

THE BASIN RESIDENCE
3522 N. Wrightwood Court
CHC-2023-8026-HCM
ENV-2023-8027-CE

Agenda packet includes:

1. [Final Determination Staff Recommendation Report](#)
2. [Commission/ Staff Site Inspection Photos—February 8, 2024](#)
3. [Categorical Exemption](#)
4. [Under Consideration Staff Recommendation Report](#)
5. [Historic-Cultural Monument Application](#)

Please click on each document to be directly taken to the corresponding page of the PDF.

Los Angeles Department of City Planning

RECOMMENDATION REPORT

CULTURAL HERITAGE COMMISSION

CASE NO.: CHC-2023-8026-HCM
ENV-2023-8027-CE

HEARING DATE: March 7, 2024

TIME: 10:00 a.m.

PLACE: Edward R. Roybal Board of
Public Works Session Room
City Hall, Room 350
200 North Spring Street
Los Angeles, CA 90012
and via Teleconference (see
agenda for login information)

Location: 3522 N. Wrightwood Court

Council District: 4 – Raman

Community Plan Area: Sherman Oaks –

Studio City – Toluca Lake –

Cahuenga Pass

Land Use Designation: Very Low Residential

Zoning: RE15-1-H

Area Planning Commission: South Valley

Neighborhood Council: Studio City

Legal Description: Tract 22338, Arb 2 of Lot 18
and Arb 1 of Lot 19

EXPIRATION DATE: March 19, 2024

PROJECT: Historic-Cultural Monument Application for
THE BASIN RESIDENCE

REQUEST: Declare the property a Historic-Cultural Monument

OWNERS/APPLICANTS: Adam Y. Bonnett, Co-Trustee
Bonnett Krog Family Trust
1609 Ridgemoor Drive
Palm Springs, CA 92264

Forrest Stilwell
3522 Wrightwood Court
Studio City, CA 91604

PREPARER: Daniel Paul
3938 Vista Court
Glendale, CA 91214

RECOMMENDATION **That the Cultural Heritage Commission:**

1. **Declare the subject property** an Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.7.
2. **Adopt** the staff report and findings.

VINCENT P. BERTONI, AICP
Director of Planning

[SIGNED ORIGINAL IN FILE]

Ken Bernstein, AICP, Principal City Planner
Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Melissa Jones, City Planner
Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Lambert M. Giessinger, Senior Architect
Office of Historic Resources

Attachments: Commission/Staff Site Inspection Photos–February 8, 2024
Historic-Cultural Monument Application

FINDING

- The Basin Residence “embodies the distinctive characteristics of a style, type, period, or method of construction” as an excellent and highly intact example of a single-family residence designed in the Contemporary Custom Ranch architectural style.

CRITERIA

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon), building or structure of particular historic or cultural significance to the City of Los Angeles if it meets at least one of the following criteria:

1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
2. Is associated with the lives of historic personages important to national, state, city, or local history; or
3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

SUMMARY

The Basin Residence is a one-story, single-family residence located on the east side of Wrightwood Court in Studio City. Constructed in 1959, it was designed in the Contemporary Ranch architectural style by the local architectural firm of Benton and Park Architects, AIA with Donald Gene Park (1927-2020) as lead for owners Michael Abram Basin (1930-2021) and JoAnn Wener (1932-) and their family. The Basins resided at the subject property until 1990.

Irregular in plan, the subject property is of post and beam construction clad with vertical wood siding and stucco. It has a medium-pitch cross-gabled roof clad with asphalt shingles that features extended, flared eaves, painted wood plank fasciae, stucco-clad soffits, and clear glazing with extended wood lintels in the primary gable ends. At the northeast portion of the roof there is a slope chimney of painted and scored concrete block topped with a flat, black-painted metal panel. Substantial portions of the property’s facades are full-height wood frame picture windows, while others consist of scored concrete blocks that continue into interior spaces as walls, fireplaces, or other elements. The primary, northwest-facing elevation contains a recessed entryway with a wide, wood-paneled door flanked by full-height glass sidelights topped by a glass transom; on either side of the transom is additional glazing forming a lightwell. There are also scored concrete block and painted vertical wood siding walls along the entranceway, as well as a travertine marble entrance walk, which all continue into the interior, and a two-bay garage with garage doors having vertical wood cladding. The west-facing elevation is set behind an exposed concrete masonry unit wall that defines the west property line. It is primarily stucco clad, has three-part fixed and operable sliding windows, and also features a wood and glass secondary entrance door in addition to a sliding patio door. The south-facing elevation is clad in stucco and at the west end there is a stylized wood gate opening onto a small, private enclosed garden space off the master bathroom. Apart from the full-height picture windows, other fenestration consists of sliding windows. Features on the interior include painted vertical wood siding, stylized concrete block

walls, exposed wood beams, built-ins, and a marble fireplace mantel with integrated seating in the living room.

Donald Gene Park and Dudley Wallace “Wally” Benton (1925-2021) established the Benton and Park Architects, AIA firm in 1956. Park was born in Bruning, Nebraska in 1927 and relocated to Los Angeles with his family by 1938. He studied architecture at the University of Southern California, graduating in 1952 with a bachelor’s degree before working with architects Jones and Emmons during the mid-1950s. Park became a member of the American Institute of Architects (AIA) in 1956. Wallace Benton (1925-2021) was born in Nogales, Arizona in 1925. After serving in the United States Army Reserve during World War II, he earned his bachelor’s degree in architecture from the University of Kansas in 1950 and moved to California the following year. In 1970, the Benton and Park firm added a third partner: Peter Candreva, and the firm became Benton/ Park/ Candreva AIA. Benton and Park, and Benton/ Park/ Candreva, designed schools, churches, institutional buildings, multi-family housing, and industrial parks that included the United States Federal Drug Administration Regional Headquarters in Mid-City (1964, demolished) and the Mid-Century Modern Occidental Towers in Koreatown (1968). They also designed single family homes, incorporating eclectic, expressive influences, and varied styles that included Mid-Century Modern, Neoformalist, Case Study, and Contemporary Ranch such as the Borun House and Garden in Brentwood (1961, HCM #1217), the Stone Residence in Los Feliz (1964), and the Joby and Helen Lewis House in Encino (1972). The firm disbanded in 2001. Park passed away in 2020, and Benton’s passing followed in 2021.

The subject property has experienced some alterations over the years that consist of the construction of a retaining wall and swimming pool in 1967; a remodel designed by Donald Park in 1987 that included the addition of a kitchen island, travertine marble exterior walk at the entranceway, and the replacement of the windows with taupe colored vinyl windows; and the replacement of the original cedar shake roofing with fiberglass shingles in 1997. The current owners recently completed restoration and rehabilitation work on the interior and exterior of the subject property which involved the replacement of the flooring throughout the residence and patios with veined travertine, the replacement of the acoustic ceiling tiles with smooth stucco, the replacement of Formica countertops in the bathrooms with veined marble, the addition of recessed lighting within interior gables and eave soffits, and the construction of sunken planters in the yard areas.

DISCUSSION

The Basin Residence meets one of the Historic-Cultural Monument criteria: it “embodies the distinctive characteristics of a style, type, period, or method of construction” as an excellent and highly intact example of a single-family residence designed in the Contemporary Custom Ranch architectural style.

Unlike the rusticated aesthetic and historicist references associated with the Traditional Ranch architectural style, Contemporary Custom Ranch-style houses blended together abstract geometries and Modern ornamental details with the essential form, massing, and configuration of the Ranch house. The style’s rise in popularity coincided with the American public’s intrigue with progress and modernity in the postwar era. Examples of the style, like the subject property, are custom designed (as opposed to mass produced), were often designed by a noted architect, and stand out as among the best examples of the style.

The subject property exhibits most of the characteristics of the style that distinguish it from the scores of mass-produced tract houses designed in the Contemporary Ranch style, including

stucco and wood board-and-batten siding; modern ornamental details; post-and-beam construction; concrete block walls; and windows and doors being treated as void elements composed to balance solid walls.

Despite interior and exterior alterations over the years, the subject property was recently restored and retains a very high level of integrity of location, design, setting, materials, workmanship, feeling, and association to convey its significance.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”) FINDINGS

State of California CEQA Guidelines, Article 19, Section 15308, Class 8 *“consists of actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment.”*

State of California CEQA Guidelines Article 19, Section 15331, Class 31 *“consists of projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic buildings.”*

The designation of The Basin Residence as an Historic-Cultural Monument in accordance with Chapter 9, Article 1, of The City of Los Angeles Administrative Code (“LAAC”) will ensure that future construction activities involving the subject property are regulated in accordance with Section 22.171.14 of the LAAC. The purpose of the designation is to prevent significant impacts to an Historic-Cultural Monument through the application of the standards set forth in the LAAC. Without the regulation imposed by way of the pending designation, the historic significance and integrity of the subject property could be lost through incompatible alterations and new construction and the demolition of an irreplaceable historic site/open space. The Secretary of the Interior’s Standards for Rehabilitation are expressly incorporated into the LAAC and provide standards concerning the historically appropriate construction activities which will ensure the continued preservation of the subject property.

The City of Los Angeles has determined based on the whole of the administrative record, that substantial evidence supports that the Project is exempt from CEQA pursuant to CEQA Guidelines Section Article 19, Section 15308, Class 8 and Class 31, and none of the exceptions to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies. The project was found to be exempt based on the following:

The use of Categorical Exemption Class 8 in connection with the proposed designation is consistent with the goals of maintaining, restoring, enhancing, and protecting the environment through the imposition of regulations designed to prevent the degradation of Historic-Cultural Monuments.

The use of Categorical Exemption Class 31 in connection with the proposed designation is consistent with the goals relating to the preservation, rehabilitation, restoration and reconstruction of historic buildings and sites in a manner consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

BACKGROUND

On December 7, 2023, the Director of Planning determined that the application for the proposed designation of the subject property as an Historic-Cultural Monument was complete. On January 4, 2024, the Cultural Heritage Commission voted to take the property under consideration. On February 8, 2024, a subcommittee of the Commission consisting of Commissioners Barron and Milofsky conducted a site inspection of the property, accompanied by staff from the Office of Historic Resources.

































































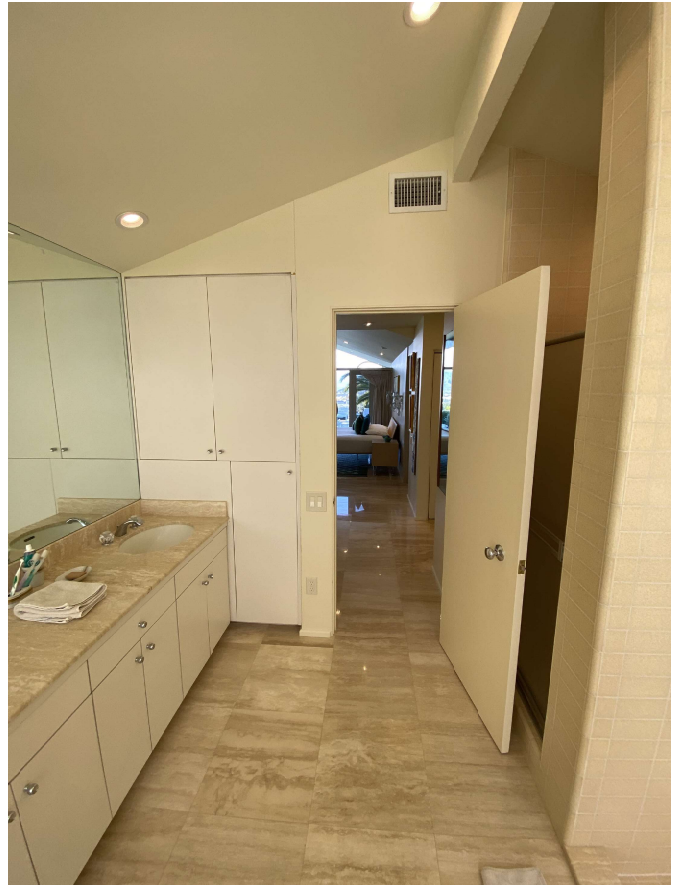












































COUNTY CLERK'S USE

CITY OF LOS ANGELES

OFFICE OF THE CITY CLERK

200 NORTH SPRING STREET, ROOM 395

LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT

NOTICE OF EXEMPTION

(PRC Section 21152; CEQA Guidelines Section 15062)

Filing of this form is optional. If filed, the form shall be filed with the County Clerk, 12400 E. Imperial Highway, Norwalk, CA 90650, pursuant to Public Resources Code Section 21152(b) and CEQA Guidelines Section 15062. Pursuant to Public Resources Code Section 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS

CHC-2023-8026-HCM

LEAD CITY AGENCY

City of Los Angeles (Department of City Planning)

CASE NUMBER

ENV-2023-8027-CE

PROJECT TITLE

The Basin Residence

COUNCIL DISTRICT

4

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)

3522 N. Wrightwood Court, Los Angeles, CA 91604

☐ Map attached.

PROJECT DESCRIPTION:

Designation of The Basin Residence as an Historic-Cultural Monument.

☐ Additional page(s) attached.

NAME OF APPLICANT / OWNER:

N/A

CONTACT PERSON (If different from Applicant/Owner above)

Melissa Jones

(AREA CODE) TELEPHONE NUMBER

213-847-3679

EXT.

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

☐ STATUTORY EXEMPTION(S)

Public Resources Code Section(s) _____

☒ CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)CEQA Guideline Section(s) / Class(es) 8 and 31☐ OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b))

JUSTIFICATION FOR PROJECT EXEMPTION:

☐ Additional page(s) attached

Article 19, Section 15308, Class 8 of the State's Guidelines applies to where project's consists of "actions taken by regulatory agencies, as authorized by state or local ordinance, to assure the maintenance, restoration, enhancement, or protection of the environment where the regulatory process involves procedures for protection of the environment." Class 31 applies "to maintenance, repair, stabilization, rehabilitation, restoration, preservation, or reconstruction of historical resources in a manner consistent with the Secretary of Interior's Standards for the Treatment of Historic Buildings." Designation of **The Basin Residence** as an Historic-Cultural Monument will assure the protection of the environment by the enactment of project review regulations based on the Secretary of Interior's Standards to maintain and preserve the historic site.

☒ None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.☐ The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.

If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE

Melissa Jones

[SIGNED COPY IN FILE]

STAFF TITLE

City Planner

ENTITLEMENTS APPROVED

N/A

FEE:

N/A

RECEIPT NO.

N/A

REC'D. BY (DCP DSC STAFF NAME)

N/A

DISTRIBUTION: County Clerk, Agency Record

Rev. 3-27-2019

Los Angeles Department of City Planning

RECOMMENDATION REPORT

CULTURAL HERITAGE COMMISSION

CASE NO.: CHC-2023-8026-HCM
ENV-2023-8027-CE

HEARING DATE: January 4, 2024
TIME: 10:00 AM
PLACE: Edward R. Roybal Board of
Public Works Session Room
City Hall, Room 350
200 North Spring Street
Los Angeles, CA 90012
and via Teleconference (see
agenda for login information)

Location: 3522 N. Wrightwood Court
Council District: 4 – Raman
Community Plan Area: Sherman Oaks –
Studio City – Toluca
Lake – Cahuenga Pass
Land Use Designation: Very Low Residential
Zoning: RE15-1-H
Area Planning Commission: South Valley
Neighborhood Council: Studio City
Legal Description: Tract 22338, Arb 2 of Lot 18 and
Arb 1 of Lot 19

EXPIRATION DATE: January 6, 2024

PROJECT: Historic-Cultural Monument Application for
THE BASIN RESIDENCE

REQUEST: Declare the property an Historic-Cultural Monument

OWNERS/APPLICANTS: Adam Y. Bonnett, Co-Trustee
Bonnett Krog Family Trust
1609 Ridgemoor Drive
Palm Springs, CA 92264

Forrest Stilwell
3522 Wrightwood Court
Studio City, CA 91604

PREPARER: Daniel Paul
3938 Vista Court
Glendale, CA 91214

RECOMMENDATION **That the Cultural Heritage Commission:**

1. **Take the property under consideration** as an Historic-Cultural Monument per Los Angeles Administrative Code Chapter 9, Division 22, Article 1, Section 22.171.10 because the application and accompanying photo documentation suggest the submittal warrants further investigation.
2. **Adopt** the report findings.

VINCENT P. BERTONI, AICP
Director of Planning

[SIGNED ORIGINAL IN FILE]

Ken Bernstein, AICP, Principal City Planner
Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Melissa Jones, City Planner
Office of Historic Resources

[SIGNED ORIGINAL IN FILE]

Lambert Giessinger, Senior Architect
Office of Historic Resources

Attachment: Historic-Cultural Monument Application

SUMMARY

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The subject property has experienced some alterations over the years that consist of the construction of a retaining wall and swimming pool in 1967; a remodel designed by Donald Park in 1987 that included the addition of a kitchen island, travertine marble exterior walk at the

entranceway, and the replacement of the windows with taupe colored vinyl windows; and the replacement of the original cedar shake roofing with fiberglass shingles in 1997. The current owners recently completed restoration and rehabilitation work on the interior and exterior of the subject property which involved the replacement of the flooring throughout the residence and patios with veined travertine, the replacement of the acoustic ceiling tiles with smooth stucco, the replacement of Formica countertops in the bathrooms with veined marble, the addition of recessed lighting within interior gables and eave soffits, and the construction of sunken planters in the yard areas.

CRITERIA

The criterion is the Cultural Heritage Ordinance which defines a historical or cultural monument as any site (including significant trees or other plant life located thereon), building or structure of particular historic or cultural significance to the City of Los Angeles if it meets at least one of the following criteria:

1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community;
2. Is associated with the lives of historic personages important to national, state, city, or local history; or
3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.

FINDINGS

Based on the facts set forth in the summary and application, the Commission determines that the application is complete and that the property may be significant enough to warrant further investigation as a potential Historic-Cultural Monument.

BACKGROUND

On December 7, 2023, the Director of Planning determined that the application for the proposed designation of the subject property as an Historic-Cultural Monument was complete.



HISTORIC-CULTURAL MONUMENT NOMINATION FORM

1. PROPERTY IDENTIFICATION

Proposed Monument Name:			
Other Associated Names:			
Street Address:		Zip:	Council District:
Range of Addresses on Property:		Community Name:	
Assessor Parcel Number:	Tract:	Block:	Lot:
Identification cont'd:			
Proposed Monument Property Type:	Building	Structure	Object
		Site/Open Space	Natural Feature
Describe any additional resources located on the property to be included in the nomination, here:			

2. CONSTRUCTION HISTORY & CURRENT STATUS

Year built:	Factual	Estimated	Threatened?
Architect/Designer:	Contractor:		
Original Use:	Present Use:		
Is the Proposed Monument on its Original Site?	Yes	No (explain in section 7)	Unknown (explain in section 7)

3. STYLE & MATERIALS

Architectural Style:		Stories:	Plan Shape:
<i>FEATURE</i>	<i>PRIMARY</i>	<i>SECONDARY</i>	
CONSTRUCTION	Type:	Type:	
CLADDING	Material:	Material:	
ROOF	Type:	Type:	
	Material:	Material:	
WINDOWS	Type:	Type:	
	Material:	Material:	
ENTRY	Style:	Style:	
DOOR	Type:	Type:	



HISTORIC-CULTURAL MONUMENT NOMINATION FORM

4. ALTERATION HISTORY

List date and write a brief description of any major alterations or additions. This section may also be completed on a separate document. Include copies of permits in the nomination packet. Make sure to list any major alterations for which there are no permits, as well.

5. EXISTING HISTORIC RESOURCE IDENTIFICATION (if known)

Listed in the National Register of Historic Places	
Listed in the California Register of Historical Resources	
Formally determined eligible for the National and/or California Registers	
Located in an Historic Preservation Overlay Zone (HPOZ)	Contributing feature Non-contributing feature
Determined eligible for national, state, or local landmark status by an historic resources survey(s)	Survey Name(s):
Other historical or cultural resource designations:	

6. APPLICABLE HISTORIC-CULTURAL MONUMENT CRITERIA

The proposed monument exemplifies the following Cultural Heritage Ordinance Criteria (Section 22.171.7):

1. Is identified with important events of national, state, or local history, or exemplifies significant contributions to the broad cultural, economic or social history of the nation, state, city or community.
2. Is associated with the lives of historic personages important to national, state, city, or local history.
3. Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.



HISTORIC-CULTURAL MONUMENT NOMINATION FORM

7. WRITTEN STATEMENTS

This section allows you to discuss at length the significance of the proposed monument and why it should be designated an Historic-Cultural Monument. Type your response on separate documents and attach them to this form.

A. Proposed Monument Description - Describe the proposed monument's physical characteristics and relationship to its surrounding environment. Expand on sections 2 and 3 with a more detailed description of the site. Expand on section 4 and discuss the construction/alteration history in detail if that is necessary to explain the proposed monument's current form. Identify and describe any character-defining elements, structures, interior spaces, or landscape features.

B. Statement of Significance - Address the proposed monument's historic, cultural, and/or architectural significance by discussing how it satisfies the HCM criteria you selected in Section 6. You must support your argument with substantial evidence and analysis. The Statement of Significance is your main argument for designation so it is important to substantiate any claims you make with supporting documentation and research.

8. CONTACT INFORMATION

Applicant

Name:		Company:	
Street Address:		City:	State:
Zip:	Phone Number:	Email:	

Property Owner

Is the owner in support of the nomination?

Yes

No

Unknown

Name:		Company:	
Street Address:		City:	State:
Zip:	Phone Number:	Email:	

Nomination Preparer/Applicant's Representative

Name:		Company:	
Street Address:		City:	State:
Zip:	Phone Number:	Email:	

HISTORIC-CULTURAL MONUMENT NOMINATION FORM



9. SUBMITTAL

When you have completed preparing your nomination, compile all materials in the order specified below. Although the entire packet must not exceed 100 pages, you may send additional material on a CD or flash drive.

APPLICATION CHECKLIST


- | | |
|--|--|
| 1. Nomination Form | 5. Copies of Primary/Secondary Documentation |
| 2. Written Statements A and B | 6. Copies of Building Permits for Major Alterations (include first construction permits) |
| 3. Bibliography | 7. Additional, Contemporary Photos |
| 4. Two Primary Photos of Exterior/Main Facade (8x10, the main photo of the proposed monument. Also email a digital copy of the main photo to: planning.ohr@lacity.org) | 8. Historical Photos |
| | 9. Zimas Parcel Report for all Nominated Parcels (including map) |

10. RELEASE

Please read each statement and check the corresponding boxes to indicate that you agree with the statement, then sign below in the provided space. Either the applicant or preparer may sign.	
<input type="checkbox"/>	I acknowledge that all documents submitted will become public records under the California Public Records Act, and understand that the documents will be made available upon request to members of the public for inspection and copying.
<input type="checkbox"/>	I acknowledge that all photographs and images submitted as part of this application will become the property of the City of Los Angeles, and understand that permission is granted for use of the photographs and images by the City without any expectation of compensation.
<input type="checkbox"/>	I acknowledge that I have the right to submit or have obtained the appropriate permission to submit all information contained in this application.

Daniel Paul
Name:

November 3, 2023
Date:


Signature:

Mail your Historic-Cultural Monument Submittal to the Office of Historic Resources.

Office of Historic Resources
Department of City Planning
221 N. Figueroa St., Ste. 1350
Los Angeles, CA 90012

Phone: 213-874-3679
Website: preservation.lacity.org

Written Statement A: The Basin Residence: Description

The Basin Residence is a single story, irregular plan, single family house designed in the Contemporary Ranch style. Its exterior cladding is wood panels each of a stylized, thin-member tongue and groove vertical pattern (“vertical wood siding”) with stucco at less visible secondary elevations. Substantial portions of the house’s elevations, especially facing east, are full-height glass, while other bays consist of scored concrete block that often continue into interior spaces as walls, fireplaces, or other elements, for integration between indoors and out. The Basin Residence has a low-slung, sprawling quality- made possible through its extended eaves, asymmetrical cross-gabled massing, and the house’s relative length along its north-south axis.

The Basin Residence has a medium-pitch cross-gabled roof, and its primary gable ends feature clear glazing with a triplicate underscore of extended wood lintels of the post and beam architecture popular in the late-1950s, and popular at USC, where Basin Residence design architect Donald Gene Park attended architecture school. Painted wood plank fasciae are part of the design, and the roof has extended eaves with a subtly bulbous Asiatic flare upon their stucco-clad soffits. Recently added recessed lighting is present within the eaves. The roof is clad in a recent stagger-course asphalt shingle. At its northeast portion, a slope chimney of painted and scored concrete block is visible. A diamond mesh metal screen, itself topped with a flat, black-painted metal panel, asymmetrically caps the chimney stack. Original, metal rain gutters run across eave lines, and ridged-metal spouts are present at the corners of the east and west elevations.

The Basin Residence has multiple bays of fixed and continuous, substantially scaled, full-height wood frame picture windows that frequently double as exterior elevation window walls. Where side-by-side, some have an added wood piece at their upper frames that continuously runs across multiple windows reiterating the house’s predominant horizontal character. The Basin Residence also features a variety of smaller, operable windows, in most instances sliding. A design choice likely that of original design architect Donald Park himself, all operable windows across the Basin Residence were replaced in 1987, size-for-size, with newer lites of a taupe-crème colored vinyl frame, and rounded bezel hardware. This color choice matches the house’s original warm-toned crème, taupe and light sand palette paint scheme. Insofar as this paint scheme incorporates, if not references, the marble in the fireplace mantel, Park likely developed this palette. The current property owner identified and restored the Basin Residence’s original paint scheme, revealed after removing built-ins and asbestos laden ceiling materials, and after analyzing above-line paint work and paint chips throughout.

Situated behind a short driveway of concrete with a wide grid of painted brick banding, the house’s front elevation faces northwest onto its Wrightwood Court cul-de-sac, with little of the house visible from the public right-of-way except for its two-bay garage and recessed entryway. Where the property meets Wrightwood Court, the house has a period-era metal mailbox on a metal pole, in addition to a metal pole light topped by a white glass sphere. The present property owner recently installed both pieces, replacing more rustic, 80s-era exposed brick and lantern light elements. A row of three recently planted King Palm specimens is present in a planter running along the south property line.

The Basin Residence garage is set in an ell, the projecting gable of which faces toward Wrightwood Court. This gable end has fixed pane frosted glass, divided by periodic vertical wood members. This gable end faces toward Wrightwood Court. An extended wood beam underscoring the gable end runs continuously above the garage door, and over the house’s

adjacent main entranceway. The garage door is of the same vertical wood siding as the house itself, and features original hardware including its pull-handle and a centered key lock above it.

Next to the garage, the house's recessed entrance is behind a bay of three, two-part vertical windows, the upper lite of each is operable. Its main entrance door is original: a wide-portioned wood door with six molded panels. Full-height clear glass sidelights flank the door, and a substantial clear glass transom tops it. On either side of the transom is additional glazing, triangular cut to infill the extended eave, forming a lightwell at the entry itself. The metered corners of the lightwell project into the house's interior space. A scored concrete block wall with a playful, mid-century era pattern of inset undulating vertical hallows, runs along the entranceway then continues unabated past the glass sidelight well into the house itself. Paralleling this wall at the entranceway's opposite side is a shorter wall of the painted vertical wood siding seen elsewhere, and it too begins outside before continuing into the interior proper, doubling as the dining room's east wall. The entrance walk is veined travertine marble that begins outside and continues inside. This veined travertine marble is present throughout the house and upon multiple exterior patios and walkways outside of the house. Park added the entranceway travertine in 1987, and it references an identical marble he originally used in the fireplace mantle. The current owner recently covered all of the interior flooring, in addition to multiple exterior patios and walkways, in this identical material, albeit of different dimension referencing the flooring of the 1957 Eero Saarinen and Associates Miller House and Garden, in Columbus, Indiana: one the current owner's favorite buildings.

Toward the Basin Residence's private rear yard and hillside views beyond it, the house's north-side width, and long, east-rear elevations consist of multiple bays of wood framed, full-height glass, with one bay off the east elevation of vertical wood siding. A substantial wall is present at the house's northeast portion, of the same scored concrete block patterning seen at the entryway. This wall backs the living room and integrates into the chimney and fireplace and as visible through the glass, reads as one continuous indoor-outdoor design element.

The house's lengthwise west elevation is set behind an exposed concrete masonry unit (CMU) wall separating it from the neighboring property. The CMU wall defines the Basin Residence's west property line. This elevation of the Basin Residence is not visible from the public right-of-way. It is primarily stucco clad, has three-part fixed and operable sliding windows. This elevation also features a wood and glass secondary entrance door, and one of the many sliding patio doors around the house. Affixed to this elevation are painted wood 2x4 posts that break it up into various bays. The west elevation is topped by the extended and bulbous flared soffit design seen elsewhere upon the house.

The Basin Residence's narrow and secondary south elevation is clad in stucco and paralleled by a small walk with inset concrete stepping stones, just beyond which is a small side-yard berm, then an exposed CMU wall of the neighboring property. At the south elevation's west end is a stylized wood gate, original to the house, that opens onto a small, private enclosed garden space off the master bathroom. Across the house's exterior are recent metal bullet lights, and sconce lights, selected by the present owner, that are identical reproductions of those of Modern master designer Arne Jacobsen.

Interior

As previously mentioned, many of the Basin Residence's exterior design elements- painted vertical wood siding, stylized concrete block walls, and even the pitch and underside of gables- make their way through clear glass into the inside of the house, integrating indoors and outdoors. Walls and gable ends, on account of glass, are dematerialized, integrating materials,

planes, rooflines and other design elements seen outside the house into the house's interior, often in a manner visually unabated.

Each room of the Basin Residence has a bevy of original architectural details that have either remained from house's 1960 completion or that the present owner recently restored. The current property owner, who has over ten years' experience in Midcentury Modern period restoration, based his restoration efforts off original plans, conceptual drawings, and photographs. Additionally, the property owner researched period and design-specific features to incorporate, down to the smallest details such as sconce lights, kitchen tile, built-ins, and other fixtures. The interior entranceway- on account of its prevalence of features that began outside, is already described. As one enters the house, to the right of the entranceway due west of it, is the dining room. Its walls are primarily vertical wood siding, and this includes its east wall off the entry, which has a wood sliding door for privacy, and a vertical wood-sided west wall that runs full-height upward to the room's gabled ceilings. This wall features seamless cabinets with flush doors of the identical material, thereby camouflaging them into the wall. At the dining room ceiling apex is a prominent, painted wood beam that projects eastward- perpendicular across the entry, then across the entirety of the living room due east of the entryway, and then outside. At the end of the entryway, a painted wood post, a painted, thin wood plank capping each of its four sides, runs full-height and supports this beam. A lower, second wood beam runs along the dining room's north wall, continuing over the entry door, through the living room, and projecting eastward out beyond the house's east wall for yet another reiteration of indoor-outdoor integration. The dining room features a 1957 chandelier by Carlo Scarpa for Venini, installed by the current owner, with an assembly of hand-blown Murano glass of stretched diamond-form pieces of faint plum and light blue coloration.

To the east of the entryway is the living room. It too has an open gable ceiling underscored with wood posts, including the two previously described that run from the dining room. The living room's west wall is the same scored concrete block wall that projects from outside and defines the entryway. The living room's east elevation includes large-scale wood frame picture windows and clear gable end glazing above them. Between the windows are full-height vertical beams that conjoin with ceiling posts with an interlocking detail. A large picture window is present at the living room's north elevation, which also contains a narrow, full-height window that looks out onto a sunken exterior planter containing fern specimens and boulders. The living room's south elevation has sliding glass doors that open onto the rear yard and pool area. The living room's east elevation also includes the fireplace, and its integrated wall of the identically painted, stylized scored concrete block with the pattern of jogging vertical hallows seen at the entry. The fireplace has a full-height mantle and an integrated, asymmetrically placed sitting area at the hearth, both of veined Roman Travertine marble. This marble served as the template for the identical marble flooring Park added at the entry in 1987, and that the current owner referenced for additional marble flooring he added across the house, outside the house, and even onto various sink tops in restrooms.

The only other spot this marble originally existed was in the powder room: a small restroom located north of the dining room. The powder room features an angled vanity, a tall, pitched ceiling with a punched-out skylight, and has an original Marvin Mfg. Co. Marco V-800 metal fan vent at its south wall. The current owner added a speckled ceramic tile that runs full height near the vanity's mirror, replacing what was originally painted drywall at this location.

As one walks beyond the entryway, past the living and dining rooms off either side of it then turns to the right (west), one is at the house's middle portion, which contains the kitchen and a

family room, plus the primary hall itself. This center area and its hall connect social spaces to private, family spaces at the south that include bedrooms, dressing rooms, a private study, and an open master bath, with its enclosed, secret garden. Paralleling the hall off the east elevation is a generous continuum of full-height glass- bays of either fixed picture windows or sliding glass doors. Above these windows, the architect included a custom-made wood curtain housing whose outer face adds distinctive linework- serving as a long, horizontal datum. Though the most obvious- and longest- wood curtain housing is along this hall, this design element is present in various rooms, adding horizontal line directly above the glass, which counterbalances various posts, and reiterates the house's prominent ceiling beams.

To the west of the hallway is the kitchen and then off the kitchen south of it, a family room. The present owner recently restored the kitchen to its original footprint, removing an island installed in 1987, and replenishing earlier cabinets using identical Formica as originally used. The present owner recently added the period-sensitive 4'x4' speckled ceramic tile above the kitchen counters. A marble-topped pass-through is present between the kitchen and the hall space east of it. To the south of the kitchen, and open to it, is the family room, which has a low, flat ceiling with recently installed recessed lighting, and sliding patio doors at its west elevation which opens onto a patio and yard space that includes recent barbeque equipment and a backing of scored concrete block.

South of the family room, the hallway jogs to the west and narrows. Off its east side is a recessed laundry space fronted by an original wood accordion door, approximately 20 feet long. The laundry space has recent washer and dryer appliances and original wood cabinets. Opposite this laundry space to the west is one of two identical bedrooms. Each of these bedrooms has a low-pitched ceiling, folding wood closet doors, and at the west elevation of each has a three-part fixed operable sliding window. Between the bedrooms is a bathroom, which features an original, ceramic tile shower embedded with an asymmetrical, abstract composition of dimpled tiles. It has a wood and glass door that opens onto the yard and patio area west of it, and a double sink with a recently added travertine marble top that replaced Formica once present there. A dropped ceiling light with a T-bar eggcrate grill and soffit up-lighting is present above the counter.

Beyond the two bedrooms and bathroom, one arrives at the house's south end, which includes a master bedroom, a dressing room, a study, and the master bathroom. The master bedroom is located at the house's southeast corner and has an open, gabled ceiling, not unlike that seen in the living room with painted beams that project outward, beneath eaves that do the same off the interior gable. The north and south walls of the master bedroom have vertical wood siding, and the north wall has two sconce lights, Carlo Scarpa for Venini, of the same design and vintage as the previously described 1957 dining room chandelier. The master bedroom's east elevation is virtually all glass, consisting of fixed, wood-frame picture windows, clear glass at the gable ends, and an operable, two-part, taupe-colored vinyl crank window. Beyond this elevation is a planter with a variety of drought tolerant specimens, plus boulders. The master bedroom's north elevation includes a sliding glass door that opens onto the rear yard.

Just off the master bedroom due south and west of it is a small, square plan study room, with a desk with walnut cabinets and a Formica top. It faces east, toward a taupe-colored sliding window. North and south walls in the room are vertical wood siding, and the study also includes an original, built-in metal file cabinets by "Steelmaster: Art Steel of California, L.A., U.S.A." as indicated by its original placard.

West of the study, at the middle portion of the house's south end, is the dressing room. The dressing room has a centered, built-in vanity with a travertine marble top and a mirror. Above it is an open well fronted by a T-bar eggcrate grill at the ceiling line. It contains a punched-out skylight and a small, electric light. Recessed ceiling lighting is present just over the dressing room mirror affixed to the south wall. Off either side of the vanity are large closets fronted by sliding wood doors. West of the dressing room is the master bathroom. The master bathroom has a shower fronted by a glass door, with a tall, steeply pitched ceiling and full height speckled ceramic tile. The master bathroom has a double sink with a recently added veined travertine marble countertop. Behind the countertop is a full-height mirror, and affixed to one end of the counter is an original, suspended, open-frame metal towel rack running upward, attaching to the ceiling. The gabled ceiling of the master bath has recessed lighting. The master bath includes a sunken, walk-in bathtub clad in ceramic tile, accessed by a small set of steps accompanied by a square-plan travertine planter with pebbles contained in it. The master bathroom's west wall is full-height glass, including a glass gable end, with wood posts and beams. The west elevation includes a sliding glass door that opens onto a small, enclosed outdoor space that serves as an enclosed garden. There is an open wood frame gable that is, in effect an open skylight. A solid stucco wall topped with frosted privacy glass cut to echo the angled shape of the nearby gable, itself underscored by extended wood posts, backs the enclosed garden. Either end of the enclosed garden has a raked wood gate of striated openings in a jogging and stylized mid-century vertical pattern not unlike that seen in the concrete walls at the living room and at the entryway. The enclosed garden contains a recently added marble walkway.

Yards and Patios

In addition to the enclosed garden, the Basin Residence has four other patios at the north, east, and west portions of the property just beyond the house, present within two larger, outdoor spaces. Each of these patios has a floor of recent veined travertine marble identical to that within the house as keyed from the original fireplace mantle marble. An enclosed yard west of the house reads as a "back yard," though it is technically in front of the house, and closer to the Wrightwood Court public right-of-way. The other primary outdoor area – the true back yard, is due east. It includes a rectangular, brick-lined swimming pool, originally slated for the house as indicated on the original plans, but not added until 1967. A low, running wall, that doubles as a sitting bench, of scored concrete with vertical recessions not unlike similar concrete block walls seen in the house's public areas, backs the pool. Present beyond the living room and clearly visible through its glass is an outdoor sitting area wrapping the house's northeast corner.

Any variety of planters- either sunken into the ground or set behind low walls of painted running course brickwork with header course capping, are present at various yard spaces and along the house. This includes at the front of the house near the entry, where one is at a jutting, oblique angle just off the exterior entryway. The various planters include a variety of drought tolerant plants, common period specimens, and plants of a slight Asiatic quality referencing the subtle Asiatic character of the house design itself. Specimens include Blue Fescue, Japanese Juniper, Silver Sheen, and various fern and succulent specimens, among other plantings. Many of these planters are visible just beyond various full-height windows from within the house providing greenery to a given outward view. Boulders and walkways of small inset concrete stepping pads are also present around the house.

Due east beyond the low wall behind the pool's east edge, the Basin Residence parcel continues down a steep hillside slope. This area is unintended for access aside from a small set of recent concrete steps that lead to hidden utility, air conditioning, and other infrastructure elements and metal boxes. The view east from the Basin Residence is a hillside one, affording panoramic views of the Universal City skyline with the Verdugo and San Gabriel mountains

beyond it. The parcel's eastern end has no boundary wall. CMU walls between neighboring properties frame the Basin Residence parcel at its south and west lot lines.

At the Basin Residence's north parcel line is a stepped course block wall. Readily viewable from the public right-of-way, this wall is of a stylized painted scored concrete block and reads as part of the larger design composition of the house itself. This wall runs along the driveway property into the back yard. A recent metal door connects the driveway to the back yard. Just beyond this door as one enters the backyard, is a hidden trash can storage of a painted and scored concrete block identical to the wall itself. Just as with the property's southern portion, this narrow, northern area of the parcel reads as a secondary space.

Alterations

The present property owner recently undertook a thoughtful, meticulous restoration of the Basin Residence's exterior and interior, with few changes and alterations- all compatibly done- from the house's original design. Among the few visible changes is the extensive application of veined travertine now flooring the house and various patio spaces throughout. The travertine replaced flooring in rooms once containing carpet or terrazzo flooring. The recent travertine is identical to what Park originally used in the fireplace mantle and Powder Room table, and what Park himself used in the 1987 entranceway renovation. The owner removed a rustic styled brick mailbox installed in 1989 by a landscape architect, and the kitchen island Park designed for the Basins in 1987. The owner has retained Park's taupe-framed vinyl windows, as they are highly compatible to the original design and color scheme, and function perfectly. The Basin Residence once featured "cottage cheese" acoustic ceilings in many of its gabled, interior spaces continuing out onto exterior eaves. Because of its high asbestos content, the present property owner removed this material, and replaced it with a smooth stucco treatment that often incorporates newly added recessed lighting- at interior gables and eave soffits. The present owner has replaced original bathroom sinks, and Formica bathroom counter tops with veined marble. The yard areas include recent metal doors for privacy, newly designed sunken planters with recent, but compatible plant specimens, a recent barbeque station with scored concrete block backing; a stucco privacy wall between the garage and hidden west patio; and tucked away at the properties north side, a trashcan holding area of the same scored and painted concrete block seen elsewhere at original elevations. Throughout the house a multitude of door handles, faucets, and lighting elements are recent, but the present owner consciously selected them to reference the house's fixtures as seen on original blueprints, or otherwise from its era.

Written Statement B

The Basin Residence: Significance Statement

An exceptionally sophisticated Contemporary Ranch design, the Basin Residence presents a stunning integration of indoor and outdoor spaces, open plan elements, and post and beam work both intricate and expansive. The property is historically significant under City of Los Angeles Historic-Cultural Monument Criterion 3: “Embodies the distinctive characteristics of a style, type, period, or method of construction; or represents a notable work of a master designer, builder, or architect whose individual genius influenced his or her age.” Completed in 1960, architect Donald Gene Park designed the Basin Residence for the family Michael A. Basin, his wife JoAnn, and their two children, David and Karen. Recently restored inside and out, the Basin Residence retains excellent integrity.

Contemporary Ranch: Definition and Features

Discerning and sophisticated, Contemporary Ranch came to prominence after Ranch’s earlier, more rustic iterations. Though beginning just after World War II, Contemporary Ranch design peaked between the mid-1950s and late-1960s. Often, though not always, custom designed, Contemporary Ranch homes were commonly larger, and marketed to buyers of growing families. These families had not only outgrown the smaller floorplans, often rooted in the Minimal Traditional, of earlier Ranch houses, but outgrew the earlier version’s theming: rustic, Western, Chalet, or otherwise. Not without its own Modernist and Asiatic theming, Contemporary Ranch was Ranch for those sensitive to “good taste,” that through growing postwar economic abundance the American middle class, as it became an upper middle class, now had the ability to enjoy, appreciate, and live out.¹ Contemporary Ranch, sometimes called “Contemporary Custom Ranch” or simply the “Contemporary Style,” existed through the mid-1970s, when, in Southern California, Spanish design elements increasingly informed and changed it.

Aside from its starting point in the Ranch house design itself, with its informal and rambling low-slung massing, other influences upon Contemporary Ranch- some overlapping, came from the Case Study House design program, the postwar-era USC School of Architecture with its emphasis on post-and-beam design work, a 1950s interest in Japan, and the primary influence upon any variety of postwar Ranch architecture: Frank Lloyd Wright’s Usonian houses.

According to architectural historian Virginia McAlester, Contemporary house designs were made possible by three 1930s-era technical developments: the aggressive marketing of newly developed double glazed windows; the advent of exterior grade plywood including what would come to be known as “T1-11”; and the advent of new industrial grade wood glues, allowing for new uses of wood paneling and glue laminated (“glu-lam”) wood that enabled post-and-beam production.² Even upon generally more expensive custom commissions, a Modernist ethos around economy pervades the Contemporary Ranch style with its use of workman-like materials such as concrete block, and board siding, both of which are present at the Basin Residence.

¹ Daniel Paul and Barbara Lamprecht (ICF Jones & Stokes), “Cultural Resources of the Recent Past, City of Pasadena,” Daniel Paul and Barbara Lamprecht, “Cultural Resources of the Recent Past, City of Pasadena,” National Register of Historic Places Multiple Property Documentation Form (Washington DC: U.S. Department of the Interior, National Park Service, April 2, 2008), E-10- E-11.

² Virginia Savage McAlester, *A Field Guide to American Houses* (New York: Alfred A. Knopf, 2013), 632. McAlester mistakenly refers to T1-11 as “K1-11.” The above text incorporates the correct name.

Different from prior Western-themed Ranch, Contemporary Ranch designs negate traditional fenestration patterns. Holes and openings hide behind long eaves, they jog, or as seen at the Basin Residence, large, full height glazing subsumes them. Similarly, designers integrated entryways or otherwise subsumed them into elevations. Such gestures, coupled with monochromatic palettes and predominant roof forms, make the total, all-over Ranch house design more abstract- more "Contemporary."³

Contemporary Ranch: Prior Recognition

Contemporary styled houses like the Basin Residence have precedent as landmarks. Significant examples include the postwar Pasadena work of Harold R. Zook, Jr.- one of the style's first practitioners; the 1960s-era Pegfair Estates Historic District, also in Pasadena, which in 2010 became the first National Register-listed Ranch house district of any kind in California; and the multitude of tracts, with 11,000 houses total, developed by Joseph Eichler ("Eichler Homes") from the late 1940s through the mid-1960s. From 1943 to 1945, and at that time in the grocery business, Eichler with his young family rented the Sidney Bazett House: a recently completed Frank Lloyd Wright Usonian in Hillsborough, CA. The experience of living there inspired Eichler to embark on a property development career.⁴ Not wholly unlike his earlier Organic Architecture, the features of Frank Lloyd Wright's various cost efficient and smaller-scale Usonian Houses, designed from just after the Great Depression in 1938 until his 1959 passing, include open floorplans; all-over design consistency upon a given building; monochromatic palettes; economical but natural materials; and low-slung designs with a generous use of full-height glass recessed beneath sheltering roof overhangs that facilitate passive cooling and heating, and connect people with nature.⁵ Nature and space pervade Usonian Houses, Eichler Homes, and the Basin Residence itself, with its many small planters just beyond window walls, and stunning, panoramic views of the San Gabriel Mountains, taken in from its living spaces. Writing about Frank Lloyd Wright's use of space, in language that also applies to the Basin Residence, architect Peter Blake stated, "If one thinks of 'space,' as a sort of invisible but ever-present vapor that fills the entire architectural volume, then Wright's notion of space-in-motion becomes more clearly understandable: the contained space is allowed to move about, from room to room, from indoors to outdoors, rather than remain stagnant, boxed up in a series of interior cubicles. This movement of space is the true art of Modern architecture, for the movement must be rigidly controlled so that space cannot 'leak' out in all directions indiscriminately."⁶

Raphael Soriano, Anshen & Allen, and Jones & Emmons were all among Eichler's architectural steed. It is worth noting that Donald Gene Park, the Basin Residence design architect, worked as draftsman at the Jones & Emmons firm during the mid-1950s, when the firm was deep into Eichler design work.⁷ At Jones & Emmons, if he did not draft Eichler projects, Donald Park certainly knew of them, with the Basin Residence itself as the primary evidence of this clear, continuous lineage.

³ Daniel Paul, *New City of Mentalphysics Historic District*. National Register of Historic Places application. June 9, 2022: Section 8, page 68.

⁴ Paul Adamson, *Eichler/Modernism Rebuilds the American Dream* (Layton, Utah: Gibbs Smith Publishers, 2002), 28-29.

⁵ John Sergeant, *Frank Lloyd Wright's Usonian Houses: Designs for Moderate Cost One-Family Homes* (New York: Whitney Library of Design, 1984), 16, 27-28; Jackie Craven, "What is a Usonian House? Frank Lloyd Wright's Solution for the Middle Class," *ThoughtCo.*, July 3, 2019, <https://www.thoughtco.com/usonian-style-home-frank-lloyd-wright-177787>.

⁶ Peter Blake, *The Master Builders* (New York: W.W. Norton & Company, Ltd. 1996), 326-327.

⁷ Alan Michelson, "Donald Gene Park (Architect)," *Pacific Coast Architecture Database (PCAD)*. Accessed June 23, 2023, <https://pcad.lib.washington.edu/person/6904/>.

At the time Park graduated with his architecture degree from USC in 1952, the school had a strong emphasis on post-and-beam architecture, and the Case Study house program was in full-swing, with its own abstract forms, clean lines, open plans, generous use of glass and economical use of industrial materials. Very much of its late 1950s zeitgeist, the Basin Residence clearly incorporates these regional influences.

Japan And Taste In The Postwar Era

Through the mid-1950s, an emerging, maturing upper-middle class took interest in Japanese aesthetics. Architecturally, the culminating event of such interest was the 1954 installation of the purpose-made *Shoin-zukuri* house and landscape within the Museum of Modern Art's (MOMA) Abby Aldrich Rockefeller sculpture garden. Exhibited for much of 1954 and 1955, over 200,000 people visited the *Japanese Exhibition House*. John D. Rockefeller III's Japan Society sponsored the exhibit and MOMA Architecture Committee Chairman Philip Johnson oversaw it, doing so, in-part, to define "taste" for the American middle class.⁸ Moreso, the exhibit was a gesture of postwar reconciliation, and a clear acknowledgement that Japanese architecture had long ago developed design-work the West had claimed, through Modernism, as its own. As seen on the *Japanese Exhibition House*, "Modern" features included open plans, post-and-beam structural work, predominant roofs not structurally related or otherwise supported by walls, structure itself as decoration, plus indoor-outdoor integration to connect individuals with nature.⁹ For years after *Japanese Exhibition House*, Contemporary Ranch designs, custom or otherwise, folded in more Asiatic references. This includes the Basin Residence itself, with its convex, extended eave soffits, bouldered gardens, and other previously mentioned design elements shared with the *Japanese Exhibition House*.

The Basin Family

In some ways, Michael Abram Basin (1930-2021) was the quintessential Southern California Contemporary Ranch client. Basin was born in Harbin, Manchuria, China to Russian-Jewish parents that emigrated from Odessa, Ukraine to flee the *Pogroms*.¹⁰ Ultimately settling in Kyoto, Japan, his parents left there at the start of World War II and came to the US upon the *Kamakura Maru*, docking in San Pedro on April 5, 1939 when he was 9 years old.¹¹ Basin was raised in Los Angeles, attended Los Angeles High School, and would earn MA and PhD degrees in electrical engineering from Caltech. On the 4th of July 1954 he married USC student JoAnn Wener (1932-). In the 1950s and 1960s Basin worked in the region's burgeoning postwar aerospace and high-tech industries as a division engineer for Computer Engineering Associates, worked at Hughes Aircraft and Litton Industries, and published articles in academic

⁸ Robin Pogrebin, "Is Prefab Fab? MOMA Plans a Show," *New York Times*, Jan 8, 2008, <http://www.nytimes.com/2008/01/08/arts/design/08moma.html>.

⁹ Please see Arthur Drexler, *The Architecture of Japan*, (New York: Simon & Schuster, 1955); "Japanese Exhibition House," brochure (New York: Museum of Modern Art, 1954), https://www.moma.org/documents/moma_catalogue_2711_300380245.pdf?_ga=2.97703901.371301458.1690592333-1901202885.1690592333.

¹⁰ David Basin, "Re: 3522 Wrightwood Court, Studio City, Historic Landmark Application," email to author, July 26, 2023.

¹¹ The National Archives at Washington, D.C., *Passenger Lists of Vessels Arriving At San Pedro/Wilmington/Los Angeles, California*, NAI Number 4486355; Record Group Title: *Records of the Immigration and Naturalization Service, 1787-2004*; Record Group Number: 85. Accessed July 23, 2023, https://www.ancestrylibrary.com/discoveryui-content/view/2620540:7949?tid=&pid=&queryId=ba9147b9c45821525093916931434a9f&_phsrc=SKg364&_phstart=successSource.

journals on topics such as aerodynamic heating on thin winged craft.¹² In 1970, Basin started the sonar company “System Development Planning,” travelling often for work that included US Navy contracts.¹³ Basin retired in 1991, and moved to Palm Desert with Mrs. Basin. The Basins raised two children in the Studio City house: Karen Sue (1960-2020) who became an orchestral bassoonist and rheumatology MD practicing in Oregon before passing from ALS at age 60 in 2020, and son David, who earned a PhD from Cornell University in computer science and is presently the faculty Chair of the Information Security Department at the ETH, Zurich, Switzerland.¹⁴

Benton and Park Architects AIA

Wallace “Wally” Benton and Donald Gene Park established the Benton and Park architecture firm (sometimes written “Benton/Park” or “Benton and Park Architects AIA”) in 1956.

Raised among building contractors, Donald Gene Park (1927-2020) was born in Bruning, Nebraska, his family relocating to Los Angeles when he was around 11 years old. Park studied architecture at the University of Southern California, graduating in 1952 with a bachelor’s degree before working with Jones & Emmons during the mid-1950s.¹⁵ Park became an AIA member in 1956, the same year he set up the Benton and Park firm. Donald Park, whose name is on the Basin’s Residence’s original building permit, and who returned to work with the Basins in 1987, is the Basin Residence designer.

Dudley Wallace “Wally” Benton (1925-2021) was born in Nogales, Arizona. After serving in the US Army Reserve during World War II, he earned his BA in architecture from the University of Kansas in 1950 and moved to California the following year.¹⁶ Benton was the lead designer for the 1961 Borun House and Garden in Brentwood, City of Los Angeles Historic Cultural Monument #1217, listed November 2020. Julius Schulman featured Benton’s 2001 Enkeboll House, aka “Dolphin Head Ranch,” in his book *Malibu: A Century of Living By the Sea*.¹⁷

In 1970, the Benton and Park firm added a third partner: Peter Candreva, and the firm became “Benton Park & Candreva AIA” at that time.¹⁸ The firm had a dba of “Arctec,” though research yielded no known design work under that name. Benton and Park, and Benton Park & Candreva, designed all manner of schools, churches institutional buildings, multi-family housing, and industrial parks. Examples include the US Federal Drug Administration Regional Headquarters, (Mid-City, 1964, demolished); the Mid-Century Modern Occidental Towers (Koreatown, 1968) and the “Burnham’s County Estates” housing tract (Northridge, 1961). But it was custom designed single-family homes, incorporating eclectic, expressive influences, and varied styles that included Mid-Century Modern, Neoformalist, Case Study, and the Contemporary Ranch itself, that has posthumously garnered the firm new press. Frequently of

¹² Michael A. Basin, Richard H. MacNeal, and John H. Shields, “Direct Analog Method of Analysis of the Influence of Aerodynamic Heating in the Static Characteristics of Thin Wings,” *Journal of Aero/space Sciences*, Volume 26, 1959, clipping, <https://arc.aiaa.org/doi/abs/10.2514/8.7978?journalCode=jasps>.

¹³ David Basin, “Re: 3522 Wrightwood Court, Studio City, Historic Landmark Application,” email to author, July 27, 2023.

¹⁴ Ibid.

¹⁵ Michelson, “Donald G. Park (Architect).”

¹⁶ “Wally Benton Obituary,” *Orange County Register*, September 19, 2021, <https://obits.ocregister.com/us/obituaries/orangecounty/name/wally-benton-obituary?id=18160909>.

¹⁷ Julius Schulman and Juergen Nogai, *Malibu: A Century of Living By The Sea* (New York: Harry N. Abrams, 2005), 240.

¹⁸ “Donald G. Park, 1927-2020,” *Legacy.com*, accessed July 25, 2023, <https://www.legacy.com/us/obituaries/latimes/name/donald-park-obituary?id=7313649>.

the hills, their designs included subtle Asiatic influences and bold, distinctive shapes, often twin form, such as symmetrical squares topped with “Califuji” roofs (Stone Residence, Los Feliz, 1964), or dodecagons (The Joby & Helen Lewis House, Encino, 1972).¹⁹

The Basin Residence: Timeline

May 22, 1957: lot cut date.

May - September 1958: Elevation renderings completed by Donald Park.

June 5, 1959: Donald Park pulls City of Los Angeles building permit #VN32860 to construct The Basin Residence.

August 1959: Benton and Park “M.A. Basin Residence” construction drawings completed.

May 2, 1960: Basin Residence Certificate of Occupancy.

May 16 and 17, 1967: Permit for retaining wall (Bob Thomas, Contractor) and swimming pool (Anthony Pools, Inc.). Park originally designed the property to include swimming pool.

November 16, 1967: Certificate of Occupancy granted for “15' X 35' private swimming pool with approved enclosure,” presumably its adjacent retaining wall.

May 11, 1978: Permit pulled for roofing in “Flame treated cedar shakes.”

August 1986: mechanical and electrical permits, including one for HVAC.

1987: Donald Gene Park returns to the house and undertakes a variety of upgrades with the Basins. These included the addition of a kitchen island (removed by present owner, returning the kitchen to its original footprint); the addition of a travertine marble exterior walk at the entranceway, and the size-for-size incorporation of the previously mentioned taupe-toned operable vinyl windows.

1989: Revised landscape plantings and mailbox of rusticated brickwork and carriage style lantern (removed by present owner) by George Fuller, landscape architect.

1990: Michael Basin retires, and the Basins relocate to Palm Desert, CA.

Mar 13, 1997: Permit pulled to reroof house in fiberglass Class A shingles.

October 2021: Daniel Krog and husband Adam Bonnett purchase the Basin Residence and begin restoration and rehabilitation, completed as of July, 2023.

¹⁹ “Califuji” is a term first used by a friend of Postmodern architect Charles Moore to reference 60s era trends in the Bay Area style. The phrase is sometimes used to describe a shingle-clad, square, hip-on-hip roof that was part of this trend and made its way across California in the 1960s and early 1970s. Kevin Keim, ed. *You Have to Pay for the Public Life: Selected Essays of Charles W. Moore* (Cambridge, MA: MIT Press, 2001), 132. A dodecagon is a 12-sided circle.

Integrity

The Basin House retains integrity under each of the Seven Aspects of Integrity. The unmoved house is present within its original **location**; the house retains its hillside, Studio City **setting**, at the end of a cul-de-sac, flanked by other custom-designed, albeit altered, postwar Ranch homes, and overlooks the Universal City skyline; the Basin Residence retains integrity of **workmanship** as seen in interlocking posts and beams, and metered glass corners; the Basin Residence retains integrity of **design** as a 1959 Contemporary Ranch house with a variety of features that include a strong integration of indoors and outdoors, added wood members to reiterate horizontality, open plan, post-and-beam support systems, and gabled roofs with extended, projecting eaves, among many other design features. The Basin Residence retains very good integrity of **materials** that include original travertine marble accents, full-height wood frame fixed glass picture windows, vertical board siding, and concrete block accents. Within the last couple years the current owners restored the house, with few noticeable changes from the original that include the application of travertine flooring selected to match original fireplace travertine, and set throughout and beyond the house; the removal of asbestos-laden cottage cheese acoustical ceilings; and the addition of Arne Jacobsen exterior lights, and subtle, recessed ceiling lights. The 1987 crème-taupe colored operable vinyl windows are different from the original wood frame windows. But insofar as architectural drawings exist from Park for other late-1980s work upon the house, likely Donald Park himself selected these replacements, themselves now over 35 years old. Through all the above, the Basin Residence retains integrity of **feeling**, as an elegant late-1950s era Contemporary Ranch house built upon its Los Angeles hillside, and integrity of **association** to the Basin Family, Donald G. Park, and the Contemporary Ranch house as an expressive and telling postwar design development.

Contemporary Custom Ranch: SurveyLA Registration Requirements

According to the City of Los Angeles Historical Resources Survey (SurveyLA) Context Statement, a locally eligible example of the Contemporary Custom Ranch Style: "Is an important individual example that exemplifies the Contemporary Ranch style and Ranch house type; was constructed during the period of significance (1945-1975); was custom designed (as opposed to mass-produced)."²⁰ The Basin Residence meets all three qualifiers.

The SurveyLA list of Contemporary Custom Ranch House character defining features necessary to ascribe historic significance include:

- 1,500 - 3,500 square feet in size
- Abstract in form
- Carports common
- Gable ends filled with clerestory windows
- Gable roofline, sometimes low pitched
- Many are post-and-beam construction.
- Modern ornamental details
- One or two stories in height
- Plain fascia board trim
- Porches or carports may be screened with concrete block or wood screen in an abstract design.

²⁰ Architectural Resources Group, et. al, "Los Angeles Citywide Historic Context Statement (The Ranch House, 1930-1975)," technical report (Los Angeles: City of Los Angeles, Department of City Planning, Office of Historic Resources, December 2015), 24.

- Typically designed by a well-known architect
- Wall materials of stucco, vertical and horizontal wood board, board and batten
- Windows and doors treated as void elements composed to balance the solid walls²¹

The Basin Residence retains historic integrity and has nearly all the above-listed character defining features. Based on the above information, the Basin Residence is an exceptional, distinctive, and telling Contemporary Ranch house, that is eligible for a listing as a City of Los Angeles Historic-Cultural Monument.

²¹ Ibid., 24-25.

The Basin Residence: Bibliography

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Basin Residence: Figures



Figure 1. Benton and Park Architects. Basin Residence rendering, c.1958.

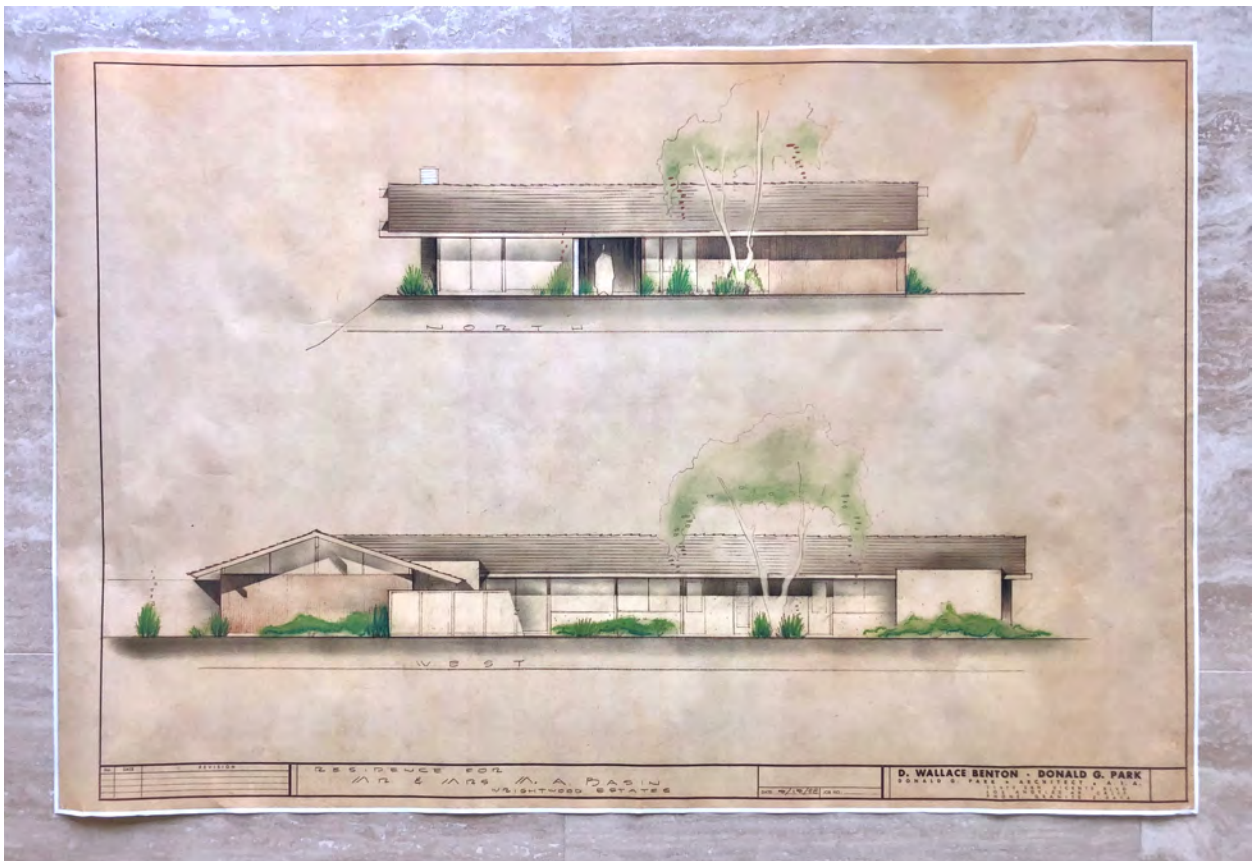


Figure 2. Benton and Park Architects. Basin Residence, north and west elevations, 1958.

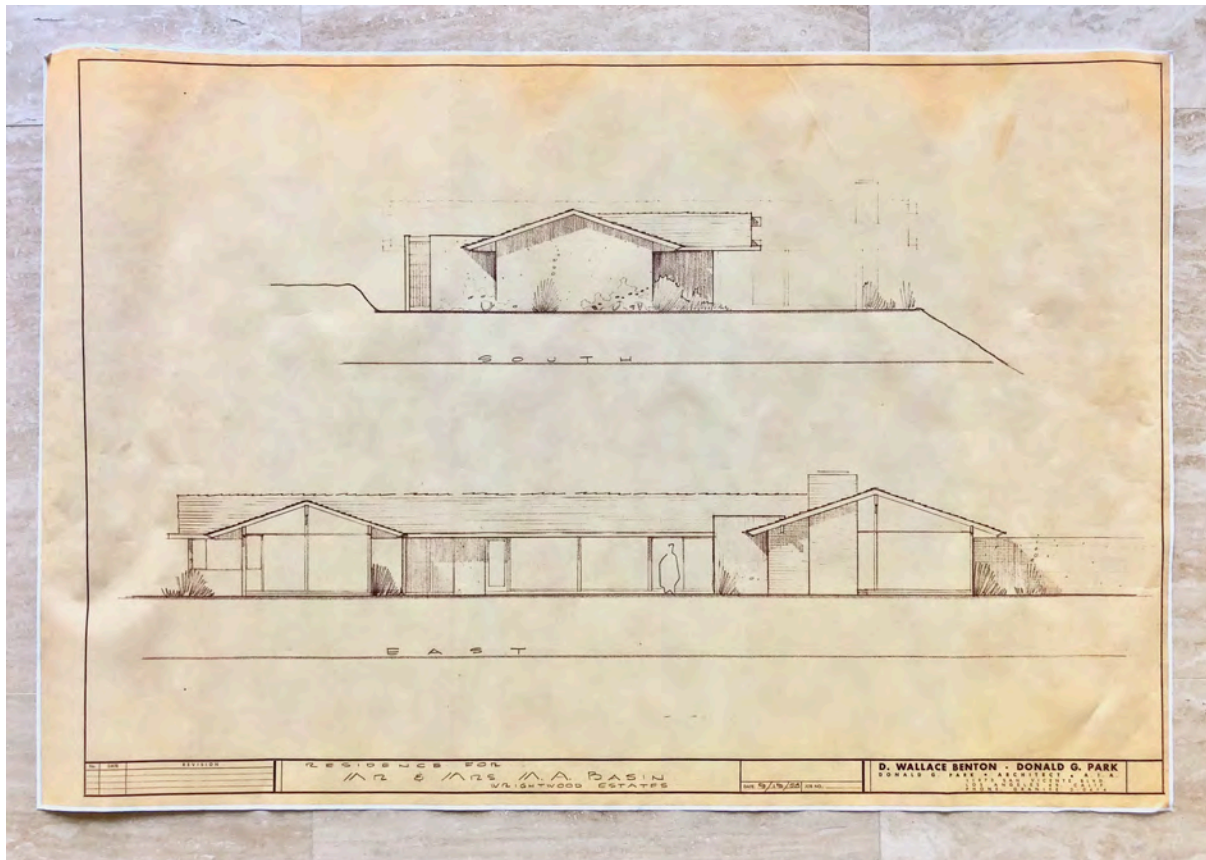


Figure 3. Benton and Park Architects. Basin Residence, south and east elevations, 1958.



Figure 4.



Figure 5.

Figure 4. Michael and JoAnn Basin in their living room, c.1969. Photo courtesy Dr. David Basin.
Figure 5. David and Karen Basin in the back yard, c.1967. Photo courtesy Dr. David Basin.

The Basin Residence: Contemporary Images

Photographers and dates- Lance Gerber: November 10 and 11, 2022;
Daniel Paul: May 11, and May 30, 2023; Daniel Krog: August 10, 2023.

Exterior: clockwise walk-around from public right-of-way:



Photo 1. Front Elevation from public right-of-way. View: SE. Daniel Paul.



Photo 2. Entryway. View: E. Daniel Paul.



Photo 3. Recessed main entry. View: S, SE. Daniel Krog.



Photo 4. Wall with recently added trash cubby (r). View: W. Daniel Paul.



Photo 5. Northeast corner, through living room. View: SW. Daniel Paul.



Photo 6. East elevation, into living room. View: W, SW. Lance Gerber.



Photo 7. Chimney, and northeast portion. View: NW. Daniel Paul.



Photo 8. Projecting northeast portion. View: N. Lance Gerber.



Photo 9. East elevation. Master bedroom at left, living room at right. View: NW. Lance Gerber.

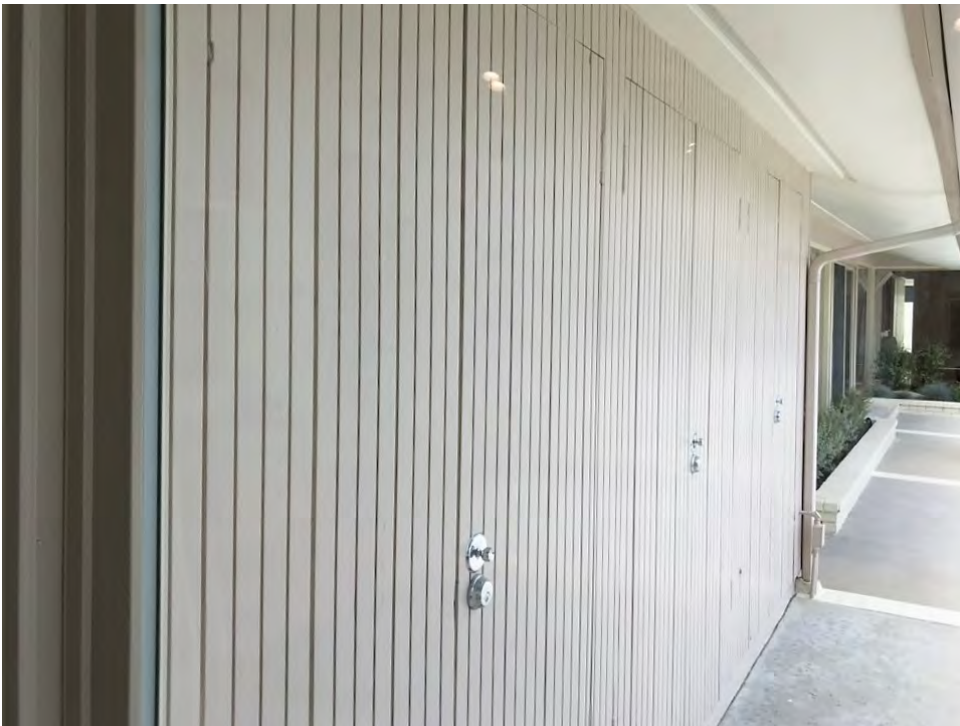


Photo 10. Hidden storage at east elevation. View: NW. Daniel Paul.



Photo 11. Master bedroom. View: SW. Lance Gerber.



Photo 12. South elevation. View: SW. Daniel Paul.



Photo 13. Secret garden off master bath. View: N. Daniel Paul.



Photo 14. Raked gate and skylight detail. View: S, SE. Daniel Paul.



Photo 15. Enclosed west elevation. View: S, SE. Daniel Paul.



Photo 16. West elevation. View: N. Daniel Paul.



Photo 17. Enclosed patio off west elevation, with recent wall and door. View: N, NW. Daniel Paul.

Interiors. From entry due north to private spaces due south:

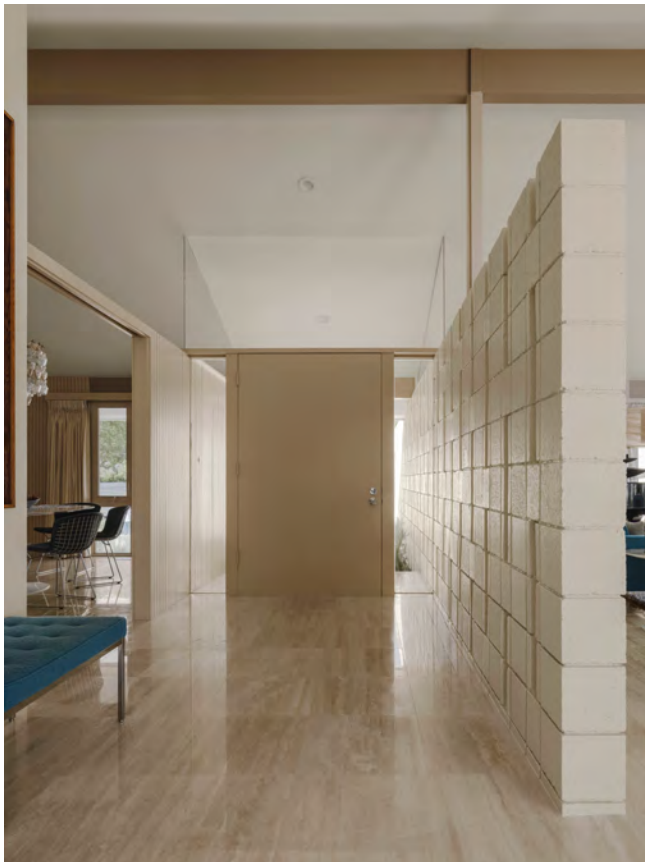


Photo 18. Entryway. View: N, NW. Lance Gerber.



Photo 19. Living room with decorative wall from outside. View: NW. Daniel Paul.



Photo 20. Entry skylight. View: NW. Daniel Paul.



Photo 21. Dining room. View: NW. Lance Gerber.



Photo 22. Dining room. View: N, NW. Daniel Paul.



Photo 23. Living room window and planter. View: N, NW. Daniel Paul.



Photo 24. Living room. View: NE. Daniel Paul.



Photo 25. Joinery detail at living room. View: NE. Daniel Paul.



Photo 26. Fireplace. View: E, NE. Lance Gerber.



Photo 27. Reflections into living room and beyond. View: NE. Lance Gerber.



Photo 28. View to outside from hall. View: SE. Daniel Paul.



Photo 29. Powder room sink. View: E, downward. Daniel Paul.



Photo 30. Kitchen with dining room in distance. View: N. Lance Gerber.



Photo 31. Kitchen and family room. View: S. Lance Gerber.



Photo 32. Family room. View: SW. Lance Gerber.



Photo 33. Bedroom 1. View: NW. Daniel Paul.



Photo 34. Bathroom. View: W, SW. Lance Gerber.



Photo 35. Dimple tilework in bathroom. View: SW. Daniel Paul.



Photo 36. Hallway. View: NW. Lance Gerber.



Photo 37. Bedroom 2. View: SW. Lance Gerber.



Photo 38. Master bath. View: NW. Lance Gerber.



Photo 39. Step-down tub in master bath, secret garden. View: SW. Daniel Paul.



Photo 40. Vanity. View: S, SE. Lance Gerber.



Photo 41. Vanity skylight detail. View: S, upward. Daniel Paul.



Photo 42. Study. View: SE. Lance Gerber.



Photo 43. Master bedroom. View: E, NE. Lance Gerber.



Photo 44. Pool and house. View: S, SE. Daniel Paul.



Photo 45. Pool. View: E, NE. Lance Gerber.

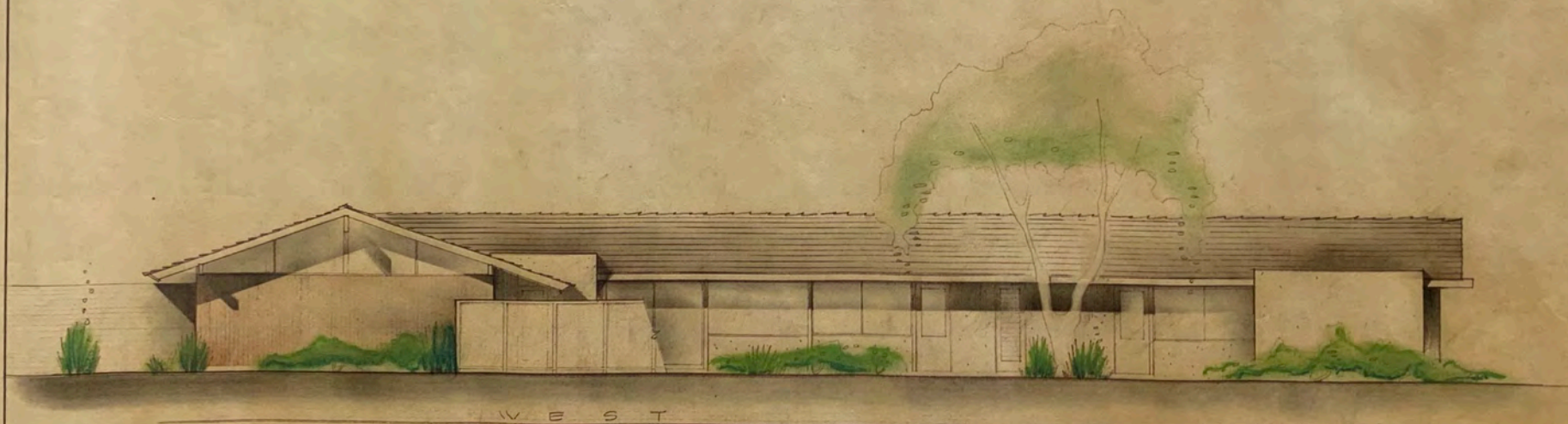
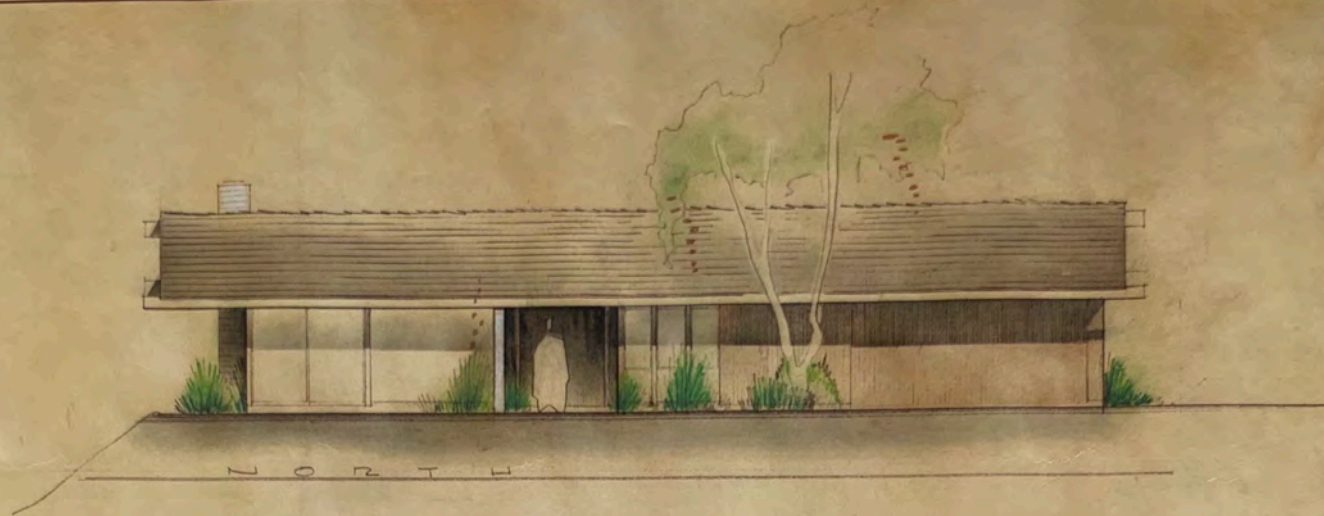
BASIN RESIDENCE

1950s-era renderings and drawings



BASIN RESIDENCE

BENTON AND PARK ARCHITECTS A.I.A.
OK 80081

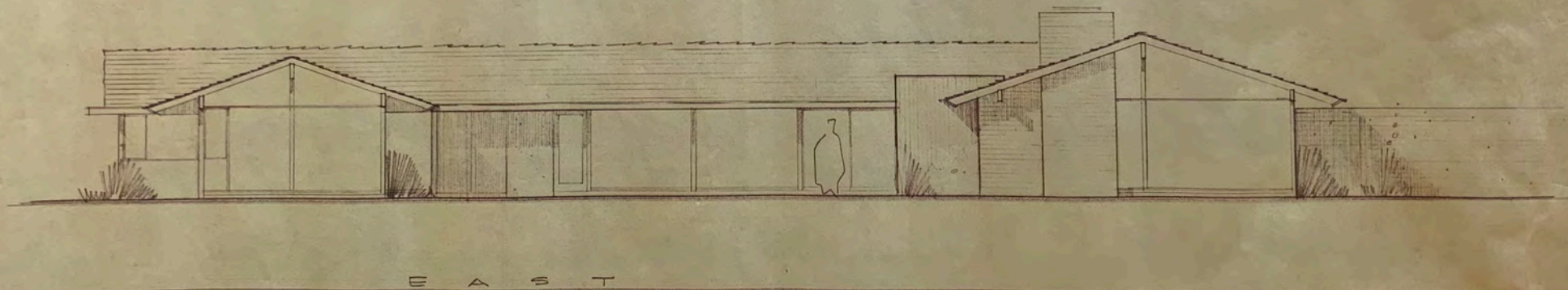
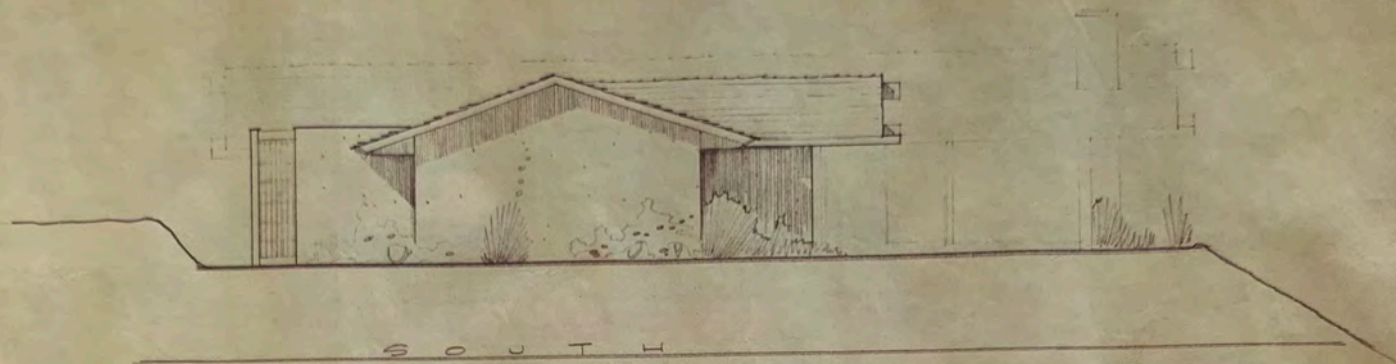


NO.	DATE	REVISION

RESIDENCE FOR
MR & MRS M. A. BASIN
WRIGHTWOOD ESTATES

DATE 10/10/62 JOB NO.

D. WALLACE BENTON • DONALD G. PARK
DONALD G. PARK • ARCHITECT • A. I. A.
1173 SAN VICENTE BLVD
LOS ANGELES 42, CALIF.
PHONE GRANITE 2-5413



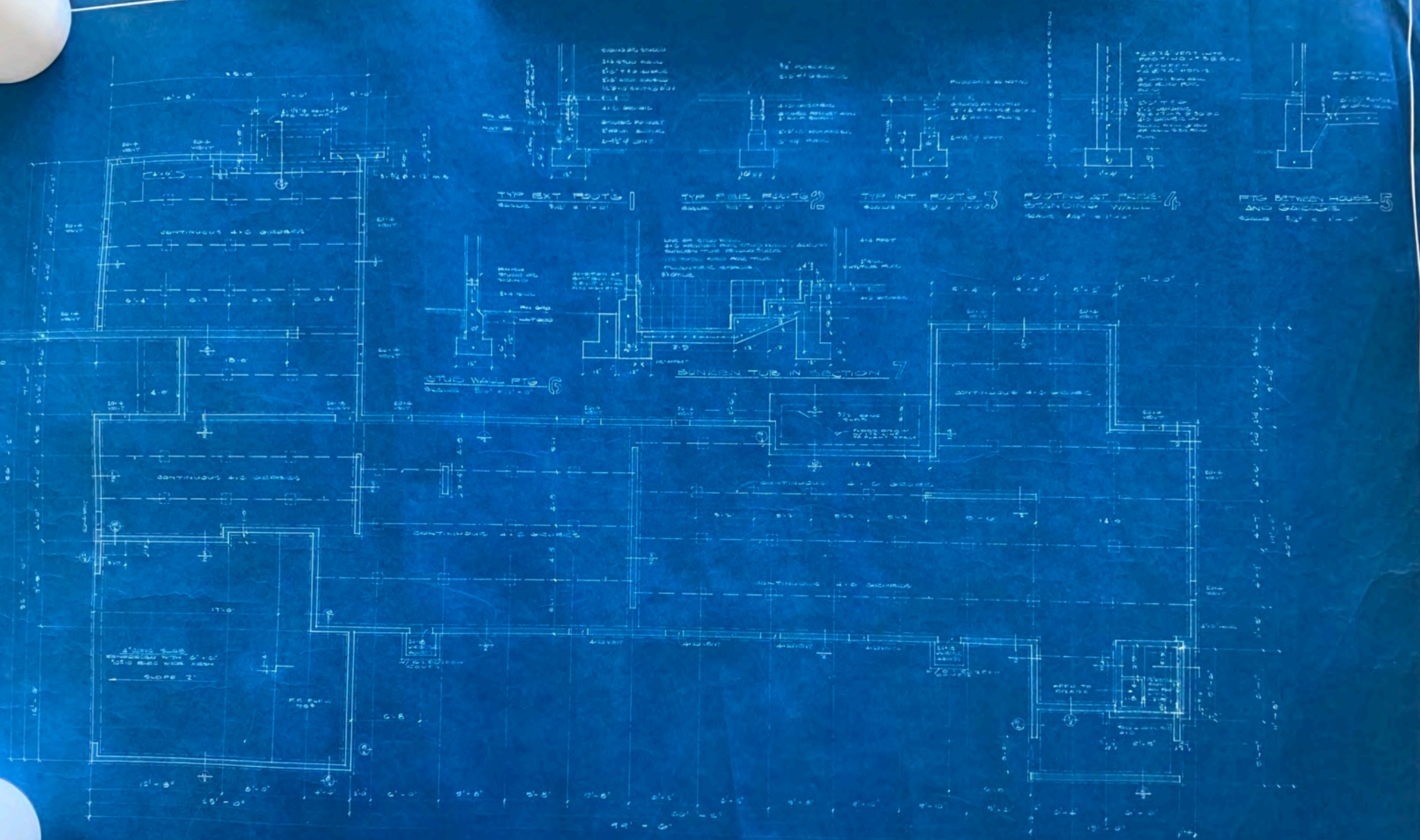
NO.	DATE	REVISION

RESIDENCE FOR
MR. & MRS. M. A. BASIN
WRIGHTWOOD ESTATES

DATE 5/15/56 JOB NO. _____

D. WALLACE BENTON • DONALD G. PARK
DONALD G. PARK • ARCHITECT • A. I. A.
11973 SAN VICENTE BLVD.
LOS ANGELES 49, CALIF.
PHONE - GRANITE 2-8114

SPECIFICATIONS: In all work specified in contract, standards for the specifications shall be in accordance with the specifications of the American Institute of Steel Construction, Inc. and the American Concrete Institute. All work shall be in accordance with the specifications of the American Institute of Steel Construction, Inc. and the American Concrete Institute. All work shall be in accordance with the specifications of the American Institute of Steel Construction, Inc. and the American Concrete Institute.



FOUNDATION PLAN
Scale: 1/4" = 1'-0"



REVISION

RESIDENCE FOR
MR. & MRS. M. A. BASIN
5572 WRIGHTWOOD COURT
WRIGHTWOOD ESTATES

DATE: 2/5/52
JOB NO.:

D. WALLACE BENTON · DONALD G. PARK
DONALD G. PARK ARCHITECT · A. I. A.
11973 VICTORIA BLVD.
LOS ANGELES 25, CALIF.
PHONE: GRANITE 2-8414

Finish coat to a smooth even

FLOOR PLAN
SCALE 1/4" = 1'-0"

REVISION	RESIDENCE	FILE		D. WALLACE BENTON • DONALD G. PARK DONALD G. PARK • ARCHITECT • A. I. A. 1197 S. SAN VICENTE BLVD. LOS ANGELES 49 CALIF. PHONE: GRANITE 2-8414	3 SEP 20 1963
	MR & MRS M. A. BASIN 3522 WRIGHTWOOD COURT WRIGHTWOOD ESTATES		DATE: 3/2/63 JOB NO.		

SPECIFICATIONS
 All work specified under this contract shall be in accordance with the specifications and details of the Standard Form K2, C2, D2, E2, F2, G2, H2, I2, J2, K2, L2, M2, N2, O2, P2, Q2, R2, S2, T2, U2, V2, W2, X2, Y2, Z2, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VV, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ.

All exterior walls shall be finished with stucco. All interior walls shall be finished with plaster. All floors shall be finished with tile or wood. All ceilings shall be finished with plaster. All roofs shall be finished with asphalt shingles. All doors and windows shall be finished with wood. All trim shall be finished with wood. All hardware shall be finished with chrome. All lighting shall be finished with white. All paint shall be finished with white. All finishes shall be finished with the manufacturer's recommendation.

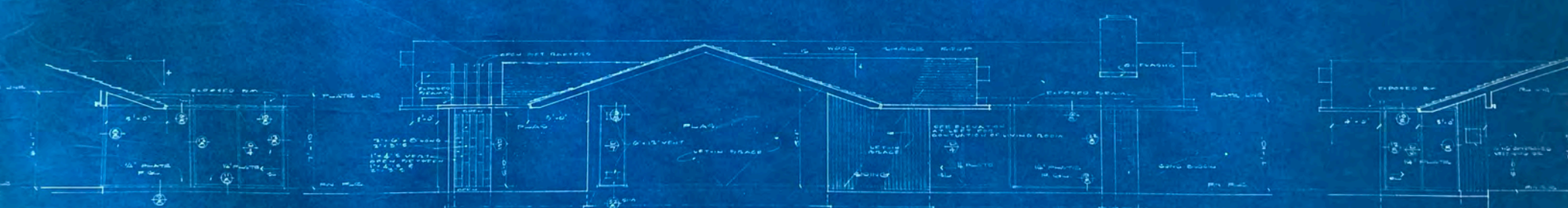
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WEST ELEV OF ENTRY
 NORTH ELEVATION
 SOUTH ELEV OF ENTRY
 SCALE OF ALL ELEVATIONS 1/4" = 1'-0"



WEST ELEVATION
 EAST ELEVATION
 NOTE: ALL ELEVATIONS ARE SCALED 1/4" = 1'-0"



LIVING ROOM CORNER ELEV
 SOUTH ELEVATION
 NORTH ELEV MASTER BED



EAST ELEVATION

REVISION

● 研究の目的

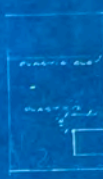
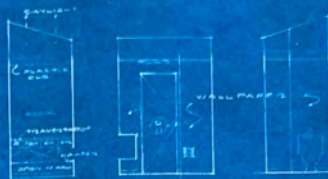
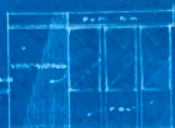
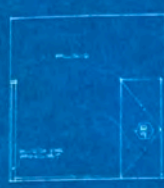
مجلس

DATE: 2/9/52	JOB NO.
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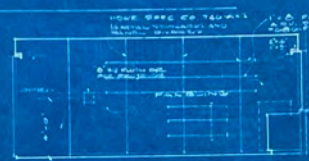
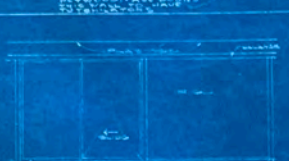
D. WALLACE BENTON • DONALD G. PARK
DONALD G. PARK • ARCHITECT • A. I. A.
11973 ASH VICTOR BLVD.
LOS ANGELES 9 CALIF.
PMO 214 2-0414



LIVING ROOM



DINING ROOM



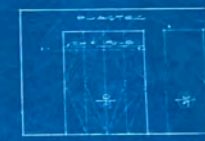
DISH STORAGE



DINING ROOM



KITCHEN



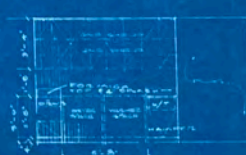
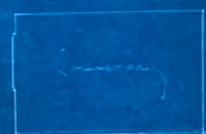
KITCHEN



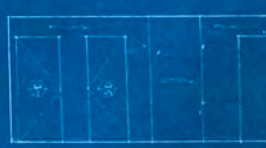
POOLSHEDS CAR



KITCHEN



KITCHEN



KITCHEN



KITCHEN



KITCHEN



KITCHEN



KITCHEN



KITCHEN



KITCHEN



KITCHEN



KITCHEN



KITCHEN

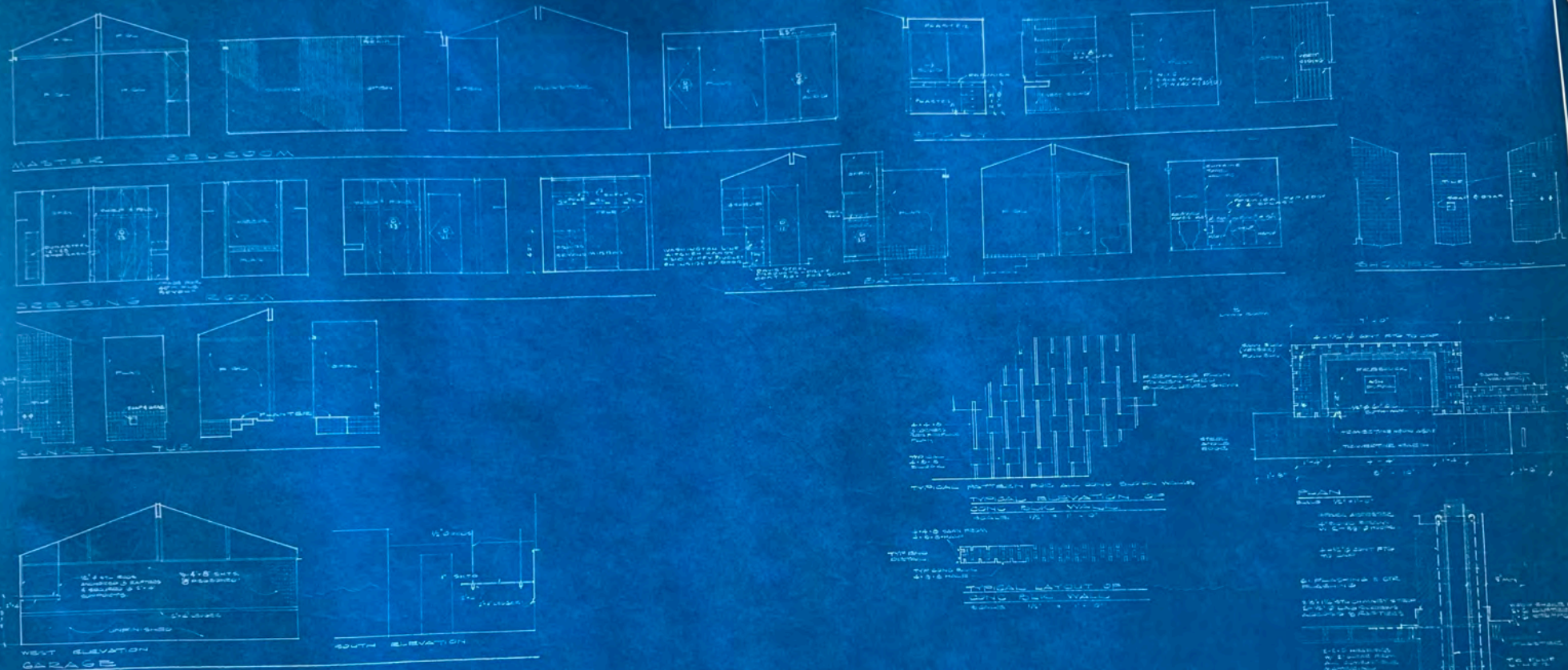
DATE	REVISION

RESIDENCE FOR
 MR. & MRS. M. A. BASIN
 6821 WRIGHTWOOD COURT WRIGHTWOOD ESTATES

DATE 3/2/69 JOB NO.

D. WALLACE BENTON • DONALD G. PARK
 DONALD G. PARK • ARCHITECT • A. I. A.
 1573 SAN VICENTE BLVD.
 LOS ANGELES 42, CALIF.
 PHONE GRANITE 3-6414



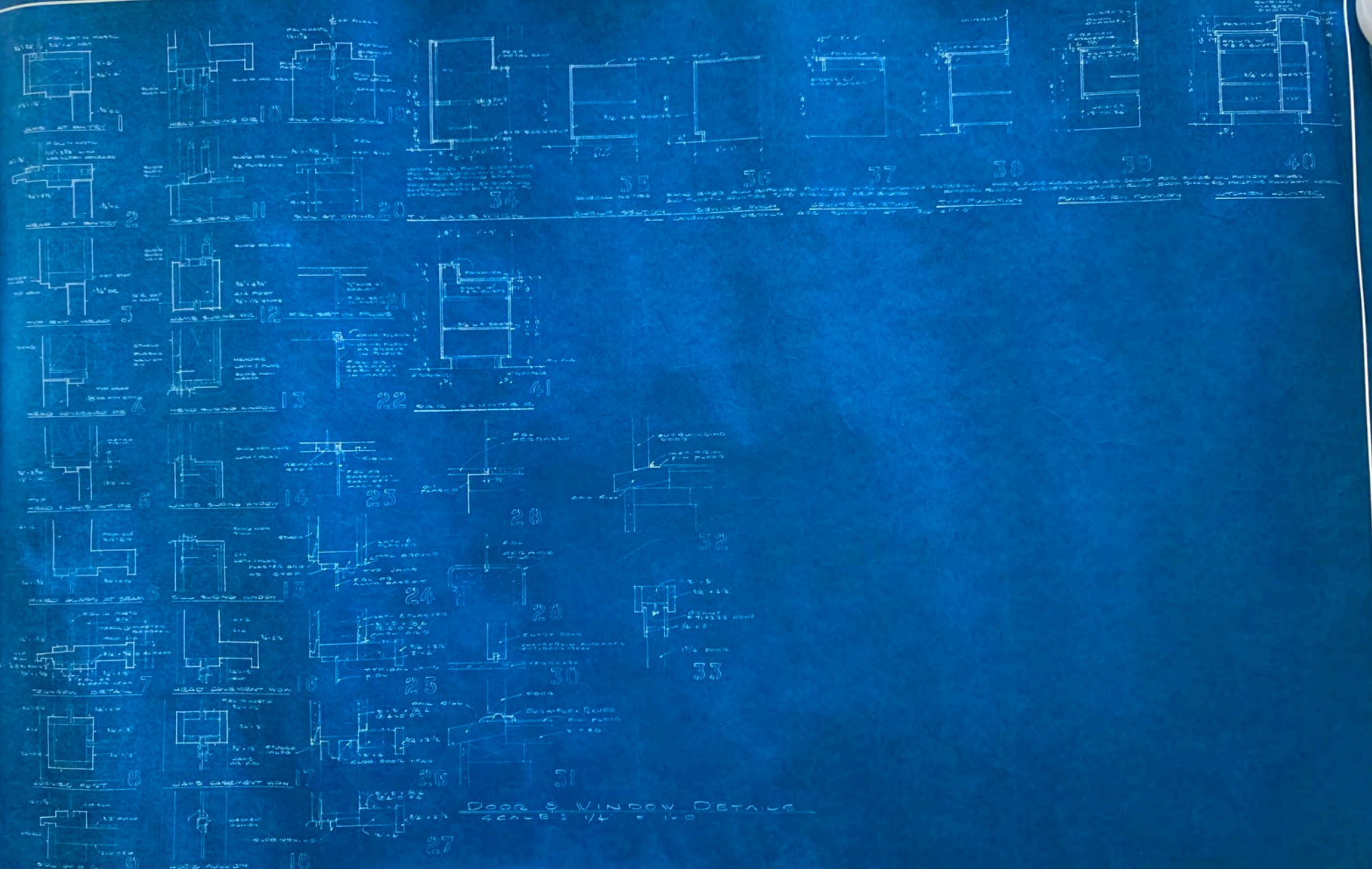


NO.	DATE	REVISION

26 SIDING FOR M. A. DASHIN
 5522 WRIGHTWOOD COURT WRIGHTWOOD ESTATES

DATE 2/2/59 JOB NO.

D. WALLACE BENTON • DONALD G. PARK
 DONALD G. PARK & ARCHITECT • A.I.A.
 11973 SAN VICENTE BLVD.
 HOLLYWOOD, CALIF.
 PHONE GRANT 2-5316



NO.	DATE	REVISIONS

RESIDENCE FOR
 MR & MRS M.A. DASH
 WRIGHTWOOD CT. WRIGHTWOOD ESTATES

JOB NO. _____ DATE 2/2/60 REVISED DATE _____

D. WALLACE BENTON & DONALD G. PARK
 ARCHITECTS
 1873 SAN VICENTE BLVD.
 LOS ANGELES 49, CALIF.
 GRANITE 2-0414

A. I. A.

Appliances	White King Super Husk Model furnished by Owner, installed by Contractor.
Refrigerator	Kitchen A/c to be furnished by Owner, installed by Contractor.
Laundry Tray	Amana P 7600 Lakeview 24" x 20" acid resisting enamel installed in counter top, less painted pedestal, R-4535 plug, R-4210 swing knob, arrestor, see dist. hardware.
Washing Machine	R-4434 built in valves for washing machine rough-in.
Water Heater	Day & Night or equal deluxe glass-lined, 10 year guarantee, 50 gallon, each.
	Rough finish lawn faucet style, 3/4" size.

Washing Machine: R-1434, built in valves for washing machine rough-in.

Water Heater: (2) Day & Night or equal deluxe glass-lined, 10 year guarantee, 50 gallon, each.

Hose Bibbs: Rough finish lawn faucet style, 3/4 size.

Accessories: (Hall-Mack)

Bath #1 2 - Soap and grab #665
 1 - Paper holder #675
 1 - Shower recess #675
 1 - Hook #655
 1 - #694 - 25" towel bar

Bath #2 2 - #306 towel rings
 1 - #694 - 30" towel bar
 1 - #665 soap and grab
 1 - #310 towelscopes
 1 - 10" x 25" Halli Hook or Durasteel 1/4" medicine cabinet with plate
 1 - glass mirror
 1 - #675 paper holder
 1 - #660 hook
 1 - #630 tumbler and toothbrush holder

Wander Room: 1 - #694 - 18" towel bar
 1 - #675 paper holder

Service: 2 - #310 towelscopes.

HEATING: Furnish all labor, materials and equipment necessary for a complete heating system with provisions for future installation of evaporator coils and air conditioning unit. Forced air heating shall be 157,000 BTU per hour. Furnish and install all ductwork, registers, and controls. All ductwork shall be installed for future air conditioning. All supply ducts shall be run underground, galvanized iron insulated with Owens Corning Ultralite 575, and each inch or an approved equal. Return air ducts shall be run in attic space, galvanized iron insulated with Owens Corning Ultralite 575, and each inch or an approved equal. Control air, Air Control, Micro, or an approved equal. Provide and install combustion air openings as required by code. Provide and install a carbon monoxide detector in the living area. Provide remote switch for summer ventilation. The heating Contractor shall coordinate with the Electrical Contractor for the installation of the heating system. The heating Contractor shall warrant a satisfactory performance of the system. Any changes from the system as shown shall be approved by the Owner. Before final approval the entire system shall be tested and approved by the Owner. The heating Contractor shall be responsible for the system.

PAINTING: It is the intention of this specification that a first class paint job is to be provided.

With the following requirements:

Instructions:

- (1) Submit samples of all paint colors for approval.
- (2) Next to last coat of paint shall receive color approved by the Architect. Before final coat of paint is applied Architect shall be notified and shall give his acceptance before the final coat is applied.
- (3) All finished wood shall be primed all 4 sides before installation.
- (4) All exposed beams shall be immediately primed after installation.

Exterior:
 All exterior stucco, walls, soffits and ceilings: To be integral color (not to be painted).
 All aluminum windows: Not to be painted.
 All fascia, wood trim, posts, beams, stucco molds, doors, sills, wood stone, etc.: 1 coat of primer sealer and 2 coats of 100% Acrylic base exterior paint.
 Exterior concrete: 2 coats 100% Acrylic resin paint or a sealer to cover.
 Metal: 1 coat red lead primer (unless shop coated) and 2 coats 100% Acrylic base exterior paint.
 Window sills: shall receive 1 coat Wood life all sides before installation, and 2 coats of Acrylic sealer after installation.

Interiors:

Metals, painted doors, posts, wood sills, wood glass stops, wood base, wood trim, etc.: 1 coat of primer sealer and two coats of 100% Acrylic base interior flat wall finish.

Painted casework: 1 coat of primer sealer and 2 coats of eggshell enamel.

Plaster wall and ceiling in baths and service: 1 coat of sealer and 2 coats semi-gloss enamel.

Plaster walls other than above: 1 coat of primer sealer and 2 coats of 100% Acrylic base interior flat wall finish.

Room plaster ceilings: To be integral color (not to be painted).

Casework: Inside surfaces of drawers to receive 1 coat shellac.

Network intercom and shelves: 2 coats eggshell enamel.

Entrance lobby: same as exterior.

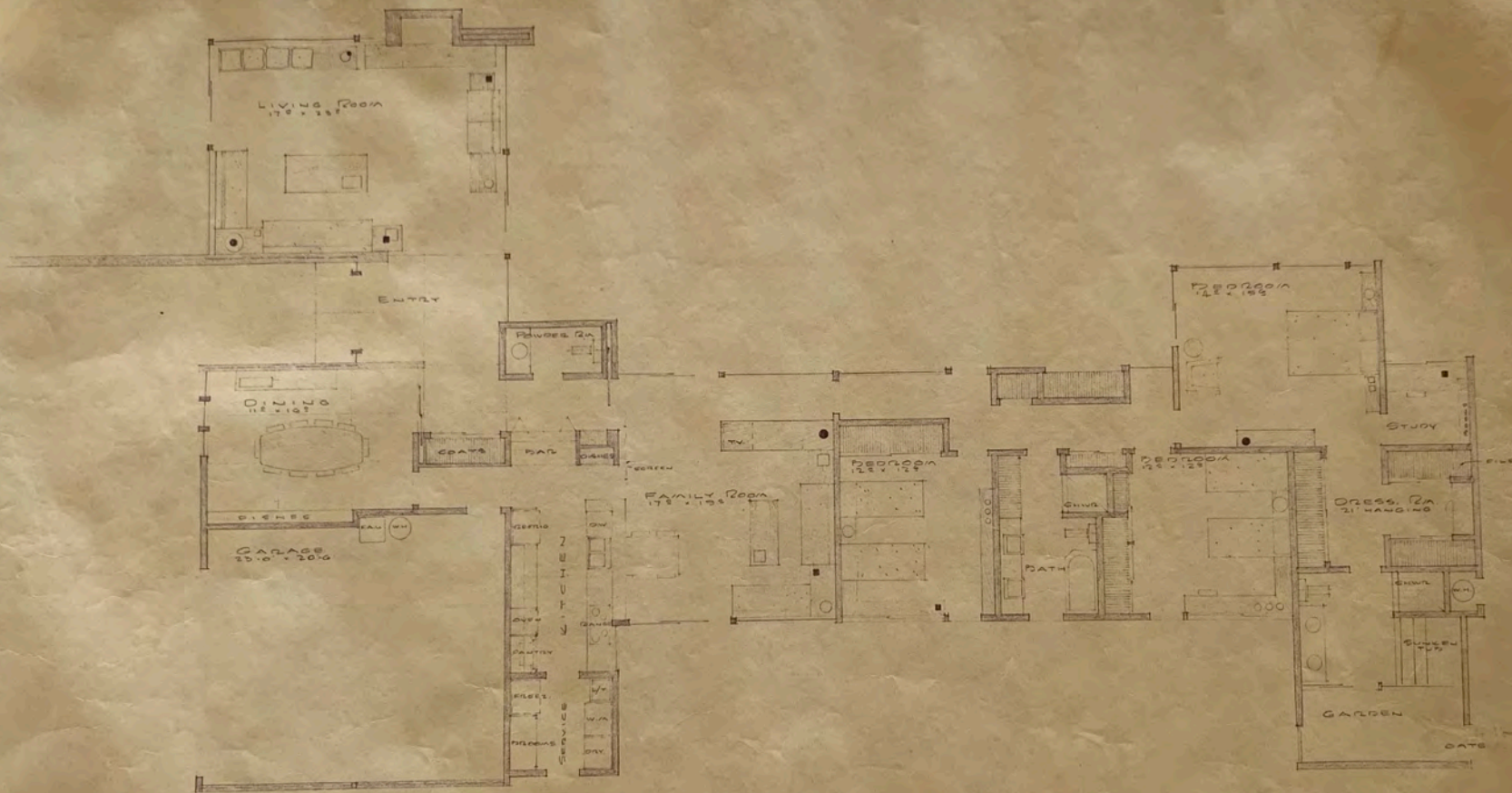
Entrance ceiling: same as exterior.

Entrance lock cabinets: 1 coat of shellac and 2 coats of varnish. Rub with fine sand paper and leave with rubbed finish.

Paint to be "Fuller", "Sinclair" or equal. Allow 48 hours between coats, except for Acrylic base. All holes and cracks are to be filled and nails set. Puttying is to be done after prime coat with putty of slightly darker color than finished surface. Owner is to select colors. Paint contractor to prepare paint samples of finished color for acceptance before applying.

MISCELLANEOUS: Luminous Ceilings: Entire ceiling of Powder Room shall receive a luminous ceiling at a point 7'-6" above finish floor. The luminous ceiling shall consist of a hung plastic ceiling complete with all required wall angles and other metal trim. (All trim white enameled). Ceiling is available from L. J. Segal Co., 5100 Santa Monica Blvd., Los Angeles 29. Phone MO 3-9385. This same luminous ceiling shall be installed flush with ceiling in skylight in Dressing Room.

NO.	DATE	REVISIONS	RESIDENCE	JOB NO.	DATE	REVISED DATE		D. WALLACE BENTON · DONALD G. PARK ARCHITECTS 11879 SAN VICENTE BLVD. LOS ANGELES 49, CALIF. GRANITE AVENUE A.I.A.
			1512 WRIGHTWOOD CREST WRIGHTWOOD ESTATES MR. & MRS. M. A. BASIN		7/9/53			



FLOOR 2 PLAN
SCALE: 1/4" = 1'-0"

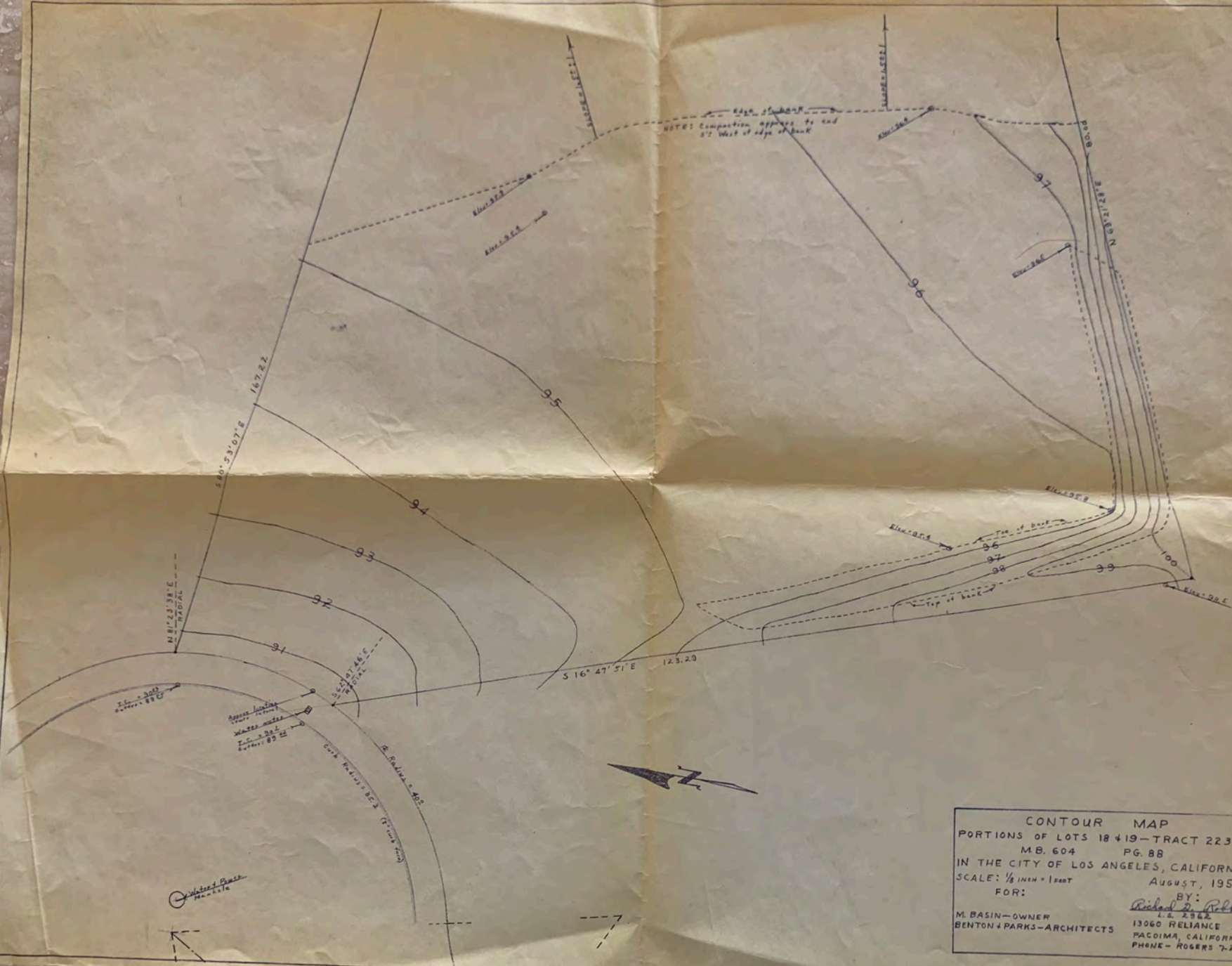
AREA ANALYSIS:
HOUSE ENCLOSED: 2057
1/2 GARAGE 340
TOTAL 2397 @ 125 = \$300,000

NO.	DATE	REVISION

RESIDENCE FOR
MR & MRS M. A. BASIN
WRIGHTWOOD ESTATES

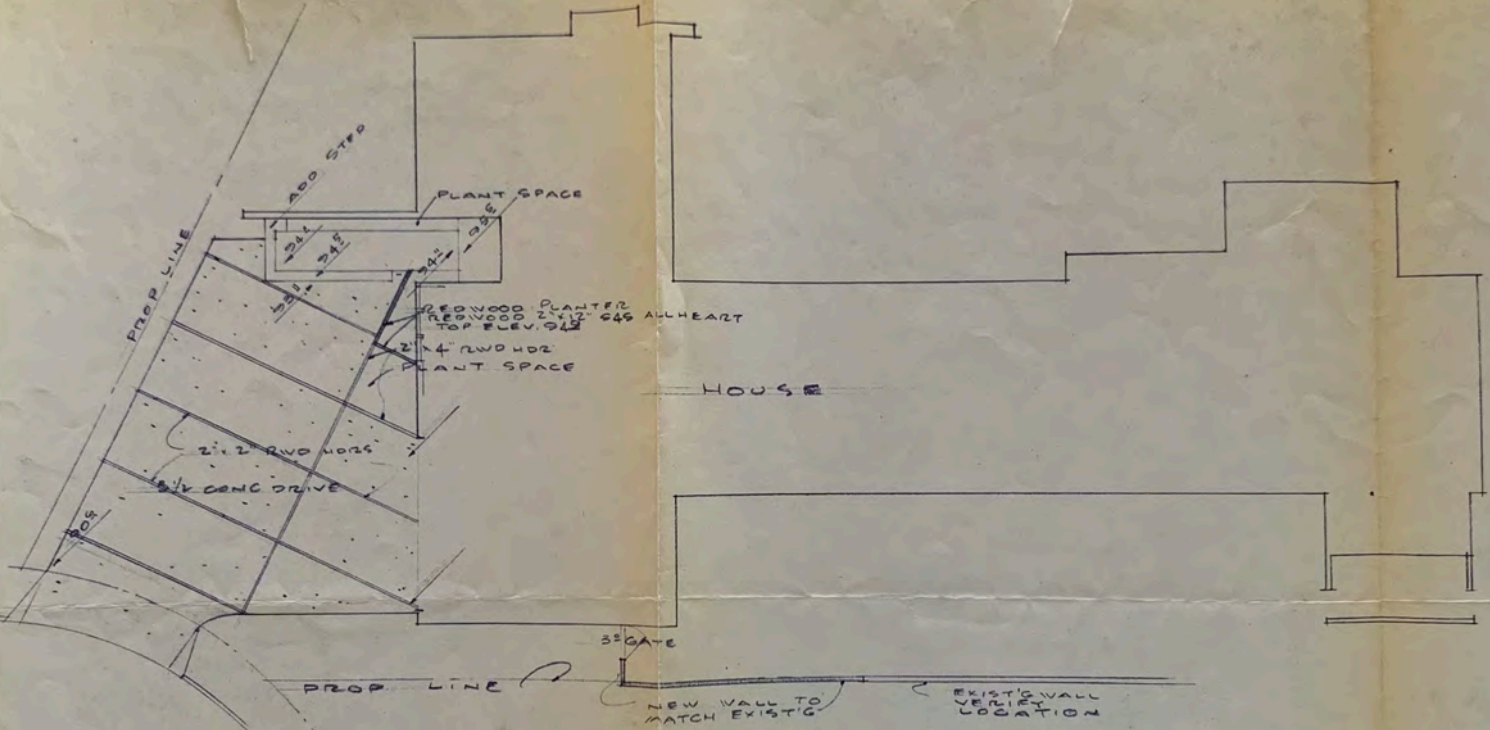
DATE: 9/19/55 JOB NO.

D. WALLACE BENTON • DONALD G. PARK
DONALD G. PARK • ARCHITECT • A. I. A.
11877 SAN VICENTE AVE.
LOS ANGELES 49, CALIF.
PHONE GRANT 1-5417



CONTOUR MAP
 PORTIONS OF LOTS 18419-TRACT 22338
 MB. 604 PG. 88
 IN THE CITY OF LOS ANGELES, CALIFORNIA
 SCALE: $\frac{1}{8}$ INCH = 1 FOOT
 FOR:
 BY:
 M. BASIN-OWNER
 BENTON & PARKS-ARCHITECTS
 13060 RELIANCE ST
 PACOIMA, CALIFORNIA
 PHONE - ROGERS 7-2140

1950s-era revisions and details



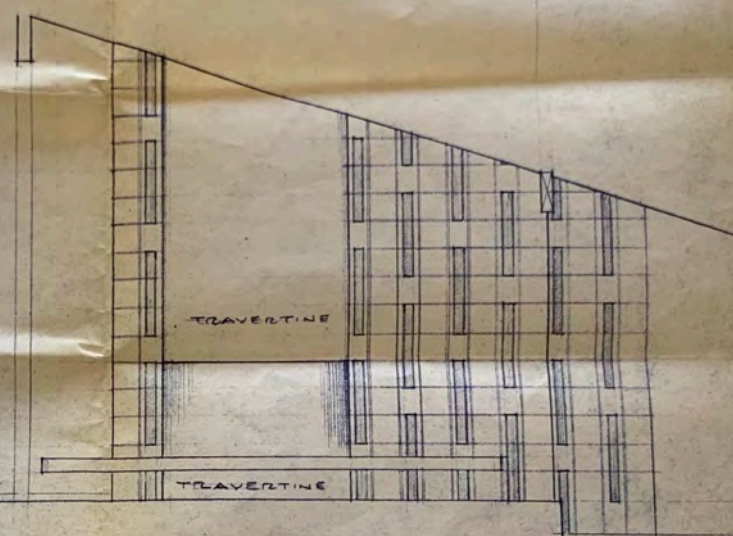
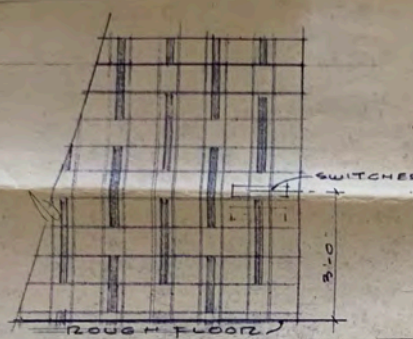
WRIGHTWOOD COURT

REVISIONS TO BASIN JOB
BENTON & PARK A.I.A.

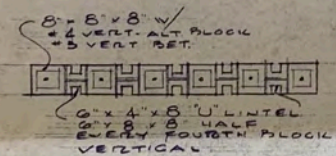
This is a copy of the
new concrete Block
pattern. I don't have
a price on it as yet.

Dan

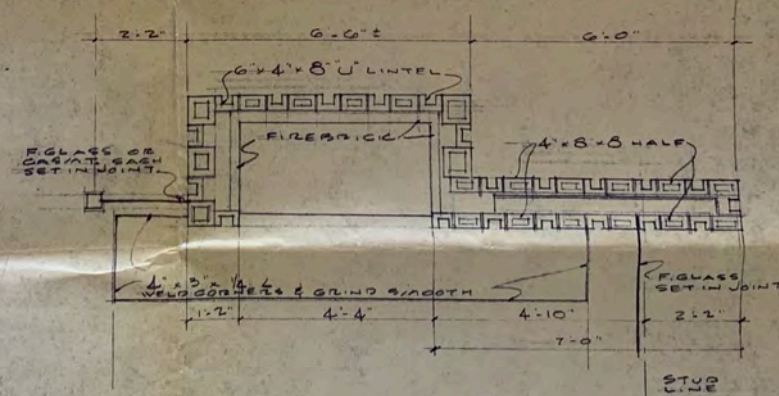
This is a copy of the
new concrete Block
pattern. I don't have
a price on it - yet.
Don



NOTE: RAKE ALL JOINTS
EXCEPT AT RECESSED PORTIONS



1/4" ϕ HORIZ @ 8" O.C.
2" ϕ 8" DOWN FROM TOP.

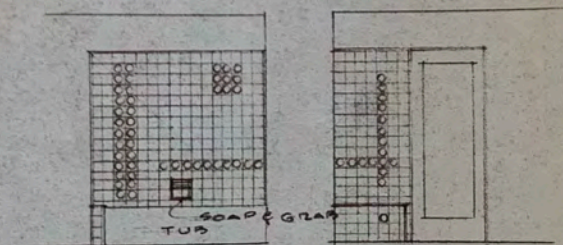


BLOCK WALL PLAN

FIREPLACE PLAN

ALL BLOCK AVAILABLE
FROM ROCKLITE CO.

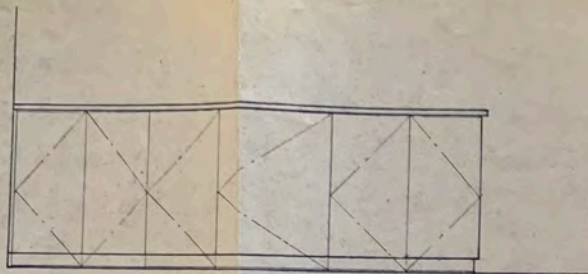
BASIN RESIDENCE
DENTON & PARIC A.I.A.
8-11-55



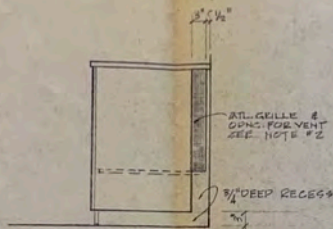
TILE PATTERN

BATH #2 - BASIN RESIDENCE

BENTON & PARK A.I.A.



FRONT ELEVATION



SIDE ELEV

ALL DETAILS @ 3/4" = 1'-0"

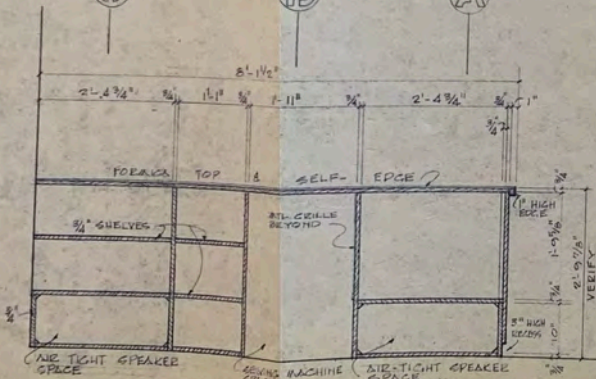
- NOTE!
1. REMOVABLE FRONT PANELS FOR SPEAKER SPACES SHALL BE 3/4" PLYWOOD - FASTENED TOP & BOTTOM W/ 3-PH.V.S. EACH
 2. METAL GRILLES SHALL BE EQUAL TO DESIGN #825 AS ARG. BY DIAMOND PERF. MTLG. CO.

CABINET REVISIONS

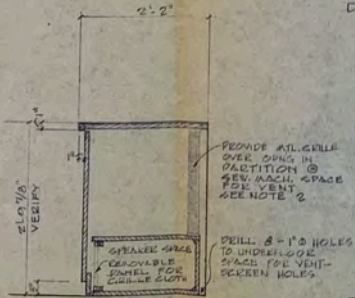
for
FAMILY ROOM

M. BASIN RESIDENCE

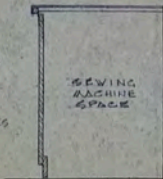
3522 WRIGHTWOOD CT., L.A., CALIF.
BENTON & PARK-ARCHITECTS GR-20414



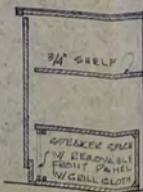
LONGITUDINAL SECTION



A SECTION

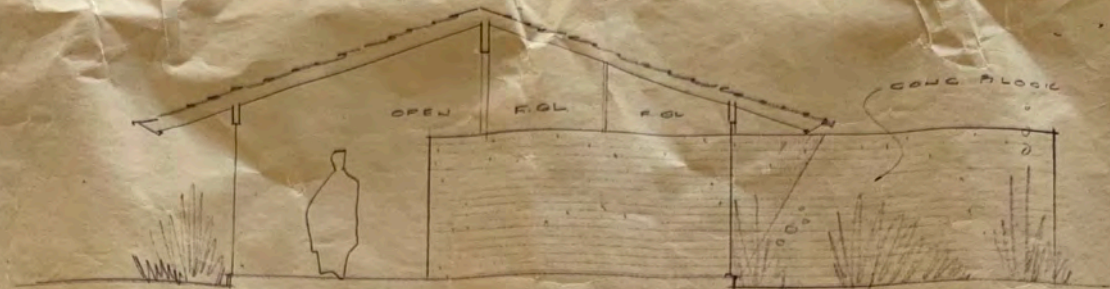


B SECTION



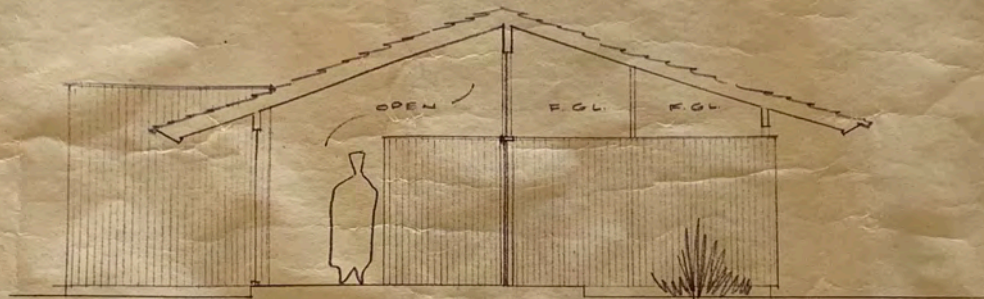
C SECTION

SEE SECTION 'A' FOR DIMENSIONS



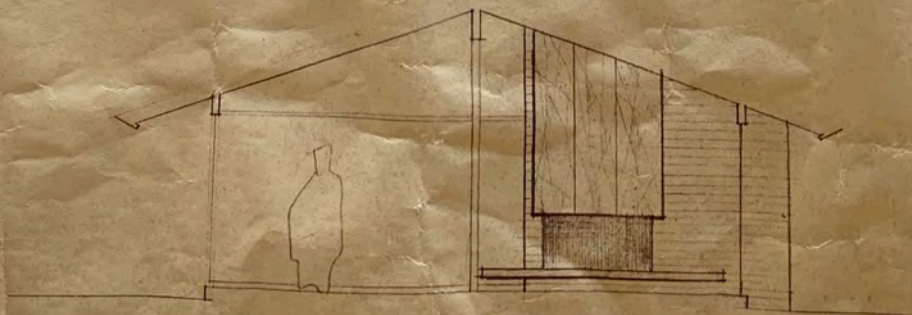
SECTION THRU L.R.

BASIN RES



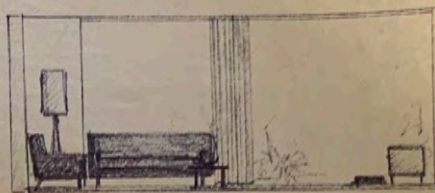
SECTION THRU ENTRY
LOOKING WEST

BASIN RES

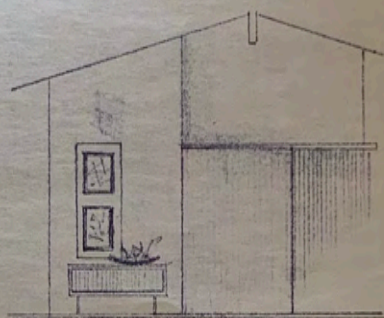


FIREPLACE

BASIN RES



Living Room

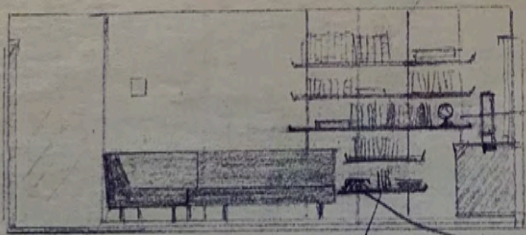


Entry

trapezoidal
table
low
couch
couch
couch
couch
couch

low
glass
couch

low
table
couch
couch



Family Room

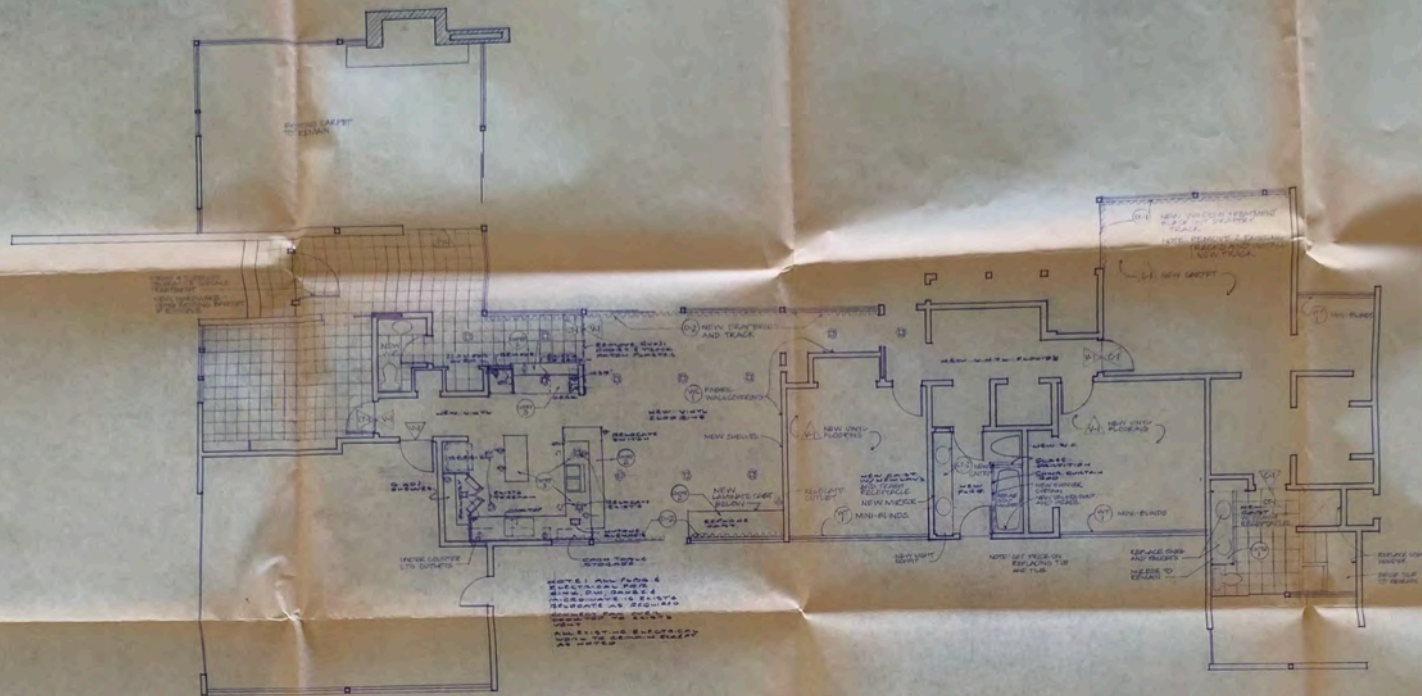
clock

phone

chair

Middle of the Room

1987 kitchen drawings



GENERAL NOTES:
 C-1 Material
 Model Series
 C.L. Material #227
 C-2 Santa Fe Collection
 Model Series
 C.L. Finish #100-100

SHEET VIEWS:
 V-1 Archiving
 Designer Selection II
 #227 - Model Court

MATERIALS:
 M-1 Wolf Gordon, Inc.
 R.T. 1718 1st W.

CABINETS:
 C-1 C.A.
 New Hampshire
 C.L. 1717 Hampshire
 R.T. 1718

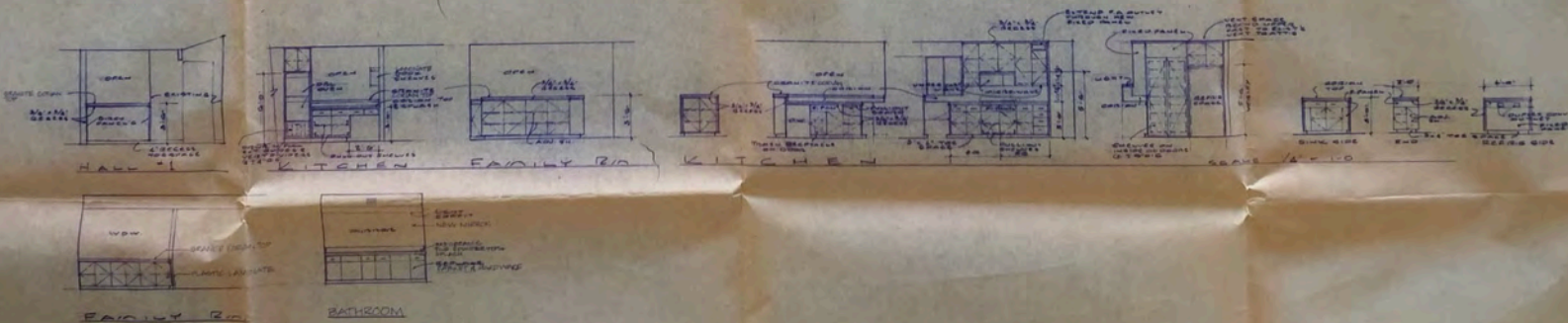
FLOOR:
 F-1 5/8" 1/2" 3/4" or synthetic equal

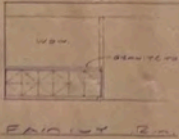
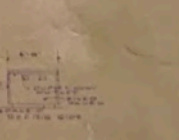
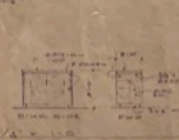
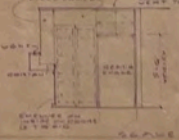
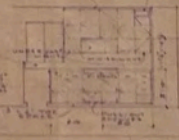
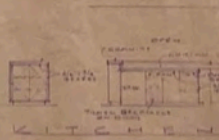
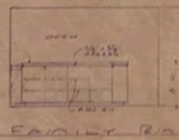
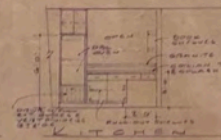
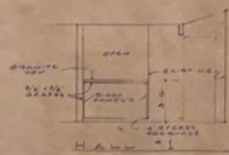
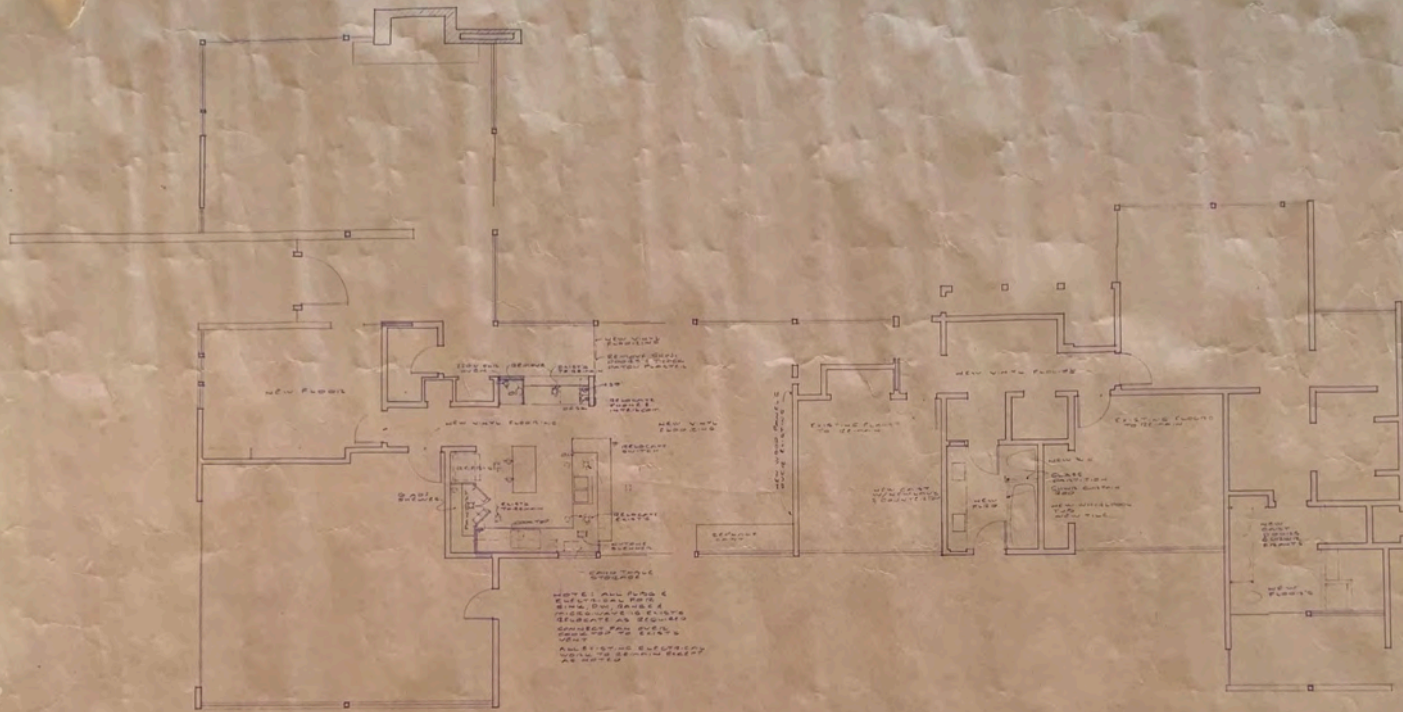
WALLS:
 W-1 Mahara
 Tanya
 C.L. #1 1718
 1st W.

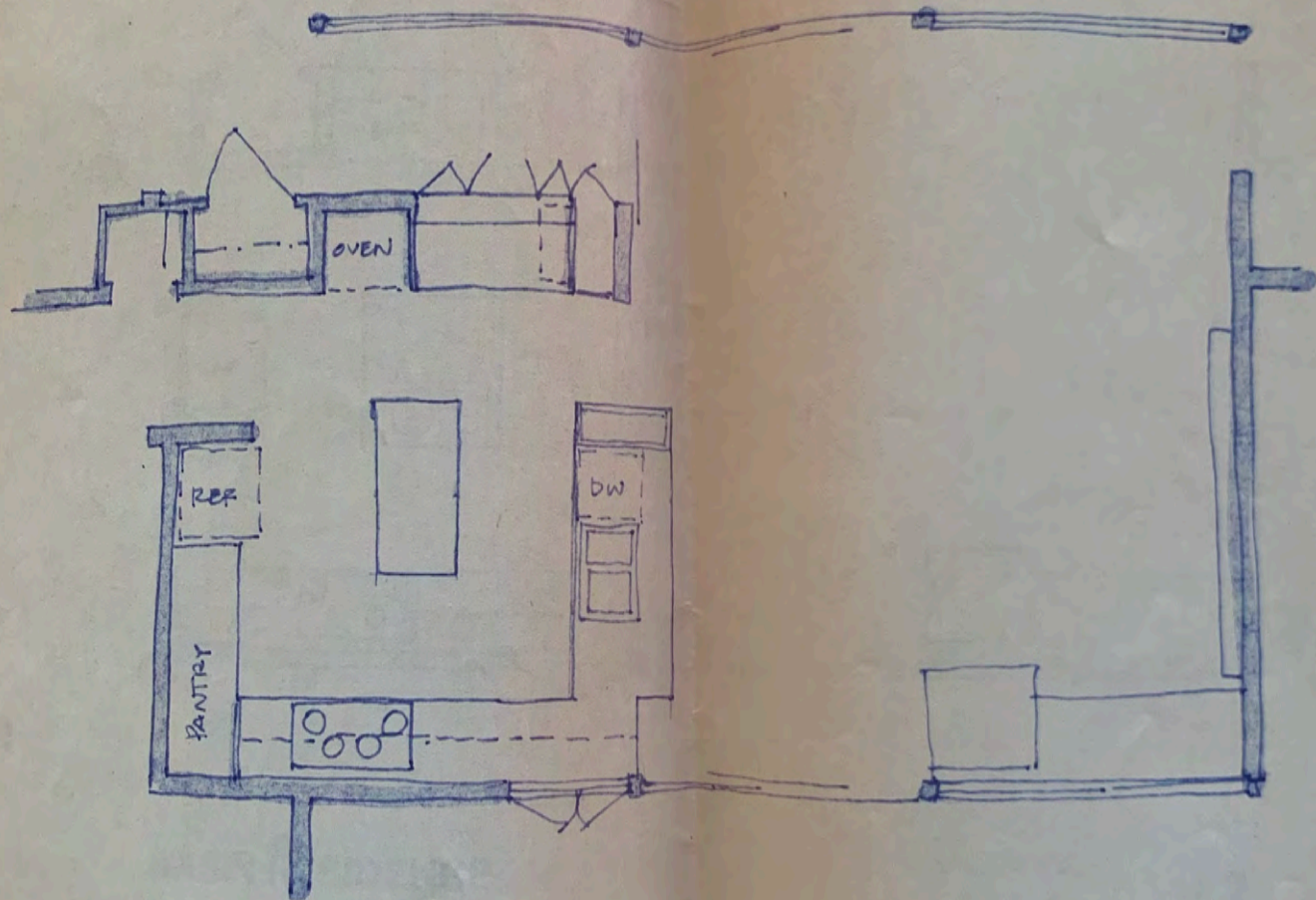
DOOR:
 D-1 New Door
 R.T. 1718
 C.L. 1717/1718
 1st W.

COUNTER TOP:
 C-1 Marble Works - Blue Pearl Granite
 C-2 Corian - Sierra White
 C-3 Corian - Canyon White

WALL PANEL:
 W-1 Laminar
 #1718 Aluminar







BASIN RESIDENCE

KITCHEN REMODEL

1

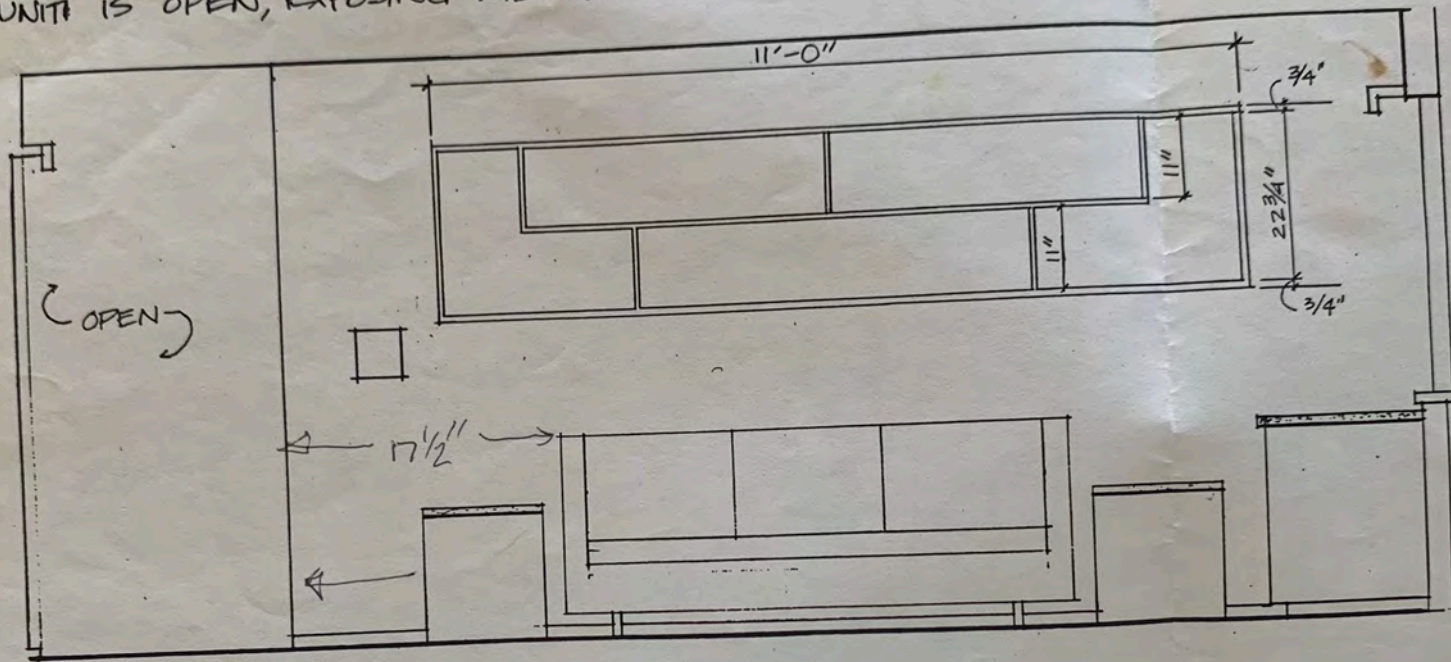
BENTON/PARK/CANDREVA

ARCHITECTS & ASSOCIATES

2714 PICO BLVD. / SANTA MONICA, CA 90405

6-18-87

ALL MATERIAL TO BE $\frac{3}{4}$ " THICK
 SHELF DEPTH IS 9"
 PLASTIC LAMINATE IS: WILSONART #1572-6 ANTIQUE WHITE
 THE UNIT IS OPEN, EXPOSING THE WALL.



REVISED DATE: JOB NO. 98702100 DATE 11/24/87

ENTON / PARK / CANDREVA
 ARCHITECTS & ASSOCIATES

4 PICO BOULEVARD, SUITE 301 • SANTA MONICA, CA 90403

FAMILY RM. P.L. SHELVING UNIT ELEVATION

BASIN RESIDENCE

1967 pool drawing

人部 𠂇(一) 𠂇, 𠂇, 𠂇

1989 landscape drawing

Basin Residence: Primary Permits

pages 22-24: Original Building Permit #1959VN32860, May 5, 1959;
 page 25: Certificate of Occupancy, #1959VN32860, May 2, 1960;
 pages 26-27: Retaining wall for proposed swimming pool, #1967VN14301, May 16, 1967;
 pages 28-29: Swimming pool permit, #1967VN14405, May 17, 1967.
 page 30: Roofing permit, #LA62987, May 11, 1978.

1 GRADING		APPLICATION TO CONSTRUCT NEW BUILDING AND FOR CERTIFICATE OF OCCUPANCY		Form B-1 E	
CITY OF LOS ANGELES		P. ORTTIGAL, SOLL. g/a		DEPT. OF BUILDING AND SAFETY	
INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.					
1. LEGAL LOT	BLK.	TRACT	DIST. MAP		
Part of Lots 18419		22338	7320		
JOB ADDRESS	APPROVED		ZONE		
3522 Wrightwood Court	sq ben		R-1		
2. BETWEEN CROSS STREETS	AND		FIRE DIST.		
Wrightwood Lane	Terminus		(1 ac)		
3. PURPOSE OF BUILDING			INSIDE		
Dwell. & Att. Garage			KEY		
4. OWNER	PHONE		COR. LOT		
M.A. Basin	NO. 38580		REV. COR. /		
5. OWNER'S ADDRESS	P.O.		LOT SIZE		
1820 1/2 Winona Ave.	L A		See Back		
6. CERT. ARCH.	STATE LICENSE		PHONE		
Donald G. Park	01859		GR. 20414		
7. LIC. ENGR.	STATE LICENSE		PHONE		
Wm K. IVATA	STR 756 WE82436		REAR ALLEY		
8. CONTRACTOR	STATE LICENSE		PHONE		
Owner			SIDE ALLEY		
9. CONTRACTOR'S ADDRESS	P.O.		BLOG. LINE		
Item #5			Hillside		
10. SIZE OF NEW BLDG. STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE		AFFIDAVITS	
56 x 99	1	None			
1 3522 Wrightwood Court			DISTRICT OFFICE VN		
11. MATERIAL	EXT. WALLS: <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> METAL <input checked="" type="checkbox"/> CONC. BLOCK <input type="checkbox"/> ROOF CONST. <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> STEEL <input type="checkbox"/> OTHER		ROOFING: <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> SHAKES		SPRINKLERS REQ'D SPECIFIED
12. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.			\$30,000		BLDG. AREA
2 Covenants Required			Engr. OK		DWELL. UNITS 1
Covenants filed OK ac			VALUATION APPROVED		PARKING SPACES 1 req'd
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.			APPLICATION CHECKED		GUEST ROOMS X
SIGNED			PLANS CHECKED		FILE WITH X
This Form When Properly Validated is a Permit to Do the Work Described.			CORRECTIONS VERIFIED		CONT. INSP. X
			PLANS APPROVED		INSPECTOR
			APPLICATION APPROVED		
TYPE V	GROUP R-1	MAX. OCC. X	P.C. 40.00	S.P.C. X	B.P. 83
VALIDATION		Feb-25-59	09197	OK VN	L - 2
		MAY--5-59	25031	OK VN-32860	M - 1
					83.06
					2597

PARCEL 1: Lot 19 of Tract No. 22338, in the City of Los Angeles, county of Los Angeles, state of California, as per map recorded in book 604 pages 86 to 88 inclusive of Maps, in the office of the county recorder of said county.

EXCEPT therefrom that portion of said lot described as follows:

Beginning at the northerly terminus of that certain course in the westerly boundary of said lot 19, having a bearing of North $20^{\circ} 35' 51''$ West and a length of 117.30 feet, said point being in a curve in the northwesterly boundary of said lot 19, concave northwesterly and having a radius of 40.00 feet (a radial to said curve at said point bearing South $48^{\circ} 28' 20''$ East); thence northeasterly along said boundary on said curve 10.00 feet to a point (a radial to said curve at said point bearing South $62^{\circ} 47' 46''$ East); thence leaving said boundary South $16^{\circ} 47' 51''$ East 123.29 feet, more or less, to the most southerly corner of said lot 19; thence along the westerly boundary of said lot, North $20^{\circ} 35' 51''$ West 117.30 feet to the point of beginning.

PARCEL 2: That portion of Lot 18 of Tract No. 22338, in the city of Los Angeles, county of Los Angeles, State of California, as per map recorded in book 604 pages 86 and 88 inclusive of Maps, in the office of the county recorder of said county, described as follows:

Beginning at the westerly terminus of that certain course in the southerly boundary of said lot 18, having a bearing of North $84^{\circ} 16' 56''$ West and a length of 165.69 feet, said point being in a curve in the southwesterly boundary of said lot 18, concave southwesterly and having a radius of 40.00 feet (a radial to said curve at said point bearing South $84^{\circ} 16' 56''$ East); thence northerly along said curve 10.00 feet to a point (a radial to said curve at said point bearing North $81^{\circ} 23' 38''$ East); thence leaving said boundary, South $80^{\circ} 53' 07''$ East 167.22 feet, more or less, to the most southerly corner of said lot 18, thence along the southerly boundary of said lot, North $84^{\circ} 16' 56''$ West 165.69 feet to the point of beginning.

BY _____ STH 4-10-00 COTTH

CITY OF LOS ANGELES

Certificate of Occupancy

NOTE: Any change of use or occupancy must be approved by the Department of Building and Safety.



Issued

May 2, 1960

Address of Building

3522 Wightwood Court

Permit No. and Year

V832860/59

This certifies that, so far as ascertained by or made known to the undersigned, the building at above address complies with the applicable requirements of the Municipal Code, as follows: Ch. 1, as to permitted uses; Ch. 9, Arts. 1, 3, 4, and 5; and with applicable requirements of State Housing Act,—for following occupancies:

**1 Story, Type V Dwelling and
Attached Garage. R Occupancy**

Owner

M. A. Basin

Owner's Address

**1820 1/2 Winona Ave.
Los Angeles, California**

G. E. MORRIS, Superintendent of Building—By.....**James B. Cochran** *af*

1 APPLICATION FOR INSPECTION OF NEW BUILDING AND FOR CERTIFICATE OF OCCUPANCY					B&S 8-1-Rev. 3-64 RW-1	
CITY OF LOS ANGELES				DEPT. OF BUILDING AND SAFETY		
INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.				(E)		
1. LEGAL DESCR.	LOT	BLK.	TRACT	CENSUS TRACT		
See Att				DIST. MAP		
2. PURPOSE OF BUILDING				7320		
City Std. Wall, RETAINING				ZONE		
3. JOB ADDRESS				RE-15-1-H		
5522 Wrightwood Court S.C.				FIRE DIST.		
4. BETWEEN CROSS STREETS				MFD		
WRIGHTWOOD LN. AND D.E.				INSIDE COR. LOT		
5. OWNER'S NAME				KEY REV. COR.		
M.A. Basin				LOT SIZE		
6. OWNER'S ADDRESS				IRREG OVER		
Same				REAR ALLEY		
7. ARCHITECT OR DESIGNER				SIDE ALLEY		
none				BLDG. LINE		
8. ENGINEER				HILLSIDE		
9. CONTRACTOR				AFFIDAVITS		
Bob Thomas				1500* FILL		
10. SIZE OF NEW BLDG.				AFF. 25304		
4' x 8' LONG				DISTRICT OFFICE		
STORIES				VN		
HEIGHT				GRADING		
4' MAX				YES		
NO. OF EXISTING BUILDINGS ON LOT AND USE				CRIT. SOIL		
Res. & Att. Gar.				YES		
11. MATERIAL OF CONSTRUCTION				HIGHWAY REQ.		
EXT. WALLS				FLOOD		
ROOF				CONS.		
FLOOR				ZONED BY		
12. JOB ADDRESS				FILE WITH		
5522 Wrightwood Court				Inspector		
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.				P.C. No.		
\$ 101.00				HH 1902 HH 2206		
1. PURPOSE OF BUILDING				VALUATION APPROVED		
City Std. Ret. Wall				Frank		
TYPE				PLANS CHECKED		
Misc				PLANS APPROVED		
BLDG. AREA				APPLICATION APPROVED		
MAX. OCC.				ZONED BY		
TOTAL				Dachn		
DWELL. UNITS				FILE WITH		
GUEST ROOMS				Inspector		
SPACES PARKING				P.C. No.		
REQ'D PROVIDED				HH 1902 HH 2206		
SPRINKLERS REQ'D SPECIFIED				P.C. 130		
CONT. INSP.				S.P.C. 2		
P.C. No.				G.P. 500		
1. P.C.				B.P. 250		
I.F.				O.S.		
C/O				TYPIST		

WA#1-67	16937	Ck VN*	M-2	1.30
WA#16-67	19696	Ck VN#14301	M-1	2.00
WA#16-67	19697	Ck VN#14301	M-11	5.00

STATEMENT OF RESPONSIBILITY

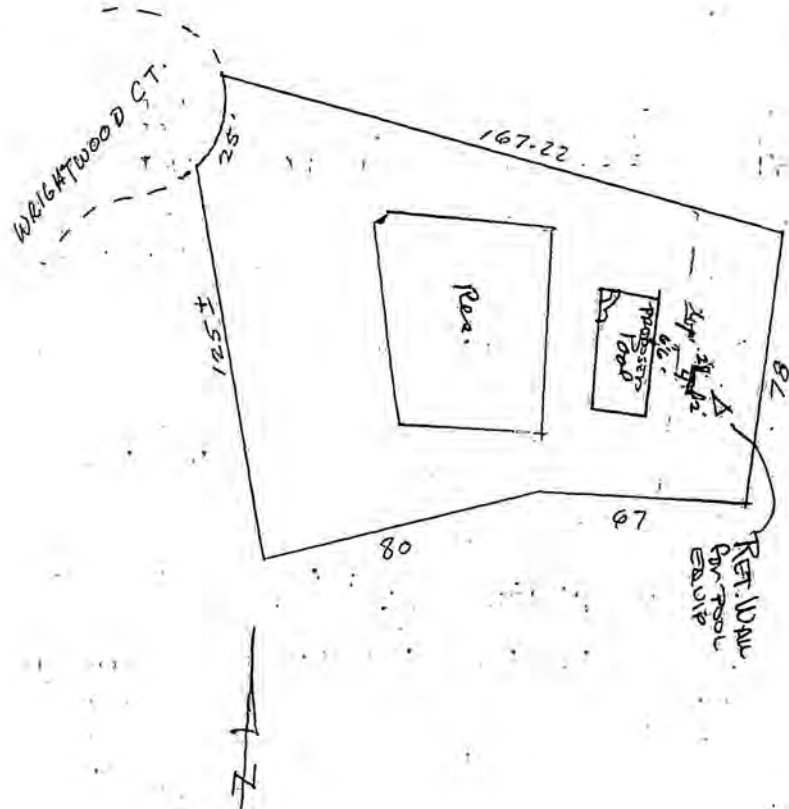
I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

"This permit is an application for inspection, the issuance of which is not an approval or an authorization of the work specified herein. This permit does not authorize or permit, nor shall it be construed as authorizing or permitting the violation or failure to comply with any applicable law. Neither the City of Los Angeles, nor any board, department, officer or employee thereof make any warranty or shall be responsible for the performance or results of any work described herein, or the condition of the property or soil upon which such work is performed." (See Sec. 91.0202 L.A.M.C.)

Signed Irene O. Johnson
(Owner or Agent)

	Name	Date
Bureau of Engineering	ADDRESS APPROVED	
	SEWERS AVAILABLE	
	NOT AVAILABLE	
	DRIVEWAY APPROVED	
	HIGHWAY DEDICATION REQUIRED	
	COMPLETED	
	FLOOD CLEARANCE APPROVED	
Conservation	APPROVED FOR ISSUE	
	FILE #	
Plumbing	APPROVED UNDER	
	CASE #	
Planning	APPROVED (TITLE 19)	
	(L.A.M.C.-5700)	
Fire	APPROVED FOR	
Traffic		

TRACT #22338 LOT COM AT MOST S CORNER OF
 LOT 19 TH N $16^{\circ}47'51''$ W TO NW LINE OF SD
 LOT TH NE ON A CURVE CONCAVE TO NW RADIUS
 EQUALS 40 FT, 25 FT TH S $80^{\circ}53'07''$ E TO
 MOST E COR OF LOT 18 TH S $5^{\circ}38'$ E 78 FT
 TH S $81^{\circ}25'$ W 67 FT TH S $69^{\circ}21'28''$
 W 80 FT TO BEG PART OF LOTS 18 AND LOT 19.



1 APPLICATION FOR INSPECTION OF NEW BUILDING AND FOR CERTIFICATE OF OCCUPANCY				BAS B-1-Rev. 3-4 DEPT. OF BUILDING AND SAFETY	
INSTRUCTIONS: 1. Applicant to Complete Numbered Items Only. 2. Plot Plan Required on Back of Original.				CENSUS TRACT	
1. LEGAL DESCR.	LOT	BLK	TRACT	DIST. MAP	
FULL LEGAL ATTACHED				7320	
2. PURPOSE OF BUILDING	Pvt. pool w/heater std. 195			ZONE	
3. JOB ADDRESS	3522 Wrightwood Court, Studio City, Calif.			FIRE DIST.	
4. BETWEEN CROSS STREETS	Wrightwood and [unclear]			INSIDE COR. LOT	
5. OWNER'S NAME	M.A. Basin			KEY	
6. OWNER'S ADDRESS	SAME			LOT SIZE	
7. ARCHITECT OR DESIGNER	None			REAR ALLEY	
8. ENGINEER	Samrad			SIDE ALLEY	
9. CONTRACTOR	ANTHONY POOLS, INC.			BLDG. LINE	
10. SIZE OF NEW BLDG.	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	AFFIDAVITS	
15 x 35			dwelling w/attach. garage	25304	
11. MATERIAL OF CONSTRUCTION	EXT. WALLS	ROOF	FLOOR	Fill 1500#	
Gunitite					
12. JOB ADDRESS				DISTRICT OFFICE	
3522 Wrightwood Court, Studio City,				V.M.	
13. VALUATION: TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING.				GRADING	
\$ 3800.00				Yes	
1. PURPOSE OF BUILDING				CRV. SOIL	
Pvt. pool w/heater Std. 195				Yes	
TYPE	GROUP	STORIES	PLANS CHECKED	HIGHWAY DEED	
Pvt. pool				FLOOD	
BLDG. AREA	MAX. OCC.	TOTAL	PLANS APPROVED	CONS.	
525				ZONING	
DWELL. UNITS	GUEST ROOMS	SPACES PARKING	REQ'D PROVIDED	FILE WITH	
				INSPECTOR	
SPRINKLERS REQ'D SPECIFIED	CONT. INSP.				
P.C. No.	Gunitite				
HH 2192					
P.C.	S.P.C.	G.P.C. W.A.M.B.P.	I.F.	O.S.	C/O
11/18		17-20			

WAB-15-67	19156	Ch VN	L-2	11.18
WAB-17-67	19971	Ch VN	14405 K-1	17.20

STATEMENT OF RESPONSIBILITY

I certify that in doing the work authorized hereby I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

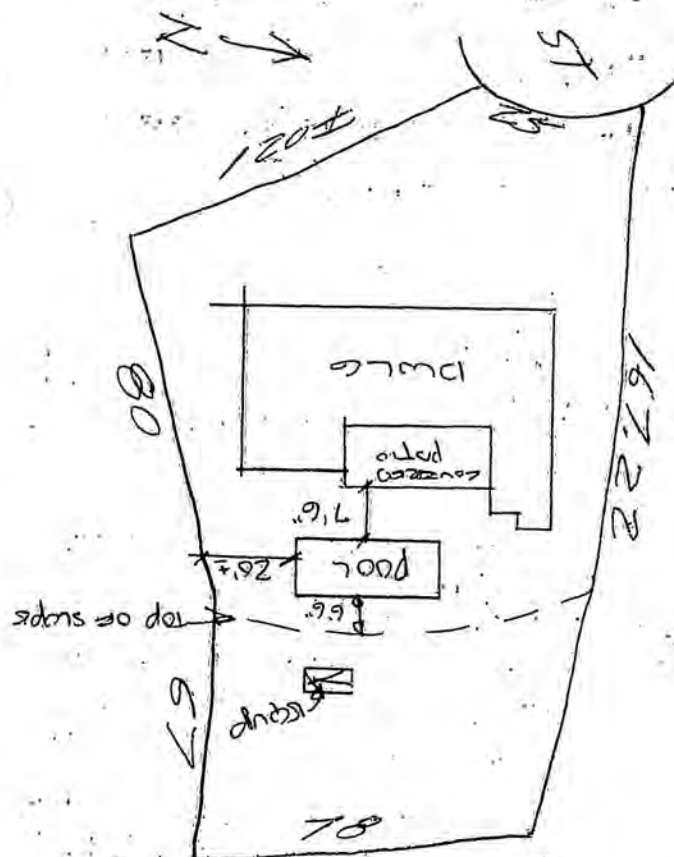
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Signed	Name	Date
[Signature]		
Bureau of Engineering	ADDRESS APPROVED	
	SEWERS AVAILABLE	
	NOT AVAILABLE	
	DRIVEWAY APPROVED	
	HIGHWAY DEDICATION REQUIRED	
	COMPLETED	
	FLOOD CLEARANCE APPROVED	
Conservation	APPROVED FOR ISSUE	
	FILE #	
Plumbing	PRIVATE SEWAGE DISPOSAL SYSTEM APPROVED	
Planning	APPROVED UNDER CASE #	
Fire	APPROVED (TITLE 19) (L.A.M.C.-5700)	
Traffic	APPROVED FOR	

LEGAL DESCRIPTION FOR PROPERTY LOCATED AT:

3522 Wrightwood Court
North Hollywood, California

TRACT #22338 LOT COM AT MOST S CORNER OF
LOT 19 TH N 16° 47' 51" W TO NW LINE OF SD
LOT TH NE ON A CURVE CONCAVE TO NW RADIUS
EQUALS 40 FT 25 FT TH S 80° 53' 07" E TO
MOST S COR OF LOT 18 ~~4~~ TH S 5° 38' E 78 FT
TH S 81° 25' W 67 FT TH S 69° 21' 28"
W 80 FT TO BEG PART OF LOTS 18 AND LOT 19.



3

WORKER'S COMP. EXEMPT ON FILE
APPLICATION FOR INSPECTION TO ADD-ALTER-REPAIR-DEMOLISH
AND FOR CERTIFICATE OF OCCUPANCY

CITY OF LOS ANGELES

S&S 8-3 - R. 2-77
DEPT. OF BUILDING AND SAFETY**INSTRUCTIONS: Applicant to Complete Numbered Items Only.**

1. LEGAL DESCR.	LOT 19	BLK	TRACT 22338	DIST. MAP 7320
2. PRESENT USE OF BUILDING () RESIDENCE	NEW USE OF BUILDING ()			CENSUS TRACT 143B 01
3. JOB ADDRESS 3522 WRIGHTWOOD COURT, STUDIO CITY, CALIFORNIA				ZONE RE-1-1A
4. BETWEEN CROSS STREETS AND WRIGHTWOOD LANE D.E.				FIRE DIST. MFP
5. OWNER'S NAME MICHAEL A. BASIN	PHONE 762-0191			LOT TYPE INT
6. OWNER'S ADDRESS 3522 WRIGHTWOOD COURT, STUDIO CITY, CALIF.	CITY STUDIO CITY, CALIF.			LOT SIZE 11709
7. ENGINEER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	ALLEY
8. ARCHITECT OR DESIGNER	BUS. LIC. NO.	ACTIVE STATE LIC. NO.	PHONE	BLDG. LINE
9. CONTRACTOR DUNHAM & MYERS ROOFING CO.	BUS. LIC. NO. 231-285	ACTIVE STATE LIC. NO.	PHONE 678-7825	AFFIDAVITS AFF 25304
10. BRANCH LENDER	ADDRESS			CITY
11. SIZE OF EXISTING BLDG. WIDTH LENGTH	STORIES	HEIGHT	NO. OF EXISTING BUILDINGS ON LOT AND USE	
12. CONST. MATERIAL OF EXISTING BLDG.	EXT. WALLS	ROOF	FLOOR	SEISMIC STUDY ZONE
13. JOB ADDRESS 3522 WRIGHTWOOD COURT, STUDIO CITY, CALIF.				DIST. OFFICE VN
14. VALUATION TO INCLUDE ALL FIXED EQUIPMENT REQUIRED TO OPERATE AND USE PROPOSED BUILDING	\$ 11,475.00			CRIT. SOIL KOS
15. NEW WORK: (Describe) RECOVER WITH FLAME TREATED CEDAR SHAKES.	Flame X			GRADING 42 S
				HIGHWAY DED.

NEW USE OF BUILDING		SIZE OF ADDITION		STORIES	HEIGHT	FLOOD
TYPE	GROUP OCC.	BLDG. AREA	PLANS CHECKED			CONS.
DWELL. UNITS	MAX OCC.	TOTAL	PLANS APPROVED			ZONED BY MIS WICK
GUEST ROOMS	PARKING REQ'D	PARKING PROVIDED STD. COMP.	APPLICATION APPROVED			FILE WITH
SPRINKLERS REQ'D SPECIFIED	CONT. INSP.	INSPECTION ACTIVITY				INSPECTOR
P.C.	S.P.C.	B.P.	T.I.	P.M.	I.F.	G.P.I.
C/O	O.S.					
P.C. No.	PLAN CHECK EXPIRES ONE YEAR AFTER FEE IS PAID. PERMIT EXPIRES TWO YEARS AFTER FEE IS PAID OR 180 DAYS AFTER FEE IS PAID IF CONSTRUCTION IS NOT COMMENCED.					TYPIST

CASHIER'S USE ONLY

MAY 11 1978 902375 •62987 V-2 OK 76.00

STATEMENT OF RESPONSIBILITY

I certify that in doing the work specified herein I will not employ any person in violation of the Labor Code of the State of California relating to workmen's compensation insurance.

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Signed:

(Owner or Agent having Property Owner's Consent)

Bureau of Engineering

ADDRESS APPROVED		Signature/Date MAY 1, 1978	
DRIVEWAY		5/8/78	
HIGHWAY DEDICATION		REQUIRED	
FLOOD CLEARANCE		COMPLETED	
SEWERS	SEWERS AVAILABLE		
101011A-2 W 6:22	NOT AVAILABLE		
SFC NOT APPLICABLE	SFC PAID		
	SFC DUE		
Conservation	APPROVED FOR ISSUE <input type="checkbox"/> NO FILE <input type="checkbox"/> FILE CLOSED <input type="checkbox"/>		
Fire	APPROVED (TITLE 19) (L.A.M.C.-5700)		
Housing	HOUSING AUTHORITY APPROVAL		
Planning	APPROVED UNDER CASE #		
Traffic	APPROVED FOR		
Construction Tax	RECEIPT NO.	DWELLING UNITS	

RIO: River Implementation Overlay	No
SN: Sign District	No
AB 2334: Very Low VMT	Yes
AB 2097: Reduced Parking Areas	Yes
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium
Non-Residential Market Area	High
Transit Oriented Communities (TOC)	Tier 3
ED 1 Eligibility	Not Eligible
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No
Assessor Information	
Assessor Parcel No. (APN)	2380010008
Ownership (Assessor)	
Owner1	BONNET,ADAM Y CO TR BONNETT KROG FAMILY TRUST
Address	1609 RIDGEMORE DR PALM SPRINGS CA 92264
Ownership (Bureau of Engineering, Land Records)	
Owner	STILWELL, FORREST
Address	3522 WRIGHTWOOD CT STUDIO CITY CA 91604
APN Area (Co. Public Works)*	0.398 (ac)
Use Code	0101 - Residential - Single Family Residence - Pool
Assessed Land Val.	\$596,465
Assessed Improvement Val.	\$624,648
Last Owner Change	10/04/2021
Last Sale Amount	\$2,475,024
Tax Rate Area	13
Deed Ref No. (City Clerk)	45565 2184451
Building 1	
Year Built	1959
Building Class	D95C
Number of Units	1
Number of Bedrooms	3
Number of Bathrooms	3
Building Square Footage	2,676.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 2380010008]
Additional Information	
Airport Hazard	None
Coastal Zone	None
Santa Monica Mountains Zone	Yes
Farmland	Area Not Mapped
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	Yes

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No
Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	Yes
Wells	None

Seismic Hazards

Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	Within Fault Zone
Nearest Fault (Name)	Hollywood Fault
Region	Transverse Ranges and Los Angeles Basin
Fault Type	B
Slip Rate (mm/year)	1.00000000
Slip Geometry	Left Lateral - Reverse - Oblique
Slip Type	Poorly Constrained
Down Dip Width (km)	14.00000000
Rupture Top	0.00000000
Rupture Bottom	13.00000000
Dip Angle (degrees)	70.00000000
Maximum Magnitude	6.40000000
Alquist-Priolo Fault Zone	No
Landslide	Yes
Liquefaction	No
Preliminary Fault Rupture Study Area	No
Tsunami Inundation Zone	No

Economic Development Areas

Business Improvement District	None
Hubzone	Not Qualified
Jobs and Economic Development Incentive Zone (JEDI)	None
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None

Housing

Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	https://housing.lacity.org
Rent Stabilization Ordinance (RSO)	No [APN: 2380010008]
Ellis Act Property	No
AB 1482: Tenant Protection Act	See Notes
Assessor Parcel No. (APN)	2380010008
Address	3522 WRIGHTWOOD CT
Year Built	1959
Use Code	0101 - Residential - Single Family Residence - Pool
Notes	The property is subject to AB 1482 if the owner is a corporation, limited liability company with a corporate member, or real estate trust. Does not apply to owner-occupied duplexes & government-subsidized housing.
Housing Crisis Act Replacement Review	No
Housing Element Sites	
HE Replacement Required	N/A
SB 166 Units	N/A
Housing Use within Prior 5 Years	Yes

Public Safety

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Police Information	
Bureau	Valley
Division / Station	North Hollywood
Reporting District	1599
Fire Information	
Bureau	Valley
Battalion	14
District / Fire Station	86
Red Flag Restricted Parking	No

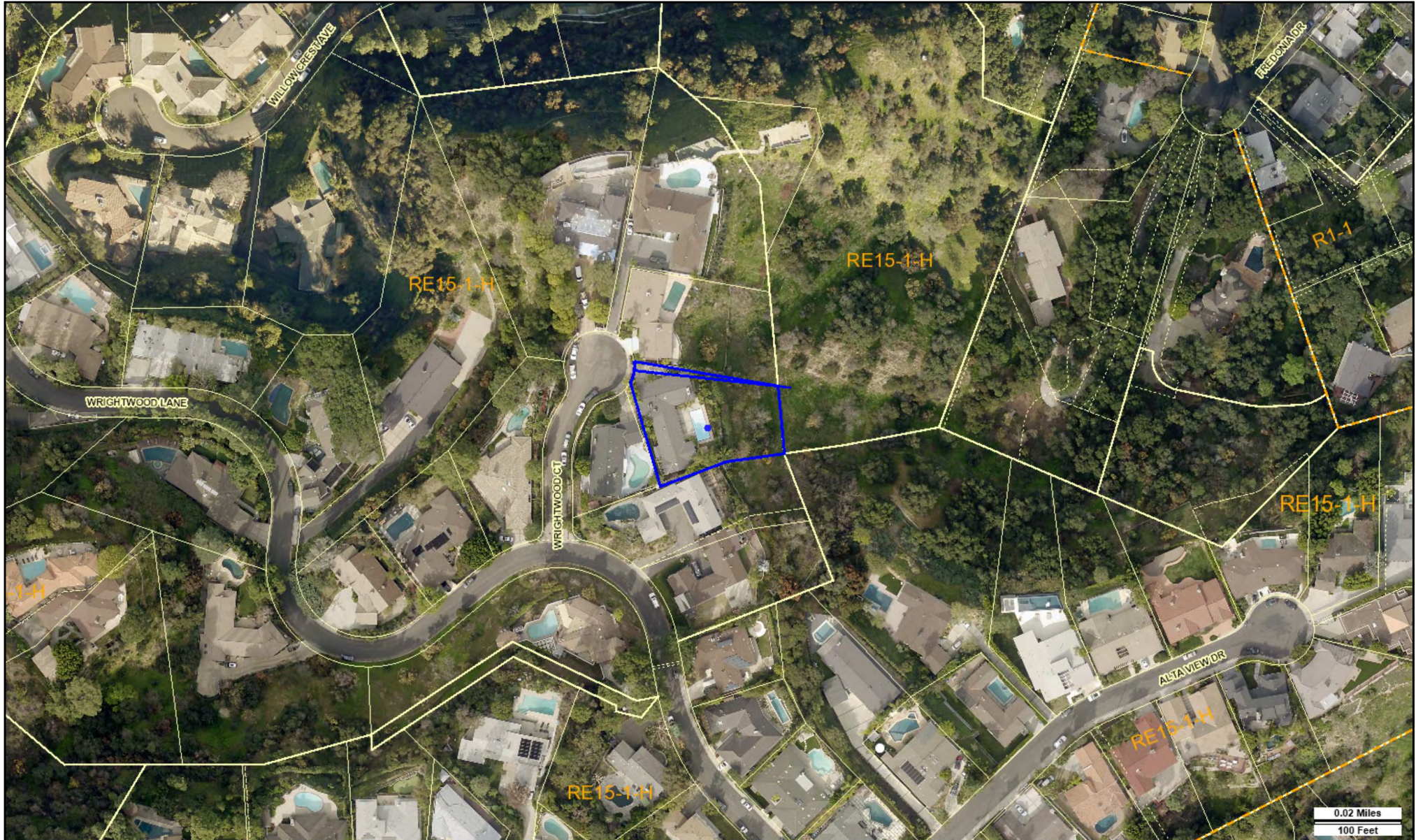
CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	CPC-2022-3712-ZC
Required Action(s):	ZC-ZONE CHANGE
Project Descriptions(s):	A PROPOSED NEW SUPPLEMENTAL USE DISTRICT ADDED TO 12.04 TO ESTABLISH THE WILDLIFE ORDINANCE (WLD) SUD. A ZONE CHANGE ORDINANCE TO APPLY THE WILDLIFE SUD TO EXISTING ZONING OVER PORTIONS OF BEL AIR-BEVERLY CREST, HOLLYWOOD, SHERMAN OAKS-STUDIO CITY-TOLUCA LAKE-CAHUENGA PASS.
Case Number:	CPC-2022-3413-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	A PROPOSED NEW SUPPLEMENTAL USE DISTRICT ADDED TO 12.04 TO ESTABLISH THE WILDLIFE ORDINANCE (WLD) SUD. A ZONE CHANGE ORDINANCE TO APPLY THE WILDLIFE SUD TO EXISTING ZONING OVER PORTIONS OF BEL AIR-BEVERLY CREST, HOLLYWOOD, SHERMAN OAKS-STUDIO CITY-TOLUCA LAKE-CAHUENGA PASS.
Case Number:	CPC-2008-4683-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	A CODE AMENDMENT TO REVISE THE CURRENT HILLSIDE AREA DEFINITION AND ESTABLISH A NEW DEPARTMENT OF CITY PLANNING HILLSIDE AREA MAP.
Case Number:	CPC-2002-6583-SP
Required Action(s):	SP-SPECIFIC PLAN (INCLUDING AMENDMENTS)
Project Descriptions(s):	PROPOSED DESIGN AND PRESERVATION GUIDELINES PURSUANT TO THE MULHOLLAND SCENIC PARKWAY SPECIFIC PLAN.
Case Number:	CPC-1965-18760
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	ENV-2022-3414-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	A PROPOSED NEW SUPPLEMENTAL USE DISTRICT ADDED TO 12.04 TO ESTABLISH THE WILDLIFE ORDINANCE (WLD) SUD. A ZONE CHANGE ORDINANCE TO APPLY THE WILDLIFE SUD TO EXISTING ZONING OVER PORTIONS OF BEL AIR-BEVERLY CREST, HOLLYWOOD, SHERMAN OAKS-STUDIO CITY-TOLUCA LAKE-CAHUENGA PASS.
Case Number:	ENV-2009-832-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	ENVIVRONMENT CLEARANCE TO ADD SUSTAINIBILITY GUIDELINES TO THE MULHOLLAND SCENIC PARKWAY SPECIFIC PLAN DESIGN AND PRESERVATION GUIDELINES
Case Number:	ENV-2008-4684-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	A CODE AMENDMENT TO REVISE THE CURRENT HILLSIDE AREA DEFINITION AND ESTABLISH A NEW DEPARTMENT OF CITY PLANNING HILLSIDE AREA MAP.

DATA NOT AVAILABLE

- ORD-181128
- ORD-167943
- ORD-132416
- ORD-129279
- ORD-128730
- AFF-25304
- CFG-1500



Address: 3522 N WRIGHTWOOD CT

APN: 2380010008

PIN #: 159B173 254

Tract: TR 22338

Block: None

Lot: 19

Arb: 1

Zoning: RE15-1-H

General Plan: Very Low Residential

