

KEYNOTES	
NO.	DESCRIPTION
01A7	LINE OF BEAM ABOVE
01A15	BALCONY BELOW, TYP.
01A27	PLANTER BELOW, TYP.
01A29	LINE OF SETBACK
01A41	FIRE DEPARTMENT CONNECTION (FDC), SEE SHEET A204
02A9	(E) POWER POLE TO BE REMOVED / RELOCATED
02A16	COORDINATE VERIFY WITH LADWP
11F1	(E) PLANTER TO BE REMOVED
11F1	KNOX BOX KNOX KEY SWITCH 3000 SERIES (SINGLE SWITCH MODEL 3502)
13A2	STAINLESS STEEL POOL, SEE POOL CONSULTANT DRAWINGS
21A7	FIRE HYDRANT, REF. CIVIL DWGS., FINAL LOCATION TO BE VERIFIED BY FIRE DEPARTMENT
25B2	TRANSFORMER (REF. ELEC. DWGS.)
25B2.1	SWITCH (REF. ELEC. DWGS.)
32P4	BOLLARD, TYP.

DEA
DE ARCHITECTS AIA
1700 MAIN STREET, SUITE 100
SANTA ANITA, CA 90061
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STAMP

NOT FOR CONSTRUCTION UNTIL
SIGNED BY THE ARCHITECT

WORKING SET - NOT FOR
CONSTRUCTION

INSPIRE | Hollywood

1522 - 1538 N. CASSIL PLACE,
LOS ANGELES CA 90028

SHEET TITLE

SITE PLAN

11.16.2019	50% PDP SUBMITTAL
02.27.2019	100% PLAN CHECK SUBMITTAL
06.16.2019	INITIAL S&P SET
10.08.2019	1. REVISION
11.13.2019	PERMIT SET
11.13.2019	2. REVISION
01.31.2020	PLAN CHECK/COORDINATION
06.15.2020	YMCA ENTRANCE
07.3.2020	ELEVATOR SHAFT DEPTH
07.4.2020	3RD WALL
10.11.2020	PARKING ENTRY
10.1.2021	STOREFRONT REVISIONS
11.05.2021	FIRE PUMP
11.06.2021	SHOWERS
11.06.2021	EYE CHARGERS
01.06.2021	VEHICULAR GATE
02.02.2021	STUD. WORKER WALL & LIGHT FIXTURES
03.16.2021	POWER POLE EASEMENT
03.02.2021	CONTROL ROOMS
03.16.2021	MECH. SHAFT REVISION
03.16.2021	RELOCATE PARKING / FIT-UP ROOM
04.23.2021	LAUNDRY ROOMS
05.15.2021	CITY WALL RFI 237
06.02.2021	YMCA ADA PARKING
06.24.2021	55.7TH & 8TH 1 BD UNIT REV. / GROUND LOBBY KITCHEN

DATE 11-02-2021

SCALE As indicated

SHEET NO. A101

SITE PLAN NOTES

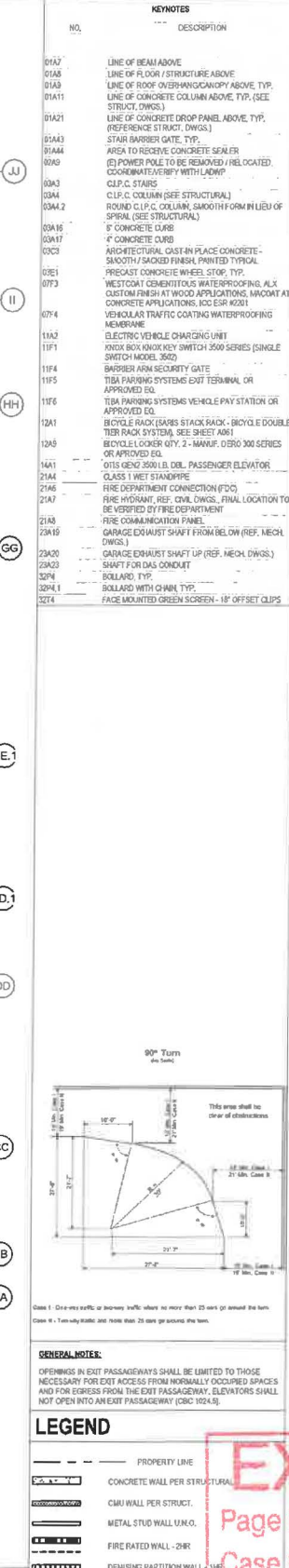
1. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO BEGINNING AND START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
2. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK. ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH ALL CURRENT AND LOCAL APPLICABLE CODES AND GOVERNING REGULATIONS. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS.
3. IF THE CONTRACTOR ASCERTAINS AT ANY TIME THAT REQUIREMENTS OF THIS CONTRACT CONFLICT WITH OR ARE IN VIOLATION OF APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, HE SHALL NOT PROCEED WITH WORK IN QUESTION, EXCEPT AT HIS OWN RISK, UNTIL ARCHITECT HAS BEEN NOTIFIED IN WRITING AND A WRITTEN DETERMINATION HAS BEEN MADE BY THE ARCHITECT.
4. WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICES TO MAKE CONNECTIONS AND/OR CONNECTION A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.
5. ALL SURFACES DAMAGED DURING THE COURSE OF WORK BY THE CONTRACTOR OR SUBCONTRACTORS SHALL BE REPAIRED AT NO COST TO THE OWNER.
6. AN APPROVED SESMAC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE PROPERLY CONNECTED TO THE EXISTING GAS LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMIT INFORMATION CONTACT THE PLUMBING DIVISION.
7. LANDSCAPE DESIGN REQUIRES 100% DRIP IRRIGATION WITHIN 5 FT. OF BUILDING PERIMETER FOOTING. SPRAY HEADS NOT ALLOWED IN THIS PROJECT.
8. CONTRACTOR TO PROVIDE SECURITY BY MEANS OF A MINIMUM EIGHT FOOT HIGH FENCE MAINTAINED AROUND THE ENTIRE SITE PRIOR TO START OF WORK.
9. PLANTER WALLS AND FENCES IN THE PUBLIC WAY REQUIRE AN ENCROACHMENT PERMIT PRIOR TO INSTALLATION. DRAINAGE SHALL NOT FLOW OVER PUBLIC PROPERTY OR ACROSS ADJACENT PRIVATE PROPERTY. 2013 USC SECTION 1506.5, ROOF DRAINAGE SHALL NOT BE CARRIED OVER SIDEWALKS, CONDUIT ALL DOWNPOINT AND ROOF DRAINS TO THE DRAINAGE SYSTEM. CONCENTRATED DRAINAGE SHALL BE DISCHARGED INTO AN APPROVED LOCATION.
10. ALL WALK SURFACES TO BE SLIP-RESISTANT SURFACES.
11. PROVIDE 3' CLEAR ACCESS AROUND BUILDING.
12. BALCONY PROJECT INTO FRONT YARD IS 30" MAXIMUM.
13. WALKS, SIDEWALKS AND PEDESTRIAN WAYS SHALL BE FREE OF GRATING, WHENEVER POSSIBLE. IF THERE ARE GRATINGS, GRID OPENINGS ARE TO BE NO MORE THAN 1" IN THE DIRECTION OF TRAFFIC FLOW.
14. SEE PLUMBING DRAWINGS FOR UTILITIES.
15. ACCURACY OF DATA FROM SURVEY NOT GUARANTEED BY ARCHITECT.
16. SEE 1" AND 1/4" SCALE DRAWINGS FOR MORE DIMENSIONS, NOTES AND INFORMATION. ALL DRAINAGE FROM ROOF, AND SITE DRAINAGE ARE SHOWN ON PLUMBING DRAWINGS.
17. ALL CONSTRUCTION SHOWN ON SITE IS NEW.
18. PROVIDE (3/4") FOOT MIN. SLOPE TO DRAIN TYP. AT YARDS AND BALCONIES PROVIDE (1/4") FOOT SLOPE AWAY FROM THE BUILDING AT SIDEWALKS TYP.
19. BUILDING ADDRESS SHALL BE PROVIDED AT OR NEAR THE ENTRANCE OF THE BUILDING IN ACCORDANCE WITH CITY AND FIRE DEPARTMENT REQUIREMENTS.
20. VERIFY LOCATION OF SECURITY GATES WITH OWNER, PROVIDE KEY BOX AT AN ACCESSIBLE LOCATION FOR FIRE DEPARTMENT EMERGENCY ACCESS. THE KEY BOX SHALL BE OF AN APPROVED TYPE & SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY FIRE DEPARTMENT.
21. TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 3306, OBTAIN PUBLIC WORKS APPROVAL, (3201.3, 3202.3.4, 3306)
22. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES, (3707)
23. SEE CIVIL DRAWINGS FOR DRAIN LOCATIONS AND SITE DRAINAGE
24. IT IS THE INTENT OF THE ARCHITECTS TO TIE THE FINISH FLOOR ELEVATIONS WITH THE EXISTING SIDEWALK TO MEET APPLICABLE CODE AND A.D.A. REQUIREMENTS. THE GRADES SHOWN WERE INTERPOLATED FROM THE SURVEY PROVIDED TO THE ARCHITECT AND CAN NOT BE VERIFIED FOR ACCURACY. THEREFORE, CONTRACTOR TO NOTIFY BOTH CIVIL ENGINEER AND ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
25. SITE DEVELOPMENT AND GRADING SHALL BE DESIGNED TO PROVIDE ACCESS TO ALL ENTRANCES AND EXISTING GROUND FLOOR ENITS, AND ACCESS TO NORMAL PATHS OF TRAVEL, AND WHERE NECESSARY TO PROVIDE ACCESS, SHALL INCORPORATE PEDESTRIAN RAMPS, CURBS, RAMP, ETC. (2110A.1)
26. CONCRETE STAIR REQUIREMENT 1" MIN. TREADS - 7" MAX. RISER, CONTRACTOR TO VERIFY GRADES AND ADJUST NUMBER OF RISERS REQUIRED. IF NECESSARY, STAIRS SHALL CONFORM WITH CODE REQUIREMENTS. REF. STRUCTURAL DRAWINGS AND SHEET A100.1
27. SEE LANDSCAPE DRAWINGS FOR IRRIGATION CONTROLLER LOCATION AND TYPE.
28. SEE LANDSCAPE DRAWINGS FOR HARDSCAPE, LANDSCAPE AND COMMON SPACE FURNITURE LAYOUT.
29. AUTOMATIC LANDSCAPE IRRIGATORS SHALL BE INSTALLED SUCH THAT IT DOESN'T SPRAY ON THE BUILDING.

EXHIBIT "A"

Page No. 1 of 11

Case No. 2A-2023-4977-0000

AL



JOB NO. 1801

DATE 07-07-2022

SCALE 1/8" = 1'-0"

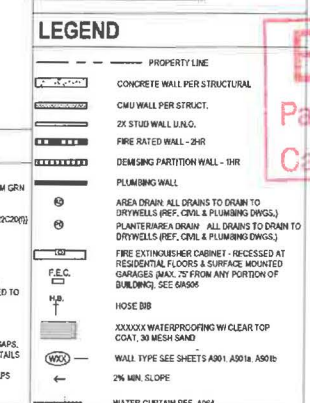
SHEET NO. **A204**

LANDSCAPE:
FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM (LSC) SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
PLANTERS AT FRONT YARD SHALL NOT EXCEED 6" ABOVE ADJACENT FINISH GRADE & PLANTERS AT SIDE YARD SHALL NOT EXCEED 8" ABOVE ADJACENT FINISH GRADE (E.T. 22)

PLUMBING:
ALL DOWNSPOUTS TO DRAIN TO CISTERN

PIPE/ROOFING:
APPLY AIR RESISTANT GUTTERING, FLASH Joints OR APPROVED EQUIVALENTS IN ALL LOCATIONS NOTED OTHERWISE PROVIDED INTENSIVE COATING AT ALL STEEL REQUIRED BE PREPARED. (LARRI AREA OR APPROVED EQLV.)
SEE STRUCTURAL DOWNS FOR RESTRAINED CONSTRUCTION OF STEEL MEMBERS,

INSULATION:
INSULATION SHALL BE CONTINUOUSLY TOUCH CAVITY ON ALL SIDES - NO AIR GAP TYPE PLYWICK PAPER AT GIRD BETWEEN STUDS AND R-CHANNEL REIN. WALL TYPE DETAIL ON SHEET ANU & RUG.
CEILING/ROOF INSU. SHALL CONTINUOUSLY TOUCH CAVITY ON 5 SIDES - NO AIR GAP



LANDSCAPE
FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM 1, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION OR APPROVAL.
• PLANTERS AT FRONT YARD SHALL NOT EXCEED 4' ABOVE ADJACENT FINISH GRADE &
• PLANTERS AT SIDE YARD SHALL NOT EXCEED 8'-0" ABOVE ADJACENT FINISH GRADE (12.2)

PLUMBING
• ALL DOWNSPOUTS TO DRAIN TO CISTERN

ROOFING:
• APPLY 1/8" CEMENTITIOUS PREPREGGING JARUL R4035 OR APPROVED EQUAL) APPLY IN LOCATIONS NOTED. OTHERS PROVIDE INTRINSIC COATING AT ALL STEEL REQUIRE BE PROTECTED FROM CORROSION (SEE JARUL R4035 OR APPROVED EQUAL)
• SEE STRUCTURAL DRAWINGS FOR RESTRAINED CONNECTIONS OF STEEL MEMBERS.

INSULATION:
• MINIMUM INSULATION SHALL BE 1" CONTINUOUSLY TOUCH CANTY ON ALL 4 SIDES - NO AIR GAP. INSULATION TO BE IN CONTACT WITH AIR GAP BETWEEN STUDS AND R-CHANNEL. SEE AIR GAP DETAIL ON SHEET K001 & L002.
• CEILING/ROOF INSULATION SHALL CONTINUOUSLY TOUCH CANTY ON 4 SIDES - NO AIR GAP.

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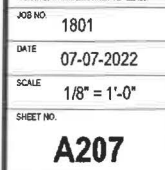
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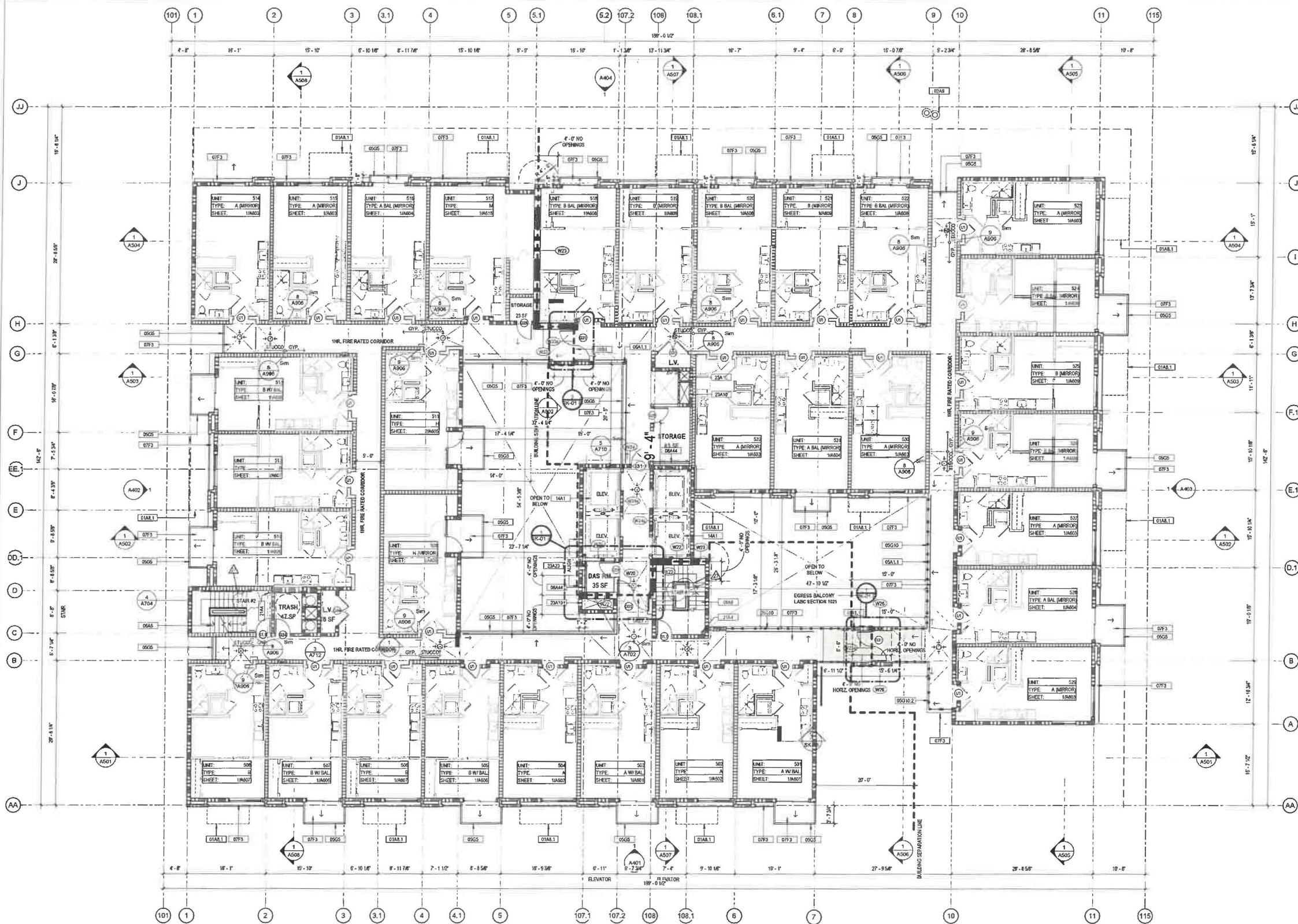
-SEE STRUCTURAL DWGS FOR RESTRAINED CONSTRUCTION OF STEEL MEMBERS.

INSULATION:

-WALL INSULATION SHALL FILL & CONTINUOUSLY TOUCH CAVITY ON ALL 6 SIDES - NO AIR GAP'S.
PROVIDE TYVEK WRAP AT AIR GAP BETWEEN STUD AND RC CHANNEL. REF. WALL TYPE DETAILS
ON SHEET A001 & A002.

-CEILING/ROOF INSULATION SHALL CONTINUOUSLY TOUCH CAVITY ON 5 SIDES - NO AIR GAP'S





CASSIL PLACE

1 FIFTH FLOOR
1/8" = 1'-0"

GENERAL NOTES

REFER TO SHEET A501 FOR GRADES AND SITE PLAN NOTES NOT CONTAINED IN THIS DRAWING.
-LANDSCAPE DESIGNER REQUIRED: 100% DROP IRIGATION WITHIN 5 FT OF BUILDING PERIMETER.
FOOTING, SPRAY HEADS NOT ALLOWED IN THIS PROJECT.
-SEAL EXTERNAL CRACKS, JOINTS ETC. WITH CAULKING AND INSTALL PEST-PROOF SCREENS WHERE REQUIRED.
-POST SIGN STATIONS NO SMOKING WITHIN 25 FEET OF BUILDING ENTRANCE. PLEASE DO NOT THROW BUTTS ON GROUND AT ALL BUILDING ENTRIES.
-SELECTIVE SIGNAGE SHALL BE PROVIDED AT TRANSITIONS TO LESS THAN 8'-2" VERTICAL CLEARANCE THROUGHOUT PARKING GARAGE.
DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21.05, CHART NO. 1, SEE R0403.
-SEE SOFT PLAN FOR HEAD CLEARANCE REQUIREMENT ON B01, A020.
-ALL TRASH BINS SHALL BE COVERED.
-METAL LATH: ATTACH LATH TO SUPPORTS AT 8" O.C. INSTALL LATH USING HOT-DIP GALVANIZED FASTENERS WITH NEOPRENE WASHERS. INSTALL SCREWS TO ENSURE THAT WASHERS HAVE MAXIMUM CONTACT WITH BUILDING PAPER/MECHANICAL WATERPROOFING. SCREWS SHALL PENETRATE THROUGH EXTERIOR PLYWOOD SHEATHING INTO FRAMING.
-IF STAPLES ARE USED TO ATTACH LATH ALL PENETRATIONS SHALL BE CAULKED AND SEALED TYPICAL.

FIRE PROTECTION:
-PROVIDE FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION. 12.21.05
-CONTRACTOR SHALL PROVIDE SPRINKLER AT ALL CONCEALED SPACES LARGER THAN 8" PER INPLAN, OR SOLIDLY FILL WITH INSULATION.
-INSTALL CONCEALED FIRE SPRINKLER THROUGHOUT INT. & EXT.
MATERIALS:
-ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN THE SOLID/CONCRETE WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR METAL PLATES, PIPING PRONE TO CORROSION SHALL BE PROTECTED IN ACCORDANCE WITH CALIFORNIA PLUMBING CODE.
-MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.
-MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.
MAINTENANCE MANUAL:
-AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN CAL. GREEN SECTION 4.4.1.1. SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.

OUTDOOR LIGHTING SYSTEM:
-OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH ALL OF THE FOLLOWING: a) THE MINIMUM REQUIREMENTS IN CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 14.1.1, BACKLIGHT, UPLIGHT AND GLARE (RUG RATINGS AS DEFINED IN IESNA TM-15-11, c) ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN TABLE 1.0.6.
-OUTDOOR LIGHTING SHALL BE DESIGNED AND INSTALLED WITH SHIELDING, SUCH THAT THE LIGHT SOURCE CANNOT BE SEEN FROM ADJACENT RESIDENTIAL PROPERTIES OR THE PUBLIC RIGHT-OF-WAY, NOR FROM ABOVE.
DISSIMILAR METALS:
-PROVIDE NEOPRENE GASKET AT DISSIMILAR METALS. TYPICAL THROUGHOUT.
POOL EQUIPMENT:
-POOL EQUIPMENT SHALL BE MOUNTED ON MECHANICAL PADS & ATTACHED WITH SPRING ISOLATORS, SIMILAR TO CONCRETE/SLAB SPRING ISOLATORS.
-PLUMBING LINES SHALL BE RAISED ABOVE ROOF AND ISOLATED WITH RUBBER SUPPORTS TYPICAL.
PAVING:
-THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLEASANT DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT.

**THE SERVICE PANEL OR SUB PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICES (SPACES) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE ELECTRICAL CODE.
-FOR PARKING STRIPING DETAIL, SEE SHEET A501.
-DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21.05, CHART NO. 5.
ELECTRICAL NOTES:
-THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRIC.
-THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 300 AMPS.
-PROVIDE ADEQUATE LIGHTING TO ENSURE SAFE ACCESS TO BICYCLE PARKING FACILITIES IN ACCORDANCE WITH SECTION 12.21.05.
-THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL ELECTRIC VEHICLES AT THEIR FULL RATED AMPERAGE.
-A SEPARATE ELECTRICAL PLAN CHECK IS REQUIRED TO VERIFY THE RATED METHODS, WIRING SCHEMATICS AND ELECTRICAL CALCULATIONS FOR THE ELECTRICAL CHARGING SYSTEM. THE RATED METHODS SHALL NOT BE LESS THAN THE TRAVIS SIZE 1.**

METAL STUD FRAMING & SUBDIAMETER PARKING GARAGE PL. 2, PL. 1, GROUND FLOOR, SECOND FLOOR, THIRD FLOOR:
-METAL STUD FRAMING, TYPE 4, TYPE 1 CONSTRUCTION
-WOOD FRAMING NOT PERMITTED
-WOOD CONSTRUCTION @ 4th & 5th FLOORS:
-EXTERIOR WALLS TO BE FIRE RATED WOOD (SEE FLOOR PLANS)
-FIRE RATED WOOD: TREATED WOOD OR PLUMBO IMPREGNATED WITH CHEMICALS AND WHICH, WHEN TESTED IN ACCORDANCE WITH U.L.C. STANDARD NO. 40-1 FOR A PERIOD OF 30 MINUTES, SHALL HAVE A FLAME SPREAD OF NOT OVER 25 AND SHOW NO EVIDENCE OF PROGRESSING COMBUSTION MATERIALS WHICH MAY BE EXPOSED TO THE WEATHER SHALL MAINTAIN THIS FIRE-RESISTANT CLASSIFICATION WHEN TESTED IN ACCORDANCE WITH THE RAIN AND WEATHERING TESTS OF U.L.C. STANDARD NO. 327.
-ALL MATERIALS SHALL BEAR IDENTIFICATION SHOWING THE FIRE PERFORMANCE RATING THEREOF AND, IF INTENDED FOR EXTERIOR USE, SHALL BE FURTHER IDENTIFIED TO INDICATE SUITABILITY FOR EXPOSURE TO THE WEATHER. SUCH IDENTIFICATIONS SHALL BE ISSUED BY AN APPROVED L.A. CITY AGENCY HAVING A SERVICE FOR INSPECTION OF MATERIALS AT THE FACTORY.

LANDSCAPE:
-FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
-PLANTERS AT FRONT YARD SHALL NOT EXCEED 42" ABOVE ADJACENT FINISH GRADE & PLANTERS AT SIDE YARD SHALL NOT EXCEED 8'-0" ABOVE ADJACENT FINISH GRADE (12.22.05).
-ALL DOWNSPOUTS TO DRAIN TO CISTERN.
PLUMBING:
-FIRE EXTINGUISHER CABINET - RECESSED AT RESIDENTIAL FLOORS & SURFACE MOUNTED GARAGES MAX. 72" FROM ANY PORTION OF BUILDING, SEE B040.
-SEE STRUCTURAL DWGS FOR RESTRAINED CONSTRUCTION OF STEEL MEMBERS.
INSULATION:
-WALL INSULATION SHALL BE CONTINUOUSLY TOUCH CAVITY ON ALL SIDES - NO AIR GAPS.
-PROVIDE TYPER WRAP AT AIR GAP BETWEEN STUD AND RC CHANNEL, REF. WALL TYPE DETAILS ON SHEET A501 & A502.
-CEILING/ROOF INSULATION SHALL CONTINUOUSLY TOUCH CAVITY ON ALL SIDES - NO AIR GAPS.

NO.	DESCRIPTION
02A9	(S) POWER POLE TO BE REMOVED / RELOCATED COORDINATE WITH LADWP
05A1.1	STEEL COLUMN W/ 1HR INTUMESCENT FIREPROOFING PAINT (REF. STRUCT. DWGS.)
05G5	4" STEEL GUARDRAIL W/ METAL SALES TIE CORRUGATED PERFORATED METAL INELL.
05G10	4" SURFACE MOUNT FRAMELESS GLASS GUARDRAIL - CR. LAURENCE WINDSCREEN TYPE SYSTEM OR APPROVED EQ. SEE B04009
05G10.2	8" SURFACE MOUNTED GLASS POOL ENCLOSURE - CR. LAURENCE WINDSCREEN TYPE SYSTEM SURFACE MOUNT FRAMELESS, ON APPROVED EQ. WOOD FRAMED STAIR
05A6	2X4 FURRED WALL WITH ONE LAYER OF 5/8" TYPE X GYPSUM BOARD
05A4	WEST COAST SEMI-OUTDOOR WATERPROOFING, ALX CUSTOM FINISH AT WOOD APPLICATIONS, MAINTAIN AT CONCRETE APPLICATIONS, 100 SDR 8001
05G3	30 MIN. FIRE RATED DOOR ON HOLD OPEN DEVICE
1A41	OTIS GEN 3500 LBL. ORL. PASSENGER ELEVATOR
21A4	CLASS 1 WET STANDPIPE
23A1B	MECHANICAL SHUNT - SEE MECH. DWGS.
23A2	SHUNT FOR GAS CONDUIT

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STAMP

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1522 - 1538 N. CASSIL PLACE,
LOS ANGELES CA 90028

SHEET TITLE

FIFTH FLOOR

DATE	DESCRIPTION
11.15.2018	50% PDP SUBMITTAL
02.27.2019	100% PLAN CHECK SUBMITTAL
05.13.2019	INITIAL BID SET
10.08.2019	REVISION
11.12.2019	PERMIT SET
11.13.2019	REVISION
01.31.2020	LANDSCAPE COORDINATION
06.10.2020	YMCA ENTRANCE
07.02.2020	ELEVATOR SHAFT DEPTH
07.03.2020	3HR WALL
10.16.2020	PARKING ENTRY
10.21.2020	STOREFRONT REVISIONS
11.06.2020	FIRE PUMP
11.06.2020	SHOWERS
11.26.2020	EYE CHARGERS
01.06.2021	VEHICULAR DATE
02.03.2021	EV WORK AREA + EV CHARGING
02.15.2021	POWER POLE EASEMENT
03.02.2021	CONTROL JOINTS
03.15.2021	MECH. SHAFT REVISION
03.18.2021	RELOCATE PARKING / FITNESS ROOM
04.29.2021	LAUNDRY ROOMS
05.13.2021	CMU WALL RFI 337
08.03.2021	YMCA ADA PARKING
09.24.2021	7TH & 8TH 1 SD UNIT REV. / GROUND LOBBY KITCHEN
12.22.2021	FITNESS RM. DOORS
01.18.2022	POOL LIFT RELOCATION
02.01.2022	COMMERCIAL BATH REVISION
02.03.2022	4TH FLOOR REC. ROOM BATHROOM REVISION
02.11.2022	RELOC. FIRE CHARGERS
03.01.2022	RELOC. CONNECTIVE
03.01.2022	RELOC. FIRE CHARGERS

LEGEND

PROPERTY LINE	DESCRIPTION
---	EXTERIOR WALL - 1HR
---	FIRE RATED WALL - 2HR
---	DEMISING PARTITION WALL - 1 HR STC 50
---	PLUMBING WALL
---	2X STUD WALL - 1/2"
---	FIRE RATED WALL - 1/2"
---	AREA DRINK AL. DRINKING FOUNTAIN
---	DIRELLS (REF. STRUCT. DWGS.)
---	F.E.C.
---	H.A.
---	WALL TYPE SEE SHEETS A501 & A502
---	2X MAX. SLOPE
---	WATER CURTAIN

EXHIBIT "A"
Page No. 6 of 11
Case No. 2023-497

JOB NO. 1801
DATE 07-07-2022
SCALE 1/8" = 1'-0"
SHEET NO. A208



LANDSCAPE: PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CONTRACTOR, FORM 100, MUST BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

PLANTERS: AT END OF YEAR SHALL NOT EXCEED 8" ABOVE ADJACENT FINISH GRADE. 1 PLANTER AT END OF YEAR SHALL NOT EXCEED 8" ABOVE ADJACENT FINISH GRADE (1.2.22)

PLUMBING: ALL DRAINAGE TO DRAIN TO GUTTER

PREPWORKING:

- APPLY 1/4" CEMENTITIOUS PREPWORKING (RUBBER MATS OR APPROVED EQUIV) APPLY IN LOCATIONS NOTED, OTHERWISE PROVIDE INTERMEDIATE COATING OF ALL STEEL REQUIRED TO BE PROTECTED. (LARP 10.04.04 OR APPROVED EQUIV)
- USE STRUCTURAL WELDS FOR RESTRAINED CONSTRUCTION OF STEEL MEMBERS.

INSULATION:

- WALL INSULATION SHALL FILL & CONTINUOUSLY TOUCH CATCH ON ALL SIDES - NO AIR GAP PROVIDE TYPE W/404 AIR PERMEABLE AND R-CHANNAL REEF. NO AIR GAP ON CHANNAL.
- CEILING/DROPPING INSULATION SHALL CONTINUOUSLY TOUCH CATCH ON 5 SIDES - NO AIR GAP

[illegible]

REFER TO SHEET A-10 FOR GRASSES AND SITE PLANT NOTES NOT CONTAINED IN THIS DRAWING.
LANDSCAPE DESIGNER'S SIGNATURE: _____
FOOTING: SPRAY HEADS NOT ALLOWED IN THE PAINTING.
REPAIRS: REPAIR CRACKS, JOINTS ETC. WITH CALUMBER AND BEST PROOF SCREENS
WHERE REQUIRED.
POST SIGN STAKES: NO SHOWING WITHIN 25 FEET OF BUILDING EXTERIOR. PLEASE DO NOT
INSTALL SIGN STAKES AT ALL BUILDING EXTENSIONS.
REFLECTIVE SIGNAGE SHALL BE PROVIDED AT TRANSITIONS TO LESS THAN 4% VERTICAL
CLIMBAGE THROUGHOUT PARKING AREAS.
PAVING: PAVING SHALL BE IN ACCORDANCE WITH THE 2012 CALIFORNIA STANDARD SPECIFICATIONS
FOR ROADWORK (SECTION 202.01.00, 202.02.00, 202.03.00, 202.04.00, 202.05.00, 202.06.00, 202.07.00, 202.08.00, 202.09.00, 202.10.00, 202.11.00, 202.12.00, 202.13.00, 202.14.00, 202.15.00, 202.16.00, 202.17.00, 202.18.00, 202.19.00, 202.20.00, 202.21.00, 202.22.00, 202.23.00, 202.24.00, 202.25.00, 202.26.00, 202.27.00, 202.28.00, 202.29.00, 202.30.00, 202.31.00, 202.32.00, 202.33.00, 202.34.00, 202.35.00, 202.36.00, 202.37.00, 202.38.00, 202.39.00, 202.40.00, 202.41.00, 202.42.00, 202.43.00, 202.44.00, 202.45.00, 202.46.00, 202.47.00, 202.48.00, 202.49.00, 202.50.00, 202.51.00, 202.52.00, 202.53.00, 202.54.00, 202.55.00, 202.56.00, 202.57.00, 202.58.00, 202.59.00, 202.60.00, 202.61.00, 202.62.00, 202.63.00, 202.64.00, 202.65.00, 202.66.00, 202.67.00, 202.68.00, 202.69.00, 202.70.00, 202.71.00, 202.72.00, 202.73.00, 202.74.00, 202.75.00, 202.76.00, 202.77.00, 202.78.00, 202.79.00, 202.80.00, 202.81.00, 202.82.00, 202.83.00, 202.84.00, 202.85.00, 202.86.00, 202.87.00, 202.88.00, 202.89.00, 202.90.00, 202.91.00, 202.92.00, 202.93.00, 202.94.00, 202.95.00, 202.96.00, 202.97.00, 202.98.00, 202.99.00, 203.00.00, 203.01.00, 203.02.00, 203.03.00, 203.04.00, 203.05.00, 203.06.00, 203.07.00, 203.08.00, 203.09.00, 203.10.00, 203.11.00, 203.12.00, 203.13.00, 203.14.00, 203.15.00, 203.16.00, 203.17.00, 203.18.00, 203.19.00, 203.20.00, 203.21.00, 203.22.00, 203.23.00, 203.24.00, 203.25.00, 203.26.00, 203.27.00, 203.28.00, 203.29.00, 203.30.00, 203.31.00, 203.32.00, 203.33.00, 203.34.00, 203.35.00, 203.36.00, 203.37.00, 203.38.00, 203.39.00, 203.40.00, 203.41.00, 203.42.00, 203.43.00, 203.44.00, 203.45.00, 203.46.00, 203.47.00, 203.48.00, 203.49.00, 203.50.00, 203.51.00, 203.52.00, 203.53.00, 203.54.00, 203.55.00, 203.56.00, 203.57.00, 203.58.00, 203.59.00, 203.60.00, 203.61.00, 203.62.00, 203.63.00, 203.64.00, 203.65.00, 203.66.00, 203.67.00, 203.68.00, 203.69.00, 203.70.00, 203.71.00, 203.72.00, 203.73.00, 203.74.00, 203.75.00, 203.76.00, 203.77.00, 203.78.00, 203.79.00, 203.80.00, 203.81.00, 203.82.00, 203.83.00, 203.84.00, 203.85.00, 203.86.00, 203.87.00, 203.88.00, 203.89.00, 203.90.00, 203.91.00, 203.92.00, 203.93.00, 203.94.00, 203.95.00, 203.96.00, 203.97.00, 203.98.00, 203.99.00, 204.00.00, 204.01.00, 204.02.00, 204.03.00, 204.04.00, 204.05.00, 204.06.00, 204.07.00, 204.08.00, 204.09.00, 204.10.00, 204.11.00, 204.12.00, 204.13.00, 204.14.00, 204.15.00, 204.16.00, 204.17.00, 204.18.00, 204.19.00, 204.20.00, 204.21.00, 204.22.00, 204.23.00, 204.24.00, 204.25.00, 204.26.00, 204.27.00, 204.28.00, 204.29.00, 204.30.00, 204.31.00, 204.32.00, 204.33.00, 204.34.00, 204.35.00, 204.36.00, 204.37.00, 204.38.00, 204.39.00, 204.40.00, 204.41.00, 204.42.00, 204.43.00, 204.44.00, 204.45.00, 204.46.00, 204.47.00, 204.48.00, 204.49.00, 204.50.00, 204.51.00, 204.52.00, 204.53.00, 204.54.00, 204.55.00, 204.56.00, 204.57.00, 204.58.00, 204.59.00, 204.60.00, 204.61.00, 204.62.00, 204.63.00, 204.64.00, 204.65.00, 204.66.00, 204.67.00, 204.68.00, 204.69.00, 204.70.00, 204.71.00, 204.72.00, 204.73.00, 204.74.00, 204.75.00, 204.76.00, 204.77.00, 204.78.00, 204.79.00, 204.80.00, 204.81.00, 204.82.00, 204.83.00, 204.84.00, 204.85.00, 204.86.00, 204.87.00, 204.88.00, 204.89.00, 204.90.00, 204.91.00, 204.92.00, 204.93.00, 204.94.00, 204.95.00, 204.96.00, 204.97.00, 204.98.00, 204.99.00, 205.00.00, 205.01.00, 205.02.00, 205.03.00, 205.04.00, 205.05.00, 205.06.00, 205.07.00, 205.08.00, 205.09.00, 205.10.00, 205.11.00, 205.12.00, 205.13.00, 205.14.00, 205.15.00, 205.16.00, 205.17.00, 205.18.00, 205.19.00, 205.20.00, 205.21.00, 205.22.00, 205.23.00, 205.24.00, 205.25.00, 205.26.00, 205.27.00, 205.28.00, 205.29.00, 205.30.00, 205.31.00, 205.32.00, 205.33.00, 205.34.00, 205.35.00, 205.36.00, 205.37.00, 205.38.00, 205.39.00, 205.40.00, 205.41.00, 205.42.00, 205.43.00, 205.44.00, 205.45.00, 205.46.00, 205.47.00, 205.48.00, 205.49.00, 205.50.00, 205.51.00, 205.52.00, 205.53.00, 205.54.00,

FIRE PROTECTION:
PROVIDE FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION. 122417(10)
CONSTRUCTION SHALL PROVIDE PROTECTION AT ALL CONCEALED SPACES LARGER THAN 6" PER MP413.05 SHALL COMPLY WITH INSULATION.
INSTALL CONCEALED FIRE SPRINKLERS THROUGHOUT INT. & EXT.

MATERIALS:
- ANGLE-CLAMP, ANGLE PIPES, ELECTRIC CABLE, CONDUCITS OR OTHER OPENINGS IN THE SUBFLOORMENT PLACING AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR OTHER SUBSTANTIAL MATERIALS.
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED IN ACCORDANCE WITH CALIFORNIA FIREBURNING CODE.
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.

MAINTENANCE MANUAL:
- AN OPERATION AND MAINTENANCE MANUAL INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 01050 SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME

OUTDOOR LIGHTING SYSTEMS:
OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH ALL APPLICABLE ELECTRICAL REQUIREMENTS IN CALIFORNIA ENERGY CODE FOR LIGHT ZONING 1.4-B, BACKLIGHT, UPLIGHT AND GLARE (BGC) SHOWN IN TABLE 110-1A, ALLOWABLE BACKLIGHT NOT EXCEEDING THOSE RATINGS AS DEFINED IN TABLE 6.0.

OUTDOOR LIGHTING SHALL BE DESIGNED AND INSTALLED WITH SHIELDING SUCH THAT THE LIGHT SOURCE CANNOT BE SEEN FROM ADJACENT RESIDENTIAL PROPERTIES OR THE PUBLIC RIGHT-OF-WAY, NOR FROM ABOVE.

DESIGNALTERNATIVE:
-POST OR IN-GROUND GASKET AT DESIGNALTERNATIVE, TYPICAL THROUGHOUT.

POOL EQUIPMENT:
POOL EQUIPMENT SHALL BE MOUNTED ON MECHANICAL PADS & ATTACHED WITH SPRING ISOLATORS. SIMILAR TO CONDENSING UNIT SPRING ISOLATORS.
EQUIPMENT SHALL BE RAISED ABOVE ROOF AND ISOLATED WITH RUBBER SUPPORT TYPICAL.

PANCREAS:
-THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY LOAD

THE SERVICE PANEL OR SUB PANEL OR DIRECTORY SHALL IDENTIFY THE OCCUPANT'S PROTECTIVE DEVICE(S) RESERVED FOR FUTURE EYE CHARGING PURPOSES AND EYE CAPABLE IN ACCORDANCE WITH THE ELECTRICAL CODE.

FOR FUTURE SERVING STALLS, THE SERVICE PANEL SHALL BE LOCATED AT THE DOUBLE STANDING OF STALLS SHALL BE PER ZONING CODE SECTION 121C(5) CHART NO.5

ELECTRICAL NOTES:

THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICITY SERVICE. THE MAIN ELECTRICAL SERVICE PANEL SHALL BE POSITIONED AT THE OPPOSITE END OF THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS FOR FUTURE SOLAR ELECTRICITY.

THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A MINIMUM BUSBAR RATING OF 200 AMP.

PROVIDE ADEQUATE LIGHTING TO ENSURE SAFE ACCESS TO BICYCLE PARKING FACILITIES IN ACCORDANCE WITH SECTION 121C(5).

THE ELECTRICAL SERVICE SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY SERVE ALL ELECTRIC VEHICLES AT THEIR FULL RATED AMPERAGE.

A SEPARATE CABLE TRAY SHALL BE USED TO CARRY THE RACEWAY METHOD(S) OF THE ELECTRICAL CABLES. ELECTRICAL CALCULATIONS FOR THE ELECTRICAL CHARGING SYSTEM THE RACEWAY SHALL NOT BE LESS THAN THE TRADE SIZE 1.

BEAT STEEL FRAMING ON SUBSTANTIAL PIERCEMENT GARAGE PG. 74 PL. 1, GROUND FLOOR,
SECOND FLOOR, THIRD FLOOR.
BEAT STEEL FRAMING, TYP. & TYPE 1 CONSTRUCTION
WOOD FRAMING NOT PERMITTED

WOOD CONSTRUCTION & 6th FLOOR:
EXTERIOR WALLS TO BE FIRE TREATED WOOD USE FLAME PLAN
FIRE-RETARDANT TREATMENT WOOD IS TO BE 100% WOOD IMPREGATED WITH CHEMICALS
AND WHICH, WHEN TESTED IN ACCORDANCE WITH U.S.C. STANDARD NO. 421-1 FOR A PERIOD OF 30
MONTHS, SHALL HAVE A RAME SPREAD OF NOT OVER 28 AND SHOW NO EVIDENCE OF
CRACKING OR DISINTEGRATION. MATERIALS WHICHEVER BE EXPOSED TO THE WEATHER SHALL
MAINTAIN THIS FIRE-RETARDANT CLASSIFICATION WHEN TESTED IN ACCORDANCE WITH THE RAME
AND WEATHERING TESTS OF U.S.C. STANDARD NO. 427.

INTERIOR WEATHERING TESTS: CONSTRUCTION SHOWING THE FIRE PERFORMANCE RATING
THEREOF AND, IF INTENDED FOR EXTERIOR USE, SHALL BE FURTHER IDENTIFIED TO INDICATE
SATISFACTORY FOR EXPOSURE TO THE WEATHER. SUCH IDENTIFICATIONS SHALL BE ISSUED BY AN
APPROVED L.A. CITY AGENCY HAVING A SERVICE FOR INSPECTION OF MATERIALS AT THE
FACTORY.














LANDSCAPE:
FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION FORM GR-1 FOR PLANTING SHALL BE SUBMITTED TO THE CITY OF CHICAGO FOR REVIEW AND APPROVAL.
PLANTERS AT FRONT YARD SHALL NOT EXCEED 4' ABOVE ADJACENT FINISH GRADE & PLANTERS AT SIDE YARD SHALL NOT EXCEED 6' ABOVE ADJACENT FINISH GRADE (15, 22, 2020) (15, 22, 2020)

PLUMBING:
ALL COMPOST TO DRAIN TO CISTERN

PRE-PREFORMED:
IF ANY PRE-PREFORMED PREFORMING (LARR #2470) OR APPROVED EQUIVALENT IS USED IN LOCATIONS NOTED, OTHERWISE, PROVIDE INTENSIFIED COATING AT ALL STEEL REQUIRED TO BE PREFORMED. LARR #2470 OR APPROVED EQUIVALENT.
SEE STRUCTURAL DRAFT FOR REINFORCED CONSTRUCTION OF STEEL MEMBERS.

INSULATION:
WALL INSULATION SHALL BE R-15 & CONTINUOUSLY TOUCH CAVITY ON ALL SIDES - NO AIR GAPS. PROVIDE TYPICAL WRAP AT WALL BETWEEN STUDY AND RC CHANNEL REEF. WALL TYPE DETAILS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 7

LEGEND

	PROPERTY LINE
	EXTERIOR WALL - 1 HR
	FIRE RATED WALL - 2HR
	DEMISING PARTITION WALL - 1 HR STC 50
	PLUMBING WALL
	2X STUD WALL U.G.O.
	FIRE RATED WALL - 3HR
	AREA DRAIN ALL DRAINS TO DRAIN TO DRAINS (S.E.F. & PLUMBING DWGS.)
	FIRE EXTINGUISHER CABINET - RECESSED AT RESIDENTIAL FLOORS SURFACE MOUNTED GARAGES (MAX. 2' FROM ANY PORTION OF BUILDING). SEE MANOM
	HOSE RIB
	WALL TYPE SEE SHEETS A001 A010 A, A018
	2% MAX. SLOPE
	= WATER CURTAIN



DE ARCHITECTS AIA
1750 CHIN DRIVE, SUITE 100
JANESVILLE, WI 53405
760.453.7000
WWW.DEARCHITECTS.COM

STAMP

NOT FOR CONSTRUCTION UNTIL
SIGNED BY THE ARCHITECT
WORKING SET - NOT FOR
CONSTRUCTION

INSPIRE | Hollywood

1522 - 1538 N. CASSIL PLACE,
LOS ANGELES CA 90028

SHEET TITLE
ENLARGED 8TH FLOOR
LARGE DECK / REC.
ROOM

11.16.2018	50% PPP SUBMITTAL
02.27.2019	100% PLAN CHECK SUBMITTAL
05.15.2019	INITIAL BD #2
06.06.2019	REVISION
11.12.2019	PERMIT SET
11.13.2019	REVISION
01.21.2020	PLAN CHECK COORDINATION
06.10.2020	MECA ENTRANCE
07.02.2020	ELEVATOR SHAFT DEPTH
07.06.2020	SHR WALL
10.16.2020	PARKING ENTRY
10.21.2020	STOREFRONT REVISIONS
11.05.2020	FIRE PUMP
11.06.2020	SHOWERS
11.08.2020	EY CHARGERS
01.05.2021	VEHICULAR GATE
02.02.2021	VEHICULAR GATE
02.15.2021	POWER POLE EASEMENT
03.02.2021	CONTROL JOINTS
03.16.2021	MECH. SHAFT REVISION
03.18.2021	RELOCATE PARKING / FITNESS ROOM
04.23.2021	RELOCATE PARKING / FITNESS ROOM
05.13.2021	RELOCATE PARKING / FITNESS ROOM
08.02.2021	RELOCATE PARKING / FITNESS ROOM
08.24.2021	RELOCATE PARKING / FITNESS ROOM

EX-111
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Case No. 2023-497

JOB NO. 1801
DATE 11-02-2021
SCALE As indicated
SHEET NO. A621

KEYNOTES

NO.	DESCRIPTION
01A15.2	LINE OF SHADE ABOVE
01A28	LINE OF ROOF DRAIN BELOW, TYP.
05A1.1	STEEL COLUMN WITH INTUMESCENT FIREPROOFING PAINT (REF. STRUCT. DWGS.)
2505	4" STEEL DIAGONAL W/ METAL SALES TIE
06010	4" SURFACE MOUNT FRAMELESS GLASS GROUND-GLASS LAURENCE W/ GREEN TINT SYSTEM OR APPROVED EQ. 100 ESR-2008
06015	3" STEEL TUBE W/ ALUMINUM
06A5	WOOD FRAMED UTILITY
073	WESTCOAT CEMENTITIOUS WATERPROOFING ALX CUSTOM FINISH AT WOOD APPLICATIONS, MAGOAT AT CONCRETE APPLICATIONS, 100 ESR-2001
07.10	PEDESTAL POWER SYSTEM BY TILE TIED PAVERS OR APPROVED EQ. - CLASS A SINGLE PLY ROOFING SYSTEM BELOW (REF. LANDSCAPE DWGS.)
07.13	ROOF ANCHOR (REF. ROOF ACCESS DWGS.)
21A11	FIRE EXTINGUISHER CABINET
3275	REBARBED PLANTERS, TYP. REF. LANDSCAPE DWGS.
3277	FIBERGLASS PLANTER, REF. LANDSCAPE DWGS.
3277.1	SQUARE PLANTERS, TYP. REF. LANDSCAPE DWGS.
3277.3	30" CUSTOM FIBERGLASS DECORATIVE PLANTER, REF. LANDSCAPE DWGS.
3277.4	CUSTOM FIBERGLASS PLANTER W/ SLIDE WIRE FABRIC SHADE, REF. LANDSCAPE DWGS.
3279	FIRE PIT, REF. LANDSCAPE DWGS.
32714	OUTDOOR BUILD-IN BBQ, 34" MAX. HEIGHT, SEE LANDSCAPE DWGS.
32714.1	CUSTOM BBQ COUNTER/PLANTER, 34" MAX. HEIGHT, SEE LANDSCAPE DWGS.
32714.2	CUSTOM BBQ COUNTER W/ SEAT, 34" MAX. HEIGHT, SEE LANDSCAPE DWGS.
32717	LIVE ROOF PLANTING SYSTEM, SEE LANDSCAPE DWGS.
32723	PAVED CUSTOM FIBERGLASS WATER FEATURE, SEE LANDSCAPE DWGS.
32725	CUSTOM FIBERGLASS TRELLIS, SEE LANDSCAPE DWGS.
32726	UMBRELLA, SEE LANDSCAPE DWGS.
32727	CUSTOM FIBERGLASS TABLE, SEE LANDSCAPE DWGS.

8TH FLOOR OPEN AREA OCCUPANT LOAD:

DECK AREA 8A	= 20
DECK AREA 8B	= 20
DECK AREA 8C	= 18
DECK AREA 8D	= 30
DECK AREA 8E	= 41
TOTAL OPEN AREA OCCUPANT LOAD	= 138

INSPIRE HOLLYWOOD
1530 CASSIL PLACE
LOS ANGELES, CA 90028

LOTS: 4, 5, 6, 7
BLOCK: NONE
TRACT: RAWLINGS-
LOUNSEBURY

APN: 5547-018-035

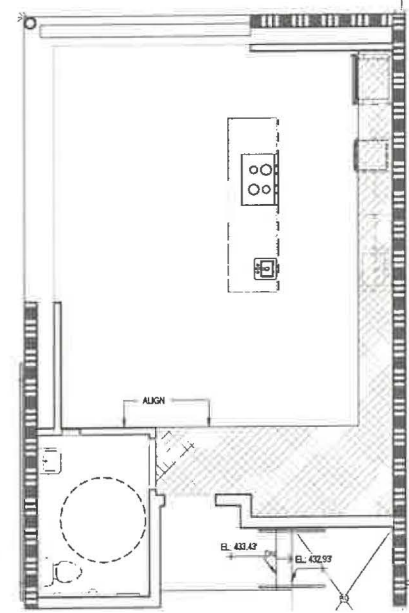
LOT AREA: 28,686.9 SF

ON-SITE BUILDING AREA: 107,012 SF

ON-SITE PARKING: 230 SPACES

SEATING
8TH FLR: 11 INTERIOR
76 EXTERIOR

4TH FLR: 8 INTERIOR
4 EXTERIOR



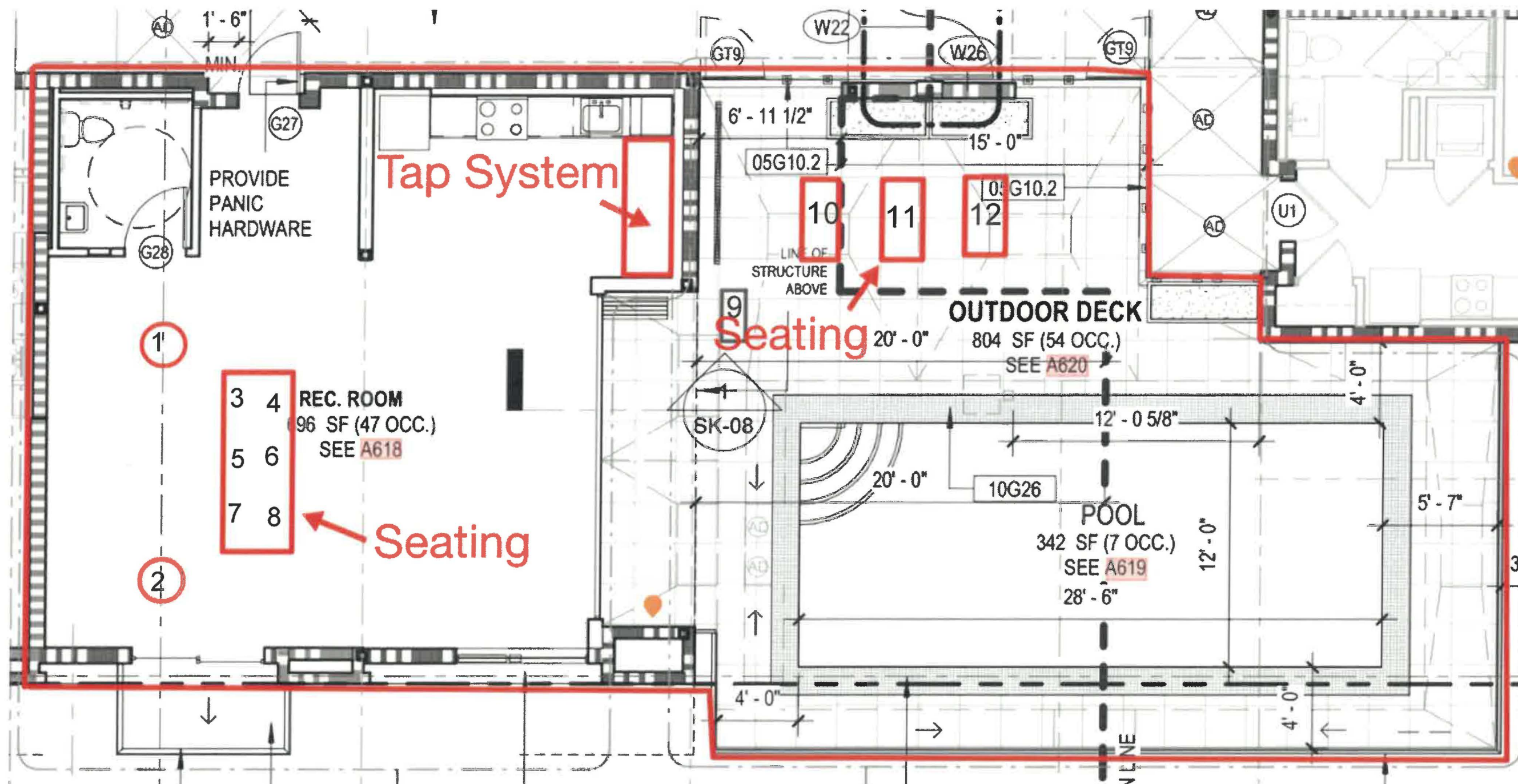
1 8TH FL. DECK - A
1/4" = 1'-0"

1A 8TH FL. DECK - A - RCP
1/4" = 1'-0"

RCP LEGEND

TYPE II CONSTRUCTION

GYP. BD. CEILING AT 10'-0" AFF. U.N.O.



INSPIRE HOLLYWOOD
1530 CASSIL PLACE
LOS ANGELES, CA 90028

LOTS: 4,5,6,7
BLOCK: NONE
TRACT: RAWLINGS-
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EXHIBIT "A"
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