

BOARD OF
BUILDING AND SAFETY
COMMISSIONERS

CITY OF LOS ANGELES
CALIFORNIA

DEPARTMENT OF
BUILDING AND SAFETY
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

JAVIER NUNEZ
PRESIDENT



OSAMA YOUNAN, P.E.
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

JACOB STEVENS
VICE PRESIDENT

KAREN BASS
MAYOR

JOHN WEIGHT
EXECUTIVE OFFICER

CORISSA HERNANDEZ
MOISES ROSALES
NANCY YAP

Januray 8, 2024

Council District: # 8

Honorable Council of the City of Los Angeles
Room 395, City Hall

JOB ADDRESS: **5918 SOUTH 5TH AVENUE, LOS ANGELES, CA**
ASSESSORS ZPARCEL NO. (APN): **4005-019-005**
Re: 802505-0, 801278-6, 786908-8

Pursuant to the authority granted by Section 91.103 of the Los Angeles Municipal Code, the Los Angeles Department of Building and Safety (LADBS) investigated and identified code violations at: **5918 South 5th Avenue, Los Angeles, CA**, ("Property"). A copy of the title report which includes a full legal description of the property is attached as Exhibit A.

Following the Department's investigation an order or orders to comply were issued to the property owner and all interested parties. Pursuant to Section 98.0411(a) the order warned that "a proposed noncompliance fee may be imposed for failure to comply with the order within 15 days after the compliance date specified in the order or unless an appeal or slight modification is filed within 15 days after the compliance date." The owners failed to comply within the time prescribed by ordinance.

In addition, pursuant to Section 98.0421, the property owner was issued an order June, 28, 2019 and November 28, 2019 to pay a code violation inspection fee after violations were identified and verified upon inspection. The non-compliance and code violation inspection fees imposed by the Department are as follows:

<u>Description</u>	<u>Amount</u>
Non-Compliance Code Enforcement fee	660.00
Late Charge/Collection fee (250%)	3,330.00
Code Violation Investigation fee	672.00
System Development Surcharge late fee	100.80
System Development Surcharge	40.32
Title Report fee	30.00
Grand Total	\$ 4,833.12

Pursuant to the authority granted by Section 7.35.3 of the Los Angeles Administrative Code, it is proposed that a lien for a total sum of **\$4,833.12** be recorded against the property. It is requested that the Honorable City Council of the City of Los Angeles (the "Council") designate the time and place protest can be heard concerning this matter, as set forth in Sections 7.35.3 and 7.35.5 of the Los Angeles Administrative Code.

It is further requested that Council instruct LADBS to deposit to Dept 08, Fund 48R, Balance Sheet Account 2200, any payment received against this lien in the amount of **\$4,833.12** on the referenced property. A copy of the title report which includes a full legal description of the property is attached as Exhibit A. A list of all the names and addresses of owners and all interested parties entitled to notice is included (Exhibit B). Also attached is a report which includes the current fair market value of the property including all encumbrances of record on the property as of the date of the report (Exhibit C).

DEPARTMENT OF BUILDING AND SAFETY

Ana Mae Yutan
Chief, LADBS Resource Management Bureau

ATTEST: HOLLY WOLCOTT, CITY CLERK

Lien confirmed by
City Council on:

BY: _____
DEPUTY



1649 BUCKINGHAM RD.
LOS ANGELES, CA 90019
Phone 310-943-9235 latitle@in2-res.com

Property Title Report

Work Order No. T17337
Dated as of: 12/01/2022

Prepared for: City of Los Angeles

SCHEDULE A
(Reported Property Information)

APN #: 4005-019-005

Property Address: 5918 S 5TH AVE

City: Los Angeles

County: Los Angeles

VESTING INFORMATION

Type of Document: QUITCLAIM DEED

Grantee : MIGUEL A. HERNANDEZ

Grantor : ALMA HERNANDEZ

Deed Date : 05/18/2006

Recorded : 05/30/2006

Instr No. : 06-1171236

MAILING ADDRESS: MIGUEL A. HERNANDEZ
5918 5TH AVE, LOS ANGELES, CA 90043

SCHEDULE B

LEGAL DESCRIPTION

Lot Number: 5 Block: 10 Tract No: 4515 Brief Description: TRACT # 4515 LOT 5 BLK 10

MORTGAGES/LIENS

Type of Document: DEED OF TRUST AND ASSIGNMENT OF RENTS

Recording Date: 06/02/2008

Document #: 08-0963660

Loan Amount: \$400,000

Lender Name: ANCHOR LOANS

Borrowers Name: MIGUEL A. HERNANDEZ

MAILING ADDRESS: ANCHOR LOANS
5230 LAS VIRGENES ROAD STE 285 CALABASAS, CA 91302

This page is part of your document - DO NOT DISCARD

06 1171236

RECORDED/FILED IN OFFICIAL RECORDS
RECORDER'S OFFICE
LOS ANGELES COUNTY
CALIFORNIA
05/30/06 AT 08:00am

TITLE(S) :

Deed



LEAD SHEET

FEE

FEE \$27	U
A.F.N.F. 94	1

D.T.T.

0

NOTIFICATION SENT \$4

CODE
20

CODE
19

CODE
9

Assessor's Identification Number (AIN)

To be completed by Examiner OR Title Company in black ink.

Number of AIN's Shown

4005-019-005

001

THIS FORM IS NOT TO BE DUPLICATED

SECURITY UNION TITLE

RECORDING REQUESTED BY.

Presidential Escrow Services
Escrow No 5300-AV
Title Order No 600022099

06 1171236

When Recorded Mail Document
and Tax Statement To:

Miguel A. Hernandez
548 5th Ave. LA
CA 90043

600022099

APN 4005-019-005

SPACE ABOVE THIS LINE FOR RECORDER'S USE

QUITCLAIM DEED

4005-019-005

The undersigned grantor(s) declare(s)

Documentary transfer tax is \$ 0.00 City tax \$ 0.00 *no consideration*

- computed on full value of property conveyed, or
- computed on full value less value of liens or encumbrances remaining at time of sale,
- Unincorporated Area City of Los Angeles

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, **Alma Hernandez, spouse of grantee** hereby remises, releases and quitclaims to **Miguel A. Hernandez, a married man, as his sole and separate property.**

the following described real property in the City of Los Angeles, County of Los Angeles, State of California:
Lot 5 in Block 10 of Tract No 4515, in the City of Los Angeles, County of Los Angeles State of California, as shown on map filed in Book 48, Page(s) 92 and 93 of Maps, in the Office of the County Recorder of said County.

"THIS CONVEYANCE ESTABLISHES
SOLE AND SEPARATE PROPERTY
OF A SPOUSE. R & T 11911"

DATED: May 18, 2006

Alma Hernandez

Alma Hernandez

STATE OF CALIFORNIA
COUNTY OF Los Angeles
ON May 18, 2006 before me,
Georgina Hernandez Lopez, Notary Public personally appeared
Alma Hernandez

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that ~~he/she~~ they executed the same in his/~~her~~ their authorized capacity(ies), and that by his/~~her~~ their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

Witness my hand and official seal.

Signature

[Handwritten Signature]



05/30/06

MAIL TAX STATEMENTS AS DIRECTED ABOVE

This page is part of your document - DO NOT DISCARD



20080963660

Pages:
011



Recorded/Filed In Official Records
Recorder's Office, Los Angeles County,
California

Fee: 51.00

Tax: 0.00

Other: 0.00

Total: 51.00

06/02/08 AT 08:00AM

Title Company

TITLE(S) :



LEAD SHEET

Assessor's Identification Number (AIN)

To be completed by Examiner OR Title Company in black ink.

Number of AIN's Shown

Recording Requested By
Anchor Mortgage

06/02/08

When Recorded Mail To
Anchor Loans
5230 Las Virgenes Road, Ste 285
Calabasas, CA 91302



20080963660

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Title Order No ~~19060022~~ Accommodation

Space above this line for recorder's use

DEED OF TRUST AND ASSIGNMENT OF RENTS

RECORDER INDEX FOR SPECIAL NOTICE

Loan No 900364

THIS DEED OF TRUST IS SECOND AND
SUBORDINATE TO A FIRST DEED OF TRUST
ON ALL PARCEL (S) 7 THROUGH 35

This Deed of Trust and Assignment of Rents ("Deed of Trust"), made this 29th day of May, 2008, among the Trustor, MIGUEL HERNANDEZ, a married man as his sole and separate property as to parcels 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24 and ALMA HERNANDEZ, a married woman as her sole and separate property as to parcels 25, 26, 27, 28, 29 and MIGUEL HERNANDEZ AND ALMA HERNANDEZ, husband and wife as joint tenants as to parcels 30, 31, 32, 33, 34 and 35 (herein "Borrower"), Anchor Mortgage (herein "Trustee"), and the Beneficiary, ANCHOR MORTGAGE, a California Corporation, as to an undivided 100.000% interest equal to \$400,000.00 (herein "Lender")

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GRANT IN TRUST, WITH POWER OF SALE

BORROWER, in consideration of the indebtedness herein recited and the trust herein created, irrevocably grants, transfers, conveys and assigns to Trustee, in trust, with power of sale, the following described property located in the county of Los Angeles, State of California: SEE ATTACHED EXHIBIT "A" LEGAL DESCRIPTIONS AND ADDRESSES PARCELS 7 THROUGH 35, (the "Real Property") which has the address of SEE ABOVE ATTACHED EXHIBIT "A" (herein "Property Address");

TOGETHER with all the improvements now or hereafter erected on the property, and all easements, rights, appurtenances, rents (subject however to the rights and authorities given herein to Lender to collect and apply such rents), royalties, mineral, oil and gas rights and profits, water, and water rights, and water stock, architectural and grading plans, specifications, engineering, approvals, permits, construction contractors, vendor agreements and all fixtures now or hereafter attached to the property, all of which, including replacements and additions thereto, shall be deemed to be and remain a part of the property covered by this Deed of Trust, all contract rights pursuant to any purchase and sale agreements or any other agreement, development and use rights, governmental permits and licenses, applications, architectural and engineering plans, specifications and drawings, as built drawings, chartel paper, instruments, documents, notes, drafts and letters of credit (other than letters of credit in favor of Lender), which arise from or relate to construction on the Real Property or to any business now or later to be conducted on it, or to the Real Property generally, together with and all of the foregoing, together with said property (or the leasehold estate if this Deed of Trust is on a leasehold) are herein referred to as the "Property";

THIS DEED OF TRUST IS MADE TO SECURE TO LENDER:

(a) the repayment of the indebtedness evidenced by Borrower's note (herein "Note") dated May 29, 2008, in the principal sum of U.S. \$400,000.00, with payment of interest thereon, the payment of all other sums, with interest thereon, advanced in accordance herewith to protect the security of this Deed of Trust; the performance of the covenants and agreements of Borrower herein contained, and (b) repayment of any future advances, with interest thereon, made to the Borrower by Lender when evidenced by promissory notes stating that said notes are secured hereby (herein "Future Advances"), (c) performance of each and every agreement, obligation, covenant and condition made by or imposed upon Borrower under this Deed of Trust (including, without limitation, those contained in any document incorporated by reference herein) and all supplements, amendments, modifications, extensions and renewals thereof, and in addition (d) this Deed of Trust shall provide the same security on behalf of the Lender, to cover extensions (including but not limited to renewal fees of up to 2.0% of the original principal amount secured hereby for each extension granted), modifications or renewals, including

06/02/08
Deed of Trust Page 1 of 8
AP/MAY

without limitation, extensions, modifications or renewals of the Note at a different rate of interest, and the performance of the covenants and agreements of Borrower herein contained

Borrower covenants that Borrower is lawfully seized of the estate hereby conveyed and has the right to grant and convey the Property, that the Property is unencumbered except for encumbrances of record, and that Borrower will warrant and defend generally the title to the Property against all claims and demands, subject to encumbrances of record

UNIFORM COVENANTS BORROWER AND LENDER COVENANT AND AGREE AS FOLLOWS

1. **Payments of Principal and/or Interest.** Borrower shall promptly pay, when due, the principal of and/or interest on the indebtedness evidenced by the Note, prepayment and late charges as provided in the Note, and the principal of and/or interest on any Future Advances secured by this Deed of Trust.

2. **Funds for Taxes and Insurance (Impounds)** Subject to applicable law, and if required by the Lender, Borrower shall pay to Lender on the day monthly payments of principal and interest are payable under the Note, until the Note is paid in full, a sum (herein "Funds") equal to one-twelfth of the yearly taxes and assessments (including condominium and planned unit development assessments, if any) which may attain priority over this Deed of Trust, and ground rents on the Property, if any, plus one-twelfth of yearly premium installments for hazard insurance, plus one-twelfth of yearly premium installments for mortgage insurance, if any, all as reasonably estimated initially and from time to time by Lender on the basis of assessments and bills and reasonable estimates thereof. Borrower shall not be obligated to make such payments of Funds to Lender to the extent that Borrower makes such payments to the holder of a prior mortgage or deed of trust if such holder is an institutional Lender.

If Borrower pays Funds to Lender, the Funds shall be held in an institution the deposits or accounts of which are insured or guaranteed by a Federal or state agency (including Lender if Lender is such an institution). Lender shall apply the Funds to pay said taxes, assessments, insurance premiums and ground rents. Lender may not charge for so holding and applying the Funds, analyzing said account or verifying and compiling said assessments and bills, unless Lender pays Borrower interest on the Funds and applicable law permits Lender to make such a charge. Borrower and Lender may agree in writing at the time of execution of this Deed of Trust that interest on the Funds shall be paid to Borrower, and unless such an agreement is made or applicable law requires such interest to be paid, Lender shall not be required to pay Borrower any interest or earnings on the Funds. Lender shall give to Borrower, without charge, an annual accounting of the Funds showing credits and debits to the Funds and the purpose for which each debit to the Funds was made. The Funds are pledged as additional security for the sums secured by this Deed of Trust.

If the amount of Funds held by Lender, together with the future monthly installments of Funds payable prior to the due dates of taxes, assessments, insurance premiums and ground rents, shall exceed the amount required to pay said taxes, assessments, insurance premiums and ground rents, such excess shall be, at Borrower's option, either promptly repaid to Borrower or credited to Borrower on monthly installments of Funds. If the amount of the Funds held by Lender shall not be sufficient to pay taxes, assessments, insurance premiums and ground rents as they fall due, Borrower shall pay to Lender any amount necessary to make up the deficiency in one or more payments as Lender may require.

Upon payment in full of all sums secured by this Deed of Trust, Lender shall promptly refund to Borrower any Funds held by Lender. If under Paragraph 18 hereof the Property is sold or the Property is otherwise acquired by Lender, Lender shall apply, no later than immediately prior to the sale of the Property or its acquisition by Lender, any Funds held by Lender at the time of application as a credit against the sums secured by this Deed of Trust.

3. **Application of Payments.** Unless applicable law provides otherwise, all payments received by Lender under the Note and paragraphs 1 and 2 hereof shall be applied by Lender first in payment of amounts payable to Lender by Borrower under paragraph 2 hereof, if applicable, then to interest payable on the Note, then to the principal of the Note, and then to interest and principal on any Future Advances.

4. **Prior Mortgages and Deeds of Trust; Liens.** Borrower shall perform all of Borrower's obligations under any mortgage, deed of trust or other security agreement with a lien which has priority over this Deed of Trust, including Borrower's covenants to make payments when due. Borrower shall pay or cause to be paid, at least 10 days before delinquency, all taxes, assessments and other charges, fines and impositions attributable to the Property which may attain a priority over this Deed of Trust, and leasehold payments or ground rents, if any.

5. **Hazard Insurance.** Borrower agrees to provide, maintain and deliver to Lender fire insurance satisfactory and with loss payable to Lender. The amount collected under any fire or other insurance policy may be applied by Lender upon any indebtedness secured hereby and in such order as Lender may determine, or at option of Lender the entire amount so collected or any part thereof may be released to the Borrower. Such application or release shall not cure or waive any Default or Notice of Default hereunder or invalidate any act done pursuant to such notice.

The insurance carrier providing the insurance shall be chosen by Borrower subject to approval by Lender; provided that such approval shall not be unreasonably withheld. All insurance policies and renewals thereof shall be in a form acceptable to Lender and shall include a standard mortgage clause in favor of and in a form acceptable to Lender. Lender shall have the right to hold the policies and renewals thereof, subject to the terms of any mortgage, deed of trust or other security agreement with a lien which has priority over this Deed of Trust.

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In the event of a loss, Borrower shall give prompt notice to the insurance carrier and Lender. Lender may make proof of loss if not made promptly by Borrower.

If the Property is abandoned by Borrower, or if Borrower fails to respond to Lender within 30 days from the date notice is mailed by Lender to Borrower that the insurance carrier offers to settle a claim for insurance benefits, Lender is authorized to collect and apply their insurance proceeds at Lender's option either to restoration or repair of the Property or to the sums secured by this Deed of Trust.

If Borrower obtains earthquake, flood or any other hazard insurance, or any other insurance on the Property, and such insurance is not specifically required by the Lender, then such insurance shall (i) name the Lender as loss payee thereunder, and (ii) be subject to all of the provisions of this paragraph 5.

6. Preservation and Maintenance of Property; Leaseholds; Condominiums; Planned Unit Developments. Borrower shall keep the Property in good repair and shall not commit waste or permit impairment or deterioration of the Property and shall comply with the provisions of any lease if this Deed of Trust is on a leasehold. If this Deed of Trust is on a unit in a condominium or a planned unit development, Borrower shall perform all of Borrower's obligations under the declaration of covenants creating or governing the condominium or planned unit development, the by-laws and regulations of the condominium or planned unit development, and constituent documents.

7. Protection of Lender's Security. If Borrower fails to perform the covenants and agreements contained in this Deed of Trust, or if any action or proceeding is commenced which affects Lender's interest in the Property, including but not limited to proceedings by the Lender to obtain relief from stay in any bankruptcy proceeding which would prohibit Lender enforcing its rights under the Deed of Trust, then Lender, at Lender's option, may make such appearances, disburse such sums, including reasonable attorney's fees, and take such action as is necessary to protect Lender's interest. If Lender required mortgage insurance as a condition of making the loan secured by this Deed of Trust, Borrower shall pay the premiums required to maintain such insurance in effect until such time as the requirement for such insurance terminates in accordance with Borrower's and Lender's written agreement or applicable law.

Any amounts disbursed by Lender pursuant to this paragraph 7, with interest thereon, including but not limited to payment of delinquent taxes and assessments, insurance premiums due, and delinquent amounts owed to prior lien holders, shall become additional indebtedness of Borrower secured by this Deed of Trust. Such amounts as are disbursed by Lender shall be payable, upon notice from Lender to Borrower requesting payment thereof, and shall bear interest from the date of disbursement at the rate payable on the Note. Nothing contained in this paragraph 7 shall require Lender to incur any expense or take any action hereunder.

8. Inspection. Lender may make or cause to be made reasonable entries upon and inspection of the Property, provided that Lender shall give Borrower notice prior to any such inspection specifying reasonable cause therefore related to Lender's interest in the Property.

9. Condemnation. The proceeds of any award or claim for damages, direct or consequential, in conjunction with any condemnation or other taking of the Property, or part thereof, or for conveyance in lieu of condemnation, are hereby assigned and shall be paid to Lender, subject to the terms of any mortgage, deed of trust or other security agreement with a lien which has priority over this Deed of Trust.

10. Borrower Not Released. At any time or from time to time, without liability therefore and without notice upon written request of Lender and presentation of this Deed and said Note for endorsement, and without affecting the personal liability of any person for payment of the indebtedness secured hereby, Trustee may reconvey any part of said property, consent to the making of any map or plat thereof, join in granting any easement thereon, or join in any extension agreement or any agreement subordinating the lien or charge thereof. Trustee may, but shall be under no obligation or duty to, appear in or defend any action or proceeding purporting to affect said property or the title thereto, or purporting to affect the security hereof or the rights or powers of Lender or Trustee.

11. Forbearance by Lender Not a Waiver. Any forbearance by Lender in exercising any right or remedy hereunder, or otherwise afforded by applicable law, shall not be a waiver of or preclude the exercise of any such right or remedy. The procurement of insurance or the payment of taxes or other liens or charges by Lender shall not be a waiver of Lender's right to accelerate the maturity of the indebtedness secured by this Deed of Trust.

12. Remedies Cumulative. All remedies provided in this Deed of Trust are distinct and cumulative to any other or remedy under this Deed of Trust or afforded by law or equity, and may be exercised concurrently, independently or successively.

13. Successors and Assigns Bound; Joint and Several Liability; Co-signers. The covenants and agreements herein contained shall bind, and the rights hereunder shall inure to, the respective successors and assigns of Lender and Borrower, subject to the provisions of paragraph 16 hereof. All covenants and agreements of Borrower shall be joint and several.

14. Notice. Except for any notice required under applicable law to be given in another manner, (a) any notice to Borrower provided for in this Deed of Trust shall be given by delivering it or by mailing such notice by certified mail addressed to Borrower or the Property at the Property Address or at such other address as Borrower may designate by notice to Lender as provided herein, and (b) any notice to Lender shall be given by certified mail to Lender, in care of Lender's Servicing Agent ("Agent"), Anchor Loans, Loans Servicing, 5230 Las Virgenes Rd. Suite 285, Calabasas, CA 91302 or to such other address as Lender or Agent may designate by notice to Borrower as provided herein. Any notice provided for in this Deed of Trust shall be deemed to have been given to Borrower or Lender when given in the manner designated herein.

15. **Governing Law.** This Deed of Trust shall be governed by the Laws of the State of California. In the event that any provision or clause of this Deed of Trust or the Note conflicts with applicable law, such conflict shall not effect other provisions of this Deed of Trust or the Note which can be given effect without the conflicting provision, and to this end the provisions of the Deed of Trust are declared to be severable.

16. **Lender's Right to Require The Loan to be Paid Off Immediately.** If without Lender's prior written consent the Property encumbered by this Deed of Trust or any portion thereof or any interest therein is sold, conveyed, mortgaged, transferred, encumbered (including, but not limited to, land sale leaseback, installment sale contract, lease-option leaseback, contract for deed or conditional sales contract financing), hypothecated, assigned, leased in its entirety for a term of greater than two (2) years or transferred, if the borrower shall be voluntarily or involuntarily divested of title to the Property, or any portion thereof or any interest therein, in any manner, or if more than 25% of the stock, limited partnership interests, managing or non-managing membership interests or any other direct or indirect legal or beneficial ownership interests (as the case may be) of Borrower or any partner, member, shareholder or any other direct or indirect legal or beneficial owner of Borrower shall be sold, conveyed, mortgaged, transferred, hypothecated, assigned or encumbered (each of such foregoing events shall be referred to herein as a "Transfer"), the whole sum of outstanding principal and all accrued and unpaid interest under the Note secured hereby shall, at the option of Lender and without notice, become immediately due and payable. Lender's option hereunder may be exercised at any time after any such Transfer event, and the acceptance by Lender of one or more installments of principal or interest under the Note from any person thereafter shall not constitute a waiver of Lender's option. Consent to one such Transfer shall not be deemed to be waiver of the right to require such consent to future successive Transfers. Notwithstanding the foregoing, if this Deed of Trust is a lien on residential property containing one to four units, then, the term "Transfer" shall not include a further encumbrance of the Property by a lien that is junior to this Deed of Trust upon the death of a joint tenant.

17. **Assignment of Rents; Appointment of Receiver; Lender in Possession.** As additional security hereunder, and without regard to the adequacy of any security for the indebtedness hereby secured, Borrower hereby assigns to Lender the rents of the Property, provided that Borrower shall, prior to acceleration under paragraph 18 hereof or abandonment of the Property, have the right to collect and retain such rents as they become due and payable.

Upon acceleration under paragraph 18 hereof or abandonment of the Property, Lender, in person, by Agent or by judicially appointed receiver shall be entitled to enter upon, take possession of and manage the Property and to collect the rents of the Property including those past due. All rents collected by Lender or the receiver shall be applied first to payment of the costs of management of the Property and collection of rents, including, but not limited to, receiver's fees, premiums on receiver's bonds and reasonable attorney's fees, and then to the sums secured by this Deed of Trust. Lender and the receiver shall be liable to account only for those rents actually received.

18. **Default; Acceleration; Additional Remedies.** Any of the following events shall be deemed a default under this Deed of Trust: (a) the occurrence of a default in the payment, when due, of principal or interest on the Note or any other sum secured hereby; or (b) the occurrence of a default under any term, covenant, agreement, condition, provision, representation or warranty of Borrower contained in this Deed of Trust or any other agreement secured hereby, or (c) the occurrence of a default under any other note evidencing a loan made by Lender or serviced, arranged or made by Anchor Mortgage or its Affiliates to Borrower or Borrower's partner, member, subsidiary or Borrower's Affiliate. As used in this Deed of Trust, "Affiliate" means any person or entity directly or indirectly controlling, controlled by or under common control with a designated person or entity. Upon the occurrence of any default under this Deed of Trust, Lender may, at its option, declare all sums secured hereby immediately due and payable by delivery to Trustee of written declaration of default and demand for sale and of written Notice of Default and of election to cause to be sold said property, which notice Trustee shall cause to be filed for record. Trustee shall be entitled to rely upon the correctness of such notice. Lender also shall deposit with Trustee this Deed, said Note and all documents evidencing expenditures secured hereby.

After the lapse of such time as then may be required by law following the recordation of said Notice of Default and Notice of Sale having been given as then required by law, Trustee, without demand on Borrower, shall sell said property at the time and place fixed by it in said Notice of Sale, either as a whole or in separate parcels and in such order as it may determine (but subject to any statutory right of Borrower to direct the order in which said property, if consisting of several lots or parcels, shall be sold), at public auction to the highest bidder for cash in lawful money of the United States, payable at time of sale. Trustee may postpone sale of all or any portion of said property by public announcement at such time and place of sale, and from time to time thereafter may postpone such sale by public announcement at the time fixed by the preceding postponement. Trustee shall deliver to such purchaser its deed conveying the property to sold, but without any covenant or warranty, expressed or implied. The recitals in such deed of any matters or facts shall be conclusive proof of the truthfulness thereof. Any person including Borrower, Trustee, or Lender, may purchase at such sale.

After deducting all costs, fees and expenses of Trustee and of this Trust, including cost of evidence of title in connection with sale, Trustee shall apply the proceeds of sale to payment of; all sums expended under the terms hereof, not then repaid, with accrued interest at the rate prescribed in the Note; all other sums then secured thereby, and the remainder, if any, to the person or persons legally entitled thereto.

19. **Reconveyance.** Upon written request of Lender stating that all sums secured hereby have been paid, and upon surrender of this Deed and said Note to Trustee for cancellation and retention and upon payment of its fees, Trustee shall reconvey, without

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Deed of Trust
Page 4 of 6
CALLMAN

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warranty, the property then held hereunder. The recitals in such reconveyance of any matters or facts shall be conclusive proof of the truthfulness thereof. The grantee in such reconveyance may be described as "the person or persons legally entitled thereto." The Trustee may destroy said Note, this Deed or Trust (and any other documents related thereto) upon the first to occur of the following: 5 years after issuance of a full reconveyance; or, recordation of the Note and Deed of Trust in a form or medium which permits their reproduction for 5 years following issuance of a full reconveyance.

20. **Substitution of Trustee.** Lender, at Lender's option, may from time to time remove Trustee and appoint a successor trustee to any Trustee appointed hereunder. Without conveyance of the Property, the successor trustee shall succeed to all the title, power and duties conferred upon the Trustee herein and by applicable law.

21. **Request for Notices.** Borrower requests that copies of the notice of sale and notice of default be sent to Borrower's address which is the Property Address.

22. **Statement of Obligation.** Lender may collect a fee, not to exceed the maximum amount permitted by law, for furnishing the statement of obligations as provided by Section 2943 of the Civil Code of California.

MISCELLANEOUS PROVISIONS

23. **General Provisions.** Borrower acknowledges and agrees that time is of the essence with respect to the obligations under this Deed of Trust and the Note secured by this Deed of Trust. A determination that any provision of this Deed of Trust is unenforceable or invalid shall not affect the enforceability or validity of any other provision and the determination that the application of any provision of this Deed of Trust to any person or circumstance is illegal or unenforceable shall not affect the enforceability or validity of such provision as it may apply to other persons or circumstances. This Deed of Trust may not be amended except in a writing specifically intended for such purpose and executed by Borrower and Lender. Captions and headings in this Deed of Trust are for convenience only and shall be disregarded for any other purpose. The words "include" and "including" shall be interpreted as if followed by the words "without limitation." This Deed of Trust, and its validity, enforcement and interpretation, shall be governed by California law (without regard to any conflict of laws principles) and applicable United States federal law.

24. **Final Expression/No Oral Agreements.** READ THIS DOCUMENT CAREFULLY. THIS DEED OF TRUST REPRESENTS THE FINAL AGREEMENT BETWEEN THE PARTIES AND MAY NOT BE CONTRADICTED BY EVIDENCE OF PRIOR, CONTEMPORANEOUS, OR SUBSEQUENT ORAL AGREEMENTS OF THE PARTIES.

25. **Construction or Home Improvement Loan.** If the loan secured by this Deed of Trust is a construction or home improvement loan, Borrower is required to perform according to the terms and conditions of each agreement contained in any building, home improvement or similar agreement between the Borrower and Lender.

26. **Acceptance by Lender of a Partial Payment After Notice of Default.** By accepting partial payment (payments which do not satisfy a default or delinquency in full) of any sums secured by this Deed of Trust after a Notice of Default has been recorded, or by accepting late performance of any obligation secured by this Deed of Trust, or by adding any payment so made to the loan secured by this Deed of Trust, whether or not such payments are made pursuant to a court order, the Lender does not waive its right either to require prompt payment when due of all other sums so secured or to declare default for failure to make any such prompt payment or to perform any such act. No exercise of any right or remedy of the Lender or Trustee under this Deed of Trust shall constitute a waiver of any other right or remedy contained in this Deed of Trust or provided by law.

DUT *ay/may*
Deed of Trust [REDACTED]
Page 6 of 8

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**REQUEST FOR SPECIAL NOTICE OF DEFAULT AND FORECLOSURE
UNDER SUPERIOR MORTGAGES OR DEEDS OF TRUST**

Borrower and Lender request the holder of any mortgage, deed of trust or other encumbrance with a lien which has priority over this Deed of Trust to give Notice to Lender care of Lender's Servicing Agent, at it's address set forth on page one of this Deed of Trust, of any default under the superior encumbrances and of any sale or other foreclosure action

IN WITNESS WHEREOF, BORROWER HAS EXECUTED THIS DEED OF TRUST

[Signature] 5/29/08 Alma Hernandez 52908
Borrower Miguel Hernandez Date Borrower Date

STATE OF CALIFORNIA

COUNTY OF San Diego

On May 29, 2008, before me, Jacklynn Havighurst a Notary Public, personally appeared

Miguel Hernandez and Alma Hernandez who proved to me on the basis of satisfactory evidence to be the person(s) whose name is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity (ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under that laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand and official seal,

[Signature]
Notary Public commissioned for said County and State



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EXHIBIT "A"
LEGAL DESCRIPTIONS AND ADDRESSES
PARCELS 7 THROUGH 35

PARCEL 7: Address: 351 East 71st Street, Los Angeles, CA 90003
County Los Angeles, State of California
APN 6011-009-023
Legal Description: LOT 23 IN BLOCK 2 OF TRACT 2295 IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 26, PAGE 60 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 8: Address: 245 East 130th Street, Los Angeles, CA 90061
County Los Angeles, State of California
APN 6130-005-019
Legal Description THAT PORTION OF LOT 9 IN BLOCK "B" OF TRACT NO 6506, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 84 PAGE(S) 46 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE

BEGINNING AT A POINT IN THE NORTHERLY LINE OF LOT 7 IN SAID BLOCK "B", DISTANT EASTERLY THEREON 100 FEET FROM THE NORTHWEST CORNER OF SAID LOT, THENCE SOUTHERLY IN A DIRECT LINE TO A POINT IN THE SOUTHERLY LINE OF LOT 9 IN SAID LOT "B", DISTANT EASTERLY THEREON 100 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 9

ALSO, THAT PORTION OF LOT 7 IN BLOCK "B" OF TRACT 6506, AS PER MAP RECORDED IN BOOK 84 PAGE(S) 46 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE

BEGINNING AT A POINT IN THE NORTHERLY LINE OF LOT 7 IN SAID BLOCK "B" DISTANT EASTERLY THEREON 100 FEET FROM THE NORTHWEST CORNER OF SAID LOT, THENCE SOUTHERLY IN A DIRECT LINE TO A POINT IN THE SOUTHERLY OF LOT 9 SAID BLOCK "B", DISTANT EASTERLY THEREON 100 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 9

PARCEL 9: Address: 6327 S. Victoria Avenue, Los Angeles, CA 90043
County Los Angeles, State of California
APN 4006-008-016
Legal Description LOT 204 OF THE HYDE PARK TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE 21 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 10: Address: 5648 Corbett Street, Los Angeles, CA 90016
County Los Angeles, State of California
APN 5047-017-065
Legal Description A CONDOMINIUM COMPROMISED OF

A) AN UNDIVIDED 0689 INTEREST IN LOT(S) 1 OF TRACT NO 26137, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 813 PAGE(S) 30 AND 31 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

EXCEPT THEREFROM UNITS 1 TO 16 AS SHOWN AND DEFINED ON THE CONDOMINIUM PLAN ATTACHED AS EXHIBIT "D" TO THE DECLARATION RECORDED DECEMBER 6, 1971, AS INSTRUMENT NO 2818

B) UNIT 14 AS SHOWN AND DEFINED ON THE CONDOMINIUM PLAN REFERRED TO ABOVE

PARCEL 11: Address: 7119 Templeton Street, Huntington Park, CA 90255
County Los Angeles, State of California
APN 6322-029-019
Legal Description LOT 41 IN BLOCK 62 OF THE THIRD ADDITION TO HUNTINGTON PARK, IN THE CITY OF HUNTINGTON PARK, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 9, PAGE 153, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 12: Address: 6215 11th Avenue, Los Angeles, CA 90043
County Los Angeles, State of California
APN 4006-003-029
Legal Description: LOT 82 OF HYDE PARK TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14 PAGE (S) 21 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

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PARCEL 13: Address: 929-929 1/2 Enterprise Avenue, Inglewood CA 90302
County Los Angeles, State of California
APN: 4017-006-036
Legal Description: LOT 240, EXCEPT THE NORTH 1/4 AND THE WESTERLY 75 FEET OF THE SOUTH 1/4 OF SAID LOT OF INGLEWOOD POULTRY COLONY, SHEET NO 2, IN THE CITY OF INGLEWOOD, AS SHOWN ON A MAP RECORDED IN BOOK 14, PAGE 20 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 14: Address: 6333 South Victoria Avenue Los Angeles CA 90045
County Los Angeles, State of California
APN 4006-008-017
Legal Description LOT 205 OF HYDE PARK TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14, PAGE(S) 21, OF MISCELLANEOUS RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 15: Address: 945 W. 62nd Place, Los Angeles CA 90004
County Los Angeles, State of California
APN: 6004-014-012
Legal Description LOT 12 AND 13 OF TRACT NO. 3550, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 37, PAGE (S) 72 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 16: Address: 1250 West 104th Street, Los Angeles, CA 90044
County Los Angeles, State of California
APN. 6060-010-023
Legal Description LOT 223 OF TRACT NO 3002 IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 31, PAGE (S) 39 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 17: Address: 1448 West 104th Street, Los Angeles, CA 90047
County Los Angeles, State of California
APN. 6059-020-023
Legal Description LOT 148 OF TRACT NO 3008, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 31, PAGE (S) 39 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 18: Address: 8421 Cedartree Road, Downey, CA 90240
County Los Angeles, State of California
APN 6367-025-012
Legal Description LOT 4, OF TRACT NO 24419, IN THE CITY OF DOWNRY, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 630 PAGE 83 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 19: Address: 2001 East El Segundo Blvd, Compton CA 90222
County Los Angeles, State of California
APN 6152-004-010
Legal Description
LOT 126 OF WILLOWBROOK, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE (S) 38 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

EXCEPT THE SOUTHERLY 20 FEET THEREOF, AS CONVEYED TO THE COUNTY OF LOS ANGELES BY DEED RECORDED JUNE 9, 1971 AS INSTRUMENT NO 3518 IN BOOK D-5083 PAGE 899 OF OFFICIAL RECORDS

PARCEL 20: Address: 976 East 46th Street, Los Angeles, CA 90011
County Los Angeles, State of California
APN 5018-009-012
Legal Description LOT 60 OF THE VERMONT AND VERNON AVENUE TRACT IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 11, PAGE 97 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 21: Address: 5918 5th Avenue Los Angeles CA 90043
County Los Angeles, State of California
APN 4005-019-005
Legal Description LOT 5 IN BLOCK 10 OF TRACT NO 4515, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON A MAP IN BOOK 48, PAGE(S) 92 AND 93 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY
APN 4005-019-005

EXCEPT THEREFROM ALL OIL, GAS, MINERALS AND OTHER HYDROCARBONS BELOW A DEPT OF 500 FEET, WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED IN DEEDS OF RECORDS

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PARCEL 22: Address: 114 West 117th Street, Los Angeles, CA 90061
County Los Angeles, State of California
APN 6087-012-013
Legal Description LOTS 17 AND 18 IN BLOCK 7 OF TRACT NO 3039, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 31 PAGE 20 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 23: Address: 9328 Elizabeth Avenue, South Gate CA 90040
County Los Angeles, State of California
APN 6209-013-029
Legal Description: LOTS 672 AND 673 OF TRACT NO 5248, IN THE CITY OF SOUTH GATE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 56, PAGE 41 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 24: Address: 725 E. 27th Street, Los Angeles CA 90011
County Los Angeles, State of California
APN 5128-017-014
Legal Description,
LOT 42 OF GRIDER AND DOW'S ADAMS STREET, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 54, PAGES 25 AND 26 OF MISCELLANEOUS RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 25: Address: 1204 West 85th Street Los Angeles CA 90044
County Los Angeles, State of California
APN 6033-013-032
Legal Description LOT 84 OF TRACT 4512, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 49, PAGE 3 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 26: Address: 357 East Imperial Highway, Los Angeles, CA 90061
County Los Angeles, State of California
APN 6073-028-001
Legal Description LOT 17 AND THE WESTERLY 50 FEET OF LOT 18, TRACT NO 3598, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 40 PAGE 23 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, EXCEPT THOSE PORTIONS THEREOF INCLUDED WITHIN A PARCEL OF LAND BOUNDED AND DESCRIBED AS FOLLOWS

BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT 17, THENCE NORTH 68 DEGREES 50' 11" EAST, ALONG THE NORTHWESTERLY LINE OF SAID LOT 17, A DISTANCE OF 126.49 FEET, THENCE SOUTH 8 DEGREES 51' 27" EAST 10.23 FEET, THENCE SOUTH 86 DEGREES 33' 04" EAST, 119.29 FEET; THENCE EASTERLY, ALONG A CURVE CONCAVE TO THE NORTH, TANGENT AT ITS POINT OF BEGINNING TO SAID LAST MENTIONED COURSE AND HAVING A RADIUS OF 855.47 FEET AN ARC DISTANCE OF 56.86 FEET TO THE POINT OF TANGENCY IN A LINE PARALLEL WITH AND DISTANCE 25 FEET NORTHERLY MEASURED AT RIGHT ANGLES FROM THE SOUTHERLY LINE OF SAID LOT 18, THENCE EASTERLY ALONG SAID PARALLEL LINE, 31.40 FEET TO THE EASTERLY LINE OF THE WESTERLY 50 FEET OF SAID LOT 18; THENCE SOUTHERLY ALONG SAID EASTERLY LINE 25 FEET TO SAID SOUTHERLY LINE OF LOT 18, THENCE WESTERLY, ALONG SAID SOUTHERLY LINE AND ALONG THE SOUTHERLY LINE SAID LOT 17, A DISTANCE OF 326.88 FEET OF BEGINNING

PARCEL 27: Address: 7911 Avalon Blvd, Los Angeles CA 90003
County Los Angeles, State of California
APN 6030-033-014
Legal Description LOT 34 IN BLOCK 16 OF TRACT NO 26, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 14 PAGES 2 AND 3 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 28: Address: 925 - 927 West 84th Street Los Angeles CA 90044
County Los Angeles, State of California
APN 6032-009-016
Legal Description THE EAST 50 FEET OF LOT 28 OF SUNNY SIDE PARK, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE (S) 8 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 29: Address: 4321-4323, 4323 1/2-4325 South Woodlawn Avenue Los Angeles CA 90011
County Los Angeles, State of California
APN 5113-036-009
Legal Description LOT 9 IN BLOCK 15 OF SOUTH WOODLAWN, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4 PAGE 5 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

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PARCEL 30: Address: 4371 West St. Andrews Place Los Angeles CA 90062

County Los Angeles, State of California

APN 5022-008-001

Legal Description LOT 1 OF BLOCK 75 OF VERMONT AVENUE SQUARE TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 18 PAGES 70 AND 71 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 31: Address: 5509 Denker Avenue Los Angeles CA 90062

County Los Angeles, State of California

APN 5003-022-004

Legal Description LOT 8 OF TRACT 772, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 16, PAGE (S) 150 TO 151 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCHPT THE EAST 40 FEET AND THE WEST 7 FEET OF SAID LOT FOR STREET AND ALLEY PURPOSES

PARCEL 32: Address: 948 West 48th Street, Los Angeles, CA 90037 (also known as 947-947 1/2 -949 West 48th Street):

County Los Angeles, State of California

APN 5018-010-034

Legal Description. LOT 13 OF THE CLAWSON VILLA TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 6 PAGE (S) 66 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

AND THAT PORTION OF THE SOUTH HALF OF THE 40 FOOT ELECTRIC RAILWAY RIGHT OF WAY AS SHOWN ON THE MAP OF THE VERMONT AND VERNON AVENUE TRACT IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 11, PAGE 97 OF MAPS IN THE OFFICE OF THE RECORDER OF SAID COUNTY, BOUNDED ON THE WEST BY THE NORTHERLY PROLONGATION OF THE WEST LINE OF LOT 13, CLAWSON VILLA TRACT AS PER MAP RECORDED IN BOOK 6, PAGE 66 OF MAPS IN THE OFFICE OF THE RECORDER OF SAID COUNTY AND BOUNDED ON THE EAST BY THE NORTHERLY PROLONGATION OF THE EAST LINE OF SAID LOT 13

PARCEL 33: Address: 1210 West 85th Street, Los Angeles, CA 90044

County Los Angeles, State of California

Legal Description LOT 93 OF TRACT 4512, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON MAP FILED IN BOOK 49, PAGE 3 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 34: Address: 1605 Cedar Avenue, Long Beach, CA 90813

County Los Angeles, State of California

APN 7269-039-015

Legal Description LOT 33 AND 34 IN BLOCK 7 OF THE PACIFIC HOMES TRACT, AS PER MAP RECORDED IN BOOK 6, PAGE 17 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

PARCEL 35: Address: 1933 West 54th Street Los Angeles CA 90062

County Los Angeles, State of California

APN 5005-021-017

Legal Description LOT 137 OF CHESTERFIELD SQUARE TRACT, IN THE CITY OF LOS ANGELES, IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 21 PAGES 90-91 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

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EXHIBIT B

ASSIGNED INSPECTOR: **KIM DOEPPING**
JOB ADDRESS: **5918 SOUTH 5TH AVENUE, LOS ANGELES, CA**
ASSESSORS PARCEL NO. (APN): **4005-019-005**

Date: **January 8, 2024**

Last Full Title: **12/01/2022**

Last Update to Title:

.....

LIST OF OWNERS AND INTERESTED PARTIES

1) MIGUEL A. HERNANDEZ
5918 5TH AVE,
LOS ANGELES, CA 90043

CAPACITY: OWNER

2) ANCHOR LOANS
5230 LAS VIRGENES ROAD STE 285
CALABASAS, CA 91302

CAPACITY: INTERESTED PARTY

Property Detail Report

For Property Located At :
5918 5TH AVE, LOS ANGELES, CA 90043-3231

**Owner Information**

Owner Name: **HERNANDEZ MIGUEL A**
 Mailing Address: **5918 5TH AVE, LOS ANGELES CA 90043-3231 C056**
 Vesting Codes: **MM // SE**

Location Information

Legal Description:	TRACT # 4515 LOT 5	APN:	4005-019-005
County:	LOS ANGELES, CA	Alternate APN:	
Census Tract / Block:	2347.00 / 2	Subdivision:	4515
Township-Range-Sect:		Map Reference:	51-D4 /
Legal Book/Page:	48-92	Tract #:	4515
Legal Lot:	5	School District:	LOS ANGELES
Legal Block:	10	School District Name:	LOS ANGELES
Market Area:	PHHT	Munic/Township:	LOMITA
Neighbor Code:			

Owner Transfer Information

Recording/Sale Date:	05/30/2006 / 05/18/2006	Deed Type:	QUIT CLAIM DEED
Sale Price:		1st Mtg Document #:	1171237
Document #:	1171236		

Last Market Sale Information

Recording/Sale Date:	03/28/1997 /	1st Mtg Amount/Type:	\$83,600 / PRIVATE PARTY
Sale Price:	\$77,000	1st Mtg Int. Rate/Type:	/ FIXED
Sale Type:	FULL	1st Mtg Document #:	/
Document #:	475555	2nd Mtg Amount/Type:	/
Deed Type:	GRANT DEED	2nd Mtg Int. Rate/Type:	/
Transfer Document #:		Price Per SqFt:	\$75.49
New Construction:		Multi/Split Sale:	
Title Company:	AMERICAN TITLE CO		
Lender:	PRIVATE INDIVIDUAL		
Seller Name:	BENEFICIAL MTG		

Prior Sale Information

Prior Rec/Sale Date:	10/25/1996 /	Prior Lender:	
Prior Sale Price:	\$95,456	Prior 1st Mtg Amt/Type:	/
Prior Doc Number:	1741210	Prior 1st Mtg Rate/Type:	/
Prior Deed Type:	TRUSTEE DEED		

Property Characteristics

Gross Area:		Parking Type:	PARKING AVAIL	Construction:	
Living Area:	1,020	Garage Area:		Heat Type:	HEATED
Tot Adj Area:		Garage Capacity:		Exterior wall:	STUCCO
Above Grade:		Parking Spaces:	1	Porch Type:	
Total Rooms:	4	Basement Area:		Patio Type:	
Bedrooms:	3	Finish Bsmnt Area:		Pool:	
Bath(F/H):	1 /	Basement Type:		Air Cond:	
Year Built / Eff:	1922 / 1937	Roof Type:		Style:	SPANISH
Fireplace:	Y / 1	Foundation:	RAISED	Quality:	
# of Stories:	1	Roof Material:	ROLL COMPOSITION	Condition:	
Other Improvements:	FENCE Building Permit				

Site Information

Zoning:	LAR1	Acres:	0.11	County Use:	SINGLE FAMILY RESID (0100)
Lot Area:	4,796	Lot Width/Depth:	40 x 120	State Use:	
Land Use:	SFR	Res/Comm Units:	1 /	Water Type:	
Site Influence:				Sewer Type:	TYPE UNKNOWN

Tax Information

Total Value:	\$136,059	Assessed Year:	2022	Property Tax:	\$1,788.33
Land Value:	\$94,529	Improved %:	31%	Tax Area:	212
Improvement Value:	\$41,530	Tax Year:	2021	Tax Exemption:	
Total Taxable Value:	\$136,059				

Comparable Sales Report

For Property Located At



RealQuest

5918 5TH AVE, LOS ANGELES, CA 90043-3231

20 Comparable(s) Selected.

Report Date: 12/08/2022

Summary Statistics:

	Subject	Low	High	Average
Sale Price	\$77,000	\$267,500	\$2,880,000	\$829,148
Bldg/Living Area	1,020	880	1,148	1,033
Price/Sqft	\$75.49	\$285.79	\$2,857.14	\$801.67
Year Built	1922	1919	1950	1927
Lot Area	4,796	2,696	7,585	4,856
Bedrooms	3	2	3	2
Bathrooms/Restrooms	1	1	2	1
Stories	1.00	1.00	1.00	1.00
Total Value	\$136,059	\$36,664	\$733,074	\$348,200
Distance From Subject	0.00	0.06	0.48	0.31

* = user supplied for search only

Comp #:1

Distance From Subject:0.06 (miles)

Address:	5918 4TH AVE, LOS ANGELES, CA 90043-3227		
Owner Name:	WEN SIRU		
Seller Name:	CROW JULIE L		
APN:	4005-020-005	Map Reference:	51-D4 /
County:	LOS ANGELES, CA	Census Tract:	2347.00
Subdivision:	5072	Zoning:	LAR1
Rec Date:	04/25/2022	Prior Rec Date:	12/21/2018
Sale Date:	04/05/2022	Prior Sale Date:	12/14/2018
Sale Price:	\$1,080,000	Prior Sale Price:	\$610,000
Sale Type:	FULL	Prior Sale Type:	FULL
Document #:	446112	Acres:	0.11
1st Mtg Amt:	\$300,000	Lot Area:	4,801
Total Value:	\$641,217	# of Stories:	1
Land Use:	SFR	Park Area/Cap#:	/
		Living Area:	1,100
		Total Rooms:	6
		Bedrooms:	3
		Bath(F/H):	2 /
		Yr Built/Eff:	1923 / 1959
		Air Cond:	CENTRAL
		Style:	CONVENTIONAL
		Fireplace:	/
		Pool:	
		Roof Mat:	ROLL
		Parking:	COMPOSITION
			PARKING AVAIL

Comp #:2

Distance From Subject:0.10 (miles)

Address:	5835 5TH AVE, LOS ANGELES, CA 90043-3228		
Owner Name:	AGBLOE RASHANEEKA N		
Seller Name:	DELEON MARCO J JR		
APN:	4005-017-022	Map Reference:	51-D4 /
County:	LOS ANGELES, CA	Census Tract:	2347.00
		Living Area:	1,144
		Total Rooms:	5

Subdivision:	4515	Zoning:	LAR1	Bedrooms:	2
Rec Date:	03/23/2022	Prior Rec Date:	01/11/2013	Bath(F/H):	2 /
Sale Date:	03/21/2022	Prior Sale Date:	11/30/2012	Yr Built/Eff:	1924 / 1929
Sale Price:	\$830,000	Prior Sale Price:	\$249,000	Air Cond:	
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	SPANISH
Document #:	330013	Acres:	0.11	Fireplace:	Y / 1
1st Mtg Amt:	\$788,500	Lot Area:	4,799	Pool:	
Total Value:	\$547,000	# of Stories:	1	Roof Mat:	ROLL COMPOSITION
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL

Comp #:3					Distance From Subject:0.13 (miles)
Address:	5835 6TH AVE, LOS ANGELES, CA 90043-3262				
Owner Name:	BAIKULOVA IRYNA				
Seller Name:	SUN WOOD PROPERTY LLC				
APN:	4005-014-023	Map Reference:	51-C4 /	Living Area:	1,008
County:	LOS ANGELES, CA	Census Tract:	2347.00	Total Rooms:	5
Subdivision:	4515	Zoning:	LAR1	Bedrooms:	2
Rec Date:	10/28/2022	Prior Rec Date:	01/27/2022	Bath(F/H):	1 /
Sale Date:	10/14/2022	Prior Sale Date:	01/07/2022	Yr Built/Eff:	1923 / 1923
Sale Price:	\$2,880,000	Prior Sale Price:	\$546,500	Air Cond:	
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	SPANISH
Document #:	1026617	Acres:	0.11	Fireplace:	/
1st Mtg Amt:	\$563,200	Lot Area:	4,801	Pool:	
Total Value:	\$148,248	# of Stories:	1	Roof Mat:	ROLL COMPOSITION
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL

Comp #:4					Distance From Subject:0.19 (miles)
Address:	5830 MADDEN AVE, LOS ANGELES, CA 90043-3213				
Owner Name:	TAO SIRAN				
Seller Name:	TAYLOR FRANCENE L				
APN:	4005-013-010	Map Reference:	51-C4 /	Living Area:	880
County:	LOS ANGELES, CA	Census Tract:	2347.00	Total Rooms:	5
Subdivision:	4515	Zoning:	LAR1	Bedrooms:	3
Rec Date:	04/29/2022	Prior Rec Date:	08/14/1980	Bath(F/H):	1 /
Sale Date:	03/30/2022	Prior Sale Date:		Yr Built/Eff:	1924 / 1924
Sale Price:	\$600,000	Prior Sale Price:	\$50,000	Air Cond:	
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	SPANISH
Document #:	465799	Acres:	0.11	Fireplace:	Y / 1
1st Mtg Amt:	\$570,000	Lot Area:	4,801	Pool:	
Total Value:	\$101,994	# of Stories:	1	Roof Mat:	ROLL COMPOSITION
Land Use:	SFR	Park Area/Cap#:	/	Parking:	DETACHED GARAGE

Comp #:5					Distance From Subject:0.22 (miles)
Address:	6011 ARLINGTON AVE, LOS ANGELES, CA 90043-4220				
Owner Name:	ALONSO ALEJANDRO A				
Seller Name:	SYCAMORE EXPERT LLC				
APN:	4007-002-018	Map Reference:	51-D4 /	Living Area:	1,008
County:	LOS ANGELES, CA	Census Tract:	2348.00	Total Rooms:	5
Subdivision:	5556	Zoning:	LAR1	Bedrooms:	2
Rec Date:	10/19/2022	Prior Rec Date:	11/12/2021	Bath(F/H):	1 /
Sale Date:	10/13/2022	Prior Sale Date:	10/11/2021	Yr Built/Eff:	1923 / 1928
Sale Price:	\$1,000,000	Prior Sale Price:	\$492,500	Air Cond:	
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	CONVENTIONAL
Document #:	1000257	Acres:	0.11	Fireplace:	/

1st Mtg Amt:	\$750,000	Lot Area:	4,804	Pool:	
Total Value:	\$492,300	# of Stories:	1	Roof Mat:	ROLL COMPOSITION
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL

Comp #:	6				Distance From Subject:	0.23 (miles)
Address:	5846 8TH AVE, LOS ANGELES, CA 90043-3102					
Owner Name:	MORELLA CO LLC					
Seller Name:	STARKS MABLE					
APN:	4005-010-013	Map Reference:	51-C4 /	Living Area:	1,147	
County:	LOS ANGELES, CA	Census Tract:	2347.00	Total Rooms:	4	
Subdivision:	4515	Zoning:	LARD3	Bedrooms:	2	
Rec Date:	04/28/2022	Prior Rec Date:		Bath(F/H):	1 /	
Sale Date:	04/25/2022	Prior Sale Date:		Yr Built/Eff:	1941 / 1941	
Sale Price:	\$488,000	Prior Sale Price:		Air Cond:		
Sale Type:	FULL	Prior Sale Type:		Style:	CONVENTIONAL	
Document #:	459909	Acres:	0.11	Fireplace:	/	
1st Mtg Amt:		Lot Area:	4,801	Pool:		
Total Value:	\$550,800	# of Stories:	1	Roof Mat:	COMPOSITION SHINGLE	
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL	

Comp #:	7				Distance From Subject:	0.25 (miles)
Address:	6014 8TH AVE, LOS ANGELES, CA 90043-4008					
Owner Name:	VASCONCELOS JHONATAN A G/ESCORCIA DENISE					
Seller Name:	OPENDOOR PROPERTY TRUST I					
APN:	4007-009-004	Map Reference:	51-C4 /	Living Area:	1,030	
County:	LOS ANGELES, CA	Census Tract:	2348.00	Total Rooms:	5	
Subdivision:	4515	Zoning:	LAR1	Bedrooms:	2	
Rec Date:	04/19/2022	Prior Rec Date:	05/28/2021	Bath(F/H):	1 /	
Sale Date:	04/04/2022	Prior Sale Date:	05/26/2021	Yr Built/Eff:	1936 / 1965	
Sale Price:	\$685,000	Prior Sale Price:	\$718,500	Air Cond:		
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	SPANISH	
Document #:	429525	Acres:	0.11	Fireplace:	/	
1st Mtg Amt:	\$644,000	Lot Area:	4,800	Pool:		
Total Value:	\$733,074	# of Stories:	1	Roof Mat:	ROLL COMPOSITION	
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL	

Comp #:	8				Distance From Subject:	0.28 (miles)
Address:	5918 S VAN NESS AVE, LOS ANGELES, CA 90047-1028					
Owner Name:	BELLA CASIAS LLC/A & S WHOLESALE SOLUTIONS INC					
Seller Name:	TAREK BUYS HOUSES LLC					
APN:	6001-005-005	Map Reference:	51-D4 /	Living Area:	1,032	
County:	LOS ANGELES, CA	Census Tract:	2372.02	Total Rooms:	6	
Subdivision:	4893	Zoning:	LAR1	Bedrooms:	3	
Rec Date:	10/27/2022	Prior Rec Date:	06/24/2022	Bath(F/H):	1 /	
Sale Date:	10/19/2022	Prior Sale Date:	05/31/2022	Yr Built/Eff:	1922 / 1928	
Sale Price:	\$485,000	Prior Sale Price:	\$500,000	Air Cond:		
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	SPANISH	
Document #:	1023427	Acres:	0.11	Fireplace:	Y / 1	
1st Mtg Amt:	\$438,000	Lot Area:	4,826	Pool:		
Total Value:	\$81,049	# of Stories:	1	Roof Mat:	GRAVEL & ROCK	
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL	

Comp #:9

Distance From Subject:0.28 (miles)

Address:	5716 7TH AVE, LOS ANGELES, CA 90043-2516		
Owner Name:	NGUYEN HIEN T N		
Seller Name:	MH PLATINUM GROUP INC		
APN:	5006-022-025	Map Reference:	51-C4 /
County:	LOS ANGELES, CA	Census Tract:	2346.00
Subdivision:	940	Zoning:	LAR1
Rec Date:	04/11/2022	Prior Rec Date:	05/24/2019
Sale Date:	04/06/2022	Prior Sale Date:	04/29/2019
Sale Price:	\$827,000	Prior Sale Price:	\$500,000
Sale Type:	FULL	Prior Sale Type:	FULL
Document #:	399334	Acres:	0.14
1st Mtg Amt:	\$744,300	Lot Area:	6,077
Total Value:	\$538,227	# of Stories:	1
Land Use:	SFR	Park Area/Cap#:	/

Living Area: **1,148**
Total Rooms: **6**
Bedrooms: **3**
Bath(F/H): **2 /**
Yr Built/Eff: **1919 / 1950**
Air Cond:
Style: **CONVENTIONAL**
Fireplace: **Y / 1**
Pool:
Roof Mat: **COMPOSITION SHINGLE**
Parking: **PARKING AVAIL**

Comp #:	10	Distance From Subject:	0.30 (miles)
Address:	5719 2ND AVE, LOS ANGELES, CA 90043-2625		
Owner Name:	T ZONE PROPERTIES LLC		
Seller Name:	OCEAN DEV INC		
APN:	5005-001-030	Map Reference:	51-D4 /
County:	LOS ANGELES, CA	Census Tract:	2346.00
Subdivision:	900	Zoning:	LARD2
Rec Date:	09/20/2022	Prior Rec Date:	08/17/2022
Sale Date:	09/08/2022	Prior Sale Date:	07/28/2022
Sale Price:	\$575,000	Prior Sale Price:	\$580,500
Sale Type:	FULL	Prior Sale Type:	FULL
Document #:	919767	Acres:	0.11
1st Mtg Amt:		Lot Area:	4,922
Total Value:	\$121,843	# of Stories:	1
Land Use:	SFR	Park Area/Cap#:	/

Living Area: **1,104**
Total Rooms: **4**
Bedrooms: **3**
Bath(F/H): **2 /**
Yr Built/Eff: **1920 / 1932**
Air Cond: **YES**
Style:
Fireplace: **/**
Pool:
Roof Mat:
Parking:

Comp #:	11	Distance From Subject:	0.30 (miles)
Address:	6023 8TH AVE, LOS ANGELES, CA 90043-4007		
Owner Name:	MEGA 26 MANAGEMENT LLC		
Seller Name:	JONES LETHA D		
APN:	4006-001-014	Map Reference:	51-C4 /
County:	LOS ANGELES, CA	Census Tract:	2349.01
Subdivision:	HYDE PARK	Zoning:	LAR3
Rec Date:	09/19/2022	Prior Rec Date:	01/23/1970
Sale Date:	08/30/2022	Prior Sale Date:	
Sale Price:	\$800,000	Prior Sale Price:	\$17,500
Sale Type:	FULL	Prior Sale Type:	FULL
Document #:	916981	Acres:	0.17
1st Mtg Amt:		Lot Area:	7,585
Total Value:	\$593,606	# of Stories:	1
Land Use:	SFR	Park Area/Cap#:	/

Living Area: **1,060**
Total Rooms: **4**
Bedrooms: **2**
Bath(F/H): **2 /**
Yr Built/Eff: **1928 / 1945**
Air Cond:
Style: **CONVENTIONAL**
Fireplace: **Y / 1**
Pool:
Roof Mat: **COMPOSITION SHINGLE**
Parking: **PARKING AVAIL**

Comp #:	12	Distance From Subject:	0.36 (miles)
Address:	5903 CIMARRON ST, LOS ANGELES, CA 90047-1009		
Owner Name:	OPENDOOR PROPERTY TRUST I		
Seller Name:	PRESTON JACQUILYN		
APN:	6001-006-016	Map Reference:	51-D4 /
County:	LOS ANGELES, CA	Census Tract:	2372.02
Subdivision:	4893	Zoning:	LAR1
Rec Date:	06/27/2022	Prior Rec Date:	04/30/2002
Sale Date:	05/25/2022	Prior Sale Date:	04/11/2002

Living Area: **896**
Total Rooms: **4**
Bedrooms: **2**
Bath(F/H): **1 /**
Yr Built/Eff: **1950 / 1950**

Sale Price:	\$680,000	Prior Sale Price:	\$173,500	Air Cond:	
Sale Type:	FULL	Prior Sale Type:		Style:	CONVENTIONAL
Document #:	668280	Acres:	0.11	Fireplace:	/
1st Mtg Amt:		Lot Area:	4,800	Pool:	
Total Value:	\$241,509	# of Stories:	1	Roof Mat:	COMPOSITION SHINGLE
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL

Comp #:13		Distance From Subject:	0.37 (miles)
Address:	6414 3RD AVE, LOS ANGELES, CA 90043-4542		
Owner Name:	GAFF INVESTMENTS LLC		
Seller Name:	ROLLINS FLORISA J L/TR		
APN:	4007-026-004	Map Reference:	51-D5 /
County:	LOS ANGELES, CA	Census Tract:	2348.00
Subdivision:	6543	Zoning:	LAR1
Rec Date:	08/26/2022	Prior Rec Date:	02/11/1993
Sale Date:	08/12/2022	Prior Sale Date:	
Sale Price:	\$500,000	Prior Sale Price:	
Sale Type:	FULL	Prior Sale Type:	
Document #:	853868	Acres:	0.11
1st Mtg Amt:	\$500,000	Lot Area:	4,803
Total Value:	\$36,664	# of Stories:	1
Land Use:	SFR	Park Area/Cap#:	/
		Parking:	PARKING AVAIL
		Living Area:	912
		Total Rooms:	5
		Bedrooms:	2
		Bath(F/H):	1 /
		Yr Built/Eff:	1924 / 1924
		Air Cond:	
		Style:	SPANISH
		Fireplace:	/
		Pool:	
		Roof Mat:	ROLL COMPOSITION

Comp #:14		Distance From Subject:	0.38 (miles)
Address:	6322 8TH AVE, LOS ANGELES, CA 90043-4158		
Owner Name:	CRUZ CONSTANTINO R		
Seller Name:	TENERIA MARCO A		
APN:	4007-010-018	Map Reference:	51-C5 /
County:	LOS ANGELES, CA	Census Tract:	2348.00
Subdivision:	4633	Zoning:	LAR1
Rec Date:	09/12/2022	Prior Rec Date:	09/19/2003
Sale Date:	09/06/2022	Prior Sale Date:	09/15/2003
Sale Price:	\$550,000	Prior Sale Price:	\$166,000
Sale Type:	FULL	Prior Sale Type:	FULL
Document #:	890387	Acres:	0.11
1st Mtg Amt:	\$440,000	Lot Area:	4,800
Total Value:	\$222,388	# of Stories:	1
Land Use:	SFR	Park Area/Cap#:	/
		Parking:	PARKING AVAIL
		Living Area:	1,106
		Total Rooms:	4
		Bedrooms:	2
		Bath(F/H):	1 /
		Yr Built/Eff:	1924 / 1932
		Air Cond:	
		Style:	CONVENTIONAL
		Fireplace:	/
		Pool:	
		Roof Mat:	COMPOSITION SHINGLE

Comp #:15		Distance From Subject:	0.39 (miles)
Address:	6513 4TH AVE, LOS ANGELES, CA 90043-4505		
Owner Name:	HENSON LIVING TRUST		
Seller Name:	MURRY JAMES E		
APN:	4007-028-012	Map Reference:	51-D5 /
County:	LOS ANGELES, CA	Census Tract:	2348.00
Subdivision:	6543	Zoning:	LAR1
Rec Date:	10/11/2022	Prior Rec Date:	12/07/2004
Sale Date:	10/04/2022	Prior Sale Date:	11/19/2004
Sale Price:	\$267,500	Prior Sale Price:	\$245,000
Sale Type:	FULL	Prior Sale Type:	UNKNOWN
Document #:	975390	Acres:	0.06
1st Mtg Amt:		Lot Area:	2,696
Total Value:	\$263,368	# of Stories:	1
		Parking:	PARKING AVAIL
		Living Area:	936
		Total Rooms:	5
		Bedrooms:	2
		Bath(F/H):	1 /
		Yr Built/Eff:	1926 / 1926
		Air Cond:	
		Style:	SPANISH
		Fireplace:	/
		Pool:	
		Roof Mat:	ROLL COMPOSITION

Land Use:	SFR	Park Area/Cap#:	/	Parking:	DETACHED GARAGE
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Comp #:16					Distance From Subject:0.39 (miles)
Address:	5436 3RD AVE, LOS ANGELES, CA 90043-2600				
Owner Name:	LOPEZ EDWARD LIVING TRUST				
Seller Name:	ZUNIGA CESAR E				
APN:	5005-002-014	Map Reference:	51-D3 /	Living Area:	1,087
County:	LOS ANGELES, CA	Census Tract:	2346.00	Total Rooms:	
Subdivision:	900	Zoning:	LAR1	Bedrooms:	3
Rec Date:	08/19/2022	Prior Rec Date:	04/14/2011	Bath(F/H):	2 /
Sale Date:	07/25/2022	Prior Sale Date:	02/23/2011	Yr Built/Eff:	1921 / 1936
Sale Price:	\$2,045,455	Prior Sale Price:	\$259,000	Air Cond:	YES
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	CONVENTIONAL
Document #:	830649	Acres:	0.11	Fireplace:	/
1st Mtg Amt:	\$400,000	Lot Area:	4,921	Pool:	
Total Value:	\$283,400	# of Stories:	1	Roof Mat:	
Land Use:	SFR	Park Area/Cap#:	/	Parking:	DETACHED GARAGE

Comp #:17					Distance From Subject:0.47 (miles)
Address:	6026 S WILTON PL, LOS ANGELES, CA 90047-1314				
Owner Name:	BRANCH TERRELL/BREACH CHERIS				
Seller Name:	HILL DEBRA A				
APN:	6001-012-007	Map Reference:	51-D4 /	Living Area:	936
County:	LOS ANGELES, CA	Census Tract:	2372.02	Total Rooms:	5
Subdivision:	6581	Zoning:	LAR1	Bedrooms:	2
Rec Date:	08/12/2022	Prior Rec Date:	07/01/1980	Bath(F/H):	1 /
Sale Date:	08/09/2022	Prior Sale Date:		Yr Built/Eff:	1938 / 1940
Sale Price:	\$550,000	Prior Sale Price:	\$54,500	Air Cond:	
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	CONVENTIONAL
Document #:	811931	Acres:	0.09	Fireplace:	/
1st Mtg Amt:	\$536,030	Lot Area:	4,125	Pool:	
Total Value:	\$117,105	# of Stories:	1	Roof Mat:	COMPOSITION SHINGLE
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL

Comp #:18					Distance From Subject:0.47 (miles)
Address:	6501 S VAN NESS AVE, LOS ANGELES, CA 90047-1646				
Owner Name:	KORECKI J RICHARD T				
Seller Name:	CAMKAY INVESTMENTS INC				
APN:	4007-023-019	Map Reference:	51-D5 /	Living Area:	1,024
County:	LOS ANGELES, CA	Census Tract:	2348.00	Total Rooms:	5
Subdivision:	6543	Zoning:	LARD1.5	Bedrooms:	3
Rec Date:	06/02/2022	Prior Rec Date:	01/13/2022	Bath(F/H):	2 /
Sale Date:	05/09/2022	Prior Sale Date:	12/16/2021	Yr Built/Eff:	1936 / 1960
Sale Price:	\$760,000	Prior Sale Price:	\$515,000	Air Cond:	
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	SPANISH
Document #:	589328	Acres:	0.08	Fireplace:	/
1st Mtg Amt:	\$760,000	Lot Area:	3,700	Pool:	
Total Value:	\$382,626	# of Stories:	1	Roof Mat:	ROLL COMPOSITION
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL

Comp #:19					Distance From Subject:0.47 (miles)
Address:	5603 CIMARRON ST, LOS ANGELES, CA 90062-2521				

Owner Name:	EWA CAPITAL LLC				
Seller Name:	IH2 PROPERTY BORROWER LP				
APN:	5005-010-032	Map Reference:	51-D4 /	Living Area:	1,024
County:	LOS ANGELES, CA	Census Tract:	2325.00	Total Rooms:	
Subdivision:	CHESTERFIELD SQUARE	Zoning:	LAR2	Bedrooms:	2
Rec Date:	09/28/2022	Prior Rec Date:	09/28/2012	Bath(F/H):	1 /
Sale Date:	06/30/2022	Prior Sale Date:	09/20/2012	Yr Built/Eff:	1923 / 1926
Sale Price:	\$537,000	Prior Sale Price:	\$225,000	Air Cond:	YES
Sale Type:	FULL	Prior Sale Type:	FULL	Style:	
Document #:	943672	Acres:	0.13	Fireplace:	Y / 1
1st Mtg Amt:	\$535,800	Lot Area:	5,461	Pool:	
Total Value:	\$415,583	# of Stories:	1	Roof Mat:	
Land Use:	SFR	Park Area/Cap#:	/	Parking:	PARKING AVAIL

Comp #:	20			Distance From Subject:	0.48 (miles)
Address:	6556 5TH AVE, LOS ANGELES, CA 90043-4511				
Owner Name:	BH HOLDINGS LLC				
Seller Name:	BOWEN A A SEPARATE PRO TRUST				
APN:	4008-005-016	Map Reference:	51-D5 /	Living Area:	1,074
County:	LOS ANGELES, CA	Census Tract:	2348.00	Total Rooms:	5
Subdivision:	48	Zoning:	LAR1	Bedrooms:	2
Rec Date:	11/15/2022	Prior Rec Date:		Bath(F/H):	1 /
Sale Date:	10/28/2022	Prior Sale Date:		Yr Built/Eff:	1929 / 1930
Sale Price:	\$443,000	Prior Sale Price:		Air Cond:	
Sale Type:	FULL	Prior Sale Type:		Style:	TUDOR
Document #:	1076328	Acres:	0.11	Fireplace:	/
1st Mtg Amt:		Lot Area:	4,801	Pool:	
Total Value:	\$452,004	# of Stories:	1	Roof Mat:	ROLL
Land Use:	SFR	Park Area/Cap#:	/	Parking:	COMPOSITION PARKING AVAIL

EXHIBIT D

ASSIGNED INSPECTOR: **KIM DOEPPING**
JOB ADDRESS: **5918 SOUTH 5TH AVENUE, LOS ANGELES, CA**
ASSESSORS PARCEL NO. (APN): **4005-019-005**

Date: **January 12, 2023**

CASE NO.: **866148**
ORDER NO.: **A-5052488**

EFFECTIVE DATE OF ORDER TO COMPLY: **June 28, 2019**
COMPLIANCE EXPECTED DATE: **July 28, 2019**
DATE COMPLIANCE OBTAINED: **January 6, 2020**

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LIST OF IDENTIFIED CODE VIOLATIONS
(ORDER TO COMPLY)

VIOLATIONS:

SEE ATTACHED ORDER # A-5052488

BOARD OF
BUILDING AND SAFETY
COMMISSIONERS

JAVIER NUNEZ
PRESIDENT
ELVIN W. MOON
VICE-PRESIDENT
JOSELYN GEAGA-ROSENTHAL
LAUREL GILLETTE
GEORGE HOVAGUIMIAN

CITY OF LOS ANGELES
CALIFORNIA



KAREN BASS
MAYOR

DEPARTMENT OF
BUILDING AND SAFETY
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

OSAMA YOUNAN, P.E.
GENERAL MANAGER
SUPERINTENDENT OF BUILDING

JOHN WEIGHT
EXECUTIVE OFFICER

ORDER TO COMPLY AND NOTICE OF FEE

HERNANDEZ, MIGUEL A
5918 5TH AVE
LOS ANGELES, CA 90043

CASE #: 866148
ORDER #: A-5052488
EFFECTIVE DATE: June 28, 2019
COMPLIANCE DATE: July 28, 2019

OWNER OF
SITE ADDRESS: 5918 S 5TH AVE
ASSESSORS PARCEL NO.: 4005-019-005
ZONE: R1; One-Family Zone

An inspection has revealed that the property (Site Address) listed above is in violation of the Los Angeles Municipal Code (L.A.M.C.) sections listed below. You are hereby ordered to correct the violation(s) and contact the inspector listed in the signature block at the end of this document for a compliance inspection by the compliance date listed above.

FURTHER, THE CODE VIOLATION INSPECTION FEE (C.V.I.F) OF \$ 356.16 (\$336 fee plus a six percent Systems Development Surcharge of \$20.16) **WILL BE BILLED TO THE PROPERTY OWNER.** The invoice/notice will be sent to the owner as it appears on the last equalized assessment roll. Section 98.0421 L.A.M.C.

NOTE: FAILURE TO PAY THE C.V.I.F. WITHIN 30 DAYS OF THE INVOICE DATE OF THE BILL NOTED ABOVE WILL RESULT IN A LATE CHARGE OF TWO (2) TIMES THE C.V.I.F. PLUS A 50 PERCENT COLLECTION FEE FOR A TOTAL OF **\$1,176.00.** Any person who fails to pay the fee, late charge and collection fee, shall also pay interest. Interest shall be calculated at the rate of one percent per month.

The inspection has revealed that the property is in violation of the Los Angeles Municipal Code as follows:

VIOLATION(S):

1. Open storage of inoperable vehicles.

You are therefore ordered to: Discontinue the open storage of inoperable vehicle(s).
Code Section(s) in Violation: 12.21A.1.(a), and 12.21A.8.(b) of the L.A.M.C.

2. Open storage within the required yards.

You are therefore ordered to: Discontinue the open storage of household items in the required yard(s).
Code Section(s) in Violation: 12.03, 12.21A.1.(a) and 12.21C.1.(g) of the L.A.M.C.

3. Not providing or maintaining the required covered off street parking.

You are therefore ordered to: Provide/maintain required off-street parking.
Code Section(s) in Violation: 12.21A4, 12.21A.4.(m), 12.21A.1.(a) of the L.A.M.C.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.



CODE ENFORCEMENT BUREAU
For routine City business and non-emergency services: Call 3-1-1
www.ladbs.org

NON-COMPLIANCE FEE WARNING:

YOU ARE IN VIOLATION OF THE L.A.M.C. IT IS YOUR RESPONSIBILITY TO CORRECT THE VIOLATION(S) AND CONTACT THE INSPECTOR LISTED BELOW TO ARRANGE FOR A COMPLIANCE INSPECTION BEFORE THE NON-COMPLIANCE FEE IS IMPOSED. Failure to correct the violations and arrange for the compliance inspection within 15 days from the Compliance Date, will result in imposition of the fee noted below.

In addition to the C.V.I.F. noted above, a proposed noncompliance fee in the amount of **\$660.00** may be imposed for failure to comply with the order within 15 days after the compliance date specified in the order or unless an appeal or request for slight modification is filed within 15 days of the compliance date.

If an appeal or request for slight modification is not filed within 15 days of the compliance date or extensions granted therefrom, the determination of the department to impose and collect a non-compliance fee shall be final. Section 98.0411 L.A.M.C.

NOTE: FAILURE TO PAY THE NON-COMPLIANCE FEE WITHIN 30 DAYS AFTER THE DATE OF MAILING THE INVOICE, MAY RESULT IN A LATE CHARGE OF TWO (2) TIMES THE NON-COMPLIANCE FEE PLUS A 50 PERCENT COLLECTION FEE FOR A TOTAL OF \$2,310.00.

Any person who fails to pay the non-compliance fee, late charge and collection fee shall also pay interest. Interest shall be calculated at the rate of one percent per month.

PENALTY WARNING:

Any person who violates or causes or permits another person to violate any provision of the Los Angeles Municipal Code (L.A.M.C.) is guilty of a misdemeanor which is punishable by a fine of not more than \$1000.00 and/or six (6) months imprisonment for each violation. Section 11.00 (m) L.A.M.C.

APPEAL PROCEDURES:

There is an appeal procedure established in this city whereby the Department of Building and Safety and the Board of Building and Safety Commissioners have the authority to hear and determine err or abuse of discretion, or requests for slight modification of the requirements contained in this order when appropriate fees have been paid. Section 98.0403.1 and 98.0403.2 L.A.M.C.

Any questions regarding invoices or how to pay fees should be directed to financial services at (213) 482-6890.
Any questions regarding the order to comply and compliance matters contact the inspector noted below at (213)978-4512.
Office hours are 7:00 a.m. to 3:30 p.m. Monday through Thursday.

Inspector: _____

Date: June 17, 2019

JAMES VORHIS
8475 S VERMONT
LOS ANGELES, CA 90044
(213)978-4512
JAMES.H.VORHIS@lacity.org

REVIEWED BY

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.



CODE ENFORCEMENT BUREAU
For routine City business and non-emergency services: Call 3-1-1
www.ladbs.org

EXHIBIT D

ASSIGNED INSPECTOR: **KIM DOEPPING**
JOB ADDRESS: **5918 SOUTH 5TH AVENUE, LOS ANGELES, CA**
ASSESSORS PARCEL NO. (APN): **4005-019-005**

Date: **Januray 8, 2024**

CASE NO.: **887102**
ORDER NO.: **A-5190515**

EFFECTIVE DATE OF ORDER TO COMPLY: **November 28, 2019**
COMPLIANCE EXPECTED DATE: **December 28, 2019**
DATE COMPLIANCE OBTAINED: **November 15, 2019**

LIST OF IDENTIFIED CODE VIOLATIONS (ORDER TO COMPLY)

VIOLATIONS:

SEE ATTACHED ORDER # A-5190515

CITY OF LOS ANGELES
CALIFORNIA



ERIC GARCETTI
MAYOR

DEPARTMENT OF
BUILDING AND SAFETY
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

FRANK M. BUSH
GENERAL MANAGER

OSAMA YOUNAN, P.E.
EXECUTIVE OFFICER

BOARD OF
BUILDING AND SAFETY
COMMISSIONERS

VAN AMBATELOS
PRESIDENT

E. FELICIA BRANNON
VICE-PRESIDENT

JOSELYN GEAGA-ROSENTHAL

GEORGE HOVAGUIMIAN

JAVIER NUNEZ

ORDER TO COMPLY AND NOTICE OF FEE

HERNANDEZ, MIGUEL A
5918 5TH AVE
LOS ANGELES, CA 90043

The undersigned mailed this notice
by regular mail, postage prepaid,
to the addressee on this day,

NOV 15 2019

CASE #: 887102
ORDER #: A-5190515
EFFECTIVE DATE: November 28, 2019
COMPLIANCE DATE: December 28, 2019

OWNER OF

SITE ADDRESS: 5918 S 5TH AVE

To the address as shown on the
last equalized assessment roll.
Initialed by

ASSESSORS PARCEL NO.: 4005-019-005

ZONE: R1; One-Family Zone

An inspection has revealed that the property (Site Address) listed above is in violation of the Los Angeles Municipal Code (L.A.M.C.) sections listed below. You are hereby ordered to correct the violation(s) and contact the inspector listed in the signature block at the end of this document for a compliance inspection by the compliance date listed above.

FURTHER, THE CODE VIOLATION INSPECTION FEE (C.V.I.F) OF \$ 356.16 (\$336 fee plus a six percent Systems Development Surcharge of \$20.16) WILL BE BILLED TO THE PROPERTY OWNER. The invoice/notice will be sent to the owner as it appears on the last equalized assessment roll. Section 98.0421 L.A.M.C.

NOTE: FAILURE TO PAY THE C.V.I.F. WITHIN 30 DAYS OF THE INVOICE DATE OF THE BILL NOTED ABOVE WILL RESULT IN A LATE CHARGE OF TWO (2) TIMES THE C.V.I.F. PLUS A 50 PERCENT COLLECTION FEE FOR A TOTAL OF \$1,176.00. Any person who fails to pay the fee, late charge and collection fee, shall also pay interest. Interest shall be calculated at the rate of one percent per month.

The inspection has revealed that the property is in violation of the Los Angeles Municipal Code as follows:

VIOLATION(S):

1. Unapproved open storage in a R zone.

You are therefore ordered to: 1) Discontinue the unapproved open storage of inoperable, wrecked, damaged or unlicensed vehicles, vehicle parts, tires, petroleum products, or equipment and materials other than those permitted by code, or provide the required enclosure.

Code Section(s) in Violation: CR 12.12.2A.1., C1 12.13A.1., C1.5 12.13.5A.1., C2 12.14A.42., C4 12.16A.2., C5 12.17A.3., CM 12.17.1A.4., MR1 12.17.5A.2., M1 12.17.6A.6.(b), MR2 12.18A.5.(b), M2 12.19A.4., M3 12.20A.6.(b)(1), P 12.12.1.A.1, and 12.21A.1.(a) of the L.A.M.C.

Location: Driveway

2. Open storage within the required yards.

You are therefore ordered to: Discontinue the open storage of appliances and different items in the required yard(s).

Code Section(s) in Violation: 12.03, 12.21A.1.(a) and 12.21C.1.(g) of the L.A.M.C.

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1051126201989897

Location: Driveway

NON-COMPLIANCE FEE WARNING:

YOU ARE IN VIOLATION OF THE L.A.M.C. IT IS YOUR RESPONSIBILITY TO CORRECT THE VIOLATION(S) AND CONTACT THE INSPECTOR LISTED BELOW TO ARRANGE FOR A COMPLIANCE INSPECTION BEFORE THE NON-COMPLIANCE FEE IS IMPOSED. Failure to correct the violations and arrange for the compliance inspection within 15 days from the Compliance Date, will result in imposition of the fee noted below.

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PENALTY WARNING:

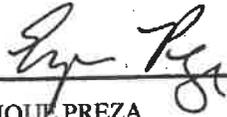
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Any questions regarding invoices or how to pay fees should be directed to financial services at (213) 482-6890.
Any questions regarding the order to comply and compliance matters contact the inspector noted below at (213)978-4513.
Office hours are 7:00 a.m. to 3:30 p.m. Monday through Thursday.

Inspector :



Date: November 14, 2019

ENRIQUE PREZA
1968 W ADAMS BLVD, SUITE G-16
LOS ANGELES, CA 90018
(213)978-4513
Enrique.Preza@lacity.org

REVIEWED BY

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