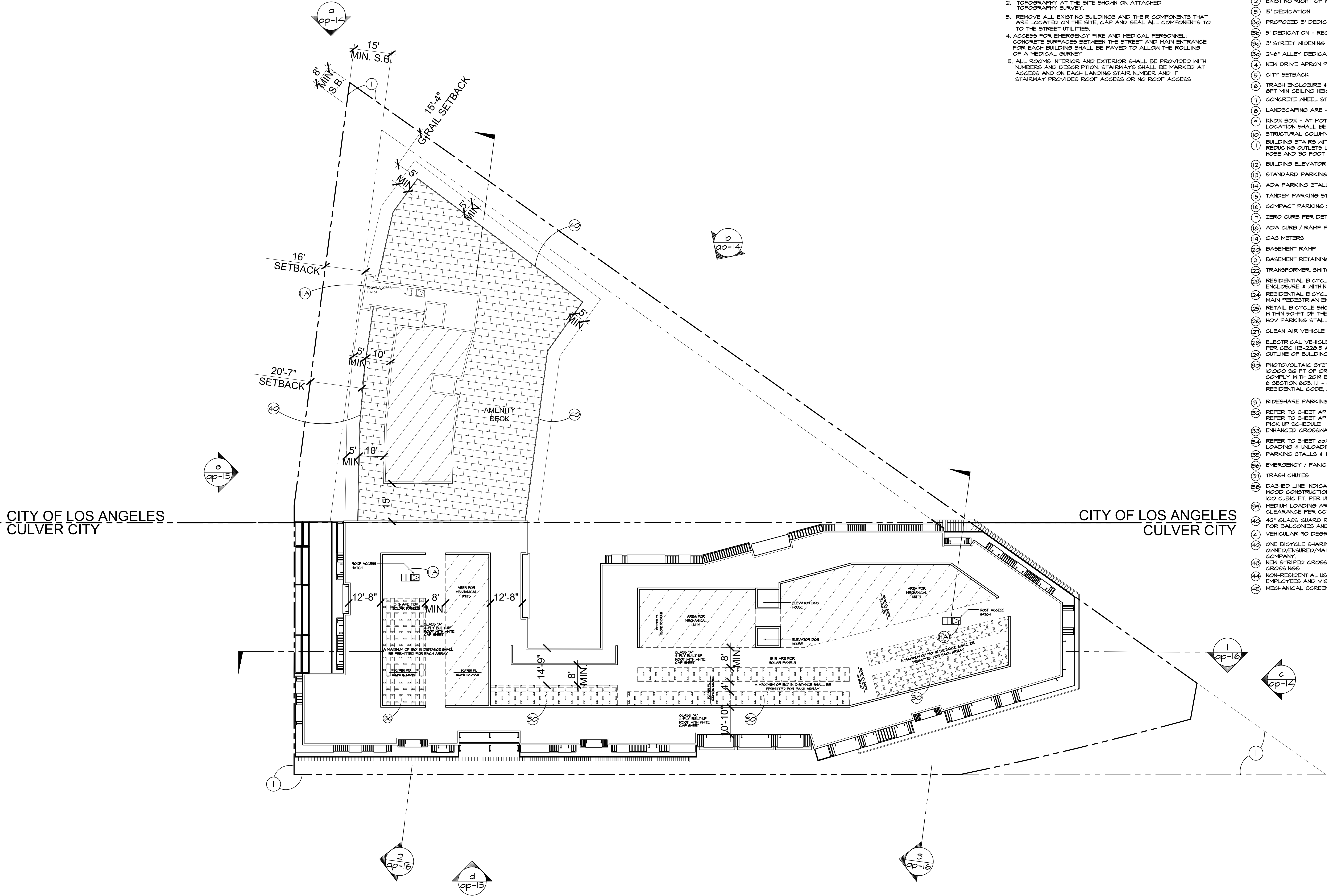


true north



sixth level floor plan  
scale: 1/16" = 1'-0"





general notes:

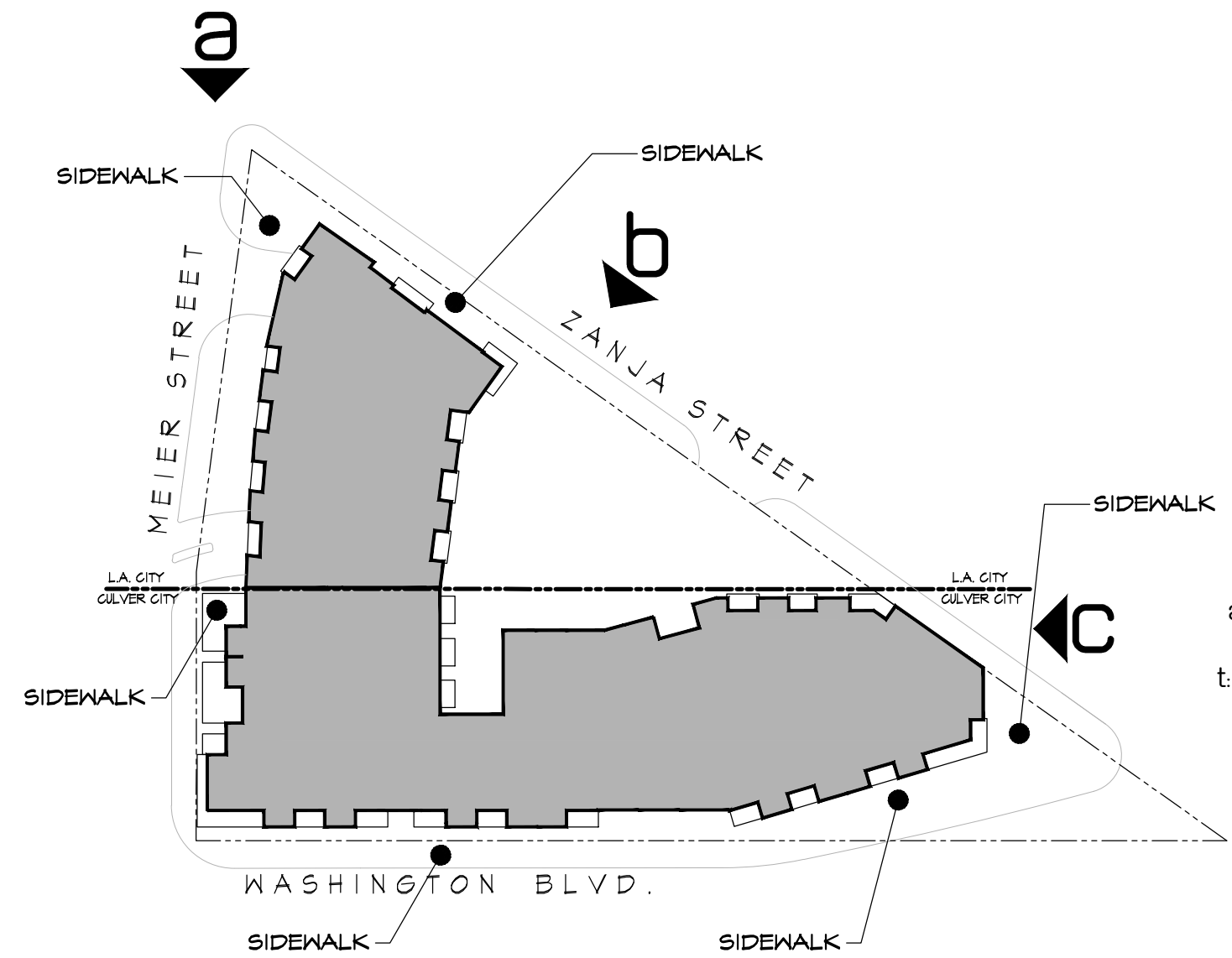
1. REPLACE SIDEWALK, CURB AND GUTTER AS NECESSARY TO MATCH ADJACENT SIDEWALKS PER PLANNING DEPARTMENT.
2. TOPOGRAPHY AT THE SITE SHOWN ON ATTACHED TOPOGRAPHY SURVEY.
3. REMOVE ALL EXISTING BUILDINGS AND THEIR COMPONENTS THAT ARE LOCATED ON THE SITE, CAP AND SEAL ALL COMPONENTS TO THE STREET UTILITIES.
4. ACCESS FOR EMERGENCY FIRE AND MEDICAL PERSONNEL. CONCRETE SURFACES BETWEEN THE STREET AND MAIN ENTRANCE FOR EACH BUILDING SHALL BE PAVED TO ALLOW THE ROLLING OF A MEDICAL GURNET.
5. ALL ROOMS INTERIOR AND EXTERIOR SHALL BE PROVIDED WITH NUMBERS AND DESCRIPTION. STAIRWAYS SHALL BE MARKED AT ACCESS AND ON EACH LANDING STAIR NUMBER AND IF STAIRWAY PROVIDES ROOF ACCESS OR NO ROOF ACCESS.

keynotes:

- 1 PROPERTY LINE
- 2 EXISTING RIGHT OF WAY - COORDINATE WITH CIVIL
- 3 15' DEDICATION
- 3a PROPOSED 3' DEDICATION & ASSOCIATED SIDEWALK WIDENING
- 3b 5' DEDICATION - REQUESTING TO BE WAIVED
- 3c 3' STREET WIDENING & IMPROVEMENTS - REQUESTING TO BE WAIVED
- 3d 2'-6" ALLEY DEDICATION - REQUESTING TO BE WAIVED
- 4 NEW DRIVE APRON PER CIVIL DRAWINGS AND THE CITY OF L.A.
- 5 CITY SETBACK
- 6 TRASH ENCLOSURE & TRASH CHUTES ABOVE - CONCRETE BLOCK PAINTED. 8FT MIN CEILING HEIGHTS
- 7 CONCRETE WHEEL STOP, TYPICAL. PER DETAIL (b) (ap-19)
- 8 LANDSCAPING ARE - PER LANDSCAPE PLANS
- 9 KNOX BOX - AT MOTORIZED ACCESS GATES TYP. INSTALLATION & LOCATION SHALL BE APPROVED AND DETERMINED BY FIRE DEPT.
- 10 STRUCTURAL COLUMN - PER STRUCTURAL PLANS
- 11 BUILDING STAIRS WITH GLASS III STANDPIPE SYSTEM WITH 2 1/2" & 1 1/2" REDUCING OUTLETS LOCATED AT EACH LANDING AND PER 100 FOOT OF HOSE AND 50 FOOT OF STREAM, NOTE 11A WITH ROOF ACCESS HATCH
- 12 BUILDING ELEVATOR
- 13 STANDARD PARKING STALL PER DETAIL (1) (-)
- 14 ADA PARKING STALL PER DETAIL (1) (ap-19)
- 15 TANDEM PARKING STALL
- 16 COMPACT PARKING STALL
- 17 ZERO CURB PER DETAIL
- 18 ADA CURB / RAMP PER DETAIL (6) (ap-19)
- 19 GAS METERS
- 20 BASEMENT RAMP
- 21 BASEMENT RETAINING WALL
- 22 TRANSFORMER, SWITCH, AND CAPACITOR LOCATION
- 23 RESIDENTIAL BICYCLE LONG TERM BIKE RACKS IN SECURE LOCKING ENCLOSURE & WITHIN 50-FT WALKING DISTANCE OF AN ELEVATOR.
- 24 RESIDENTIAL BICYCLE SHORT TERM PARKING RACK WITHIN 50-FT OF THE MAIN PEDESTRIAN ENTRANCE TO BUILDING - PER DETAIL (1) (ap-19)
- 25 RETAIL BICYCLE SHORT TERM PARKING RACK PER DETAIL (1) (ap-19)
- 26 HOV PARKING STALL
- 27 CLEAN AIR VEHICLE PARKING STALL
- 28 ELECTRICAL VEHICLE CHARGING STATION - (EVCS) PER CBC 11B-228.3 AND TABLE 11B-228.3.2.1 OUTLINE OF BUILDING ABOVE
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roof plan  
scale: 1/16" = 1'-0"





#### keynotes:

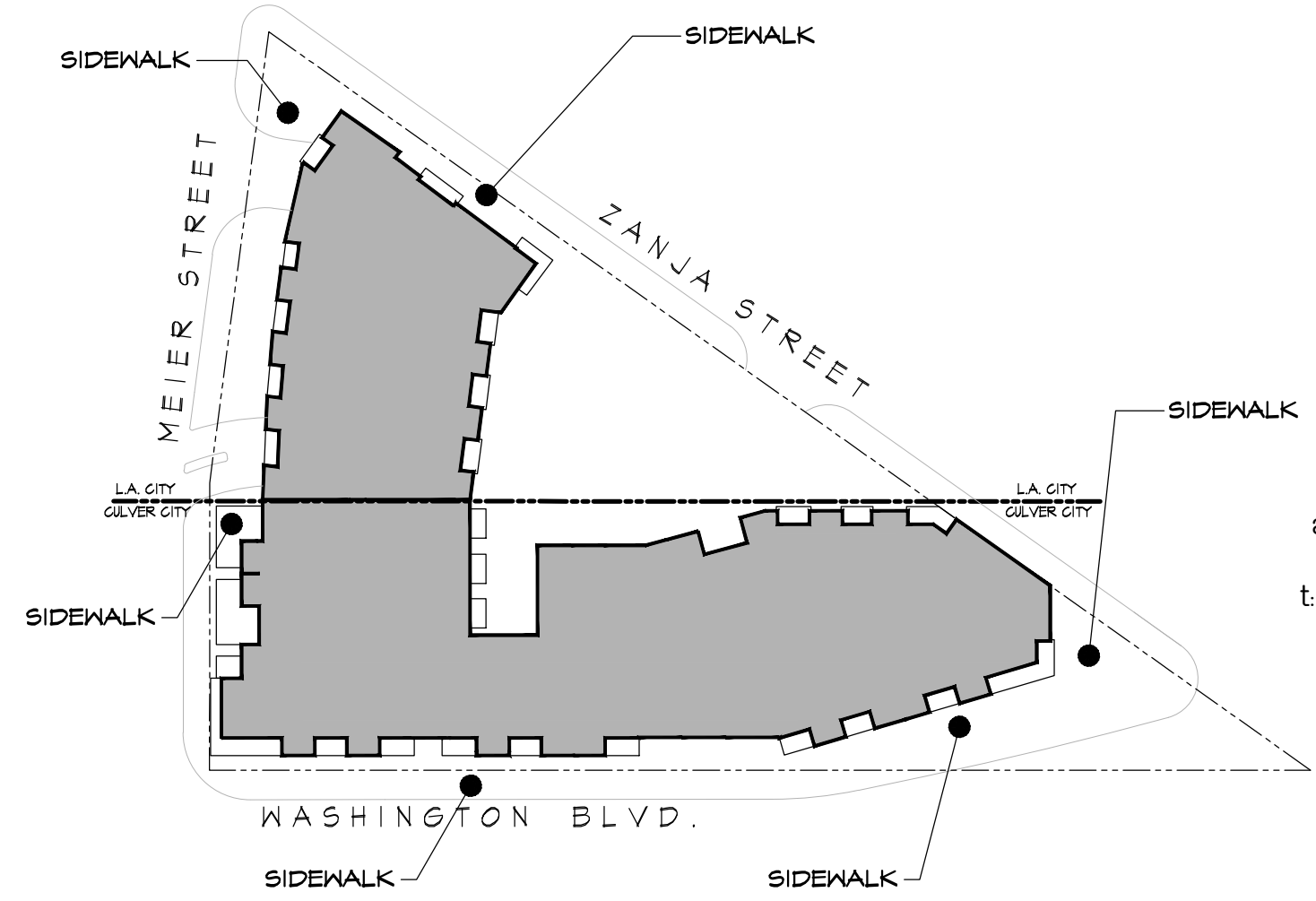
- 1 EXTERIOR STUCCO: HARD TROWEL, SMOOTH FINISH, PAINTED TO MATCH SPUN EDWARDS DE6384 - IRON FIXTURE
- 2 EXTERIOR CLADDING: WOOD COLOR PANEL
- 3 EXTERIOR CLADDING (SOFFIT): WOOD COLOR PANELS (UNDER CANOPIES & BALCONIES)
- 4 CORRUGATED, ANODIZED DARK GRAY
- 5 CONCRETE: EXPOSED CONCRETE WALL WITH 6 INCH BOARD FORM PATTERN, DARK GRAY
- 6 METAL STOREFRONT / CANOPY: ALUMINUM ANODIZED DARK GRAY
- 7 METAL STOREFRONT: ALUMINUM ANODIZED CLEAR
- 8 ROOF SCREEN: MECHANICAL METAL SCREEN
- 9 GLAZING: CLEAR GLASS
- 10 42" GLASS GUARD RAILS WITH ALUMINUM ANODIZED DARK GRAY FRAMES
- 11 CORTEN OR SIMILAR
- 12 ADDRESS - FRONT-LIT CHANNEL LETTERS ABOVE CANOPY

#### general notes:

1. FASCIA AND TOPS OF EXTERIOR WALLS SHALL BE CONSTRUCTED OF HARD MATERIALS ABLE TO WITHSTAND THE WEIGHT OF FIREFIGHTERS AND FIREFIGHTING EQUIPMENT. CONTACT CGFD FOR REQUIREMENTS. (NO FOAM PRODUCTS SHALL BE USED.)
2. PARAPETS IN EXCESS OF FIVE FEET SHALL HAVE CATWALKS AND LADDERS, CONTACT CGFD FOR REQUIREMENTS.







key plan  
scale: 1/64" = 1'-0"

keynotes:

- 1 EXTERIOR STUCCO, HARD TROWEL, SMOOTH FINISH, PAINTED TO MATCH SPUN EDWARDS DE6384 - IRON FIXTURE
- 2 EXTERIOR CLADDING: WOOD COLOR PANEL
- 3 EXTERIOR CLADDING (SOFFIT); WOOD COLOR PANELS (UNDER CANOPIES & BALCONIES)
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d- south elevation - washington blvd.



e - west elevation - meier street





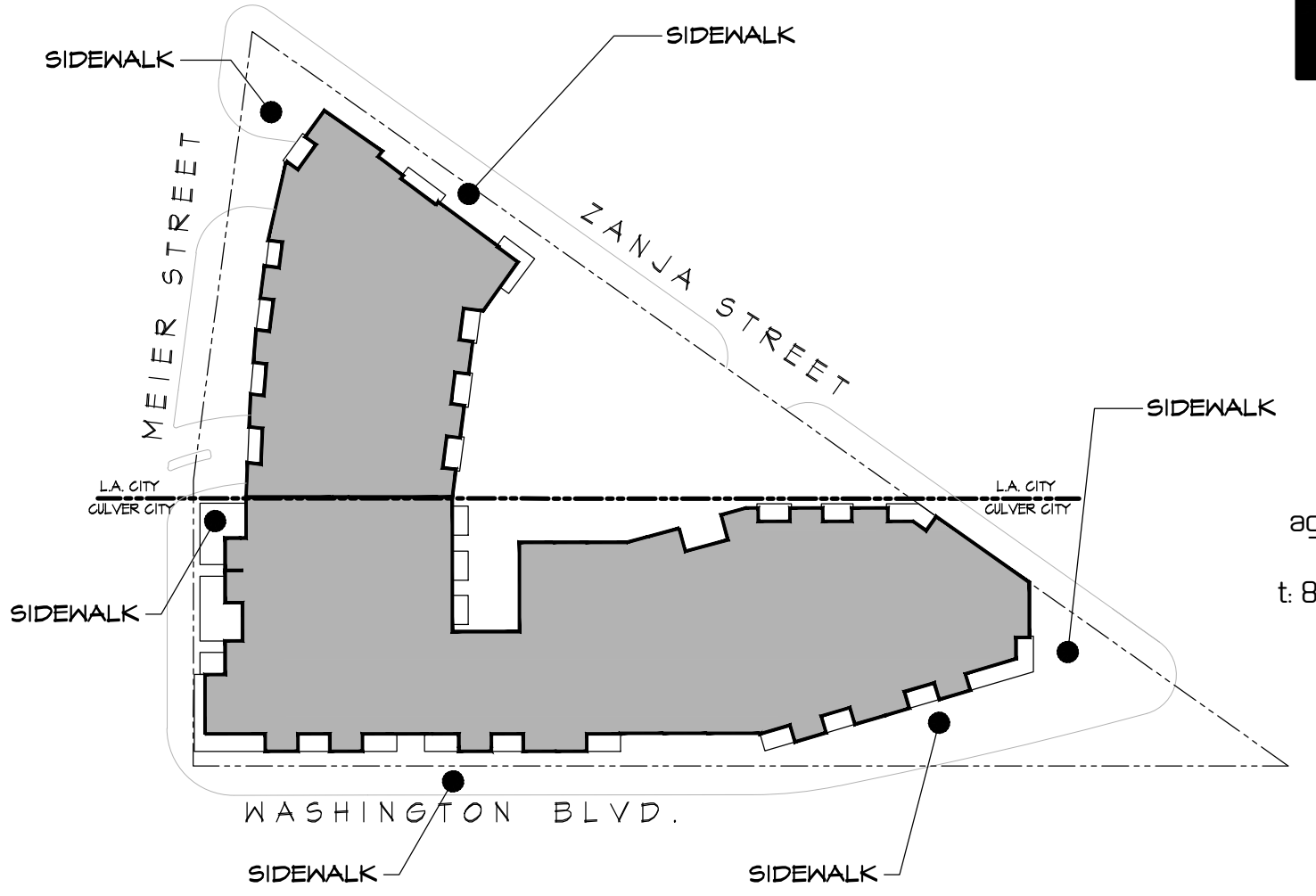
building section 1



building section 2



building section 3

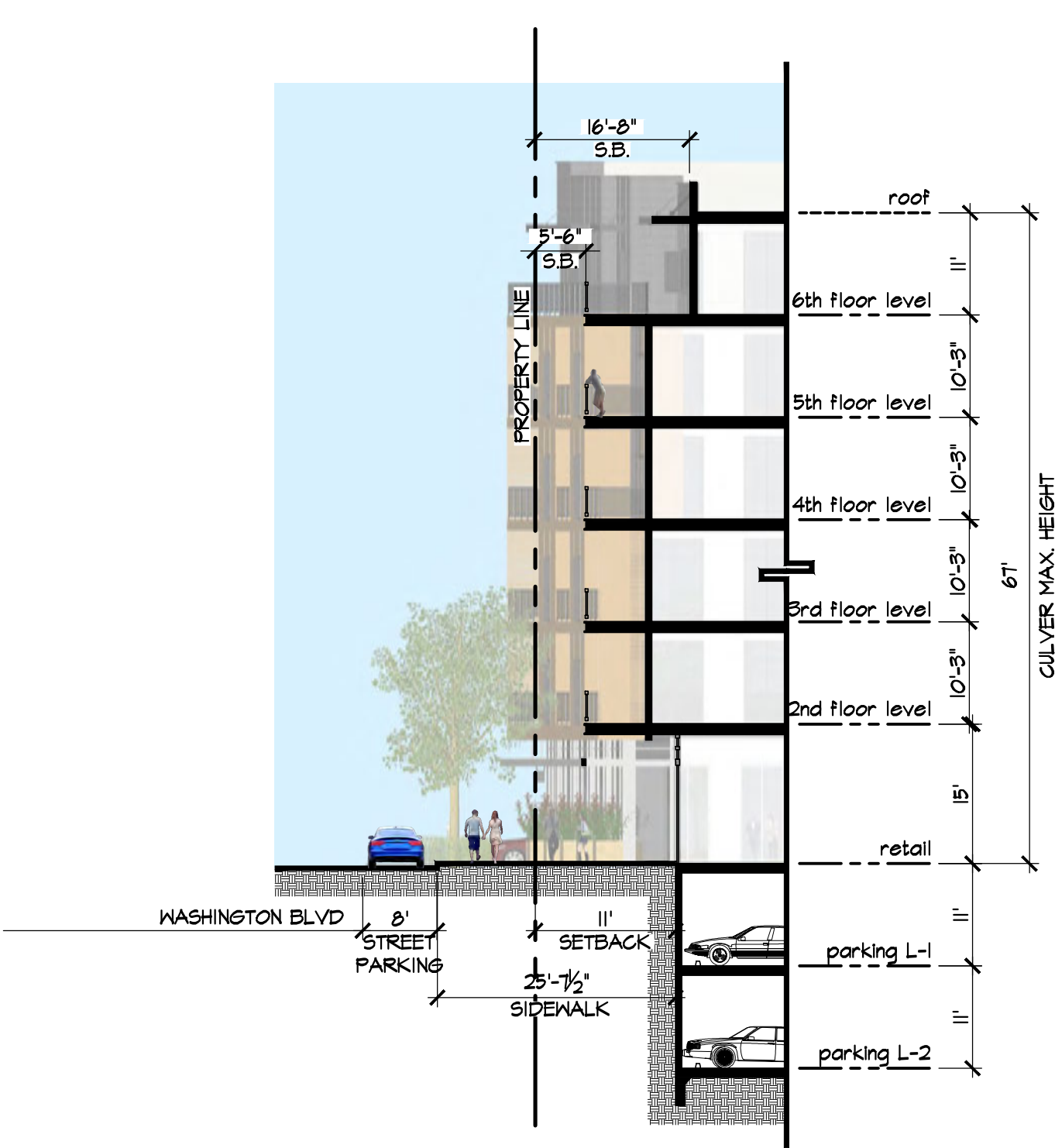


key plan  
scale: 1/64" = 1'-0"

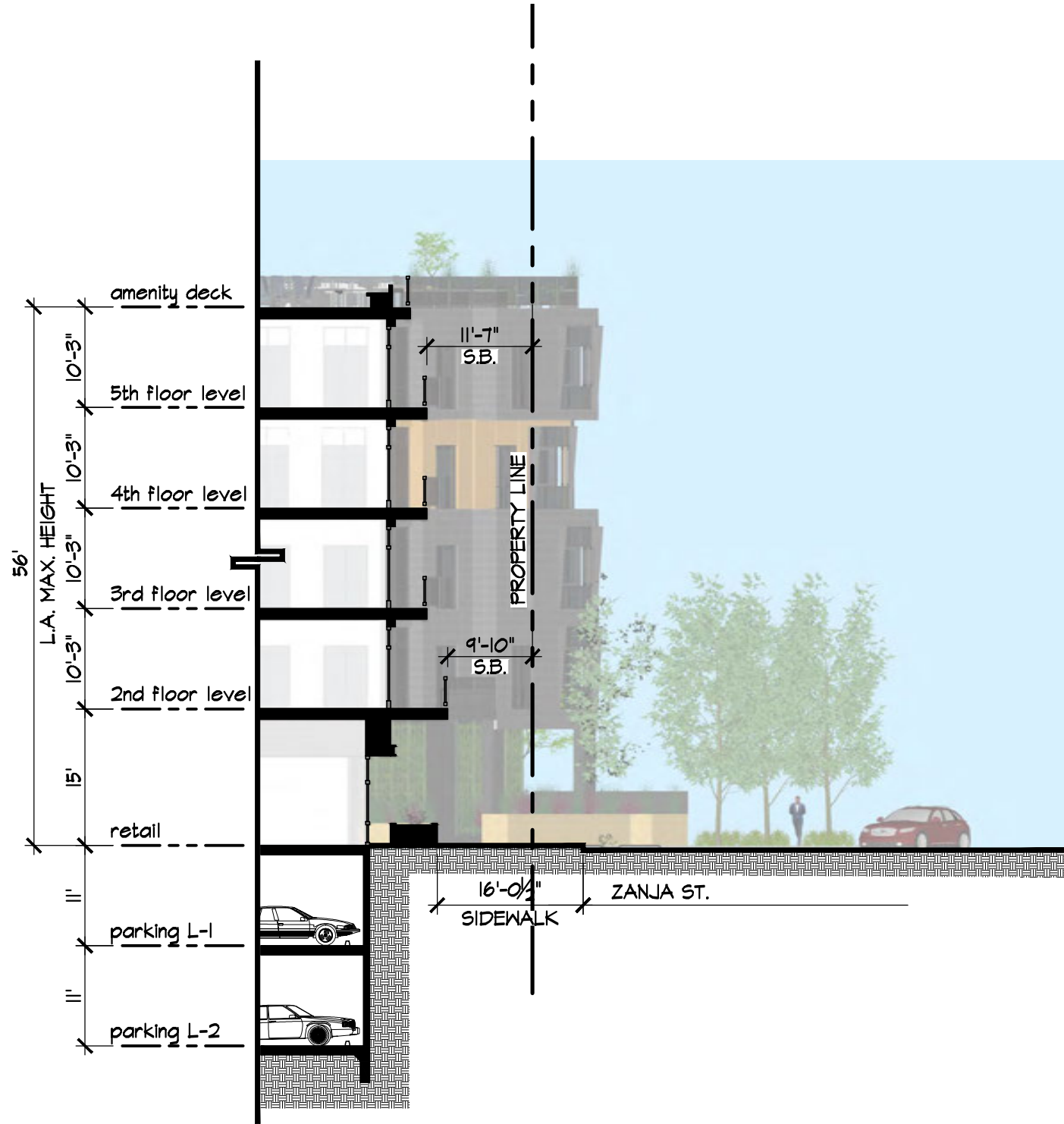
general notes:

1. FASCIA AND TOPS OF EXTERIOR WALLS SHALL BE CONSTRUCTED OF HARD MATERIALS ABLE TO WITHSTAND THE WEIGHT OF FIREFIGHTERS AND FIREFIGHTING EQUIPMENT. CONTACT CCFD FOR REQUIREMENTS. (NO FOAM PRODUCTS SHALL BE USED.)
2. PARAPETS IN EXCESS OF FIVE FEET SHALL HAVE CATHALKS AND LADDERS. CONTACT CCFD FOR REQUIREMENTS.

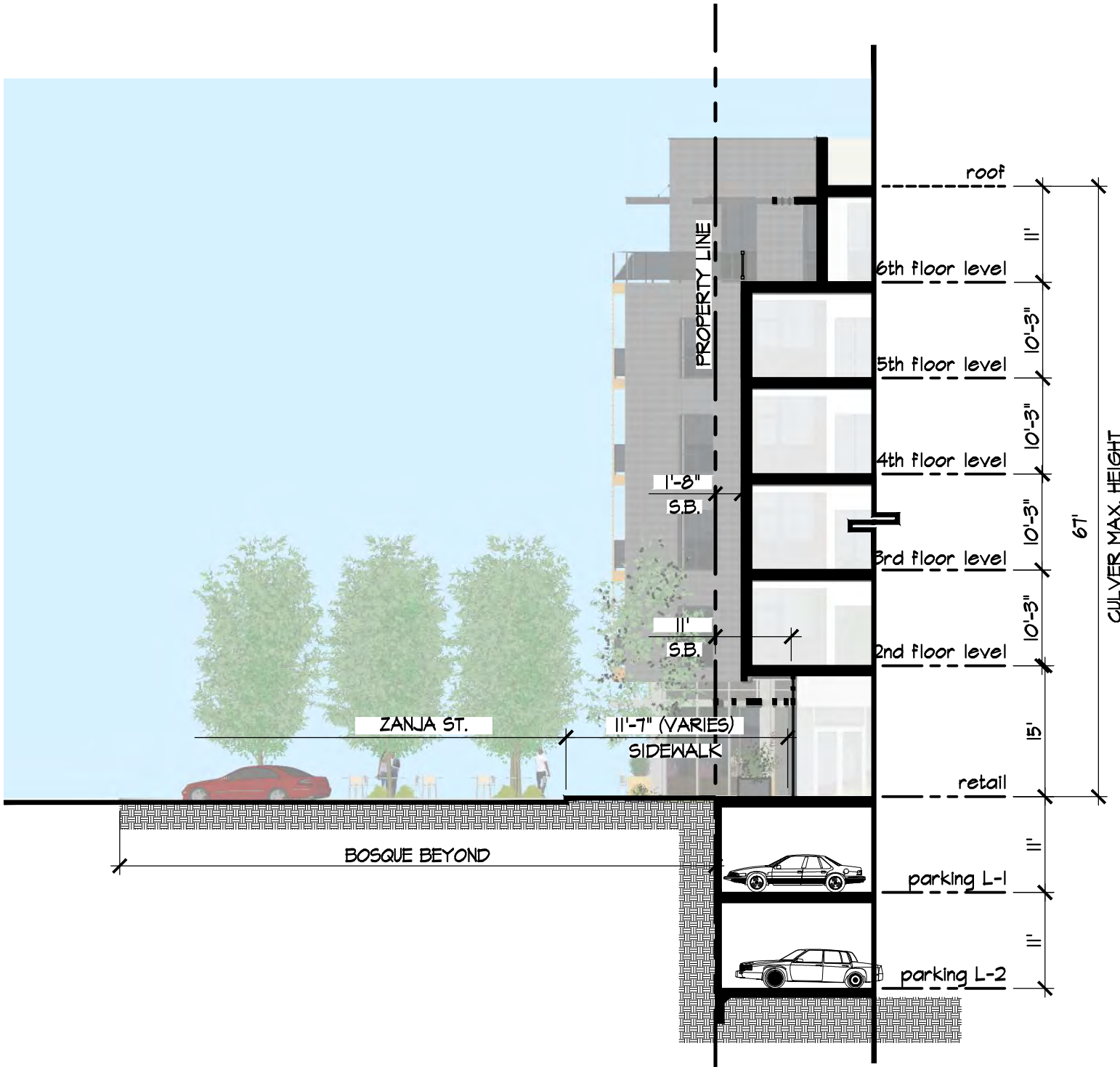




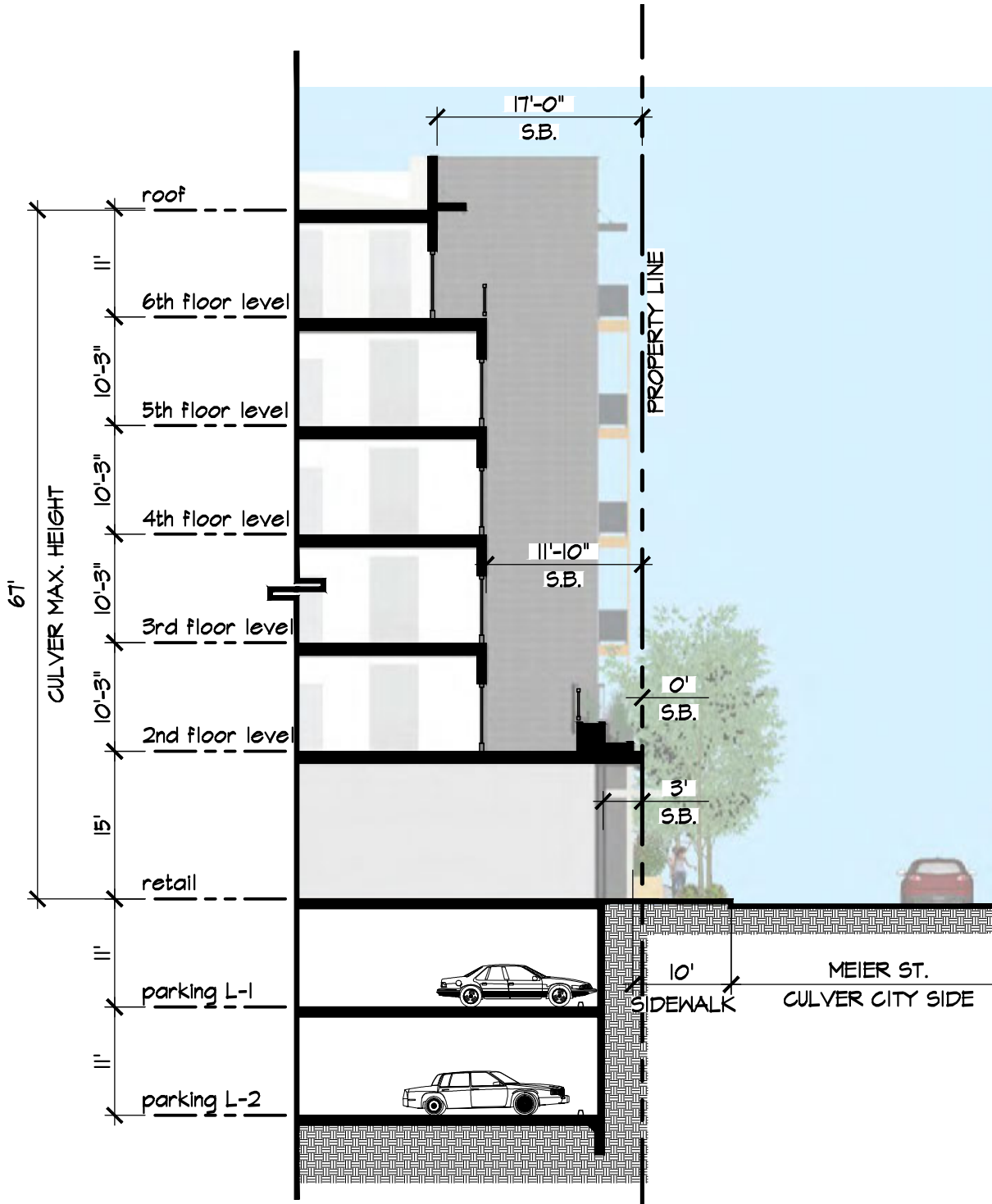
building section 4



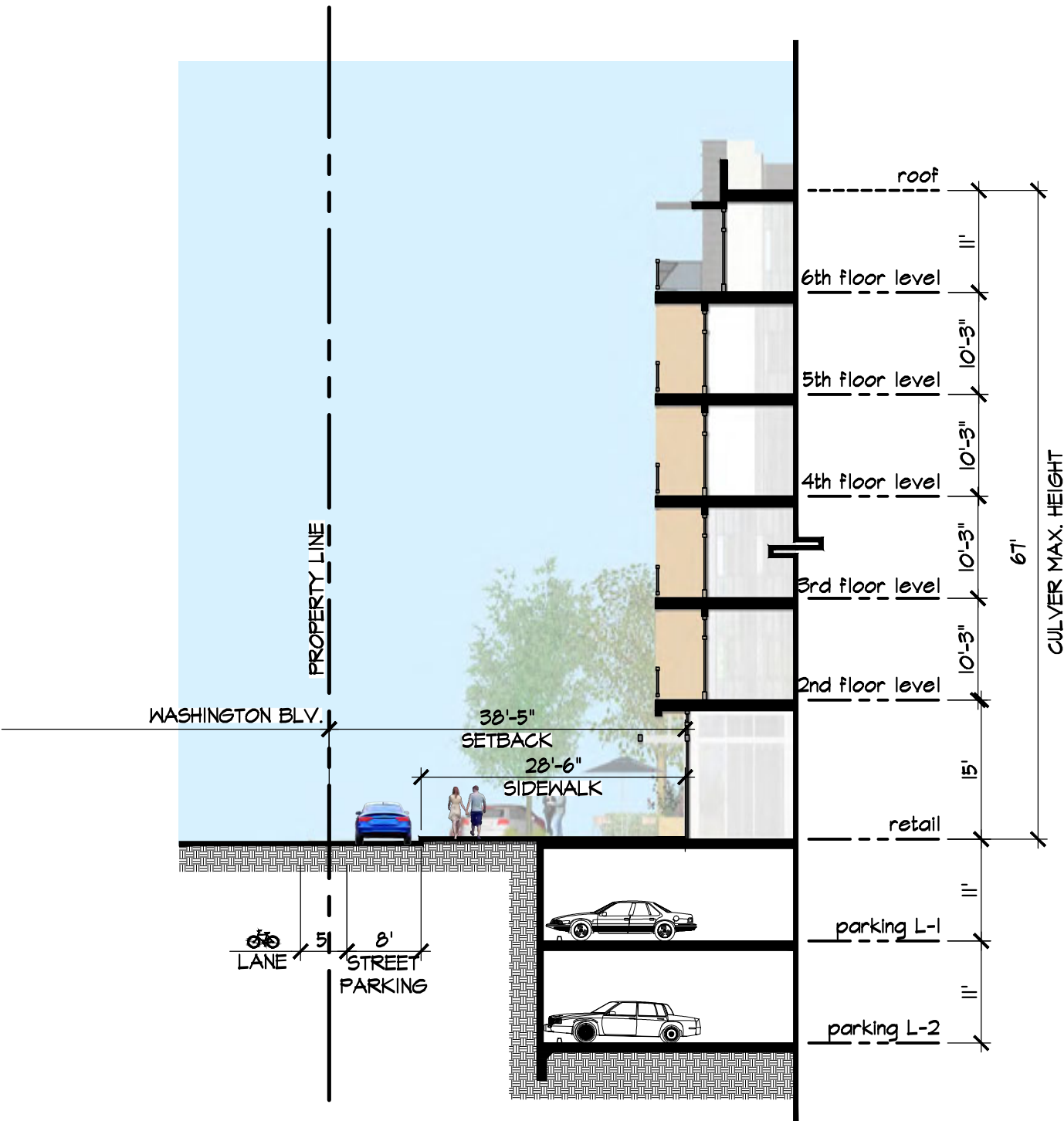
building section 5



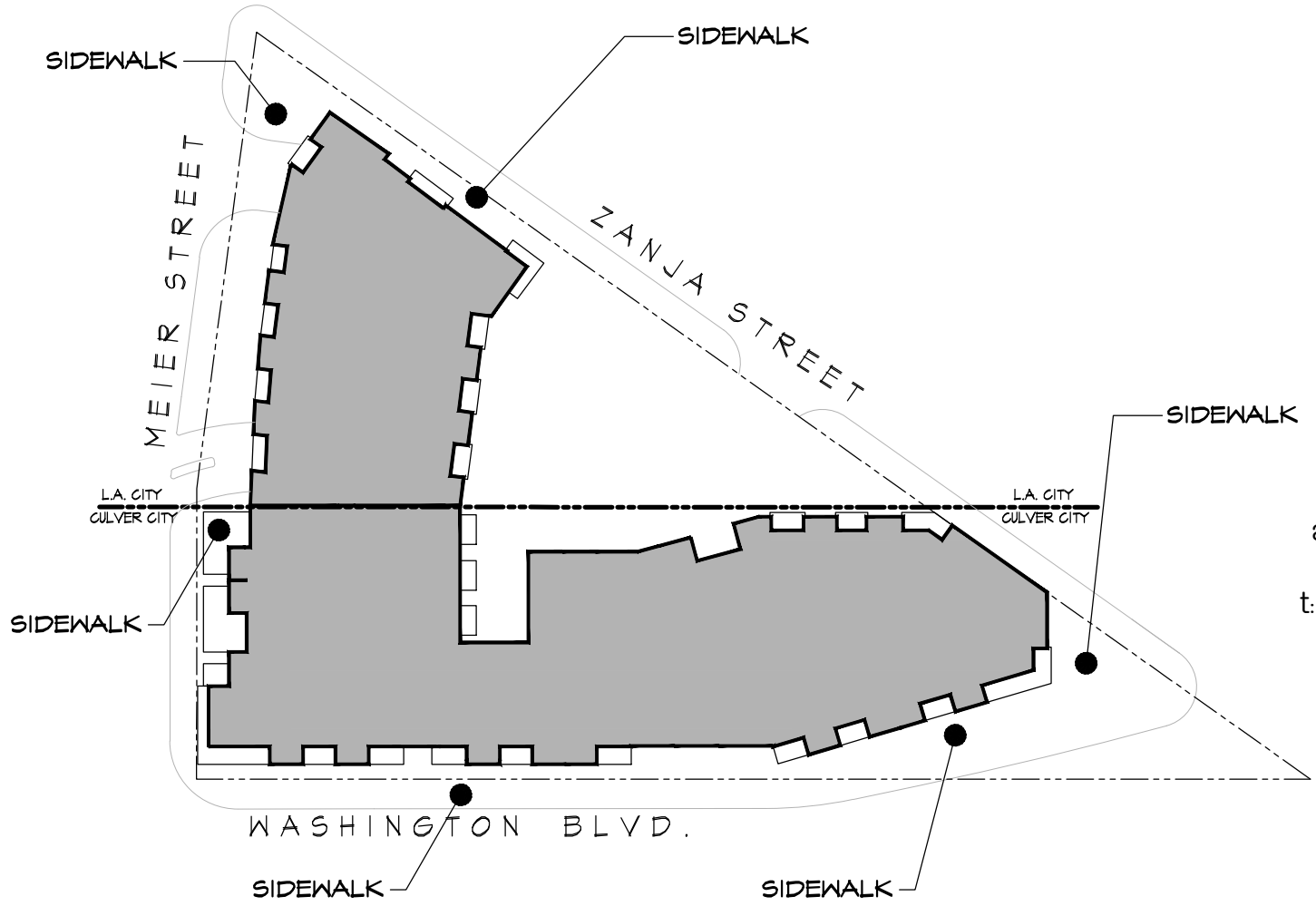
building section 6



building section 7



building section 8



key plan  
scale: 1/64" = 1'-0"

general notes:

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2. PARAPETS IN EXCESS OF FIVE FEET SHALL HAVE CATHWALKS AND LADDERS. CONTACT CCFD FOR REQUIREMENTS.

Triangle Center - mixed use building  
12727 Washington Boulevard  
Culver City, California 90066

pk:architecture

28619 agoura road  
agoura hills . california 91301  
t: 818.584.0057 f: 866.800.1289  
w: pkarchitecture.net

BASTION  
DEVELOPMENT CORPORATION

building sections  
scale: 1/16" = 1'-0"

date: 04/22/2021  
job number: 17-6110

ap17



general notes:

1. SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING SHALL BE PERFORMED EXCLUSIVELY BY THE CITY OR ITS AUTHORIZED AGENTS. THE CITY SHALL COMPLY WITH ALL APPLICABLE REGULATORY ORDINANCE OR RESOLUTION, ALL ASPECTS OF SOLID WASTE, RECYCLABLE WASTE MATERIAL, AND ORGANIC WASTE HANDLING, INCLUDING, BUT NOT LIMITED TO, FREQUENCY OF COLLECTION, MEANS OF COLLECTION, AND THE NUMBER, LOCATION AND DESIGN OF COLLECTION BINS, TRASHES, AND NATURE, LOCATION AND EXTENT OF PROVIDING SOLID WASTE HANDLING SERVICES.
2. THE CITY OF CULVER CITY SHALL PROVIDE WASTE DISPOSAL AND RECYCLING SERVICES FOR ALL CONSTRUCTION & DEMOLITION PROJECTS WITHIN CITY LIMITS IN ACCORDANCE WITH CMC 5.01.010.
3. ALL PROJECT RELATED SOLID WASTE AND RECYCLABLE WASTE MATERIAL HANDLING SHALL BE IN ACCORDANCE WITH CMC SECTION 5.01.010 - SOLID WASTE MANAGEMENT, WHICH OUTLINES THE ENVIRONMENTAL PROGRAMS AND OPERATION OF THE BINS EXCLUSIVE OF THE TRASH ENCLOSURES.
4. PROJECT SHALL PROVIDE ADEQUATE TRASH, RECYCLING, AND ORGANICS WASTE CAPACITY AND COMPLY WITH ASSEMBLY BILLS 931, 1026 AND 341 WASTE DIVERSION GOALS.
5. A MINIMUM OF 10 CLEAR OPENING WITH SLING GATES OF BOTH TRASH ENCLOSURES BINS TO BE LABELED AS "RECYCLE", "REFUSE", AND "ORGANIC WASTE" ACCORDINGLY.
6. TRASH ENCLOSURES TO HAVE A 6"x8" CONCRETE CURBING ALONG THE INTERIOR WALLS PER DETAIL - "A".
7. PROVIDE A CENTRALLY LOCATED FLOOR DRAIN, CONNECT TO THE EXISTING/EXISTING PRIVATE SEWER LATERAL FOR MAINTENANCE PURPOSES.
8. TRASH AREAS WITHIN FIVE FEET OF THE BUILDING SHALL BE PROTECTED BY FIRE SPRINKLERS.

note:

trash will be installed in all trash rooms which will be connected to a private sanitary sewer

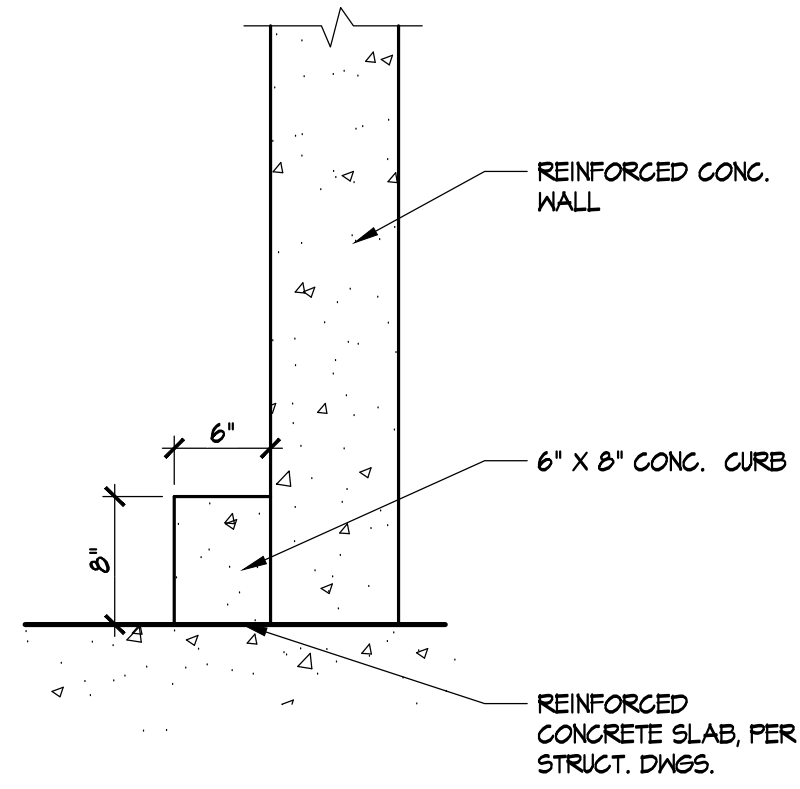
commercial trash room -

- (2) 3 yard trash bin
- (2) 3 yard recycle bin
- 100 sq ft of recycle area
- (2) 3 yard organic bin

residential trash room

- (3) 3 yard trash bin  
(2) 3 yard recycle bin  
(1) 3 yard organic bin

trash enclosure curb detail (a)

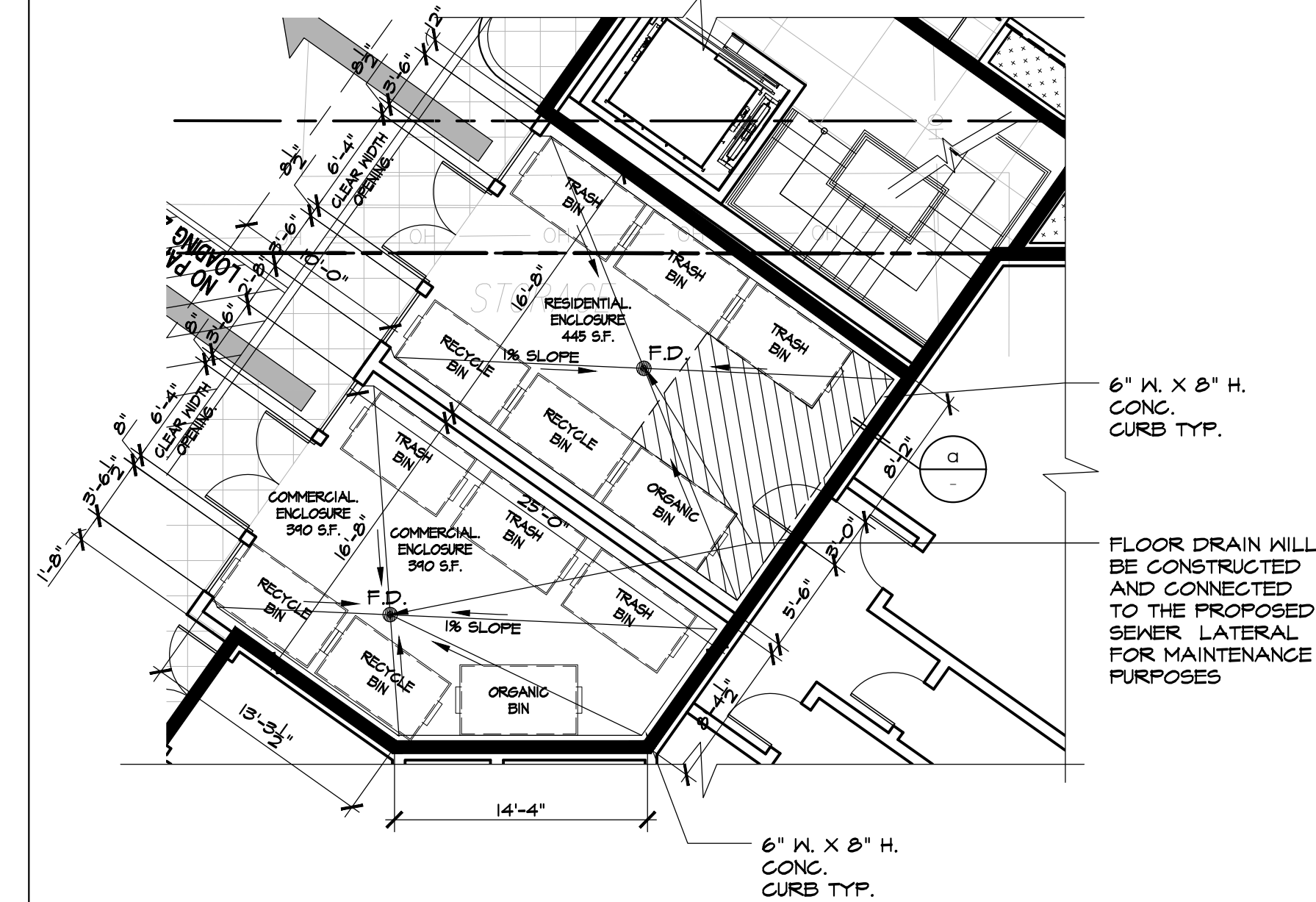


residential trash room

- (1) 3 yard trash bin
- (1) 3 yard recycle bin
- (1) 3 yard organic bin

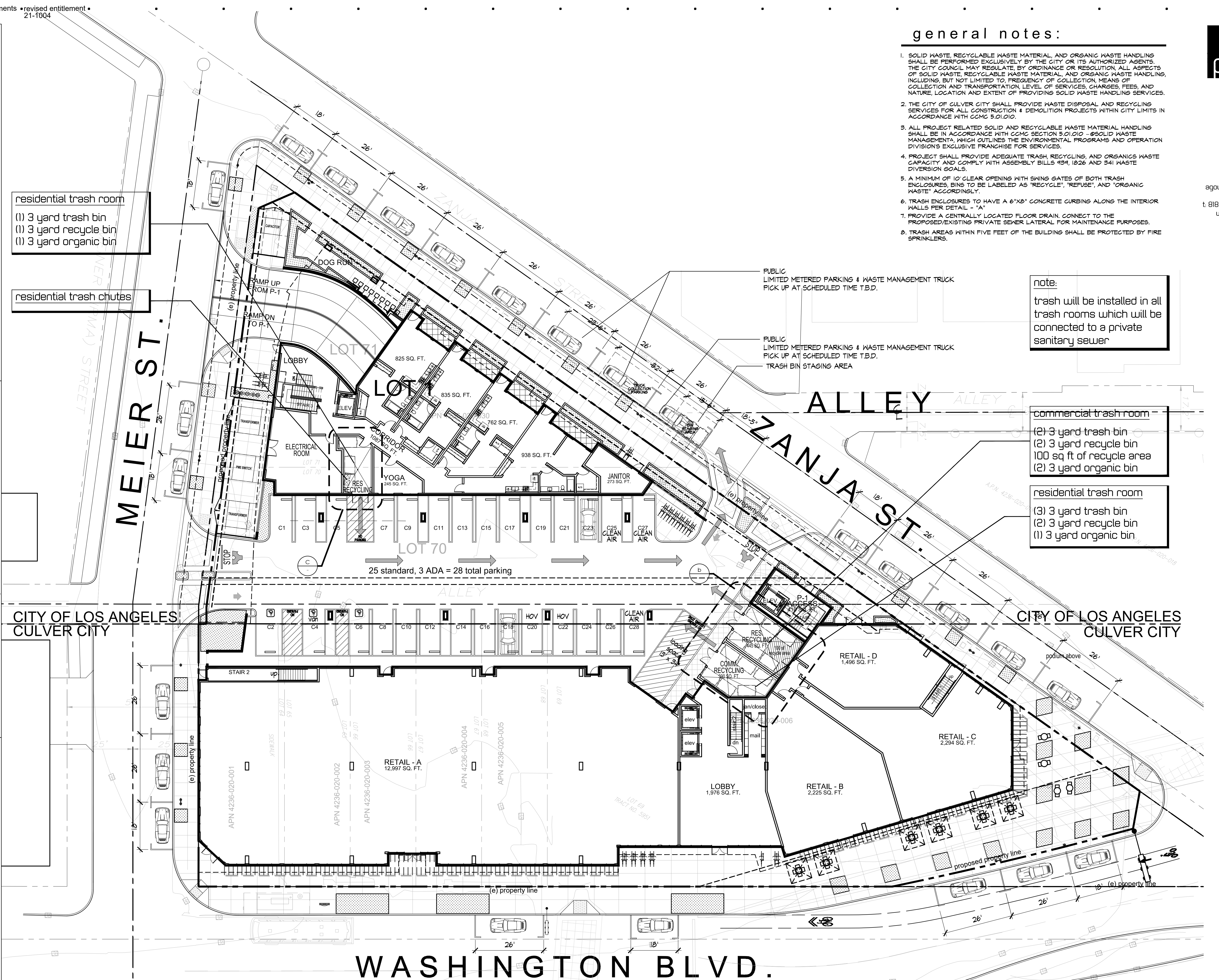
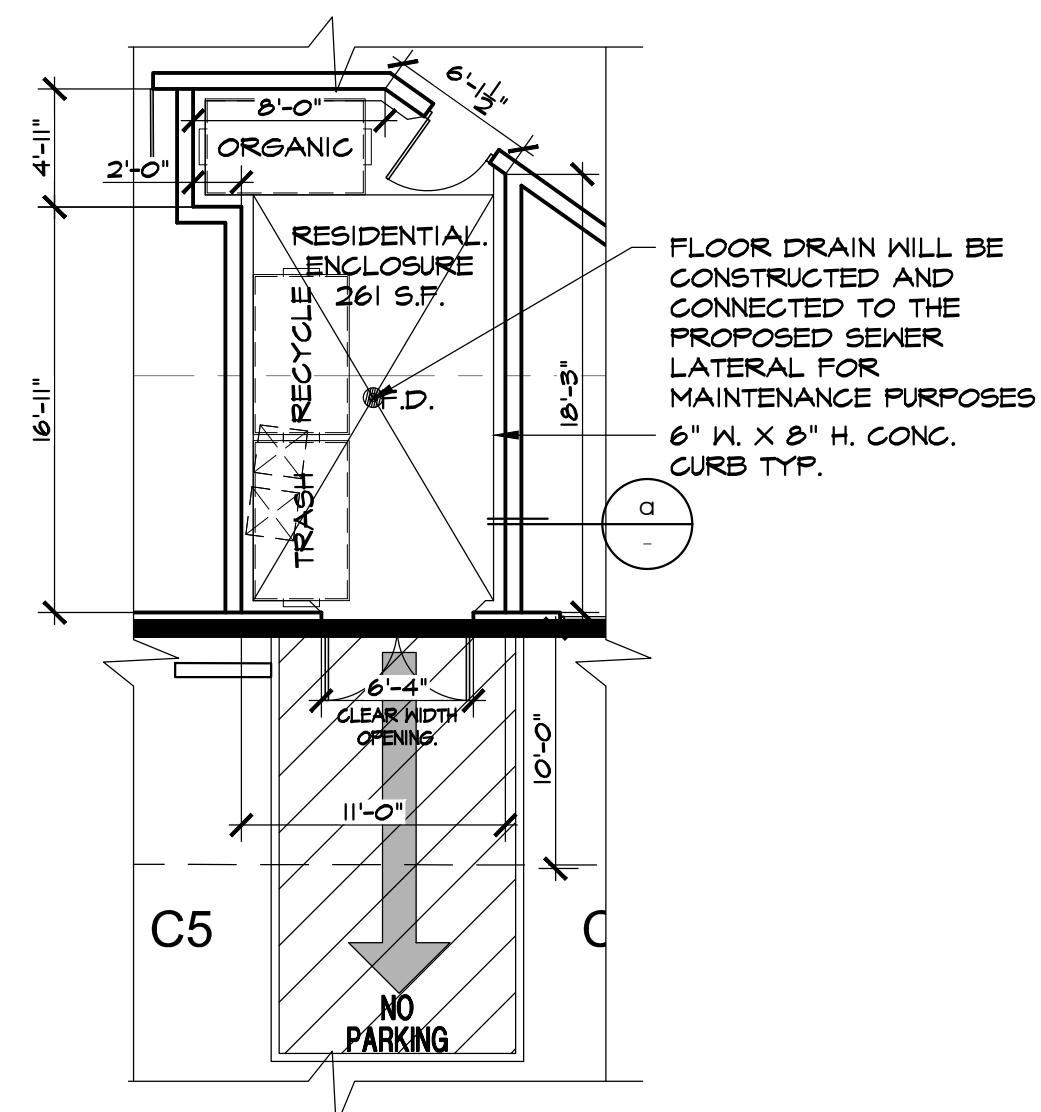
residential trash chutes

enlarged trash enclosure detail (b)



FLOOR DRAIN WILL BE CONSTRUCTED AND CONNECTED TO THE PROPOSED SEWER LATERAL FOR MAINTENANCE PURPOSES

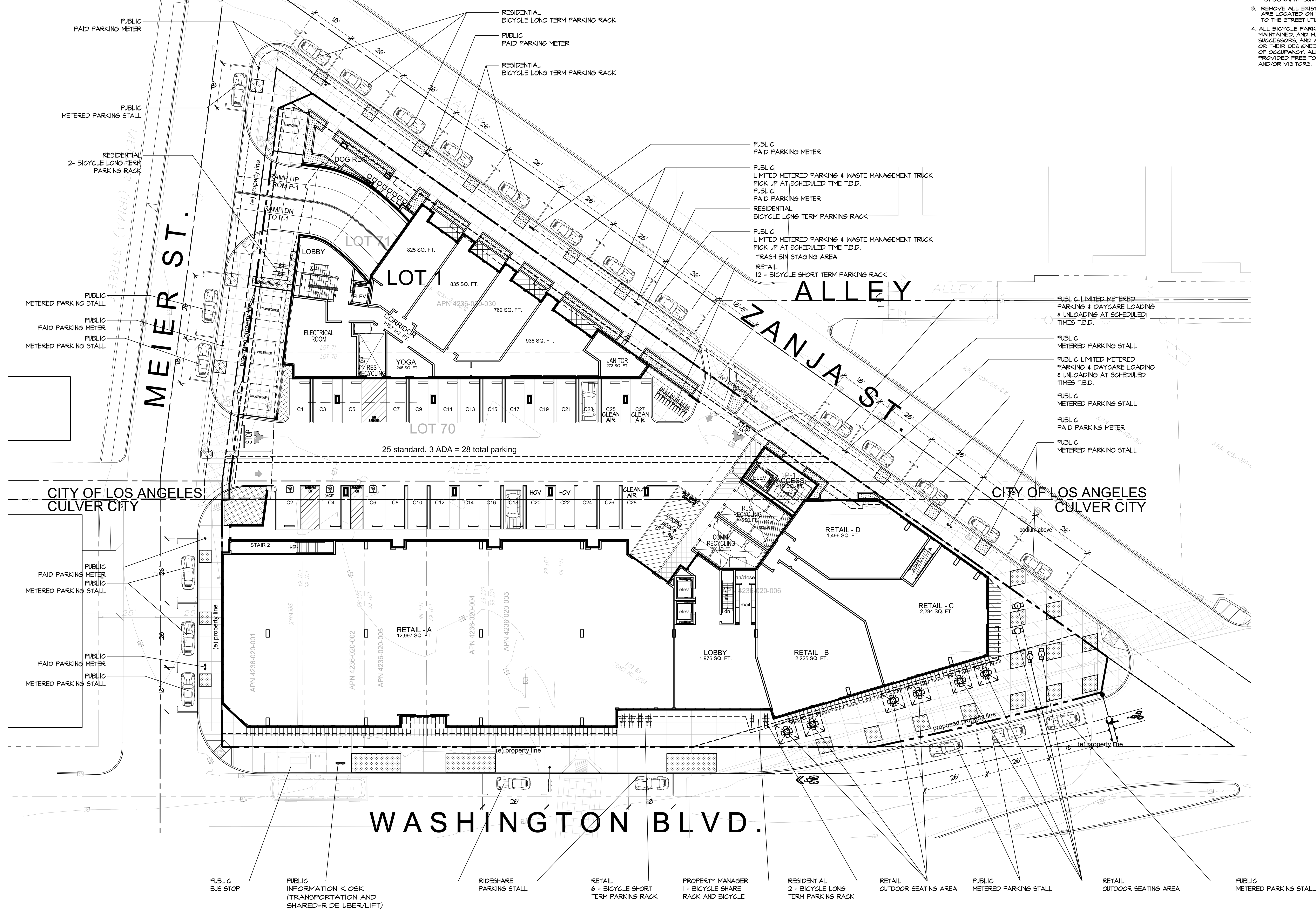
enlarged trash enclosure detail ©



trash waste management plan  
scale: 1/16" = 1'-0"



1. REPLACE SIDEWALK, CURBS AND GUTTER AS NECESSARY TO MATCH ADJACENT SIDEWALKS PER PLANNING DEPARTMENT.
2. TOPOGRAPHY AT THE SITE SHOWN ON ATTACHED TOPOGRAPHY SURVEY.
3. REMOVE ALL EXISTING BUILDINGS AND THEIR COMPONENTS THAT ARE LOCATED ON THE SITE, GAP AND SEAL ALL COMPONENTS TO TO THE STREET UTILITIES.
4. ALL BICYCLE PARKING REQUIRED ABOVE, SHALL BE INSTALLED, MAINTAINED, AND MANAGED BY THE DEVELOPER OR THEIR SUCCESSORS, AS APPROVED BY THE PUBLIC WORKS DIRECTOR OR THEIR DESIGNEE, PRIOR TO ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. ALL REQUIRED BICYCLE PARKING SHALL BE PROVIDED FREE TO ANY BUILDING TENANT, TENANT EMPLOYEES AND VISITORS.



Curb Use / Street parking plan  
scale: 1/16" = 1'-0"



# Lighting

Light Fixture



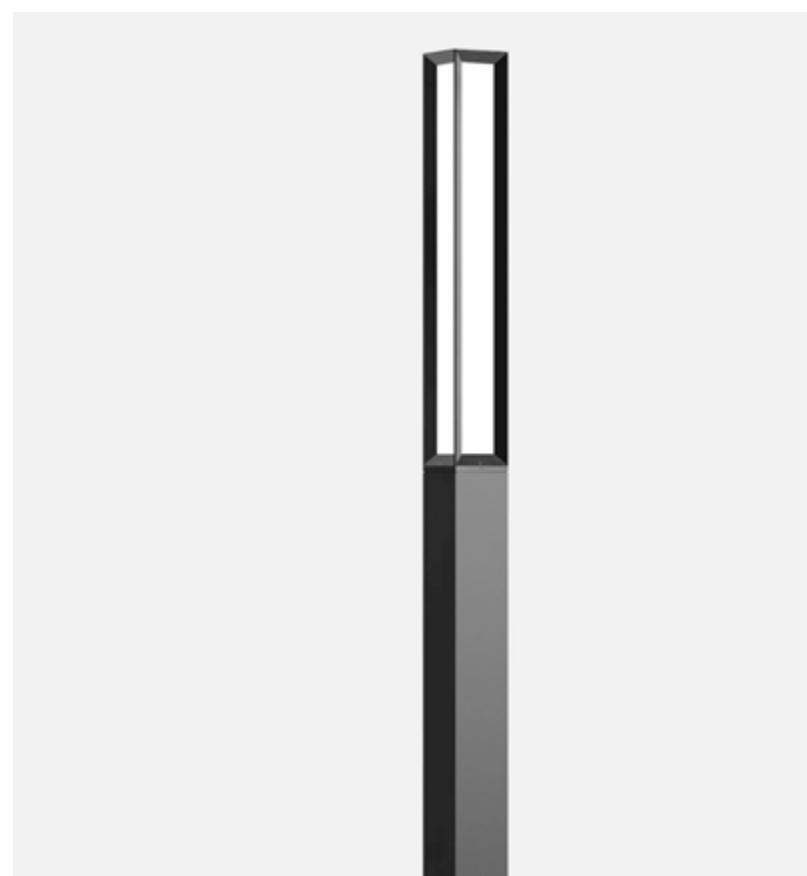
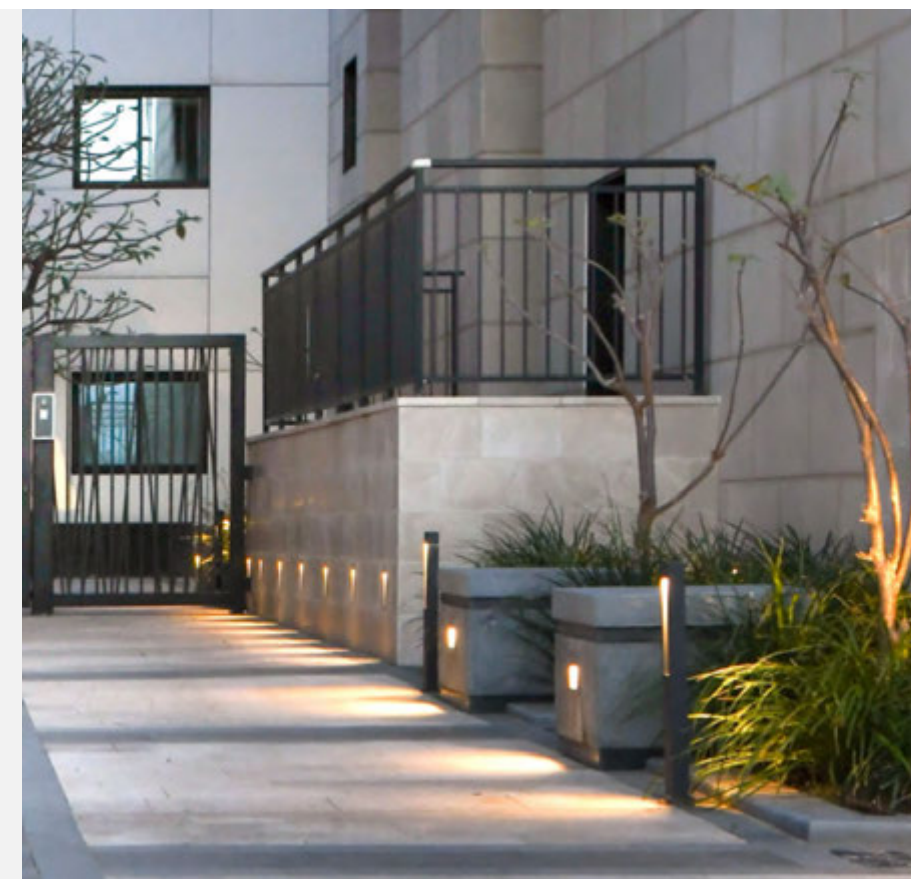
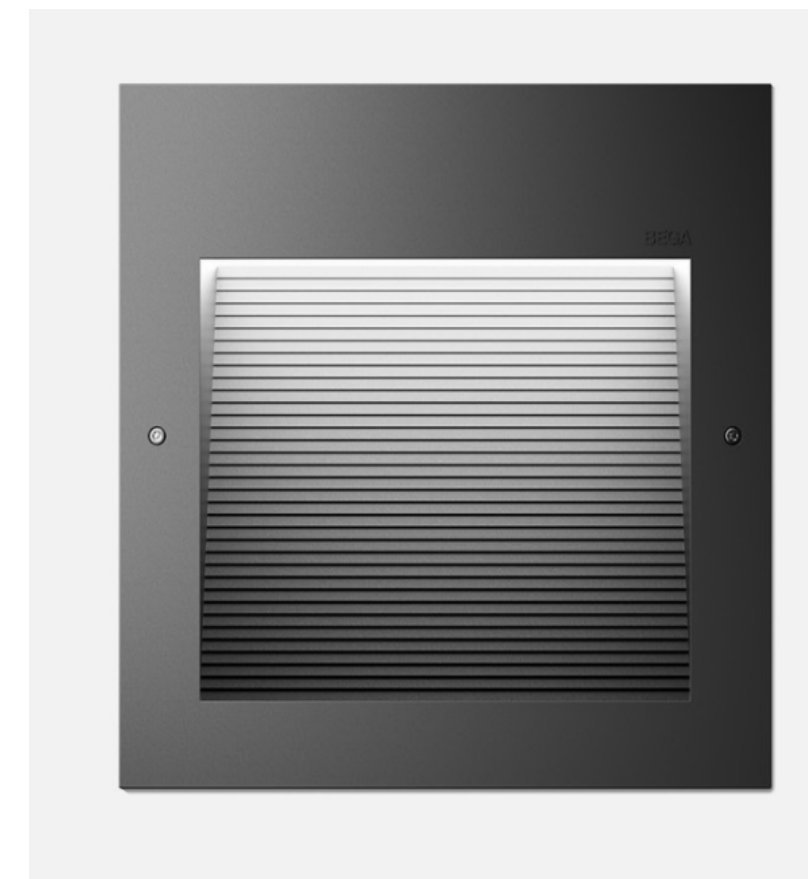
Sample View



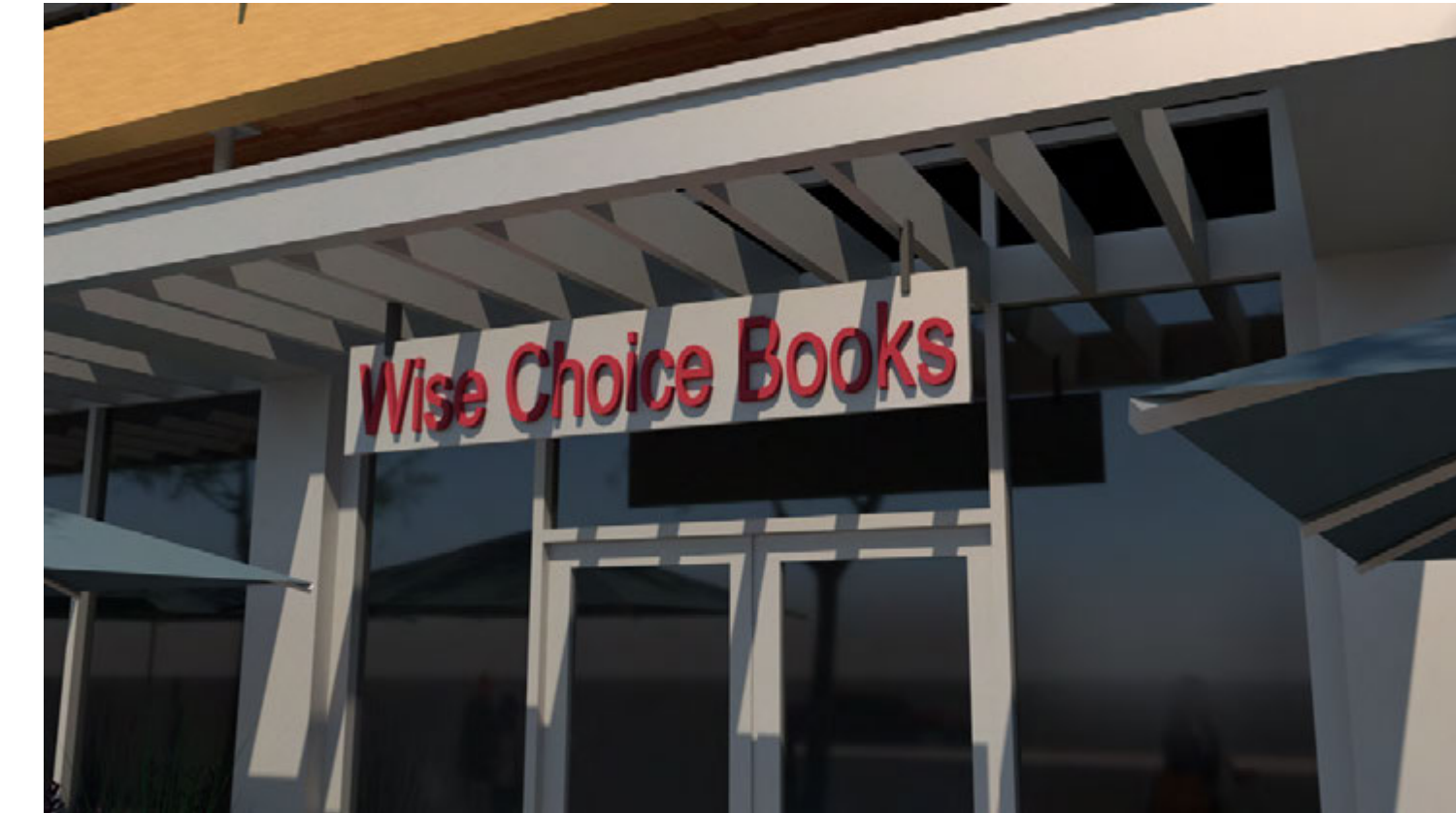
Light Fixture



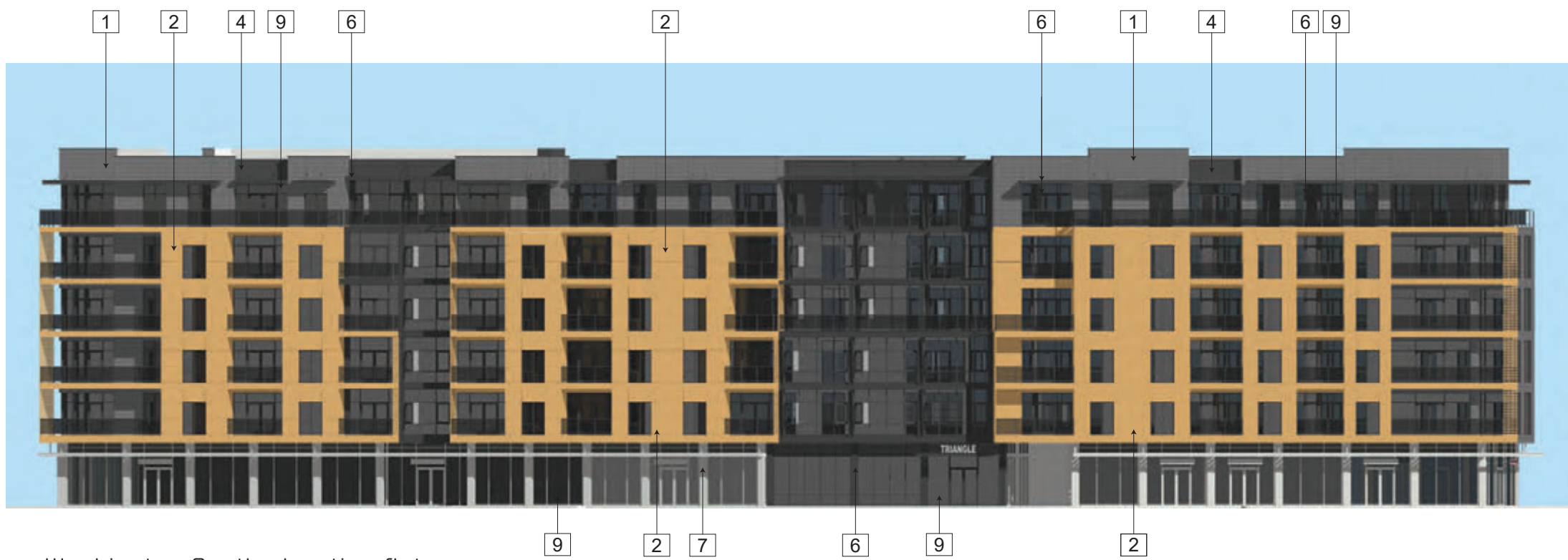
Sample View



# Signage



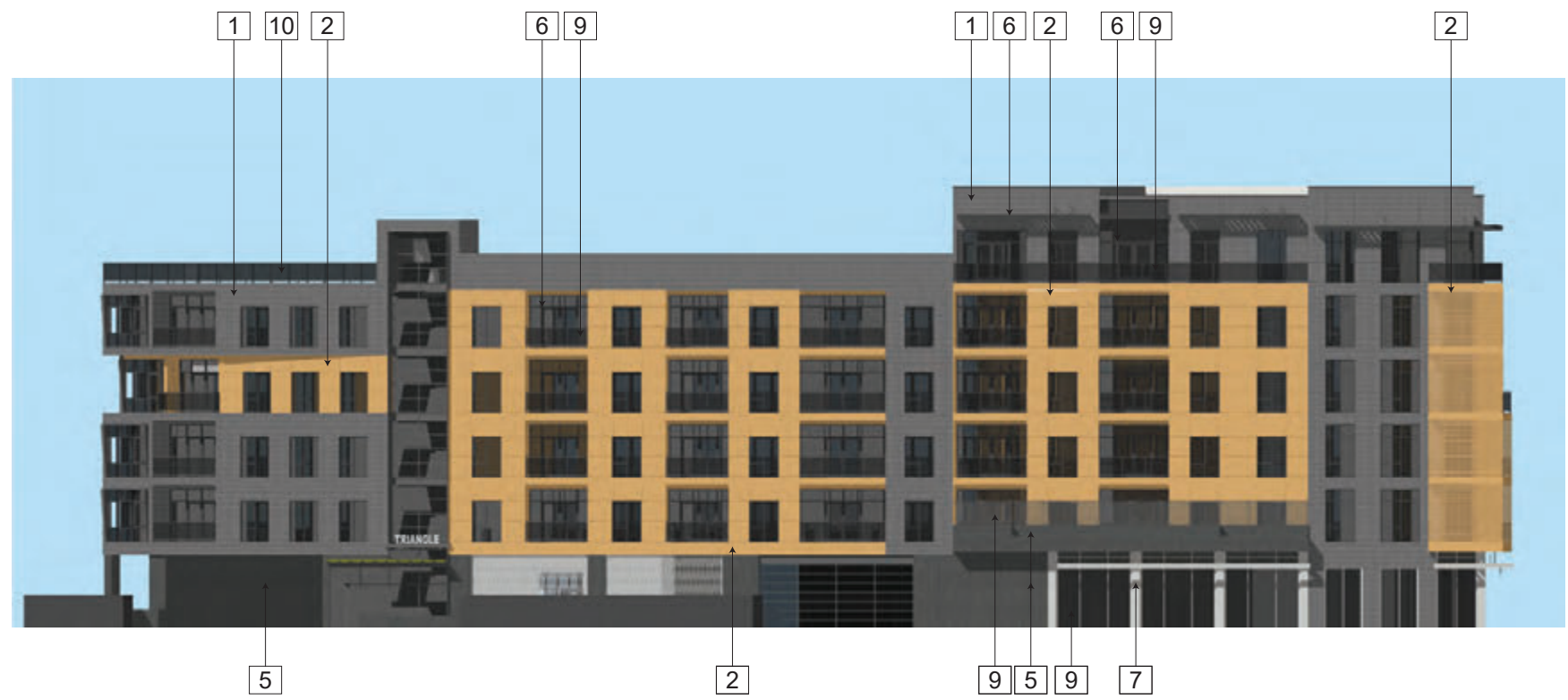




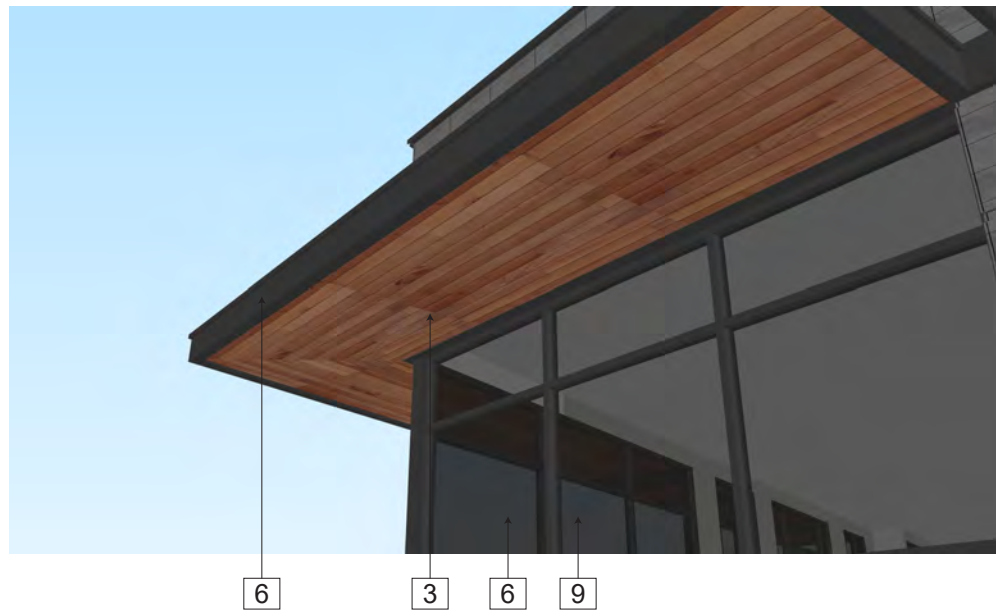
Washington South elevation flat



cc courtyard flat



Meier West elevation flat



exterior cladding at canopy perspective



rendering on washington blvd.



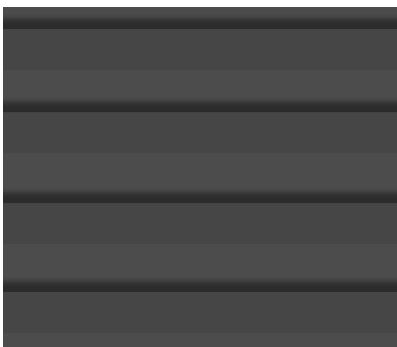
1 EXTERIOR COLOR  
DE6384: IRON FIXTURE



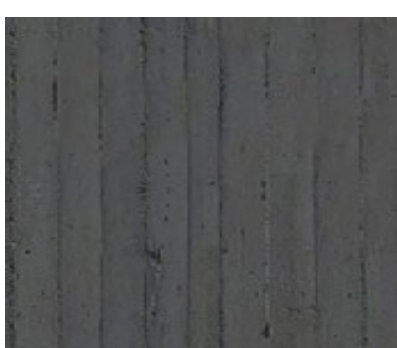
2 EXTERIOR CLADDING  
WOOD COLORED PANEL



3 EXTERIOR CLADDING (SOFFIT)  
WOOD COLORED PANEL



4 CORRUGATED METAL  
ANODIZED DARK GREY



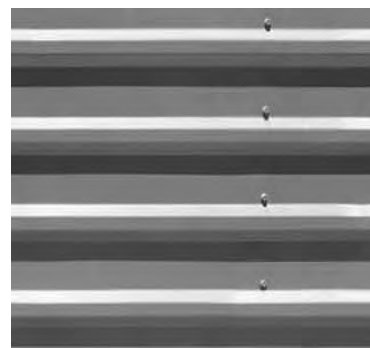
5 EXPOSED CONCRETE  
6" FORM BOARD PATTERN



6 METAL STOREFRONT/  
CANOPY  
ANODIZED DARK GRAY



7 METAL STOREFRONT  
ANODIZED CLEAR



8 METAL ROOF SCREEN  
CORRUGATED



9 CLEAR GLASS WINDOW

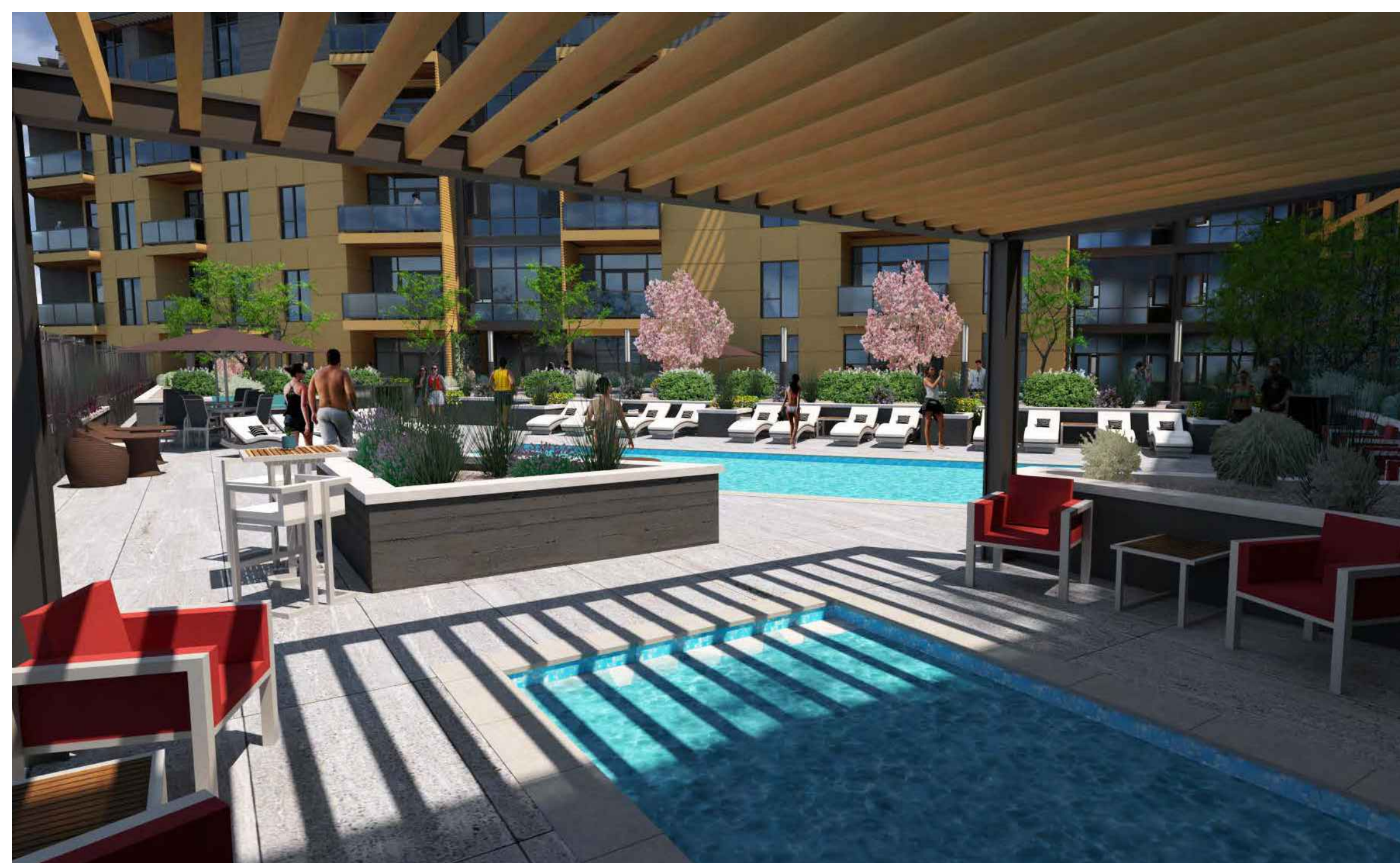
#### materials list

- 1 exterior stucco: hard trowel smooth finish, painted to match "Dunn Edwards" DE6384 - Iron Fixture
- 2 exterior cladding: wood color panel
- 3 exterior cladding (soffit): wood color panels (under canopies & balconies)
- 4 corrugated: anodized dark gray
- 5 concrete: exposed concrete wall with 6" board form pattern, dark gray
- 6 metal storefront / canopy: aluminum anodized dark gray
- 7 metal storefront: aluminum anodized clear
- 8 roof screen: mechanical metal screen
- 9 glazing: clear glass









Triangle Center - mixed use building  
 12727 Washington Boulevard  
 Culver City, California 90066

date: 01/22/2021  
 job number: 17-6110



