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**DIRECTOR'S DETERMINATION  
TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM**

June 23, 2022

**Applicant/Owner**

Henry Fan  
URSA 1037 Dewey Ave., LLC  
10573 West Pico Boulevard,  
Suite 213  
Los Angeles, CA 90064

**Representative**

Patrick Jen  
10573 West Pico Boulevard,  
Suite 213  
Los Angeles, CA 90064

**Case No.** DIR-2022-756-TOC-HCA

**CEQA:** ENV-2022-757-CE

**Location:** 1037 South Dewey Avenue (1031  
– 1043 South Dewey Avenue)

**Council District:** 10 - Wesson

**Neighborhood Council:** Pico Union

**Community Plan Area:** Wilshire

**Land Use Designation:** High Medium Residential

**Zone:** R4-1

**Legal Description:** Lot 8 – 12; Block 22; Electric  
Railway Homestead Association  
Tract

**Last Day to File an Appeal: July 08, 2022**

**DETERMINATION – Transit Oriented Communities Affordable Housing Incentive Program**

Pursuant to the Los Angeles Municipal Code (LAMC) Section 12.22-A,31, I have reviewed the proposed project and as the designee of the Director of City Planning, I hereby:

1. **Determine** that based on the whole of the administrative record that the project is exempt from California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15332, Class 32 of the CEQA Guidelines, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;
2. **Approve** a 70% increase in density consistent with the provisions of the Transit Oriented Communities Affordable Housing Incentive Program along with the following two (2) Additional Incentives for a Tier 3 project with a total of 60 dwelling units, including six (6) units reserved for Extremely Low Income (ELI) Household occupancy for a period of 55 years;
  - a. **Setbacks (Side Yards).** To permit up to a 30% decrease in the required width or depth of two (2) individual side yards or setbacks; and

**b. Setbacks (Rear Yard).** To permit up to a 30% decrease in the required width or depth of the rear yard.

**3. Adopt** the attached Findings.

## CONDITIONS OF APPROVAL

Pursuant to LAMC Sections 12.22-A,31, the following conditions are hereby imposed upon the use of the subject property:

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Expedited Processing Section, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Base Incentives.**
  - a. **Residential Density.** The project shall be limited to a maximum density of 60 residential units, including On-site Restricted Affordable Units.
  - b. **Floor Area Ratio (FAR).** The project is permitted a maximum FAR of 4.5 to 1.
  - c. **Parking.**
    - i. **Automobile Parking.** The project shall provide a maximum 0.5 automobile parking spaces per unit consistent with LAMC Section 12.22-A.31.
    - ii. **Bicycle Parking.** Bicycle parking shall be provided in compliance with LAMC Section 12.21-A.16 and to the satisfaction of the Department of Building and Safety. No variance from the bicycle parking requirements has been requested or granted herein.
    - iii. **Adjustment of Parking.** In the event that the number of Restricted Affordable Units should increase or the composition of such units should change (i.e. the number of bedrooms, or the number of units made available to Senior Citizens and/or Disabled Persons), and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios set forth pursuant to LAMC Section 12.22-A,25.
    - iv. **Unbundling.** Required parking may be sold or rented separately from the units, with the exception of all Restricted Affordable Units which shall include any required parking in the base rent or sales price, as verified by the Los Angeles Housing Department (LAHD).
3. **Additional Incentives.**
  - a. **Setback (Side Yards).** The project shall be permitted a 30% reduction in the required width or depth of two (2) individual side yards or setbacks.
  - b. **Setback (Rear Yard).** The project shall be permitted a 30% reduction in the required width or depth of the rear yard.
4. **On-site Restricted Affordable Units.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of LAHD to make 10 percent of the total number of

dwelling units, shall be designated for Extremely Low Income Households, as defined by the Los Angeles Housing Department (LAHD) and California Government Code Section 65915(c)(2) for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required set-aside affordable units may be adjusted, consistent with LAMC Section 12.22-A,31, to the satisfaction of LAHD, and in consideration of the project's SB 8 Determination. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the LAHD. Refer to the Density Bonus Legislation Background section of this determination.

Housing replacement units required pursuant to SB 8 may be used to satisfy the On-site Restricted Affordable Units provided such units meet the income levels, to the satisfaction of LAHD.

5. **Changes in On-site Restricted Units.** Deviations that increase the number of On-site Restricted Units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22-A,31.
6. **Housing Replacement Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of LAHD to replace the four (4) existing units with the equivalent type; two (2) units restricted to Extremely Low Income Households, one (1) unit restricted to Very Low Income Households, and one (1) unit restricted to Low Income Households, for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and with any monitoring requirements established by the LAHD. Refer to the Density Bonus Legislation Background section of this determination.

On-site Restricted Affordable Units may be used to satisfy the housing replacement units required pursuant to SB 8 provided such units meet the income levels, to the satisfaction of LAHD.

## **Design Conformance Conditions**

7. **Landscaping.**
  - a. All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be attractively landscaped, including an automatic irrigation system, and maintained in accordance with a landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning.
  - b. All planters containing trees shall have a minimum depth of 48 inches (48"), including those located on the rooftop area or above a parking garage.
8. **Mechanical Equipment.** All mechanical equipment on the roof shall be screened from view. The transformer, if located in the front yard, shall be screened with landscaping.

9. **Maintenance.** The subject property (including all trash storage areas, associated parking facilities, sidewalks, yard areas, parkways, and exterior walls along the property lines) shall be maintained in an attractive condition and shall be kept free of trash and debris.
10. **Lighting.** Outdoor lighting shall be designed and installed with shielding, such that the light source cannot be seen from adjacent residential properties or the public right-of-way, nor from above.
11. **Electric Vehicle Parking.** All electric vehicle charging spaces (EV Spaces) and electric vehicle charging stations (EVCS) shall comply with the regulations outlined in Sections 99.04.106 and 99.05.106 of Article 9, Chapter IX of the LAMC.

### **Administrative Conditions**

12. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building & Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building & Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building & Safety shall be stamped by Department of City Planning staff "Final Plans". A copy of the Final Plans, supplied by the applicant, shall be retained in the subject case file.
13. **Covenant.** Prior to the effectuation of this grant, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Department of City Planning for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided for inclusion in case file.
14. **Notations on Plans.** Plans submitted to the Department of Building & Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
15. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
16. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
17. **Department of Building & Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building & Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building & Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.

18. **Department of Water and Power.** Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Rules Governing Water and Electric Service. Any corrections and/or modifications to plans made subsequent to this determination in order to accommodate changes to the project due to the under-grounding of utility lines, that are outside of substantial compliance or that affect any part of the exterior design or appearance of the project as approved by the Director, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
19. **Enforcement.** Compliance with and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
20. **Expiration.** In the event that this grant is not utilized within three years of its effective date (the day following the last day that an appeal may be filed), the grant shall be considered null and void. Issuance of a building permit, and the initiation of, and diligent continuation of, construction activity shall constitute utilization for the purposes of this grant.
21. **Expedited Processing Section Fee.** Prior to the clearance of any conditions, the applicant shall show proof that all fees have been paid to the Department of City Planning, Expedited Processing Section.
22. **Indemnification and Reimbursement of Litigation Costs.**

Applicant shall do all of the following:

- a. Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- b. Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- c. Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).
- d. Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (b).

- e. If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the applicant otherwise created by this condition.

## PROJECT BACKGROUND

The subject property is comprised of three (3) lots measuring approximately 17,738 square feet (0.407 acres) with a frontage of 140 feet along Dewey Avenue. The subject property is currently undeveloped vacant lots. The subject property is zoned R4-1 within the Wilshire Community Plan Area with a High Medium Residential land use designation. The project site is located with Transit Oriented Communities (TOC), Tier 3. The site is located within a State Enterprise Zone, a Transit Priority Area in the City of Los Angeles, an Urban Agriculture Incentive Zone, the Redevelopment Project Area Wilshire Center/Koreatown and is within the Puente Hills Blind Thrust Fault.

The proposed project is the construction, use, and maintenance of a new, six-story, 56,112 square-foot residential building with 60 dwelling units, including six (6) dwelling units set aside for affordable housing (or 10% of the proposed density) the six (6) units reserved is for Extremely Low Income (ELI) Households. The building will be constructed with five (5) residential levels above one (1) ground floor level of parking and one (1) level of subterranean parking. The project includes 32 one-bedroom units, eight (8) two-bedroom units, 19 three-bedroom units, one (1) four-bedroom unit and a total of 7,746 square feet of open space for residents.

The project will provide a total of 76 automobile parking spaces, and 66 long-term and six (6) short-term bicycle parking spaces. Vehicular access to the site is provided via one two-way driveway accessible from Dewey Avenue. Pedestrian access is located on Dewey Avenue.

The project is located in Tier 3 of the Transit Oriented Communities Incentive Areas and therefore, pursuant to the Transit Oriented Communities Affordable Housing Incentive Program Guidelines (TOC Guidelines), by setting aside 10% of the total number of dwelling units for Extremely Low Income Households, the project is eligible for the Base Incentives (Residential Density, Floor Area Ratio (FAR) and Automobile Parking); and by setting aside more than 7% of the base density for households at the Extremely Low Income level the project is entitled to two (2) Additional Incentives.

The Additional Incentives requested are found on the Menu of Incentives and include up to a 30% decrease in the required width or depth of two (2) individual side or rear yards or setbacks as one (1) incentive. The project includes two (2) incentives for reduction in the required yards.

## SURROUNDING PROPERTIES

Surrounding uses are within residential zones and are generally developed with residential multi-family structures. The abutting property to the north is zoned R4-1 and is improved with a five-story, multi-family residential structure. The properties to east, across Dewey Avenue are zoned R4-1 and are developed with multi-story multi-family residential structures. The abutting property to the south, is zoned R4-1 and is currently vacant land. The property to the west, abutting the site, is zoned R4-1 and is developed with a multi-family residential building.

## STREETS

Dewey Avenue, abutting the property to the south, is a Local Street – Standard dedicated to a width of 60 feet, improved with asphalt roadway, curb, gutter, and concrete sidewalks.



## TRANSIT ORIENTED COMMUNITIES

Pursuant to the voter-approved Measure JJJ, Los Angeles Municipal Code (LAMC) 12.22-A,31 was added to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program (TOC Program). The Measure requires the Department of City Planning to create TOC Affordable Housing Incentive Program Guidelines (TOC Guidelines) for all Housing Developments located within a ½-mile (or 2,640-foot) radius of a Major Transit Stop. These Guidelines provide the eligibility standards, incentives, and other necessary components of the TOC Program consistent with LAMC 12.22-A,31.

A qualifying TOC Project shall be granted Base Incentives with regard to increased residential density, increased floor area ratio, and reduced automobile parking requirements. In addition to these Base Incentives, an eligible project may be granted Additional Incentives with regard to yards and setbacks, open space, lot coverage, lot width, averaging, density calculation, height, and developments in public facilities zones. Up to three (3) Additional Incentives may be granted in exchange for providing the requisite set aside of affordable housing as enumerated in the TOC Guidelines.

The proposed project is located less than 2,640 feet from a Major Transit Stop, the Vermont Avenue and Olympic Boulevard Intersection (Metro Routes 28 and 754). Furthermore, as the project will set aside 10% of the total number of units for Extremely Low Income and meets all other eligibility requirements of the TOC Affordable Housing Incentive Program, the project is entitled to the Base Incentives.

In addition, as the Vermont Avenue and Olympic Boulevard Intersection is approximately 1,320 feet from the subject property the project is located within Tier 3 of the TOC Guidelines. Therefore, as the project will set aside 7% of the base number of units for Extremely Low Income Households, the project is entitled to two (2) Additional Incentives. The applicant is requesting two (2) Additional Incentives.

Given the above, the proposed project includes the following Base and Additional Incentives for a qualifying Tier 3 Project:

### **Tier 3 Base Incentives:**

- a. **Density:** The subject property is zoned R4-1 which allows a residential density of one (1) dwelling unit per 400 square feet of lot area. At 17,738 square feet, the property has a base density of 45 units (17,738 square feet of lot area divided by 400 square feet equals 44.345 - rounded up to 45). Pursuant to the TOC Guidelines, projects within Tier 3 which are eligible for the Base Incentives are eligible for a 70% density increase from the base density. Therefore, the project is permitted a maximum of 77 total units. The project proposes a total of 60 residential units.
- b. **Floor Area Ratio (FAR):** As the subject property is zoned R4-1, located in Tier 3 and meets the eligibility criteria in the TOC Guidelines for the Base Incentives, the project is allowed a percentage increase of the FAR up to 50% or a 3.75:1 FAR, whichever is greater. The R4-1 zone allows for a 3:1 FAR. Therefore, the project is permitted a maximum FAR of 4.5:1. As proposed, the project has a maximum FAR of 4.5 to 1.
- c. **Parking:** Pursuant to LAMC Section 12.21-A,4, the proposed 60-unit project would be required to provide a total of 104 automobile parking spaces. As an Eligible Housing

Development, the project is entitled to provide 0.5 parking space per unit (or 30 parking spaces). As proposed, the project is providing a total of 76 automobile parking spaces.

### **Tier 3 Additional Incentives:**

Pursuant to the Transit Oriented Communities Affordable Housing Incentive Program Guidelines (TOC Guidelines), the Tier 3 Project is eligible for and has been granted two (2) Additional Incentives in order to construct the proposed project:

- a. **Side Yard Setbacks.** Eligible Housing Developments may utilize up to a 30% decrease in the required width or depth of an individual yards or setbacks. The Menu of Incentives allows for the reduction in two (2) side yards or setback as one (1) incentive for a project located in a Tier 3 TOC area. In this case, the project would be required to provide side yards conforming to the requirements of the R4 Zone, which includes nine-foot side yards. The project as proposed, will provide six-foot, 3.6-inches side yards.
- b. **Rear Yard Setback.** Eligible Housing Developments may utilize up to a 30% decrease in the required width or depth of an individual yards or setbacks. The Menu of Incentives allows for the reduction in two (2) yards or setback as one (1) incentive for a project located in a Tier 3 TOC area. In this case, the project would be required to provide rear yard conforming to the requirements of the R4 Zone, which includes an 18-foot rear yard. The project as proposed, will provide 12-foot, 7.2-inches rear yard.

### **HOUSING REPLACEMENT**

Pursuant to LAMC Section 12.22-A,31(b)(1), a Housing Development located within a Transit Oriented Communities (TOC) Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets any applicable replacement requirements of California Government Code Section 65915(c)(3) (California State Density Bonus Law).

Assembly Bill 2222 (AB 2222) amended the State Density Bonus Law to require applicants of density bonus projects filed as of January 1, 2015, to demonstrate compliance with the housing replacement provisions which require replacement of rental dwelling units that either exist at the time of application of a Density Bonus project or have been vacated or demolished in the five-year period preceding the application of the project. This applies to all pre-existing units that have been subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income; subject to any other form of rent or price control; or occupied by Low or Very Low Income Households.

On September 28, 2016, Governor Brown signed Assembly Bill 2556 (AB 2556) which further amended the State Density Bonus Law. The amendments took effect on January 1, 2017. AB 2556 clarifies the implementation of the required replacement of affordable units in Density Bonus projects, first introduced by AB 2222. AB 2556 further defines "equivalent size" to mean that as a whole, the new units must contain at least the same total number of bedrooms as the units being replaced.

In addition to the requirements of California State Density Bonus Law, on October 9, 2019, the Governor signed into law the Housing Crisis Act of 2019 (SB 330). SB 330 creates new state laws regarding the production, preservation and planning for housing, and establishes a statewide housing emergency until January 1, 2025. During the duration of the statewide housing emergency, SB 330, among other things, creates new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed housing development

project on a site that will require the demolition of existing residential dwelling units or occupied vacant "Protected Units" unless the proposed housing development project replaces those units.

The Housing Crisis Act of 2019, as amended by SB 8 (California Government Code Section 66300 et seq.), prohibits the approval of any proposed housing development project on a site that will require demolition of existing dwelling units or occupied or vacant "Protected Units" unless the project replaces those units. The project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the property within the past 5 years. Additionally, the project must also replace all existing or demolished "Protected Units".

The subject property is currently undeveloped with three (3) vacant lots. The Los Angeles Housing Department (LAHD) has determined, per the Housing Crisis Act of 2019 (SB 8) Replacement Unit Determination, dated October 28, 2021, that four (4) units are subject to replacement pursuant to the requirements of SB 8. The Determination made by LAHD requires four (4) units be replaced with equivalent type; two (2) units restricted to Extremely Low Income Households, one (1) unit restricted to Very Low Income Households, and one (1) unit restricted to Low Income Households. For the one (1) remaining unit presumed to have been occupied by an above-lower income person or household, as permitted by California Government Code §65915(c)(3)(C)(ii), the City has opted to require that those unit(s) be replaced in compliance with the City's Rent Stabilization Ordinance (RSO).

#### **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM ELIGIBILITY REQUIREMENTS**

To be an eligible Transit Oriented Communities (TOC) Housing Development, a project must meet the Eligibility criteria set forth in Section IV of the Transit Oriented Communities Affordable Housing Incentive Program Guidelines (TOC Guidelines). A Housing Development located within a TOC Affordable Housing Incentive Area shall be eligible for TOC Incentives if it meets all of the following requirements, **which it does**:

1. ***On-Site Restricted Affordable Units.*** *In each Tier, a Housing Development shall provide On-Site Restricted Affordable Units at a rate of at least the minimum percentages described below. The minimum number of On-Site Restricted Affordable Units shall be calculated based upon the total number of units in the final project.*
  - a. *Tier 1 - 8% of the total number of dwelling units shall be affordable to Extremely Low Income (ELI) income households, 11% of the total number of dwelling units shall be affordable to Very Low (VL) income households, or 20% of the total number of dwelling units shall be affordable to Lower Income households.*
  - b. *Tier 2 - 9% ELI, 12% VL or 21% Lower.*
  - c. *Tier 3 - 10% ELI, 14% VL or 23% Lower.*
  - d. *Tier 4 - 11% ELI, 15% VL or 25% Lower.*

The project site is located within a Tier 3 Transit Oriented Communities Affordable Housing Incentive Area. As part of the proposed development, the project is required to reserve six (6) on-site dwelling unit for Extremely Low Income Households which is 10% of the 60 total dwelling units proposed as part of the Housing Development. As such, the project meets the eligibility requirement for On-Site Restricted Affordable Units.

2. **Major Transit Stop.** *A Housing Development shall be located on a lot, any portion of which must be located within 2,640 feet of a Major Transit Stop, as defined in Section II and according to the procedures in Section III.2 of the TOC Guidelines.*

As defined in the TOC Guidelines, a Major Transit Stop is a site containing a rail station or the intersection of two or more bus routes with a service interval of 15 minutes or less during the morning and afternoon peak commute periods. The stations or bus routes may be existing, under construction or included in the most recent Southern California Association of Governments (SCAG) Regional Transportation Plan (RTP). The subject property is located less than 2,640 feet from a Major Transit Stop, the Vermont Avenue and Olympic Boulevard Intersection (Metro Routes 28 and 754). Therefore, the project meets the eligibility requirement for proximity to a Major Transit Stop.

3. **Housing Replacement.** *A Housing Development must meet any applicable housing replacement requirements of California Government Code Section 65915(c)(3), as verified by the Los Angeles Housing Department (LAHD) prior to the issuance of any building permit. Replacement housing units required per this section may also count towards other On-Site Restricted Affordable Units requirements.*

Pursuant to the Determination made by LAHD dated October 28, 2021, and attached to the subject case file, four (4) units are subject to replacement under the requirements of SB 8 for the subject project. The proposed project will provide six (6) units set aside for Extremely Low Income households and will comply with all conditions requiring compliance with the City's Rent Stabilization Ordinance. As such, the project meets the eligibility requirement for providing replacement housing consistent with California Government Code Section 65915(c)(3).

4. **Other Density or Development Bonus Provisions.** *A Housing Development shall not seek and receive a density or development bonus under the provisions of California Government Code Section 65915 (state Density Bonus law) or any other State or local program that provides development bonuses. This includes any development bonus or other incentive granting additional residential units or floor area provided through a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Plan Implementation Overlay (CPIO), Specific Plan, or overlay district.*

There are no additional requests for density or development bonuses under the provisions of the State Density Bonus Law or any other State or local program that provides development bonuses, including, but not limited to a General Plan Amendment, Zone Change, Height District Change, or any affordable housing development bonus in a Transit Neighborhood Plan, Community Implementation Overlay (CPIO), Specific Plan, or overlay district. Therefore, the project meets this eligibility requirement.

5. **Base Incentives and Additional Incentives.** *All Eligible Housing Developments are eligible to receive the Base Incentives listed in Section VI of the TOC Guidelines. Up to three Additional Incentives listed in Section VII of the TOC Guidelines may be granted based upon the affordability requirements described below. For the purposes of this section below "base units" refers to the maximum allowable density allowed by the zoning, prior to any density increase provided through these Guidelines. The affordable housing units required per this section may also count towards the On-Site Restricted Affordable Units requirement in Section IV.1 above (except Moderate Income units).*

- c. *Two Additional Incentives may be granted for projects that include at least 7% of the base units for Extremely Low Income Households, at least 10% of the base units for Very Low Income Households, at least 20% of the base units for Lower Income Households, or at least 20% of the base units for persons and families of Moderate Income in a common interest development.*

As an Eligible Housing Development, the project is eligible to receive the Base Incentives listed in the TOC Guidelines. The project may be granted two (2) Additional Incentives for reserving at least 7% of the base units for Extremely Low Income Households. (Base units are the maximum allowable density allowed by the zone, prior to any requests for increase in density provided by the Guidelines.) The project is requesting two (2) Additional Incentives: 1) utilizing a 30% reduction in the required width or depth of two (2) individual yards or setbacks; and 2) utilizing a 30% reduction in the required width or depth of the rear yard or setback. The subject site has a base density of 45 units. The project is setting aside six (6) units for Extremely Low Income Households which equates to more than 7% of the 45 base units permitted through the underlying zoning of the site. Therefore, the project meets the eligibility requirement for Base and Additional Incentives because the project will reserve at least 7% of the base units for Extremely Low Income Households.

6. ***Projects Adhering to Labor Standards.*** *Projects that adhere to the labor standards required in LAMC 11.5.11 may be granted two Additional Incentives from the menu in Section VII of these Guidelines (for a total of up to five Additional Incentives).*

The project is not seeking additional incentives beyond the three (3) permitted as a means of reserving at least 11% of the base units for Extremely Low Income Households. Therefore, the project is not required to adhere to the labor standards required in LAMC Section 11.5.11; this eligibility requirement does not apply.

7. ***Multiple Lots.*** *A building that crosses one or more lots may request the TOC Incentives that correspond to the lot with the highest Tier permitted by Section III above.*

The proposed building will be on three (3) lots that are located within Tier 3 of the Transit Oriented Communities Affordable Housing Incentive Area. Therefore, this eligibility requirement does not apply.

8. ***Request for a Lower Tier.*** *Even though an applicant may be eligible for a certain Tier, they may choose to select a Lower Tier by providing the percentage of On-Site Restricted Affordable Housing units required for any lower Tier and be limited to the Incentives available for the lower Tier.*

The applicant has not selected a Lower Tier and is not providing the percentage of On-Site Restricted Affordable Housing units required for any lower Tier. Therefore, this eligibility requirement does not apply.

9. **100% Affordable Housing Projects.** *Buildings that are Eligible Housing Developments that consist of 100% On-Site Restricted Affordable units, exclusive of a building manager's unit or units shall, for purposes of these Guidelines, be eligible for one increase in Tier than otherwise would be provided.*

The project does not consist of 100 percent On-Site Restricted Affordable units. It is not eligible for or seeking an increase in Tier. As such, this eligibility requirement does not apply.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM /AFFORDABLE HOUSING INCENTIVES COMPLIANCE FINDINGS**

Pursuant to LAMC Section 12.22-A,31(e), the Director of Planning shall review a Transit Oriented Communities Affordable Housing Incentive Program project application in accordance with the procedures outlined in LAMC Section 12.22-A,25(g).

1. **Pursuant to Section 12.22 A.25(g)(2)(i)(c) of the LAMC and Section 65915(3) of the California Government Code, the Director shall approve a density bonus and requested incentive(s) unless the director finds that.**
  - a. *The incentives do not result in identifiable and actual cost reductions to provide for affordable housing costs, as defined in California Health and Safety Code Section 50052.5 or Section 50053 for rents for the affordable units.*

The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low, low, and moderate income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a percent gross income based on area median income thresholds dependent on affordability levels. There was no substantial evidence in the record that would allow the Director to make a finding that the requested incentives are not necessary to provide for affordable housing costs per State Law.

The list of base incentives in the Transit Oriented Communities Guidelines were pre-evaluated at the time the Transit Oriented Communities Affordable Housing Incentive Program Ordinance was adopted to include various types of relief that minimize restrictions on the size of the project. The base incentives are required to provide for affordable housing costs because the incentives by their nature may result in increasing the scale of the project. The additional incentives requested to utilize up to a 30 percent reduction in the side yards and rear yard requirements would result in building design or construction efficiencies that provide for affordable housing costs. As a result of the prescribed incentives, it is likely that the Director will always conclude that the incentives are required for such projects to provide for affordable housing units as identified by the TOC Guidelines.

**Side Yard Setbacks.** The requested use of a 30 percent reduction in two (2) individual side yards is expressed in the Menu of Incentives in the Transit Oriented Communities Guidelines. Eligible Housing Developments located in a residential zone may utilize up to a 30 percent decrease in the side yard requirements. The Menu of Incentives allows for the reduction in two (2) individual side yard or setback to count as one (1) incentive for a project located in a Tier 3 TOC area. The project is requesting the reduction of two

(2) side yards as one (1) incentive. In this case, the project would be required to provide side yards conforming to the requirements of the R4 Zone, which includes nine-foot side yards. The project as proposed, will provide six-foot 3.6-inches side yards.

**Rear Yard Setbacks.** The requested use of a 30 percent reduction in the rear yard is expressed in the Menu of Incentives in the Transit Oriented Communities Guidelines. Eligible Housing Developments located in a residential zone may utilize up to a 30 percent decrease in the rear yard requirements. The project is requesting one (1) incentive. In this case, the project would be required to provide rear yard conforming to the requirements of the R4 Zone, which includes an 18-foot rear yard. The project as proposed, will provide a 12-foot 7.2-inches rear yard.

- b. *The Incentive will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources and for which there are no feasible method to satisfactorily mitigate or avoid the specific adverse Impact without rendering the development unaffordable to Very Low, Low and Moderate Income households. Inconsistency with the zoning ordinance or the general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.*

There has been no evidence provided that indicated that the proposed incentives will have a specific adverse impact upon public health and safety or the physical environment, or on any real property that is listed in the California Register of Historical Resources. A "specific adverse impact" is defined as, "a significant, quantifiable, direct and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete" (LAMC Section 12.22.A.25(b)).

The project does not involve a contributing structure in a designated Historic Preservation Overlay Zone or on the City of Los Angeles list of Historical-Cultural Monuments. The proposed project and potential impacts were analyzed in accordance with the California Environmental Quality Act (CEQA) Guidelines and the project was determined to be exempt from CEQA pursuant to Article 19, Class 32 of the CEQA Guidelines.

Therefore, there is no substantial evidence that the proposed project will have a specific adverse impact on the physical environment, on public health and safety, or on property listed in the California Register of Historic Resources.

- c. *The incentives/waivers are contrary to state or federal law.*

There is no substantial evidence in the record that the proposed incentives/waivers are contrary to state or federal law.

## **ADDITIONAL MANDATORY FINDINGS**

2. The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 172,081, have been reviewed and it has been determined that this project is located outside of a flood zone.
3. It has been determined based on the whole of the administrative record that the project is exempt from CEQA pursuant to State CEQA Guidelines, Section 15332 (Class 32), and

there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2, applies.

The proposed project qualifies for a Class 32 Categorical Exemption because it conforms to the definition of “In-fill Projects”. The project can be characterized as in-fill development within urban areas for the purpose of qualifying for Class 32 Categorical Exemption as a result of meeting five established conditions and if it is not subject to an Exception that would disqualify it. The Categorical Exception document prepared by Department of City Planning and attached to the subject case file provides the full analysis and justification for project conformance with the definition of a Class 32 Categorical Exemption.

## **TRANSIT ORIENTED COMMUNITIES AFFORDABLE HOUSING INCENTIVE PROGRAM BACKGROUND**

Measure JJJ was adopted by the Los Angeles City Council on December 13, 2016. Section 6 of the Measure instructed the Department of City Planning to create the Transit Oriented Communities (TOC) Affordable Housing Incentive Program, a transit-based affordable housing incentive program. The measure required that the Department adopt a set of TOC Guidelines, which establish incentives for residential or mixed-use projects located within ½ mile of a major transit stop. Major transit stops are defined under existing State law.

The TOC Guidelines, adopted September 22, 2017, establish a tier-based system with varying development bonuses and incentives based on a project’s distance from different types of transit. The largest bonuses are reserved for those areas in the closest proximity to significant rail stops or the intersection of major bus rapid transit lines. Required affordability levels are increased incrementally in each higher tier. The incentives provided in the TOC Guidelines describe the range of bonuses from particular zoning standards that applicants may select.

## **TIME LIMIT – OBSERVANCE OF CONDITIONS**

All terms and conditions of the Director’s Determination shall be fulfilled before the use may be established. Pursuant to LAMC Section 12.25-A,2, the instant authorization is further conditional upon the privileges being utilized within **three years** after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles, West Los Angeles Development Services Center, or the Marvin Braude Constituent Service Center in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either by calling (213) 482-7077, (310) 231-2901, (818) 374-5050, or through the Department of City Planning website at <http://cityplanning.lacity.org>. The applicant is further advised to notify any consultant representing you of this requirement as well.



Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction. Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

## TRANSFERABILITY

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## APPEAL PERIOD - EFFECTIVE DATE

**The Determination in this matter will become effective after July 08, 2022**, unless an appeal there from is filed with the City Planning Department. It is strongly advised that appeals be filed early during the appeal period and in person so that imperfections/incompleteness may be corrected before the appeal period expires. Any appeal must be filed on the prescribed forms, accompanied by the required fee, a copy of this Determination, and received and receipted at a public office of the Department of City Planning on or before the above date or the appeal will not be accepted. Forms are available on-line at [www.cityplanning.lacity.org](http://www.cityplanning.lacity.org).

Planning Department public offices are located at:

**Figueroa Plaza**  
201 North Figueroa Street,  
4<sup>th</sup> Floor  
Los Angeles, CA 90012  
(213) 482-7077

**Marvin Braude San Fernando Valley  
Constituent Service Center**  
6262 Van Nuys Boulevard, Suite 251  
Van Nuys, CA 91401  
(818) 374-5050

**West Los Angeles Development  
Services Center**  
1828 Sawtelle Boulevard, 2<sup>nd</sup> Floor  
Los Angeles, CA 90025  
(310) 231-2901

**Pursuant to LAMC Section 12.22-A,25(f), only abutting property owners and tenants can appeal the Transit Oriented Communities Affordable Housing Incentive Program portion of this determination**. Per the Density Bonus Provision of State Law (Government Code Section §65915) the Density Bonus increase in units above the base density zone limits and the appurtenant parking reductions are not a discretionary action and therefore cannot be appealed. Only the requested incentives are appealable. Per Section 12.22-A,25 of the LAMC, appeals of Density Bonus Compliance Review cases are heard by the City Planning Commission.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

**Note of Instruction Regarding the Notice of Exemption:** Applicant is hereby advised to file the Notice of Exemption for the associated categorical exemption after the issuance of this letter. If filed, the form shall be filed with the County of Los Angeles, 12400 Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152 (b). More information on the associated fees can be found online here: <https://www.lavote.net/home/county-clerk/environmental-notices-fees>. The best practice is to go in person and photograph the posted notice in order to ensure compliance. Pursuant to Public Resources Code Section 21167 (d), the filing of this notice of exemption starts a 35-day statute of limitations on court challenges to the approval of the project. Failure to file this notice with the County Clerk results in the statute of limitations, **and the possibility of a CEQA appeal**, being extended to 180 days.

Vincent P. Bertoni, AICP  
Director of Planning

Approved by:



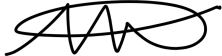
Heather Bleemers, Senior City Planner

Reviewed by:



Kevin Golden, City Planner

Prepared by:



Michelle Carter, City Planning Associate  
michelle.carter@lacity.org





REVISIONS table with columns for NO., DATE, and DESCRIPTION.

PROJECT DATA table with fields for PROJECT NAME, DATE, DRAWN BY, APPROVED BY, SCALE, SHEET NAME, PROJECT SUMMARY, SHEET NUMBER.

BUILDING CODE CRITERIA

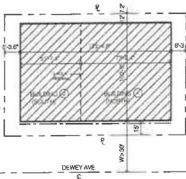
Table with columns for USE AND OCCUPANCY CLASSIFICATION, TYPE OF CONSTRUCTION, FIRE SUPPRESSION SYSTEM, FIRE ALARM SYSTEM, and FIRE DEPT. REQUIREMENT.

BUILDING AREA DETERMINATION

Table with columns for FLOOR LEVEL, TYPE OF CONSTRUCTION, OCCUPANCY, AREA, ALLOWABLE AREA, ALLOWABLE STORY & HEIGHT, and BUILDING CODE HEIGHT.

2ND THRU 6TH FLOORS - BUILDING AREA INCREASE CALCULATIONS (PER SECTION 506, CBC)

INDICATED DIMENSIONS



LEGEND: - - - - - (BUILDING PERIMETER FRONTRING PUBLIC WAY OR OPEN SPACE); "W" = (WIDTH OF PUBLIC WAY OR OPEN SPACE)

BUILDING ALLOWABLE AREA FRONTAGE INCREASE (PER SEC. 506.2, CBC)

Formulas for calculating building allowable area frontage increase, including variables like A, P, W, and A10.

BUILDING ALLOWABLE AREA FRONTAGE INCREASE (PER SEC. 506.2, CBC)

Formulas for calculating building allowable area frontage increase, including variables like A, P, W, and A10.

TOTAL BUILDING ALLOWABLE AREA INCREASE (FOR FLOORS 2-6) (PER SEC. 506.2.3, CBC)

Formulas for calculating total building allowable area increase, including variables like A1, A10, and A11.

TOTAL BUILDING ALLOWABLE AREA INCREASE (FOR FLOORS 2-6) (PER SEC. 506.2.3, CBC)

Formulas for calculating total building allowable area increase, including variables like A1, A10, and A11.

TOTAL PROPOSED BUILDING AREA (R-2) = 24,613 S.F.

TOTAL PROPOSED BUILDING AREA (R-2) = 33,023 S.F.

SETBACK REQUIREMENTS

Table with columns for SETBACK REQUIREMENTS (REQUIRED, ALLOWABLE AFTER TOC INCENTIVE, PROVIDED) for FRONT YARD, SIDE YARD, and REAR YARD.

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OPEN SPACE REQUIREMENTS

Table with columns for UNIT TYPE, # OF UNITS, O.S. FACTOR, and REQUIRED SF OF OPEN SPACE. Includes sub-tables for REQUIRED OPEN SPACE and PLANNED OPEN SPACE REQUIREMENT.

- 1. COMMON AREA TO BE MIN. 50% OF TOTAL OPEN SPACE REQUIRED
2. COMMON ROOM AREA QUALIFY UP TO 25% OF THE TOTAL REG. USABLE OPEN SPACE

AREA TABULATION

Table with columns for LEVEL, AREA [sf], BUILDING, and ZONING. Lists areas for BASEMENT, GROUND, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR, 5TH FLOOR, 6TH FLOOR, and TOTAL.

UNIT FLOOR AREA (sf)

Table with columns for ROOM NUMBER, 1B/1S UNIT, 2B/2S UNIT, 3B/3S UNIT, 4B/4S UNIT, and TOTAL. Lists room numbers and their corresponding unit types and total area.

PROJECT DATA

Table with columns for SCOPE OF WORK, LEGAL LOT INFORMATION, PROPOSED PROJECT ADDRESS, PIN NUMBER, LOT AREA (sf), ZONING, APN, TRACK, MAP REFERENCE, BLOCK, LOT, and AHS (LOT CUT REFERENCE).

ZONING CODE CRITERIA

Table with columns for BUILDABLE AREA, FAR ALLOWED, FAR ALLOWED (DOC INCENTIVE), FAR PROPOSED, MAX. FLOOR AREA ALLOWED (DOC INCENTIVE), PROPOSED TOTAL FLOOR AREA, HEIGHT ALLOWED, HEIGHT PROPOSED, DENSITY ALLOWED, and DENSITY PROPOSED.

PARKING REQUIREMENTS

Table with columns for PARKING REQUIREMENTS (PER TOC INCENTIVE), PARKING PROPOSED, and various parking metrics like # OF UNITS, PARKING FACTOR, and REQUIRED # OF PARKING.

UNIT MIX SUMMARY

Table with columns for 1B/1S UNIT, 2B/2S UNIT, 3B/3S UNIT, 4B/4S UNIT, and TOTAL. Lists unit counts for each floor level and total unit count.



**JPA**

**JPARK ARCHITECTS**

TEL: 323.944.3000 | 323.964.6467  
 EMAIL: J.PARK@JPARCH.COM  
 380 WILSHIRE BLVD. SUITE 204  
 LOS ANGELES, CA 90015



TITLE  
**URSA 1037 DEWEY AVE.**

LLC  
 1001 W. PICO BLVD. SUITE 210  
 LOS ANGELES, CA 90064



**1037 S. DEWEY AVE. MULTI-JUNIT  
 NEW TOC 60 UNITS APARTMENT**  
 1037 S. DEWEY AVE., LOS ANGELES, CA 90006



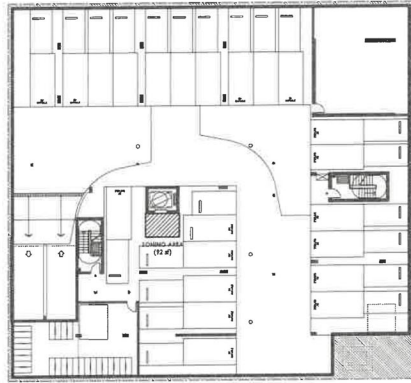
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 CHECKED BY: \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_

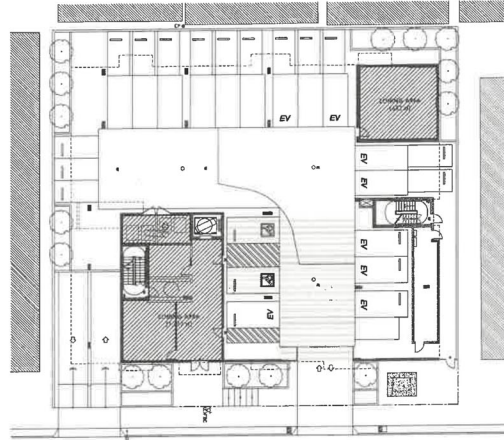
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SHEET NAME  
**3D VIEWS**

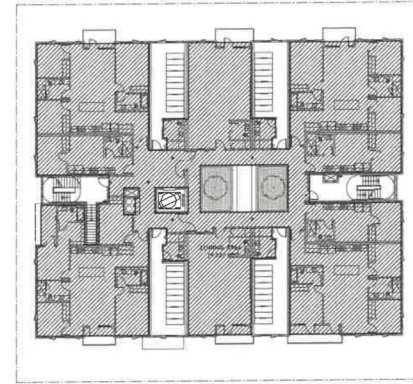
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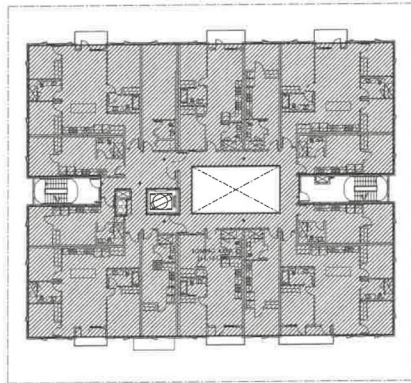
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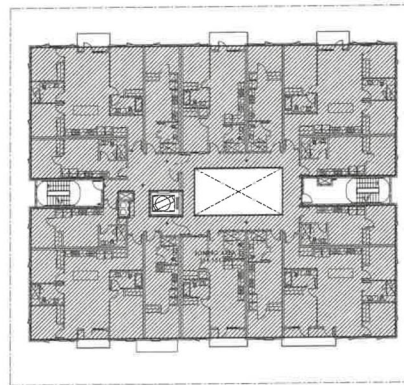
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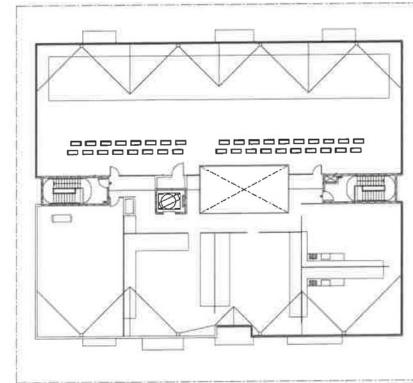
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4 ZONING AREA - 3RD-5TH LEVEL  
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5 ZONING AREA - 6TH LEVEL  
SCALE 1/8"=1'-0"



6 ZONING AREA - ROOF LEVEL  
SCALE 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 4 of 21  
DIR 2022-166-TOC HQA

ZONING AREA	
LEVEL	FLOOR AREA
BASEMENT FL	92 sf
GROUND FL	2,069 sf
SECOND FL	9,427 sf
THIRD FL	11,131 sf
FOURTH FL	11,131 sf
FIFTH FL	11,131 sf
SIXTH FL	11,131 sf
ROOF	-
<b>PROPOSED ZONING AREA</b>	<b>56,112 sf</b>

**JPA**

**JPARK ARCHITECTS**

TEL: 310.874.3001 | 300 N. GARDEN  
FAX: 310.874.3002 | 300 N. GARDEN, SUITE 500  
LOS ANGELES, CA 90012



**URSA 1037 DEWEY AVE.**  
LLC

10075 W. PICO BLVD. SUITE 210  
LOS ANGELES, CA 90064



**1037 S. DEWEY AVE. MULTI-UNIT**  
**NEW TOC 60 UNITS APARTMENT**  
1037 S. DEWEY AVE., LOS ANGELES, CA 90006

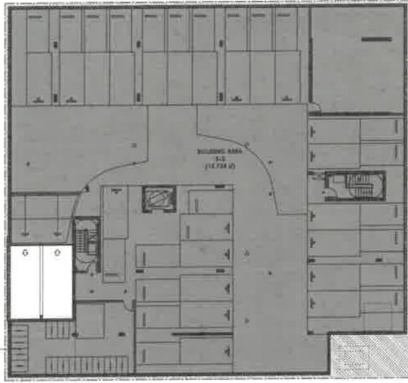
REVISION	DATE	BY

PROJECT DATA	
PROJECT NUMBER:	
DATE:	
ENGINEER:	
APPROVED:	

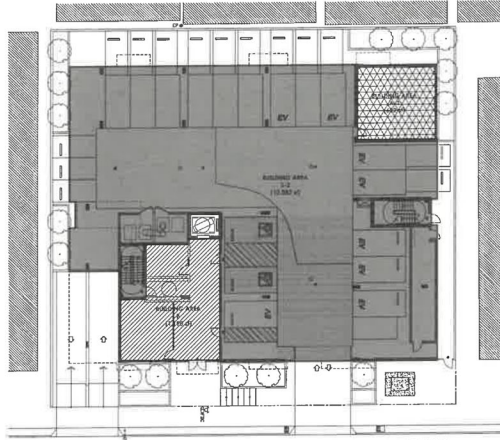
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SHEET NAME:  
**ZONING AREA DIAGRAMS**

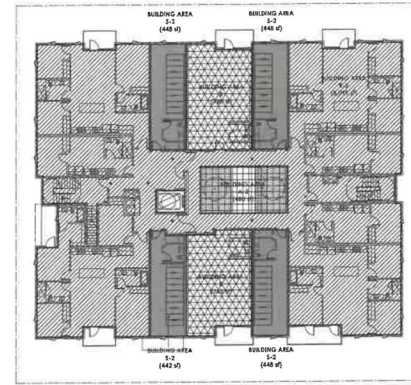
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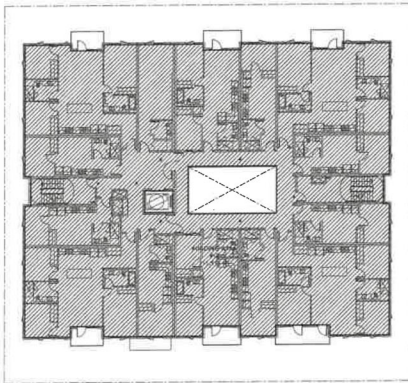
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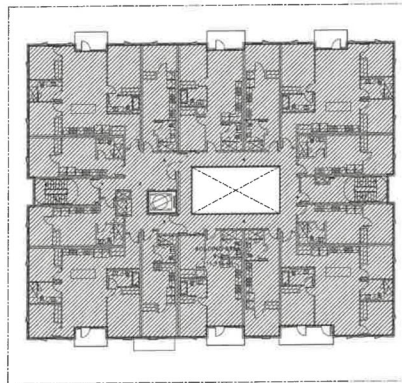
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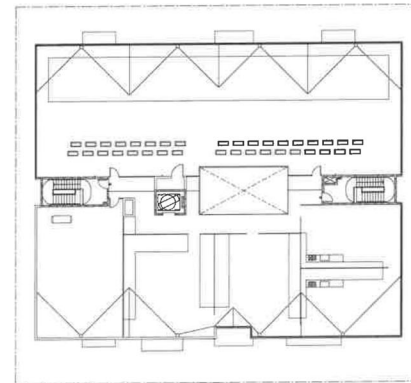
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4 BUILDING AREA - 3RD-5TH LEVEL  
SCALE 1/8"=1'-0"



5 BUILDING AREA - 6TH LEVEL  
SCALE 1/8"=1'-0"



6 BUILDING AREA - ROOF LEVEL  
SCALE 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 5 of 21  
Dir. 2012 736-TC-HA  
Case No.

BUILDING AREA	LEVEL	FLOOR AREA				SUBTOTAL
		S-2	R-2	A-3	B	
BASEMENT FL	TYP	15,755 sf	-	-	-	15,755 sf
GROUND FL	IA	11,092 sf	25,807 sf	-	-	11,899 sf
SECOND FL	-	1,786 sf	-	652 sf	1,190 sf	11,899 sf
THIRD FL	-	-	8,097 sf	652 sf	1,925 sf	11,516 sf
FOURTH FL	-	-	11,516 sf	-	-	11,516 sf
FIFTH FL	TYP	-	1,786 sf	54,163 sf	480 sf	11,516 sf
SIXTH FL	-	-	-	11,516 sf	-	11,516 sf
ROOF	-	-	-	-	-	-
<b>PROPOSED BUILDING AREA</b>		<b>27,593 sf</b>	<b>54,163 sf</b>	<b>1,132 sf</b>	<b>2,715 sf</b>	<b>85,603 sf</b>

**JPA**

**JPARK ARCHITECTS**

TEL: 323.943.3026 | 323.943.3447  
EMAIL: JPARK@JPARCHITECTS.COM  
1000 WILSHIRE BLVD., SUITE 300  
LOS ANGELES, CA 90010



**URSA 1037 DEWEY AVE.**  
LLC

1037 W. PICO BLVD, SUITE 210  
LOS ANGELES, CA 90060



**1037 S. DEWEY AVE. MULTI-UNIT NEW TOC 60 UNITS APARTMENT**  
1037 S. DEWEY AVE., LOS ANGELES, CA 90006

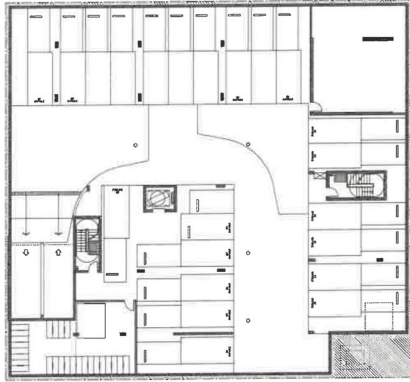
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PROJECT DATA  
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DATE: 02/23/12  
APPROVED BY:

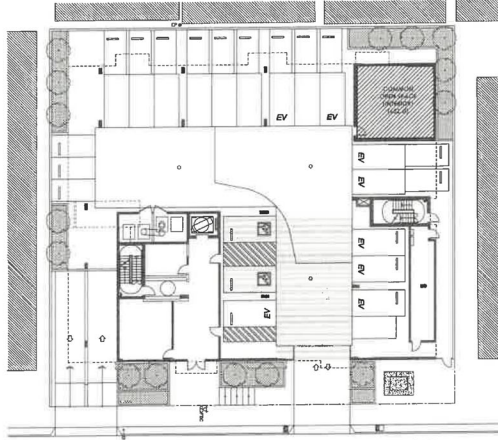
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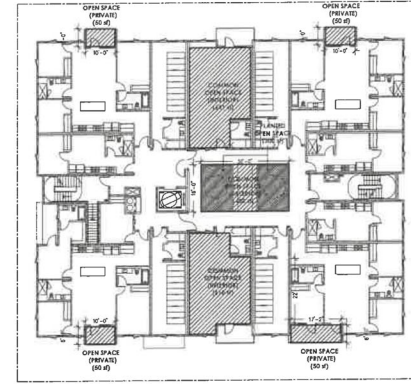
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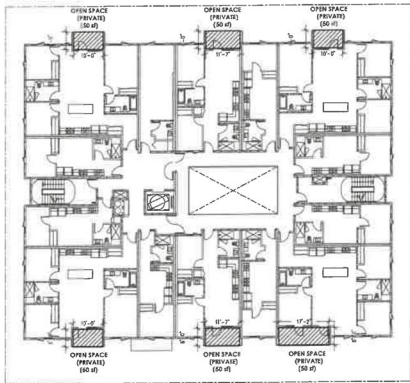
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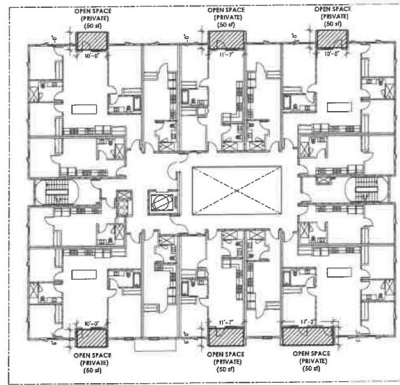
2 OPEN SPACE - 1ST LEVEL  
SCALE 1/8"=1'-0"



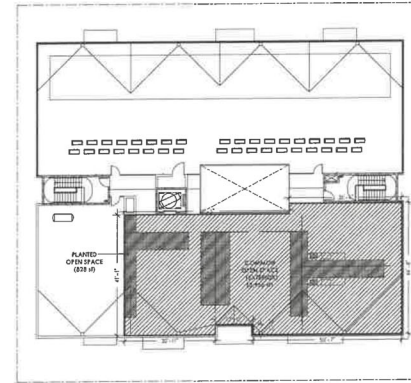
3 OPEN SPACE - 2ND LEVEL  
SCALE 1/8"=1'-0"



4 OPEN SPACE - 3RD-5TH LEVEL  
SCALE 1/8"=1'-0"



5 OPEN SPACE - 6TH LEVEL  
SCALE 1/8"=1'-0"



6 OPEN SPACE - ROOF LEVEL  
SCALE 1/8"=1'-0"

\* OPEN SPACE REQUIREMENT FOR SIX OR MORE RESIDENTIAL UNITS.  
(LAMC SEC. 12.21.G)

COMMON OPEN SPACE:

- (I) BE OPEN TO THE SKY AND HAVE NO STRUCTURES THAT PROJECT INTO THE COMMON OPEN SPACE AREA, EXCEPT AS PROVIDED IN SECTION 12.22 C.(20.B).
- (II) BE READILY ACCESSIBLE TO ALL THE RESIDENTS OF THE SITE.
- (III) HAVE A MINIMUM AREA OF 400 SQ. FT. WITH NO HORIZONTAL DIMENSION LESS THAN 15 FEET WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES OF THE OPEN SPACE AREA.
- (IV) CONSTITUTE AT LEAST 50% OF THE TOTAL REQUIRED USABLE OPEN SPACE IN DEVELOPMENTS BUILT AT AN R3, RAS3, R4, RAS4, AND/OR R5 DENSITY REGARDLESS OF THE UNDERLYING ZONE. (AMENDED BY ORD. NO. 174,999, EFF. 1/15/03.)
- (V) BE LOCATED AT THE GRADE LEVEL OR FIRST HABITABLE ROOM LEVEL, EXCEPT IN DEVELOPMENTS BUILT AT AN R3, RAS3, R4, RAS4, AND/OR R5 DENSITY REGARDLESS OF THE UNDERLYING ZONE. (AMENDED BY ORD. NO. 174,999, EFF. 1/15/03.)

PRIVATE OPEN SPACE

- PRIVATE OPEN SPACE IS AN OPEN SPACE AREA, WHICH IS CONTIGUOUS TO AND IMMEDIATELY ACCESSIBLE FROM A SINGLE DWELLING UNIT AND WHICH MEETS ALL OF THE FOLLOWING REQUIREMENTS OF THE ZONES HEREIN SPECIFIED:
- (1) IN DEVELOPMENTS BUILT AT AN R3, RAS3, R4, RAS4, AND/OR R5 DENSITY REGARDLESS OF THE UNDERLYING ZONE, PRIVATE OPEN SPACE MAY BE PROVIDED ABOVE THE FIRST HABITABLE ROOM LEVEL. WHEN SO PROVIDED, IT SHALL:
    - (I) CONTAIN A MINIMUM OF 50 SQUARE FEET OF WHICH NO MORE THAN 50 SQUARE FEET PER DWELLING UNIT SHALL BE ATTRIBUTABLE TO THE TOTAL REQUIRED USABLE OPEN SPACE;
    - (II) HAVE NO HORIZONTAL DIMENSION LESS THAN 20 FEET WHEN MEASURED PERPENDICULAR FROM ANY POINT ON EACH OF THE BOUNDARIES OF THE OPEN SPACE AREA; AND
    - (III) PROVIDE A MINIMUM EIGHT FOOT VERTICAL CLEARANCE UNDER ANY PROJECTION, EXCEPT AS PROVIDED IN SECTION 12.22 C.(20.B); AND
    - (IV) THAT PORTION OF A BALCONY WHICH EXTENDS OR PROJECTS INTO A REQUIRED FRONT YARD IN COMPLIANCE WITH SECTION 12.22 C.(20.D) MAY QUALIFY AS USABLE OPEN SPACE PROVIDED IT MEETS EACH OF THE ABOVE SPECIFIED REQUIREMENTS SET FORTH IN THIS SUBPARAGRAPH.

**EXHIBIT "A"**  
Page No. 6 of 21  
DIP-2022-13-10-TRA  
Case No.

OPEN SPACE		STUDIO (100/UNIT)	1 BED (100/UNIT)	2 BED (125/UNIT)	3 BED (175/UNIT)	4 BED (175/UNIT)
NO. OF UNITS	REQUIRED	32	8	19	1	
		3,700 sf	3,000 sf	3,325 sf	175 sf	
TOTAL		7,700 sf				
PROVIDED	BASEMENT					
COMMON (INT.)			480 sf			3,925 sf
PRIVATE		652 sf	1,235 sf	900 sf	300 sf	
TOTAL		7,745 sf				

REQUIREMENT : 7,700 sf  
PROVIDED : 7,745 sf  
PLANTED OPEN SPACE REQUIREMENT (25% OF COMMON EXT. OPEN SPACE): 1,109 sf  
PLANTED OPEN SPACE PROVIDED: 1,128 sf

**JPA**

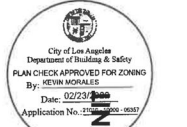
**JSPARK  
ARCHITECTS**

TEL: 323.841.9000 | 323.841.9047  
FAX: 323.841.9047  
300 W. PINE BLVD., SUITE 200  
LOS ANGELES, CA 90010



**URSA 1037  
DEWEY AVE.**  
LLC

1037 W. PINE BLVD., SUITE 210  
LOS ANGELES, CA 90015



**1037 S. DEWEY AVE. MULTI-UNIT  
NEW TOC 60 UNITS APARTMENT**  
1037 S. DEWEY AVE., LOS ANGELES, CA 90006

REVISION	DATE	BY

PROJECT DATA  
PROJECT NUMBER:  
SHEET NUMBER:  
DATE:  
JOB NO.:

SCALE  
1/8"=1'-0"

SHEET NAME  
**OPEN SPACE  
DIAGRAMS**

SHEET NUMBER



**EXHIBIT "A"**  
Page No. 7 of 21  
D.P. # 2022-236-TOC-HC  
Case No. \_\_\_\_\_

**JPA**

JPARK  
ARCHITECTS

TEL: 323.243.3000 | FAX: 323.953.9447  
EMAIL: JPA@JPAARCH.COM  
1500 VAN NESTE BLVD., SUITE 200  
LOS ANGELES, CA 90008



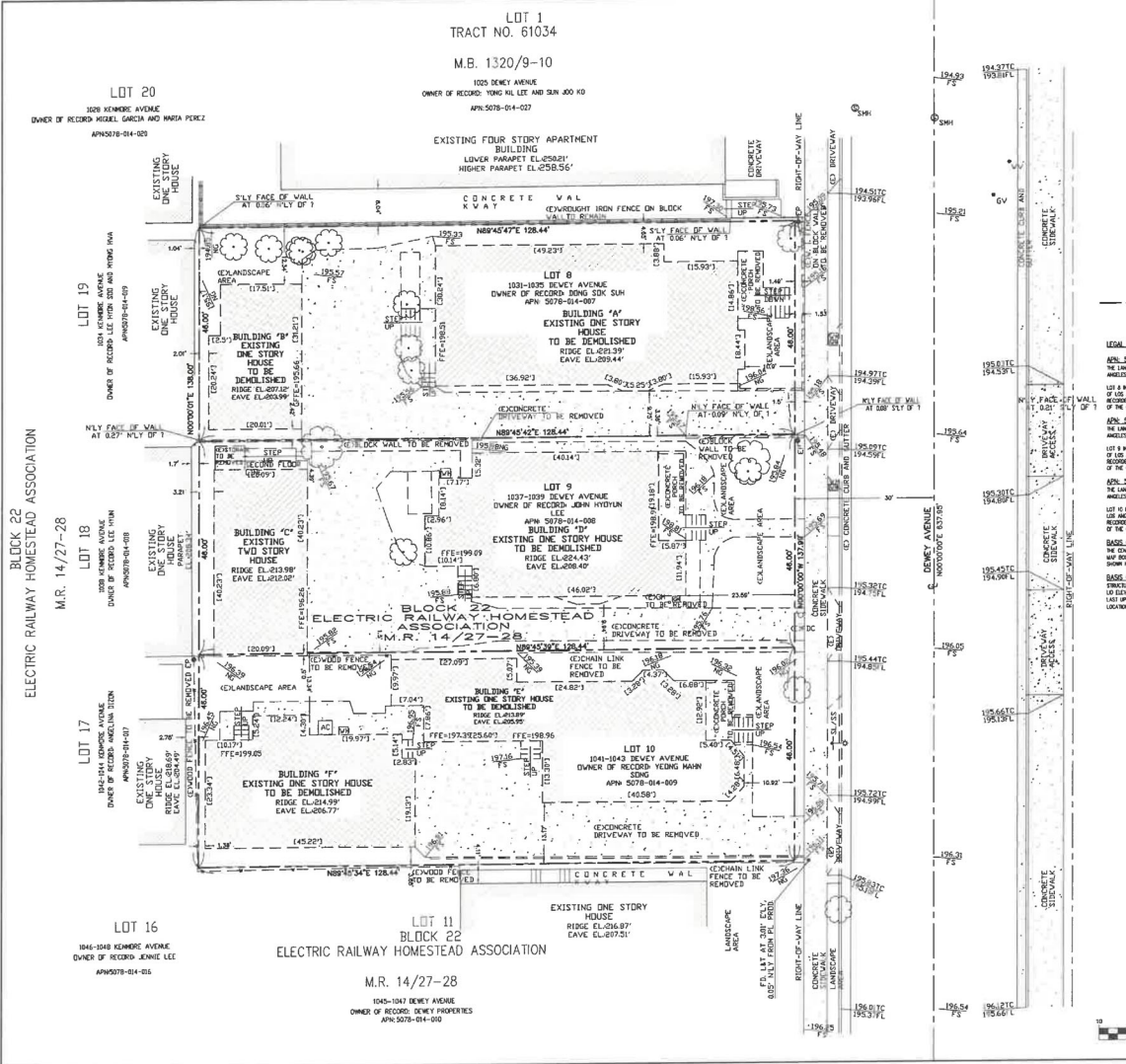
**URSA 1037 DEWEY AVE.**  
LLC

1037 W. PICO BLVD., SUITE 210  
LOS ANGELES, CA 90006



City of Los Angeles  
Department of Building & Safety  
PLAN CHECK APPROVED FOR ZONING  
By: KEVIN MORALES  
Date: 02/23/2024  
Application No.: 2024-0000-0057

**1037 S. DEWEY AVE. MULTI-UNIT  
NEW TOC 60 UNITS APARTMENT**  
1037 S. DEWEY AVE., LOS ANGELES, CA 90006



**LEGENDS**

- AC AIR CONDITION UNIT
- APN ASSASSOR'S PARCEL NUMBER
- CEFB CITY ENGINEER'S FIELD BOOK
- D/L DRAIN LINE
- DM DOWN
- EV ELECTRICAL
- EP END POLE
- FS FOUND
- FF FRESH FLOOR ELEVATION
- OFFE OFFICE
- OS ONE STORY HOUSE
- FS FINISHED SURFACE
- FM GAS METERS
- OV GAS VALVE
- LS LEAD AND TACK WALL
- MB MAP BOOK
- MECE/MECE/MECE RECORD
- NI NATURAL BRIDGE
- NI/NY NORTH/SOUTH
- PS PAVED
- SLSS STREET LIGHT WITH STREET SIGN
- SI SIGN
- SEWER MANHOLE
- SL/SY SOUTHWEST/NORTHWEST
- TC TOP OF CURB
- WM WATER METER
- WC WATER CLOSURE
- EXTENSION BUILDING DIMENSION
- HTS HATCHES
- (R1) RECORD ON CALCULATOR FOR ELECTRIC RAILWAY HOMESTEAD ASSOCIATION

**LEGAL DESCRIPTION**

**APN 5078-014-001**  
THE LAND INTEREST HEREIN IS SITUATED IN THE CITY OF COMPTON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOT 8 IN A BLOCK OF THE ELECTRIC RAILWAY HOMESTEAD ASSOCIATION, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SET FORTH AND RECORDED IN BOOK 14, PAGE 27 AND 28 OF INSTRUMENTS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

**APN 5078-014-002**  
THE LAND INTEREST HEREIN IS SITUATED IN THE CITY OF COMPTON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOT 9 IN A BLOCK OF THE ELECTRIC RAILWAY HOMESTEAD ASSOCIATION, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SET FORTH AND RECORDED IN BOOK 14, PAGE 27 AND 28 OF INSTRUMENTS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

**APN 5078-014-003**  
THE LAND INTEREST HEREIN IS SITUATED IN THE CITY OF COMPTON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOT 10 IN A BLOCK OF THE ELECTRIC RAILWAY HOMESTEAD ASSOCIATION, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SET FORTH AND RECORDED IN BOOK 14, PAGE 27 AND 28 OF INSTRUMENTS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

**APN 5078-014-004**  
THE LAND INTEREST HEREIN IS SITUATED IN THE CITY OF COMPTON, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
LOT 11 IN A BLOCK OF THE ELECTRIC RAILWAY HOMESTEAD ASSOCIATION, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SET FORTH AND RECORDED IN BOOK 14, PAGE 27 AND 28 OF INSTRUMENTS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

**BASES OF BEARINGS**  
ALL BEARINGS ARE TO BE TAKEN FROM THE POINT OF BEGINNING AS SHOWN ON THE MAP AND AS SET FORTH IN THE LEGENDS.

**BASES OF ELEVATION**  
ELEVATIONS ARE TO BE TAKEN FROM THE POINT OF BEGINNING AS SHOWN ON THE MAP AND AS SET FORTH IN THE LEGENDS.

**BASES OF BEARINGS**  
THE CENTERLINE OF DEWEY AVENUE, BEING NORTH PER TRACT NO. 61034, M.B. 1320/9-10, 14/27-28.

**SURVEY NOTES**

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON AND ALL THE NOTES, LEGENDS AND ABBREVIATIONS SHOWN ABOVE WERE TAKEN FROM ALTA/MEPS LAND TITLE SURVEY OF 1037-1047 S. DEWEY AVENUE, PREPARED BY SAN A. SOLIMEN, L.S. 8269, TEL. NO. (714) 376-7123.
2. THE BOUNDARY SHOWN HEREON WAS PREPARED BY SURVEYING AND DRAFTING SERVICES, INC.
3. ASSASSOR'S PARCEL NUMBERS: 5078-014-001, 008 & 009.
4. LAND AREA:  
APN: 5078-014-001: 5,908 SQ. FT. 0.136 ACRE  
APN: 5078-014-008: 5,908 SQ. FT. 0.136 ACRE  
APN: 5078-014-009: 5,908 SQ. FT. 0.136 ACRE

**SHAW LEGAL DESCRIPTION**  
LOTS 8, 9 AND 10 IN BLOCK 22 OF THE ELECTRIC RAILWAY HOMESTEAD ASSOCIATION, M.R. 14/27-28.

**EASEMENT NOTE**  
PLEASE REFER TO THE ABOVE REFERENCED ALTA/MEPS SURVEY BY SAN A. SOLIMEN FOR TITLE EXCEPTIONS. THERE WERE NO PLOTTABLE EASEMENTS REFERENCED IN SAID SURVEY.

**BASES OF BEARINGS**  
THE CENTERLINE OF DEWEY AVENUE, BEING NORTH PER TRACT NO. 61034, M.B. 1320/9-10, 14/27-28.

*For Sloira*  
11-29-21  
DATE

OVER L.A.P.S. 7123  
CORNER 1037 S. DEWEY

**Surveying & Drafting Services, Inc.**  
305 South Street, Los Angeles, CA 90008  
Tel: (323) 365-2022 Email: ms@surveyinganddrafting.com  
www.surveyinganddrafting.com

**TOPOGRAPHIC SURVEY OF 1037-1047 DEWEY AVENUE, LOS ANGELES, CALIFORNIA 90008**

DATE: 11-29-21 DRAWN BY: VL  
DATE OF SURVEY: 11-11-21 CHECKED BY: G.S.  
JOB NAME: FAU/DEWEY SHEET: 1 OF 1

SCALE: 1" = 10'  
0 10 20

REVISIONS

NO.	DATE	BY	DESCRIPTION

PROJECT DATA

NO.	DATE	BY

SCALE

SHEET NAME

SURVEY MAP

SHEET NUMBER

JPA

JPARK ARCHITECTS

TEL: 323 834 3000 | 323 951 9447  
 EMAIL: JPARK@JPARCH.COM  
 3850 WILSHIRE BLVD., SUITE 206  
 LOS ANGELES, CA 90010

REAL:



TITLE

URSA 1037 DEWEY AVE. LLC

18673 W. PICO BLVD., SUITE 210  
 LOS ANGELES, CA 90004

TITLE



City of Los Angeles

Department of Building & Safety

PLAN CHECK APPROVED FOR ZONING

By: KEVIN MORALES

Date: 02/23/2018

Application No.: 18-0000-0000

1037 S. DEWEY AVE., LOS ANGELES, CA 90006

1037 S. DEWEY AVE., LOS ANGELES, CA 90006

1037 S. DEWEY AVE., LOS ANGELES, CA 90006

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1037 S. DEWEY AVE., LOS ANGELES, CA 90006

1037 S. DEWEY AVE., LOS ANGELES, CA 90006

PROPOSED 6-STORY APARTMENT BUILDING, TYPE 3-A OVER TYPE 1-A FIRST AND BASEMENT LEVELS

\* 8'-0" CURB WALL, NECESSARY ON PROPERTY LINE  
 \* SPILT CURB ON ON-PROJECT SIDE & STRUCTURE ON PROJECT SIDE

TOTAL LOT AREA: 17,274 SF = 100%  
 BUILDING AREA: 12,925 SF = 71%  
 LANDSCAPE / EXPOSURE AREA: 1,847 SF = 11%  
 EXPOSED CONCRETE: 1,542 SF  
 HARDSCAPE AREA: 3,865 SF = 22%

REDUCTION OF HEAT ISLAND EFFECT  
 HARDSCAPE AREA: 3,865 S.F.  
 RED. 10%  
 UNPAVED CONCRETE: 1,542 S.F.  
 \* MEETS MIN. 0.35 SSI OF ASTM E 1918 CR-1549

A MINIMUM OF 50% OF HARDSCAPE MATERIAL SHALL HAVE AN INITIAL SOLAR REFLECTANCE INDEX (SRI) OF 25 OR GREATER. THE HARDWARE SHALL CONSIST OF UNCOLORED CONCRETE, SMOOTH CEMENT FINISH.  
 IRRADIATION CONTROLLER: WEATHER-BASED IRRADIATION CONTROLLER

REVISION	NO.	DATE

PROJECT DATA		
PROJECT NUMBER:	PJM	
SHEET:	SITE PLAN	
DATE:	02/23/2018	
APPROVED:	[Signature]	

SCALE: 1/8" = 1'-0"

SHEET NAME: SITE PLAN

SHEET NUMBER:



Certificate of Compliance

You have been awarded:  
**Intertek WH US + C Mark for Building Materials With Surface Burning Characteristics, Smoke Control Door Assemblies**  
Intertek is the world's leading certifying body in building materials testing and certification.

Organization: Smoke Guard, Inc.  
212 W. Main Street Road  
Boca, RI 02154  
United States

Product: Smoke Guard® Model 300  
Intertek Test Report No. 98137-2017-301

Certification body: Intertek Testing Services NA, Inc.  
Initial registration: February 1, 2017  
Date of expiry: February 13, 2021  
Issue status: 5

Authorized By:  
John Pappas, Director of Certification  
Intertek Testing Services NA, Inc.  
800 N. Riverside Blvd., Suite 700  
Boca, RI 02154, USA  
Phone: 401-826-8877 Fax: 401-826-7788

Smoke Guard Inc | 38801 | Rev. Mar 22 2021 3:07PM | Unclassified Copy

Page 1 of 2

**LISTING INFORMATION**

**System Description:** The Smoke Guard Model 300 (M300) System is a code-compliant smoke and draft control assembly when used with standard fire-rated doors. The Smoke Guard M300 System consists of a reinforced, translucent, polycarbonate or polycarbonate resin. The film edge is reinforced to handle magnetic strips which adhere to the door edge when the system is properly installed.

The Smoke Guard M300 System includes a control system consisting of a pre-wired control board containing the control, alarm and diagnostic logic. The M300 uses standard building power and an optional battery backup system for operation in the event of a power outage. The Smoke Guard Model 300 System is designed for application for a maximum doorway opening of 76-10 inches wide, and a maximum ceiling height of 14 feet. Additional installation components are required for openings greater than 25-1/4 inches wide.

**System Operation:** The Smoke Guard system is designed to protect doorway openings and the shaft from vertical smoke migration. The system will deploy only when the smoke detector at front of that particular elevator opening goes into alarm.

**FLAME SPREAD RATINGS**

Test Standard	Flame Spread	Smoke Development
ASTM E84	0-25	0-400

**AIR LEAKAGE RATINGS**

Test Standard	Test Type	Rating
UL 1784	Ambient Temperature	0.5 cfm <sup>3</sup> at up to 0.30 in. of w.c.
UL 1784	Elevated Temperature	0.5 cfm <sup>3</sup> at up to 0.30 in. of w.c.

This assembly was tested without an artificial bottom seal. The assembly may be installed on areas where penetration is provided to control smoke exposure in accordance with Section 9.02 of IFPA 105 (2015) and for necessary opening protection and lobby doorways as allowed in Chapter 20 of the 2018 IRC.

**UL LISTING RATINGS**

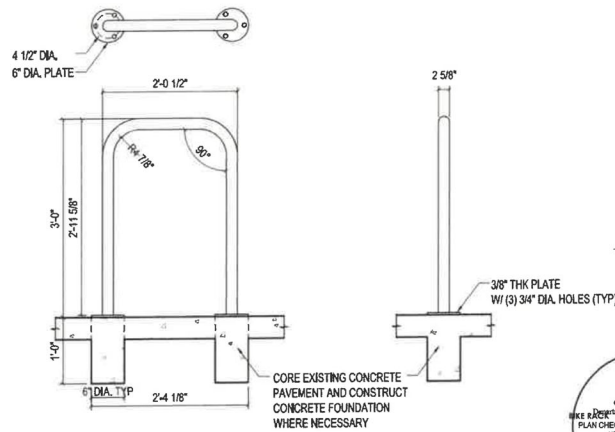
Test Standard	Test Type	Rating
UL 1784	Section 9.02 of IFPA 105 (2015)	Unannounced Egress

Smoke Guard Inc | 38801 | Rev. Mar 22 2021 3:07PM | Unclassified Copy

Page 2 of 2

**SMOKE GUARD SYSTEM**

DIRECT™ smoke return



**EXHIBIT "A"**  
Page No. 9 of 21  
Case No. DA 2022-756-100-HCA



JPA ARCHITECTS  
TEL: 323 252 3006 | 323 283 8847  
EMAIL: [jpa@jpaarch.com](mailto:jpa@jpaarch.com)  
1307 S. DEWEY AVE., SUITE 210  
LOS ANGELES, CA 90006

SEAL  
REGISTERED ARCHITECT  
JPA ARCHITECTS  
1307 S. DEWEY AVE., SUITE 210  
LOS ANGELES, CA 90006  
STATE OF CALIFORNIA

TITLE  
URSA 1037 DEWEY AVE. LLC

1037 W. PICO BLVD, SUITE 210  
LOS ANGELES, CA 90064

TITLE

City of Los Angeles  
Department of Building & Safety  
**PLEASE CHECK APPROVED FOR ZONING**  
By: KEVIN MORALES  
Date: 02/23/2024  
Application No.: 155-001-0001-0002

City of Los Angeles  
Department of Building & Safety

1037 S. DEWEY AVE. MULTI-UNIT NEW TOC 60 UNITS APARTMENT  
1037 S. DEWEY AVE., LOS ANGELES, CA 90006

REVISIONS

NO.	DATE	BY

PROJECT DATA

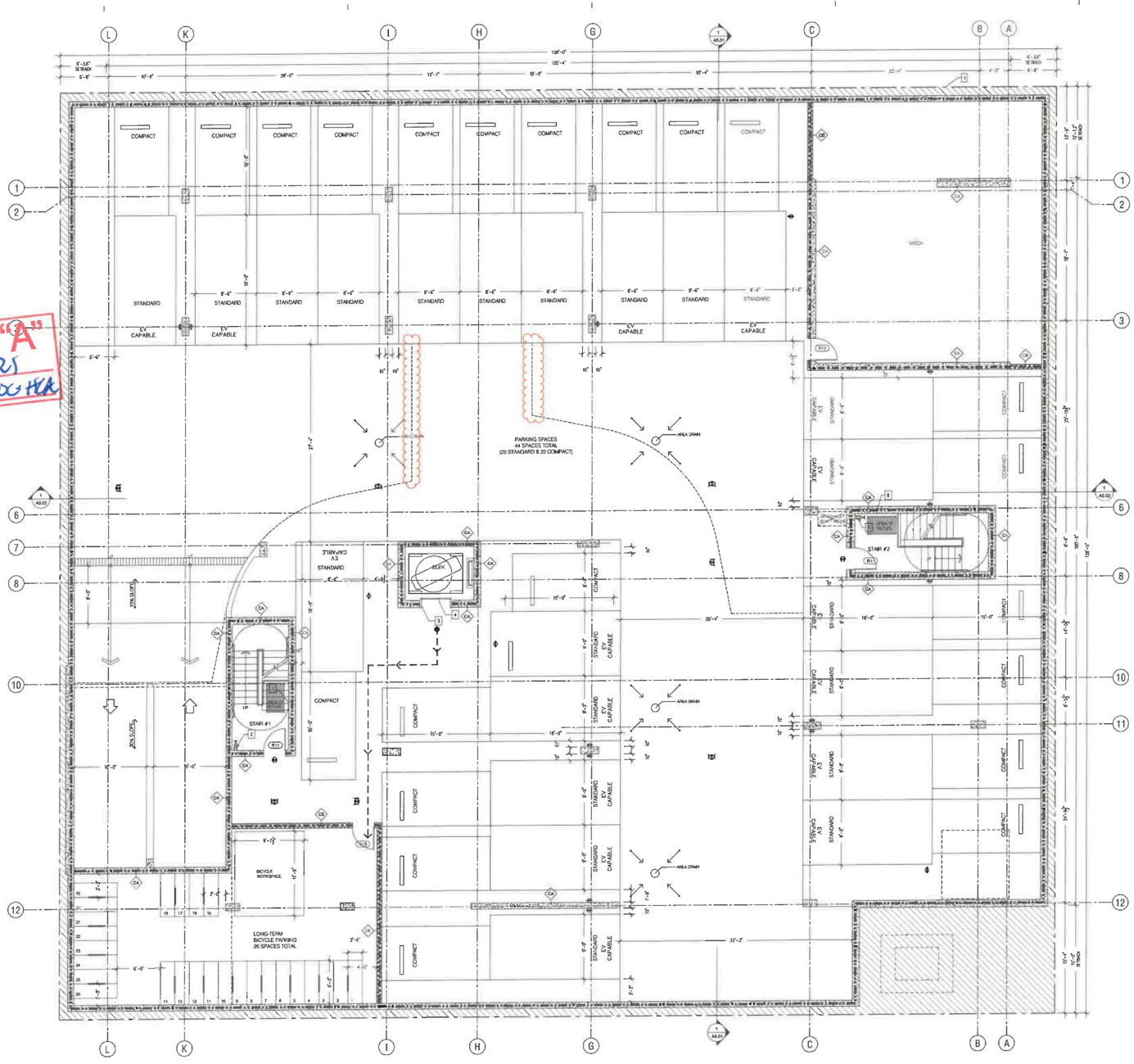
PROJECT NUMBER	DATE

SCALE

SHEET NAME  
**MATERIAL SPECIFICATIONS**

SHEET NUMBER

**EXHIBIT "A"**  
 Page No. 10 of 25  
 Date: 02/25/2025  
 Case No. 22-752-100-PCA



- SYMBOL LEGEND**
- CLASS A STAND PIPE PER FIRE PROTECTION
  - EXIT SIGN
  - EV CHARGER
  - EV GARAGE FACILITY ELIMINATION POINT
  - WALL TAG
  - WINDOW TAG- SEE A8.11
  - DOOR TAG- SEE A8.11
  - FLOOR FINISH MATERIAL- SEE A8.12
  - FLOOR DRAIN/NEED DRAIN
  - GAS HOODUP
  - 5 MINUTES MIN. AIR EXCHANGE FAN SEE MECH. PLAN. MECHANICAL EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:
    - 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE RATED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
    - 2. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMANITY CONTROL (CAL GREEN 4.06.1)

- WALL TYPES LEGEND**
- 1 HR. SINGLE STUD WALL- SEE A8.01
  - 1 HR. SINGLE STUD WALL- SEE A8.01
  - 1 HR. SINGLE STUD WALL- SEE A8.01
  - 1 HR. SINGLE STUD WALL- SEE A8.01
  - 1 HR. STAGGERED STUD WALL WITH INTERIOR FURRING WALL- SEE A8.01
  - 2 HR. SHUTT WALL- SEE A8.02
  - 2 HR. SHUTT WALL- SEE A8.02
  - 2 HR. FIREWALL- SEE A8.01
  - 1 HR. EXTERIOR WALL- SEE A8.01
  - 2 HR. EXTERIOR WALL- SEE A8.01
  - CONCRETE WALL- SEE A8.02/STRUCTURE
  - CMU WALL- SEE A8.02/STRUCTURE

- KEYNOTES**
1. PRIORITY LINE
  2. DOUBLE STYPING OF WALLS SHALL BE FOR JOINTS OR DOOR
  3. 20 MIP SCHED. 40M BRIDG
  4. OCC REPORT # ECR-1106 ON APPROVED I/O. ABOVE
  5. 20 MIP SCHED. 40M BRIDG PROTECTED WITH ALL 15M COMPLIANT SYSTEMS & 50 MIP FIRE RATED ELEVATOR DOOR
  6. ROLL DOWN FIRE DOOR 45MIN RATED
  7. ACCESS AUTOMATIC
  8. COMP. BSW WITH 1/8"
  9. PROVIDE THIRDPARTY COMMUNICATIONS SEE THIRDPARTY COMMUNICATION NOTES (OR 30A FIRE DEPARTMENT) NOTES

- PARKING NOTES :**
1. DOUBLE STYPING OF WALLS SHALL BE FOR JOINTS OR DOOR
  2. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY POWER ALL OPERATED BY SPACES AT THE FULL RATED AMPERAGE OF THE CIRCUIT. MAIN SERVICE SHALL BE BASED UPON A COMPLETE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
  3. THE SERVICE PANEL ON SURFNAME CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE (SPACES) RESERVED FOR FUTURE BY ADDITIONAL PROVISIONS AS TO CAPABLE BE ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

**JPA**  
**J PARK ARCHITECTS**  
 1037 S. DEWEY AVE. SUITE 110  
 LOS ANGELES, CA 90006  
 TEL: 310.400.8000  
 FAX: 310.400.8000  
 WWW.JPARCHITECTS.COM

SEAL  
 LICENSED ARCHITECT  
 STATE OF CALIFORNIA  
 TITLE  
 URSA 1037 DEWEY AVE. LLC  
 1037 S. DEWEY AVE. SUITE 110  
 LOS ANGELES, CA 90006

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR JOINTS  
 KEVIN MORALES  
 Date: 02/23/2025  
 Application No.: 22-000000-0000

**1037 S. DEWEY AVE. MULTI-JUNIT**  
**NEW TOC 60 UNITS APARTMENT**  
 1037 S. DEWEY AVE., LOS ANGELES, CA 90006

**REVISIONS**

NO.	DATE	BY	REVISION

**PROJECT DATA**

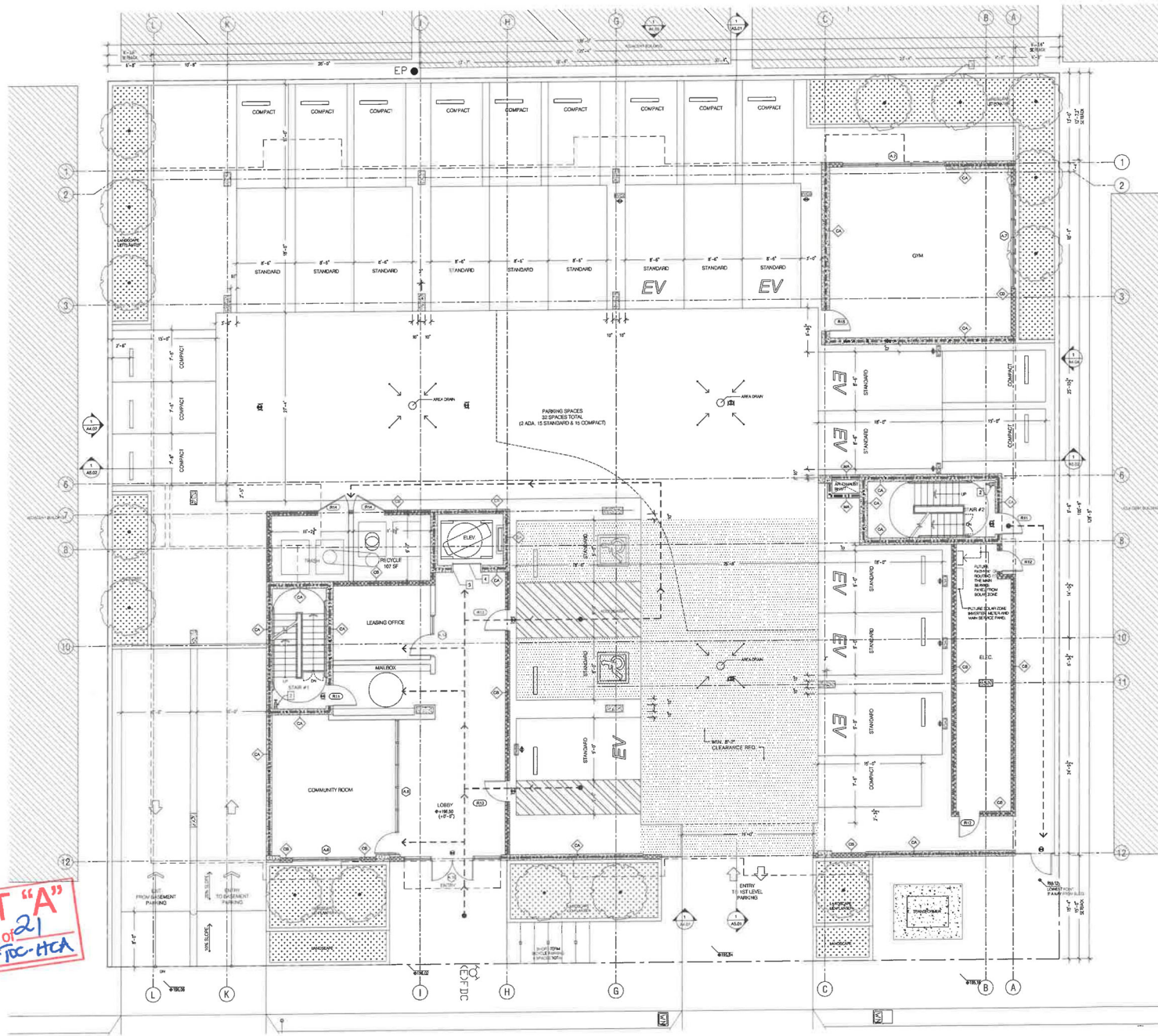
PROJECT NUMBER: 1037-25  
 DATE: 02/25/25  
 CHECKED BY: [Signature]  
 APPROVED BY: [Signature]

SCALE: 1/4" = 1'-0"

SHEET NAME:  
**BASEMENT FLOOR PLAN**

SHEET NUMBER

**EXHIBIT "A"**  
 Page No. 11 of 21  
 Date 7/22/22 752-PC-HCA  
 Case No.



- SYMBOL LEGEND**
- CLASS A STAND PIPE FIRE PROTECTION
  - EXIT SIGN
  - EV CHARGER
  - EV CABLE FACED TERMINATION POINT
  - WALL TAG
  - WINDOW TAG - SEE 11
  - DOOR TAG - SEE 11
  - FRESH WATER MAIN - SEE AS 12
  - FLOOR DRAIN/TRAP DRAIN
  - GAS HOODTOP
  - 3 MINUTES MIN. AIR EXCHANGE FAN - SEE MECH. PLAN  
BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:  
1. FANS SHALL BE ENERGY STAR COMPLIANT  
2. FANS SHALL BE EXHAUSTED TO THE OUTSIDE OF THE BUILDING  
3. FANS SHALL BE EXHAUSTED AS A COMPONENT OF A MECH. SYSTEM WITH FRESH AIR SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL (SEE GREEN AS 12)

- WALL TYPES LEGEND**
- SINGLE STUD WALL - SF-AS1P
  - 1 HR. SINGLE STUD WALL - SF-AS1
  - 2 HR. SINGLE STUD WALL - SF-AS2
  - 1 HR. SINGLE STUD WALL WITH FIRE-RET. GLAZING - SF-AS1FG
  - 1 HR. STAGGERED STUD WALL WITH FIRE-RET. GLAZING - SF-AS1FGS
  - INTERIOR PARTITION WALL - SF-AS1I
  - 2 HR. SHAFT WALL - SF-AS2S
  - 3 HR. FIRE WALL - SF-AS3
  - 1 HR. EXTERIOR WALL - SF-AS1E
  - 2 HR. EXTERIOR WALL - SF-AS2E
  - CONCRETE WALL - SF-AS2C STRUCTURE
  - CHW WALL - SF-AS2CW STRUCTURE

- KEYNOTES**
1. PRIORITY LINE
  2. STAIRWELL - REFER TO FIRE PROTECTION
  3. ELEVATOR - REFER TO FIRE PROTECTION
  4. ELEVATOR - REFER TO FIRE PROTECTION
  5. ELEVATOR - REFER TO FIRE PROTECTION
  6. PROVIDE TWO-WAY COMMUNICATION SEE TWO-WAY COMMUNICATION NOTES FOR FIRE PROTECTION NOTES

- PARKING NOTES:**
1. DOUBLE STRIPING OF SPACES SHALL BE PER ZONING CODE SECTION 12.21 AS C4(4) AND 12(3)
  2. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED BY SYMBOLS IN THE SITE AREA. THE CAPACITY OF THE EVSE, PLAN DESIGN SHALL BE BASED UPON A CHARGING RATE OF 15 KW PER HOUR. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
  3. THE SERVICE PANEL OR SUBPANEL CIRCUIT BREAKER SHALL BE SIZED TO THE OVER CURRENT PROTECTIVE DEVICE (SPACES) RESERVED FOR EV USE BY CHARGING STATIONS AS TOY CARBUILT IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

- RECYCLING AREA NOTES:**  
 (LAMC 12.21.A.19(c)(4)-(12)(j))
1. TO ENCOURAGE ACTIVE PARTICIPATION IN RECYCLING TO THE MAXIMUM EXTENT POSSIBLE, EACH PROPERTY OWNER, MANAGER, OR LESSEE SHALL NOTIFY ALL TENANTS AND/OR EMPLOYEES OF THE AVAILABILITY AND LOCATION OF THE RECYCLING AREAS OR ROOMS. THE TYPES OF MATERIALS THAT ARE COLLECTED FOR RECYCLING, THAT THE RECYCLING COLLECTION PAILS ARE LOCATED ON THE PROPERTY PURSUANT TO STATE LAW PROHIBITING THE COLLECTION OF RESIDENTIAL PORTION OF SOLID WASTE.
  2. EACH PROPERTY OWNER OR LESSEE SHALL CONTRACT WITH A RECYCLER OR HAULER FOR THE PICKUP OF RECYCLABLE MATERIALS SEPARATE FROM TRASH COLLECTION, WHEN RECYCLABLES ARE ALL ON EVERY WEEK, UNLESS OTHERWISE SPECIFIED.
  3. NO TRASH OR UNDESIRABLE MATERIAL SHALL BE STORED IN RECYCLING AREAS OR ROOMS INCLUDING ON RECYCLABLES.
  4. ALL RECYCLABLE MATERIALS SHALL BE PLACED OR STORED IN RECYCLING RECEPTACLES. PAPER PRODUCTS AND OTHER RECYCLABLE MATERIALS SHALL BE IMMEDIATELY PLACED INTO COVERED RECYCLING RECEPTACLES WHEN THEY ARE AVAILABLE.
  5. ON A DAILY BASIS THE RECYCLING AREA OR ROOM SHALL BE KEPT FREE OF LITTER, DEBRIS, SPILLAGE, SLASH, RODENTS, COOKING, AND OTHER HAZARDOUS UNDESIRABLE HAZARDS.
  6. THE RECYCLING AREA OR ROOM SHALL BE CLEARLY IDENTIFIED BY ONE OR MORE SIGNS DESIGNATING IT FOR RECYCLING COLLECTION ONLY.
  7. THE RECYCLING AREA OR ROOM SHALL BE AVAILABLE FOR USE BY PERSONS RESIDING OR EMPLOYED ON THE PROPERTY, BUT SHALL BE KEPT GENERAL PUBLIC.
  8. RECYCLING AREAS OR ROOMS SHALL NOT OBTAIN THE REQUIRED NUMBER OF PARKING SPACES OR IMPAIR TRAFFIC FLOW.
  9. RECYCLING AREAS OR ROOMS SHALL BE PLACED

**JPA**  
**JPARK ARCHITECTS**  
 1611 333 8TH ST. #2200  
 300 W. PULVER BLVD. SUITE 900  
 LOS ANGELES, CA 90013

SEAL  
 JAY H. PAVES  
 ARCHITECT  
 STATE OF CALIFORNIA

**URSA 1037 DEWEY AVE.**  
 L.L.C.  
 1037 W. PRUD BLVD. SUITE 310  
 LOS ANGELES, CA 90007

City of Los Angeles  
 Department of Building & Safety  
**PLAN CHECK APPROVED FOR ZONING**  
 KEVIN MORALES  
 Date: 02/23/2022  
 Application No.: 22-0000-0000-0000

**1037 S. DEWEY AVE. MULTI-UNIT  
 NEW TOC 60 UNITS APARTMENT**  
 1037 S. DEWEY AVE., LOS ANGELES, CA 90006

REVISIONS	DATE	BY	DESCRIPTION

**PROJECT DATA**

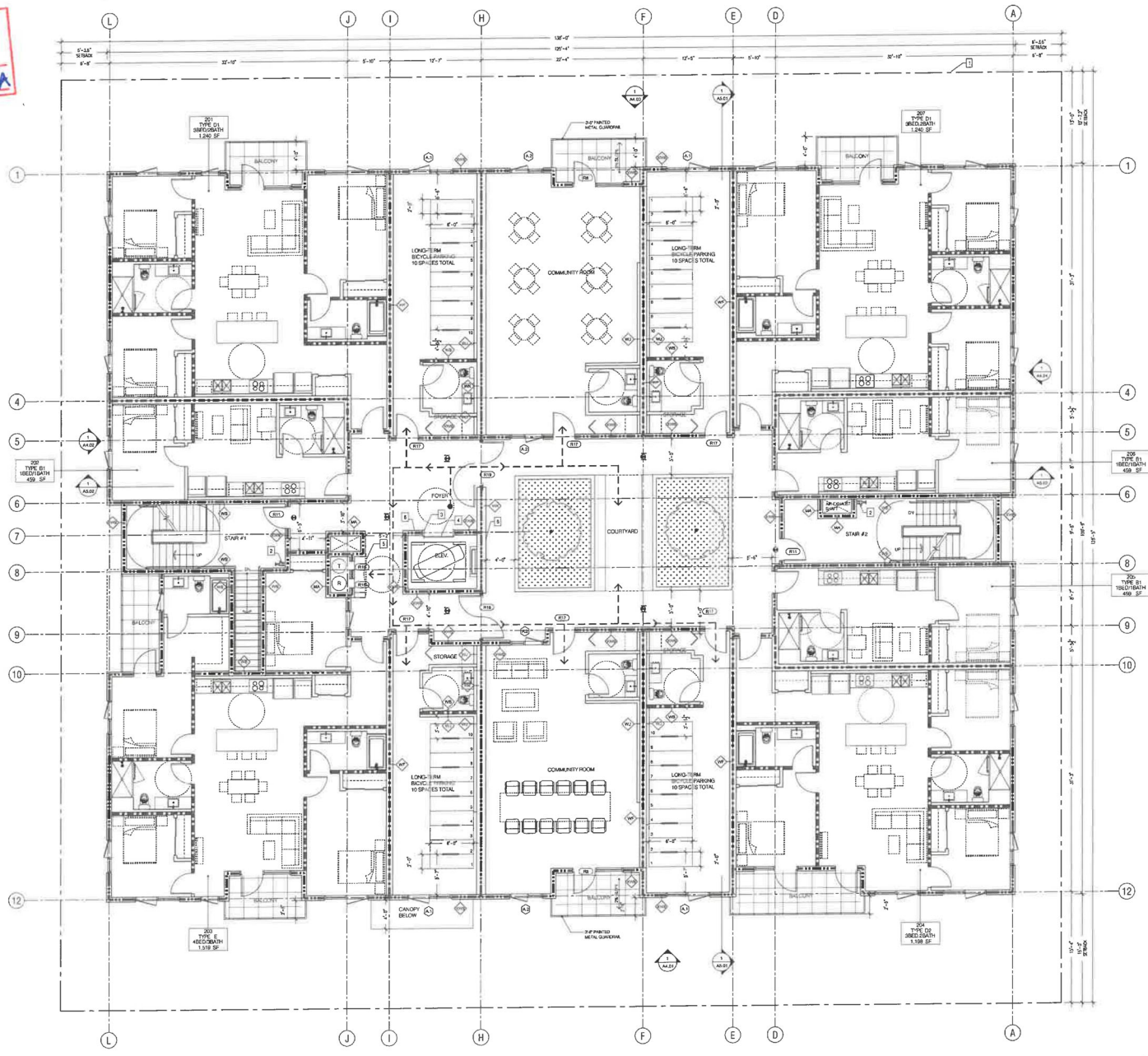
PROJECT NAME: \_\_\_\_\_  
 SHEET NO.: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_

**SCALE**  
 1/4" = 1'-0"

**SHEET NAME**  
**11TH LEVEL FLOOR PLAN**

**SHEET NUMBER**  
 \_\_\_\_\_

**EXHIBIT "A"**  
 Page No. 12 of 21  
 Dia. No. 2022-166-RC-HCA  
 Case No.



- SYMBOL LEGEND**
- CLASS A STAND PIPE PER FIRE PROTECTION
  - EXIT SIGN
  - EYE CHARGER
  - EYE CAPABLE FACILITY TERMINATION POINT
  - WALL TAG
  - WINDOW TAG - SEE AB 11
  - DOOR TAG - SEE AB 11
  - FRESH MATERIAL - SEE AB 12
  - FLOOR DRUM/AREA COVER
  - GAS HOOD/CAP
  - 5 MINUTES MIN. AIR EXCHANGE FAN - SEE BELOW
  - 10 MINUTES MIN. AIR EXCHANGE FAN - SEE BELOW
  - 1 FAN SHALL BE EMERGENCY SHUT-OFF COMPLIANT AND BE LISTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
  - 1 FAN NOT BE FUNCTIONING AS A COMPONENT OF A FAN AND EXHAUST SYSTEM SHALL BE CONTROLLED BY A FAN/KEY CONTROL. (C.F.A. 600.4.3.5.1)

- WALL TYPES LEGEND**
- SINGLE STUD WALL - 8" SF RMP
  - 1 HR. SINGLE STUD WALL - SEE AB 81
  - 2 HR. SINGLE STUD WALL - SEE AB 81
  - 1 HR. SINGLE STUD WALL - VERTIC. - SEE AB 81
  - 1 HR. STAGGERED STUD WALL WITH INSULATION - SEE AB 81
  - INTERIOR PARTITION WALL - SEE AB 81
  - 2 HR. SHAF. WALL - SEE AB 82
  - 2 HR. FIRE WALL - SEE AB 81
  - 1 HR. EXTERIOR WALL - SEE AB 81
  - 2 HR. EXTERIOR WALL - SEE AB 81
  - CONCRETE WALL - SEE ALSO STRUCTURE
  - CHU WALL - SEE ALSO STRUCTURE
- KEYNOTES**
1. FINISHRY LINE
  2. STANDPIPE - REFER TO FIRE PROTECTION
  3. 2" x 2" SHANK STUBS - 60M MIN. LONG
  4. EYE REPORT A 15" x 15" ON APPROVED EX. ABOVE
  5. STAIN RESISTANT FINISH PROTECTED WITH A 1/4" COMPARTMENT SYSTEM & 30 MIN. FIRE RATED ELEVATOR DOOR
  6. FOLLOW FIRE CODE - 60M MIN. LONG
  7. 60M MIN. LONG - SEE AB 81
  8. PWD OF THIS WALL CONSTRUCTION - SEE THROUGH CONSTRUCTION NOTES (C.F.A. FIRE DEPARTMENT) NOTES

**JPA**  
**JPARK ARCHITECTS**  
 TEL: 323 941 3063 | 323 941 4467  
 EMAIL: JPARK@JPA-ARCH.COM  
 3000 WILSHIRE BLVD. SUITE 804  
 LOS ANGELES, CA 90010

BEAL

**URSA 1037 DEWEY AVE.**  
 LLC  
 1037 S. DEWEY AVE. SUITE 310  
 LOS ANGELES, CA 90066

City of Los Angeles  
 Department of Building & Safety  
**PLAN CHECK APPROVED FOR ZONING**  
 By: KEVIN MORALES  
 SALE Date: 02/23/2023  
 Application No.: 23-00000-0000

**1037 S. DEWEY AVE. MULTI-UNIT  
 NEW TOC 60 UNITS APARTMENT**  
 1037 S. DEWEY AVE., LOS ANGELES, CA 90066

REVISION	NO.	DATE	BY

**PROJECT DATA**

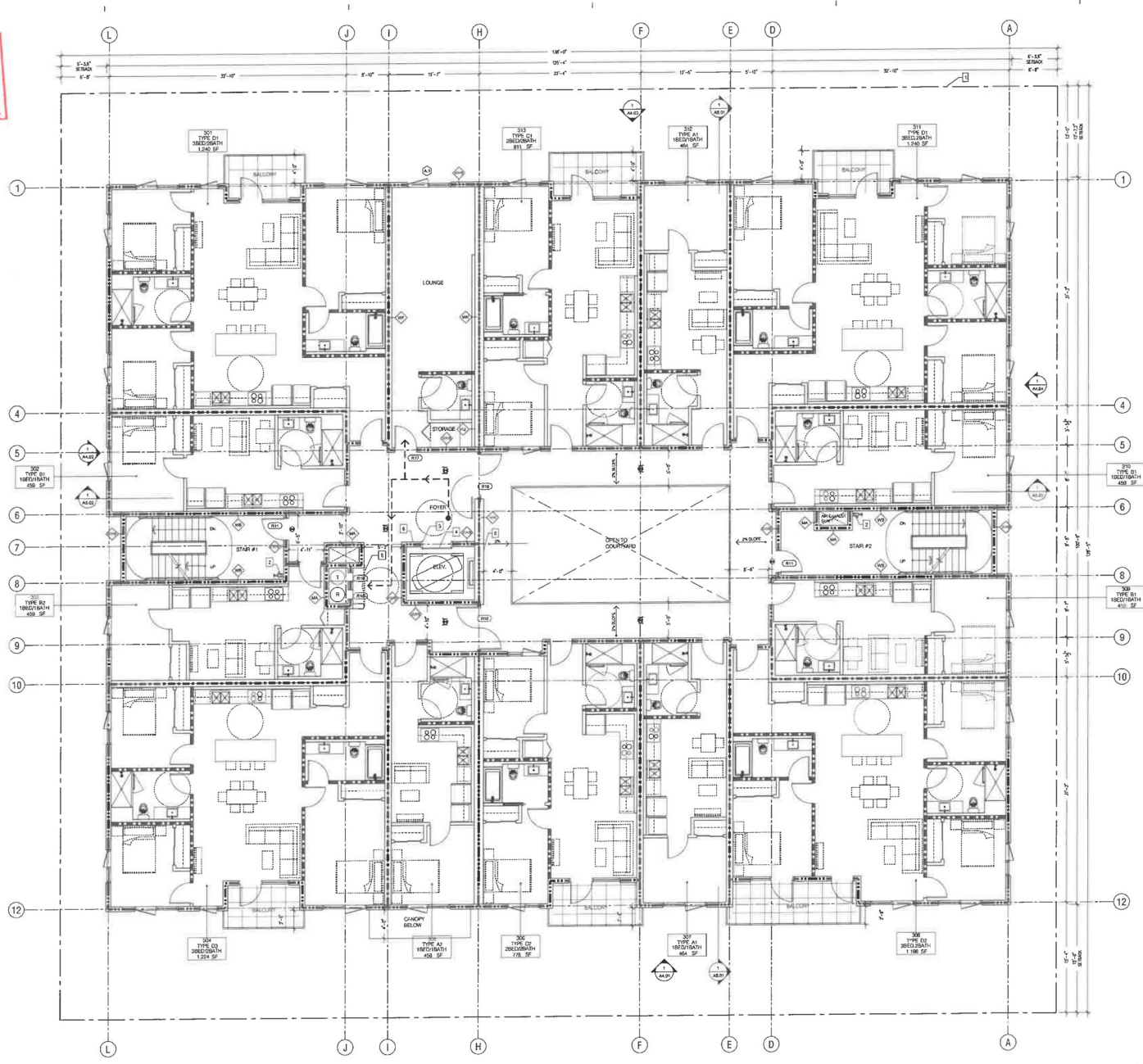
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 SHEET NO. : 2022-166-RC-HCA-12  
 JOB TITLE : 2ND LEVEL FLOOR PLAN  
 APPROVED BY : [Signature]

SCALE: 1/8" = 1'-0"

SHEET NAME:  
**2ND LEVEL FLOOR PLAN**

SHEET NUMBER

**EXHIBIT "A"**  
 Page No. 13 of 21  
 Date: 2022-12-07  
 Case No. 22-TOCHKA



- SYMBOL LEGEND**
- [Symbol] CLASS A STAND PIPE FOR FIRE PROTECTION
  - [Symbol] EXIT SIGN
  - [Symbol] EV CHARGER
  - [Symbol] EV CABLE FACILITY TERMINATION POINT
  - [Symbol] WINDOW TAG
  - [Symbol] WINDOW TAG - SEE AB 11
  - [Symbol] DOOR TAG - SEE AB 11
  - [Symbol] FINISH MATERIAL - SEE AB 12
  - [Symbol] FLOOR FINISH - SEE AB 12
  - [Symbol] GAS HOODUP
  - [Symbol] 5 MINUTES MIN. AIR EXCHANGE FAN  
SEE SECTION 5.1.1  
BATHROOM EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:  
1 FANS SHALL BE ENERGY STAR COMPLIANT AND BE EXHAUSTED TO TERMINALS TO THE OUTSIDE OF THE BUILDING.  
2 FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMANITY CONTROL. (S.A. GREEN 1.36.1)

- WALL TYPES LEGEND**
- [Symbol] SINGLE STUDIO WALL - SEE AB 07
  - [Symbol] 1 HR. SINGLE STUDIO WALL - SEE AB 03
  - [Symbol] 1 HR. SINGLE STUDIO WALL - OFF AB 03
  - [Symbol] 1 HR. SINGLE STUDIO WALL WITH FIC - SEE AB 03
  - [Symbol] 1 HR. STAGGERED STUDIO WALL WITH FIC - SEE AB 03
  - [Symbol] INTERIOR FLOORING WALL - SEE AB 01
  - [Symbol] 3 HR. SHAFF WALL - SEE AB 02
  - [Symbol] 3 HR. FIREWALL - SEE AB 01
  - [Symbol] 1 HR. EXTERIOR WALL - SEE AB 01
  - [Symbol] 2 HR. EXTERIOR WALL - SEE AB 01
  - [Symbol] CONCRETE WALL - SEE ALSO STRUCTURE
  - [Symbol] CMU WALL - SEE ALSO STRUCTURE

- KEYNOTES**
1. PROPERTY LINE
  2. STAIRCASE: REFER TO FIRE PROTECTION
  3. TYPE SHOWN: SHOWN WITH ICC REPORT # ESR-1128 OR APPROVED EQ ABOVE
  4. 20 MIN. SMOKE EXHAUST SYSTEMS WITH UL LISTED COMPLIANT SYSTEM & 90 MIN. FIRE RATED ELEVATOR DOOR
  5. ROLL DOWN FIRE DOOR - ADMIN RATED
  6. LOCATIONS NOTED IN FIC
  7. CONTACT WITH THE PROVIDER TWO-WAY COMMUNICATION, USE TWO-WAY COMMUNICATION NOTES (CONFER WITH FIRE DEPARTMENT NOTES)

**JPA**  
**JPARK ARCHITECTS**  
 TELL 310 504 3006 | FAX 310 504 3047  
 3300 WILSHIRE BLVD. SUITE 508  
 LOS ANGELES, CA 90010

UNIVERSITY ARCHITECTS  
 ART H. PARK  
 1001 17th ST  
 SUITE 200  
 LOS ANGELES, CA 90015  
 LICENSED ARCHITECT  
 STATE OF CALIFORNIA  
 TITLE  
**URSA 1037 DEWEY AVE.**  
 LLC  
 1037 W. PROG BLVD. SUITE 210  
 LOS ANGELES, CA 90004

CITY OF LOS ANGELES  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 BY: KEVIN MORALES  
 DATE: 02/23/2024  
 Application No.: 22-00000-0000-0000

**1037 S. DEWEY AVE. MULTI-UNIT  
 NEW TOC 60 UNITS APARTMENT**  
 1037 S. DEWEY AVE., LOS ANGELES, CA 90006

REVISIONS	DATE	BY	APP.

PROJECT DATA	
PROJECT NUMBER	
DATE	
DRAWN BY	
APPROVED BY	

SCALE	
SCALE	1/4" = 1'-0"

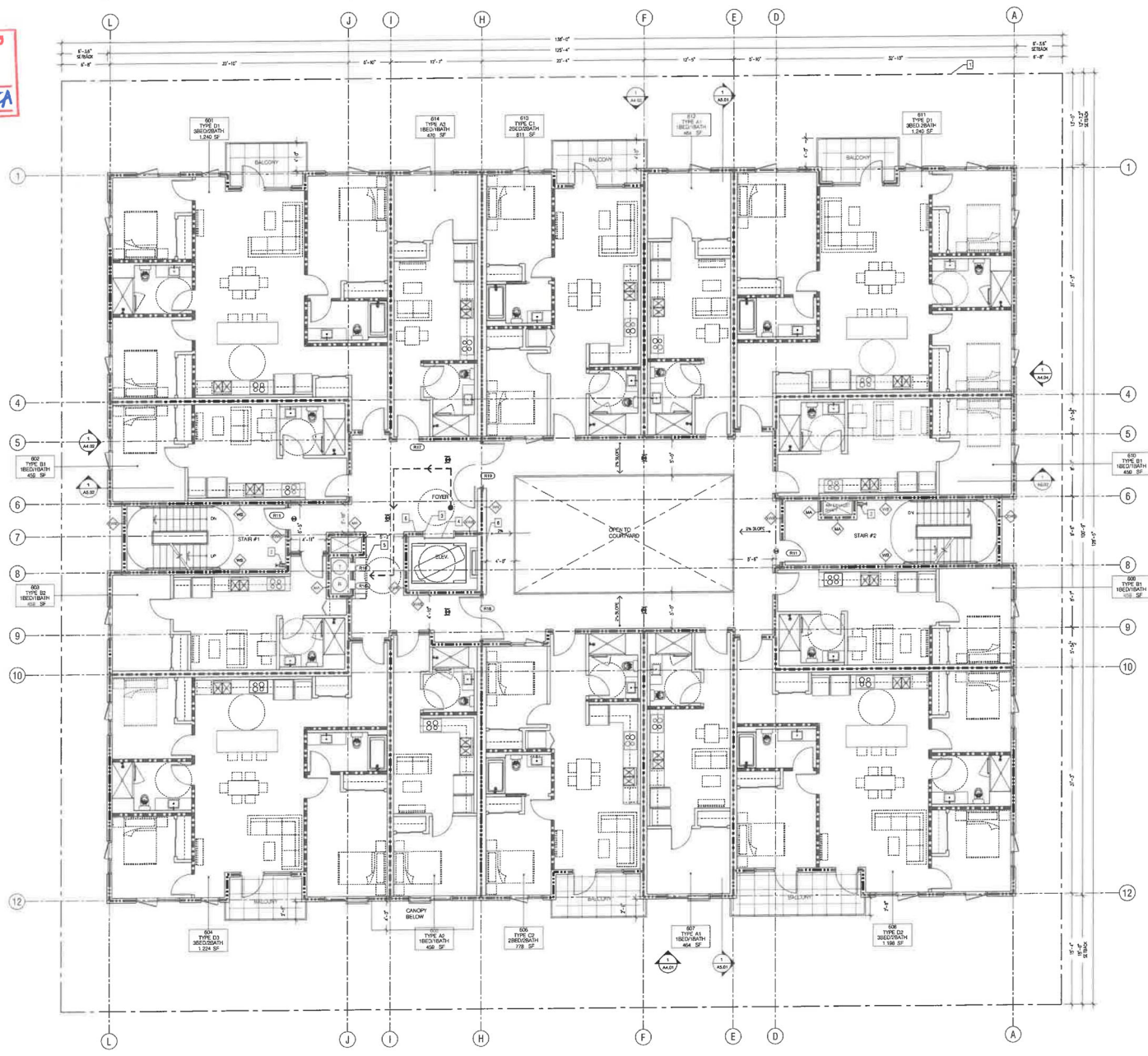
  

SHEET NAME	
SHEET NAME	3RD-STH LEVEL FLOOR PLAN

SHEET NUMBER	
SHEET NUMBER	

**EXHIBIT "A"**  
 Page No. 14 of 21  
 Date: 2022-7-27-TC-HCA  
 Case No.



- SYMBOL LEGEND**
- CLASS A STAND PIPE PER FIRE PROTECTION
  - EXIT SIGN
  - EV CHARGER
  - EV CAPABLE FACILITY TERMINATION POINT
  - WALL TAG
  - WINDOW TAG-SEE AB 11
  - DOOR TAG-SEE AB 11
  - FRESH MATERIAL-SEE AB 12
  - FLOOR DRAIN/WALL DRAIN
  - GAS HOOKUP
  - 5 MINUTES MIN. AIR EXCHANGE FAN
  - SEE MECH. PLAN
  - BATHROOM FAN/EXHAUST FANS SHALL COMPLY WITH THE FOLLOWING:
    - 1 FANS SHALL BE ENERGY STAR COMPLIANT AND BE EXCISED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
    - 2 FANS NOT FUNCTIONING AS A COMPONENT OF A MAJOR HOUSE HOLDS AND SYSTEM MUST BE CONTROLLED BY A MAJORITY CONTROL. (CAL GREEN 4.36.1)

- WALL TYPES LEGEND**
- SINGLE STUCCO WALL- SEE AB 10
  - 1 HR SINGLE STUCCO WALL- SEE AB 11
  - 2 HR SINGLE STUCCO WALL- SEE AB 11
  - 1 HR SINGLE STUCCO WALL WITH FRC- SEE AB 11
  - 1 HR STAGGERED STUCCO WALL WITH FRC- SEE AB 11
  - INTERIOR PARTING WALL- SEE AB 11
  - 2 HR SHAFF WALL- SEE AB 12
  - 3 HR FIRE WALL- SEE AB 11
  - 1 HR EXTERIOR WALL- SEE AB 11
  - 2 HR EXTERIOR WALL- SEE AB 11
  - CONCRETE WALL- SEE ALSO STRUCTURE
  - CMU WALL- SEE ALSO STRUCTURE

- KEYNOTES**
- 1 PROPERTY LINE
  - 2 STANDPIPE PER L101 FIRE PROTECTION
  - 3 FIVE MINUTE SHUTTER FRAME RATED EGRESS DOOR PER EPH 11.5E OR APPROVED EQ ABOVE
  - 4 20 MIN. SHUTTER FRAME RATED WITH L101 COMPLIANT SYSTEM & 30 MIN. FIRE RATED ELEVATOR DOOR
  - 5 ROLL-UPTOP FIRE DOOR- ADMIN RATED
  - 6 ADMIN RATED FIRE DOOR
  - 7 COURT EGRESS WITH 10E
  - 8 PROVIDE TWO-WAY COMMUNICATION. SEE THROUGH COMMUNICATION NOTES (LOCAL FIRE DEPARTMENT NOTES)

**JPA**  
**JPARK ARCHITECTS**  
 1037 S. DEWEY AVE., SUITE 210  
 LOS ANGELES, CA 90006  
 TEL: 310.308.3000 | FAX: 310.308.3001  
 WWW.JPARKARCHITECTS.COM  
 3000 VULCAN BLVD, SUITE 308  
 LOS ANGELES, CA 90019

**URS A 1037 DEWEY AVE.**  
 LLC  
 1037 S. DEWEY AVE., SUITE 210  
 LOS ANGELES, CA 90006

City of Los Angeles  
 Department of Building & Safety  
 PLAN CHECK APPROVED FOR ZONING  
 BY: KEVIN MORALES  
 Date: 02/23/2024  
 Application No.: 22-000000-00000

**1037 S. DEWEY AVE. MULTI-UNIT  
 NEW TOC 60 UNITS APARTMENT**  
 1037 S. DEWEY AVE., LOS ANGELES, CA 90006

**REVISIONS**

NO.	DATE	DESCRIPTION

**PROJECT DATA**

PROJECT NAME	
DATE	
DESIGNER	
CLIENT	
ADDRESS	

SCALE: 1/4" = 1'-0"

SHEET NAME:  
**6TH LEVEL FLOOR PLAN**

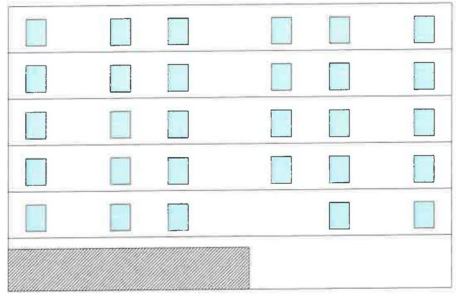
SHEET NUMBER







**EXHIBIT "A"**  
 Page No. 17 of 21  
 Case No. DA-2022-762 TOCHCA



**EXTERIOR WALL OPENING CALCULATION (SOUTH ELEVATION)**

FLOOR	FAÇADE AREA	OPENING AREA	
4TH FLOOR	1,058 sf	162 sf	16 % < 25%
3TH FLOOR	1,058 sf	162 sf	16 % < 25%
2ND FLOOR	1,058 sf	162 sf	16 % < 25%
GROUND	1,209 sf	521 sf	43 %
<b>TOTAL</b>	<b>6,497 sf</b>	<b>1,304 sf</b>	<b>20 % &lt; 25%</b>

1. SOUTH SIDE YARD SETBACK 4'-3.6"

2. SOUTH ELEVATION OPENING AREA  
 SCALE 3/32"=1'-0"



4 SOUTH ELEVATION

**JPA**

**JPARK ARCHITECTS**

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 EMAIL: JPARK@JPARCH.COM  
 3300 WILSHIRE BLVD, SUITE 300A  
 LOS ANGELES, CA 90010



**URSA 1037 DEWEY AVE. LLC**

1007 W. PICO BLVD, SUITE 210  
 LOS ANGELES, CA 90007



**1037 S. DEWEY AVE. MULTI-UNIT  
 NEW TOC 60 UNITS APARTMENT**  
 1037 S. DEWEY AVE., LOS ANGELES, CA 90006

**REVISIONS**

NO.	DATE	BY	REASON

**PROJECT DATA**

PROJECT NUMBER: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_

SCALE: 1/4"=1'-0"

SHEET NAME:  
**BUILDING ELEVATION**

SHEET NUMBER







**EXHIBIT "A"**  
 Page No. 21 of 21  
 Date: 2022-7-26 TDC/HGA  
 Case No. \_\_\_\_\_

**JPA**

**JPARK ARCHITECTS**

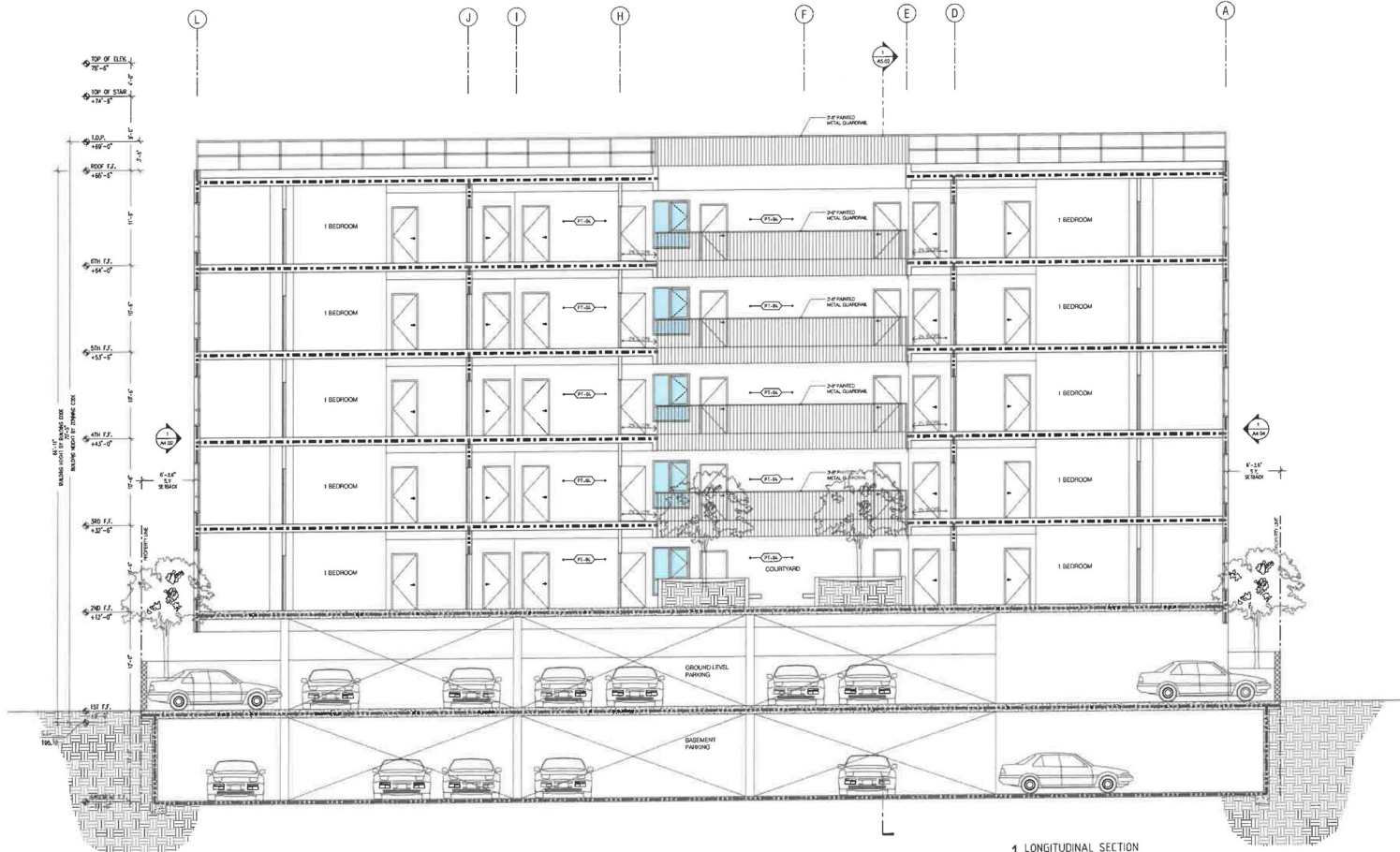
1611 203 824 000 | 323 963 8467  
 EMAIL: JPARK@JPARCH.COM  
 3300 WILSHIRE BLVD., SUITE 208  
 LOS ANGELES, CA 90010



TITLE  
**URSA 1037 DEWEY AVE.**  
 LLC  
 1603 W. PICO BLVD. SUITE 213  
 LOS ANGELES, CA 90064

TITLE  
 City of Los Angeles  
 Department of Building & Safety  
**PLAN CHECK APPROVED FOR ZONING**  
 By: KEVIN MORALES  
 Date: 02/23/22  
 Application No. 22-0000000000

**1037 S. DEWEY AVE. MULTI-UNIT**  
**NEW TOC 60 UNITS APARTMENT**  
 1037 S. DEWEY AVE., LOS ANGELES, CA 90006



1 LONGITUDINAL SECTION  
 SCALE 3/8"=1'-0"

REVISIONS	NO.	DATE	BY	REVISION

PROJECT DATA	
PROJECT NUMBER:	
DATE:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

SCALE: 3/8"=1'-0"

SHEET NAME:  
**BUILDING SECTION**

SECTION LEGEND  
 1:100 1/8"=1'-0"

SHEET NUMBER

# COVID-19 UPDATE

## Interim Appeal Filing Procedures

Fall 2020



Consistent with Mayor Eric Garcetti's "Safer At Home" directives to help slow the spread of COVID-19, City Planning has implemented new procedures for the filing of appeals for non-applicants that eliminate or minimize in-person interaction.

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### OPTION 1: Online Appeal Portal

([planning.lacity.org/development-services/appeal-application-online](https://planning.lacity.org/development-services/appeal-application-online))

Entitlement and CEQA appeals can be submitted online and payment can be made by credit card or e-check. The online appeal portal allows appellants to fill out and submit the appeal application directly to the Development Services Center (DSC). Once the appeal is accepted, the portal allows for appellants to submit a credit card payment, enabling the appeal and payment to be submitted entirely electronically. A 2.7% credit card processing service fee will be charged - there is no charge for paying online by e-check. **Appeals should be filed early to ensure DSC staff has adequate time to review and accept the documents, and to allow Appellants time to submit payment.** On the final day to file an appeal, the application must be submitted and paid for by 4:30PM (PT). Should the final day fall on a weekend or legal holiday, the time for filing an appeal shall be extended to 4:30PM (PT) on the next succeeding working day. Building and Safety appeals (LAMC Section 12.26K) can only be filed using Option 2 below.

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### OPTION 2: Drop off at DSC

An appellant may continue to submit an appeal application and payment at any of the three Development Services Center (DSC) locations. City Planning established drop off areas at the DSCs with physical boxes where appellants can drop.

#### **Metro DSC**

(213) 482-7077  
201 N. Figueroa Street  
Los Angeles, CA 90012

#### **Van Nuys DSC**

(818) 374-5050  
6262 Van Nuys Boulevard  
Van Nuys, CA 91401

#### **West Los Angeles DSC**

(310) 231-2901  
1828 Sawtelle Boulevard  
West Los Angeles, CA 90025

City Planning staff will follow up with the Appellant via email and/or phone to:

- Confirm that the appeal package is complete and meets the applicable LAMC provisions
- Provide a receipt for payment