

30-UNIT MULTIFAMILY BUILDING
1115, 1117 BERENDO ST.
LOS ANGELES, CA 90029

1-PROJECT DATA

PROJECT DATA			
A.		ZONING SUMMARY:	
1		PROJECT ADDRESS:	1115, 1117 N BERENDO ST. LOS ANGELES, CA 90029
2		OWNER:	ABY HOLDINGS LLC YOAV ATZMON 369 S DOHENY DR. #136 BEVERLY HILLS, CA 90211
3		APN#:	5540-054-012
4		TRACT:	TR 2377
5		MAP REFERENCE:	M B 26-7172
6		BLOCK:	NONE
7		LOT:	88
8		GENERAL LAND USE:	HIGHWAY ORIENTED COMMERCIAL
9		EXISTING UNITS:	2
10		COMMUNITY PLAN AREA:	HOLLYWOOD
11		SPECIFIC PLAN:	VERMONT / WESTERN STATION NEIGHBORHOOD AREA PLAN; SUBAREA C: COMMUNITY CENTER
12		T.O.C DESIGNATION:	TIER 4
13		DEDICATIONS:	NONE
14		LOT AREA PER ZIMAS:	6,750.0 SF
15		ZONE:	R4-ID
16		MAX F.A.R.:	3.1
17		MAXIMUM HEIGHT:	UNLIMITED
18		PROPOSED HEIGHT:	65' - 9"
19		REQUIRED YARDS:	PER VERMONT / WESTERN SNAP SUBAREA: C 0' - 0" FRONT YARD 0' - 0" REAR YARD 0' - 0" SIDE YARDS
20		PROVIDED YARDS:	NO FRONT YARD PROVIDED 15' - 0" REAR YARD 5' - 0" SIDE YARDS
21		BUILDABLE AREA	LOT DEPTH X LOT WIDTH = 135' X 50' = 6,750 SF
22		MAX ZONING CODE SF	BUILDABLE AREA X FAR = 6,750 SF X 3 = 25,250 SF
22.1		PROPOSED ZONING SF	15,478.4 SF
22.3		PROPOSED F.A.R.:	2,351.1
23		BASE DENSITY CALCULATION:	400 DU / SF
23.1		6,750.0 SF / 400 DU/SF =	17 DWELLING UNITS (ROUNDED UP)
B.		PROJECT INFORMATION	
24		T.O.C. TIER-4 BASE INCENTIVES:	
24.1		DENSITY:	17 UNITS
24.1.1		BASE DENSITY	17 UNITS
24.1.2		TIER-4 DENSITY BONUS OF 80%	17 X 1.8 = 31 UNITS MAX
24.1.3		UNITS PROVIDED	30
24.1.4		AFFORDABLE UNITS AT 11% ELI	30 X 0.11 = 4 (ROUNDED UP)
24.1.5		AFFORDABLE REPLACEMENT UNITS	(2) 2-BDR AT ELI
24.1.6		ON-SITE RESTRICTED AFFORDABLE UNITS	(1) STUDIO AT ELI, (1) 1-BDR
24.2		PARKING	
24.2.1			NO PARKING REQUIRED
24.2.2			NO PARKING PROVIDED
25		T.O.C. TIER-4 ADDITIONAL INCENTIVES:	
25.1		TRANSITIONAL HEIGHT	
25.1.1		PER TOC TIER-4, A LOT ABUTTING A SNAP SUBAREA A SHALL BE STEPPED BACK AT A 45-DEGREE ANGLE WITHIN THE FIRST 25 FEET FROM THE PROPERTY LINE, AS MEASURED FROM A HORIZONTAL PLANE ORIGINATING 25 FEET ABOVE ADJACENT GRADE.	STEPBACK PLANE FOR THE NORTH SIDE YARD NOTED ON DRAWINGS
25.2		FRONT YARD STEPPBACK HEIGHT INCREASE PER SNAP SUBAREA C	
25.2.1		MAX BUILDING HEIGHT WITHIN 15' OF FRONT PROPERTY PER SNAP SUBAREA C	30' -0"
25.2.2		PROPOSED HEIGHT INCREASE WITHIN 15' OF FRONT PROPERTY	30' - 0" + 1' - 6" = 31' - 6"
25.2.3		PROPOSED MAXIMUM HEIGHT WITHIN 15' OF FRONT PROPERTY	35' - 0" (16% INCREASE)
25.3		25% REDUCTION IN MINIMUM USABLE COMMON OPEN SPACE DIMENSION PER SNAP FROM 20'-0" TO 15'-0"	
26		PROJECT DESCRIPTION:	CONSTRUCTION OF A NEW 5-STORY, MULTI-FAMILY BUILDING CONSISTING OF 31 UNITS.
27		BUILDING OCCUPANCY:	R2 (MULTI-FAMILY)
28		CONSTRUCTION TYPE:	5 - STORIES TYPE III-A RESIDENTIAL
29		PROPOSED UNITS:	
29.1			(9) STUDIOS UNITS
29.2			(18) 1-BEDROOM UNITS
29.3			(3) 2-BEDROOM UNITS
29.4		TOTAL PROVIDED UNITS:	30-UNITS TOTAL
C.		ADDITIONAL INFO	
30		APPLICABLE CODES:	2019 CBC W/ 2020 CITY OF LA AMENDMENTS
31		FIRE SPRINKLER:	FULLY SPRINKLERED PER NFPA-13 THIS BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA-13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
32		FIRE ALARM:	MANUAL FIRE ALARM SYSTEM
33		APPROVED LOD CASE #:	-

THIS IS NOT A PUBLIC HOUSING FACILITIES OWNED AND/OR OPERATED BY, FOR, OR ON BEHALF OF A PUBLIC ENTITY, AND NO TAX CREDIT IS RECEIVED FROM STATE OR FEDERAL, NOT A TOAC FACILITY, AND NOT A SOCIAL SERVICE CENTER. 100% PRIVATELY FUNDED.

2-UNIT MIX SUMMARY

UNIT MIX SUMMARY			
UNIT #	# OF BEDROOMS	# OF HABITABLE ROOMS	AFFORDABLE
101	2	3	EXTREMELY LOW INCOME REPLACEMENT
102	1	2	
103	1	2	
104	1	2	
105	1	2	
107	STUDIO	1	
201	1	2	
202	STUDIO	1	
203	STUDIO	1	
204	1	2	
205	2	3	EXTREMELY LOW INCOME REPLACEMENT
206	1	2	
207	STUDIO	1	
208	STUDIO	1	
209	1	2	
301	1	2	
302	STUDIO	1	
303	STUDIO	1	EXTREMELY LOW INCOME
304	1	2	
305	2	3	
306	1	2	
307	STUDIO	1	
308	STUDIO	1	
309	1		
401	1	2	
402	1	2	EXTREMELY LOW INCOME
403	1	2	
501	1	2	
502	1	2	
503	1	2	
TOTAL	33	82	4
UNIT BREAKDOWN			
STUDIOS		9	
1 BEDROOM UNITS		18	
2 BEDROOM UNITS		3	
TOTAL UNITS		30	

3-OPEN SPACE

COMMON OPEN SPACE CALCULATIONS:			
1-REQUIRED COMMON OPEN SPACE AREA			
TYPE	# UNITS	SF	TOTAL SF
STUDIOS	9	x 100 SF	900.0
1-BDRM UNITS	18	x 100 SF	1,800.0
2-BDRM UNITS	3	x 125 SF	375.0
TOTAL REQUIRED	30		3,075.0
75% MAX OF TOTAL MAX ALLOWED ABOVE GRADE (3075 x 0.75)			
			2,306.3
2-PRIVATE OPEN SPACE - REDUCTIONS			
BALCONIES/PATIOS @ UNIT #	ACTUAL SQ. FT.		SF REDUCTION
105	65.2		65.2
201	68.9		68.9
206	65.2		65.2
301	68.9		68.9
306	65.2		65.2
401	771.2		771.2
402	284.2		284.2
403	320.7		320.7
501	65.2		65.2
503	65.2		65.2
TOTAL REDUCTIONS			1,839.9
ADJUSTED COMMON OPEN SPACE REQ.	(3075 - 1839.9)		1,235.1
3- COMMON OPEN SPACE - PROVIDED			
TYPE			TOTAL SF
REAR YARD	755.7		755.7
REC. ROOM	600.0		600.0
TOTAL			1,355.7
ADJUSTED COMMON OPEN SPACE REQ.	(3075 - 1839.9)		1,235.1
4- ALLOWABLE OPEN SPACE ABOVE GRADE			
TOTAL SF ABOVE GRADE PROVIDED			1,774.7
% ABOVE GRADE PROVIDED (1774.7 / 3075)			60% (LESS THAN 75% ALLOWABLE ABOVE GRADE)
COMMON OPEN SPACE PROVIDED			1,355.7

4-FLOOR AREA-ZONING CODE

FLOOR AREA- ZONING CODE							
UNIT #	1ST FLR (SF)	2ND FLR (SF)	3RD FLR (SF)	4TH FLR (SF)	5TH FLR (SF)	COVERED BALCONY	TOTAL
101	567.2						567.2
102	384.6						384.6
103	384.6						384.6
104	395.4						395.4
105	425.8					65.2	491.0
107	302.0						302.0
201		569.4				68.9	638.3
202		291.1					291.1
203		291.1					291.1
204		384.6					384.6
205		561.9					561.9
206		417.9				65.2	483.1
207		312.4					312.4
208		312.4					312.4
209		482.9					482.9
301			569.4			68.9	638.3
302			291.1				291.1
303			291.1				291.1
304			384.6				384.6
305			561.9				561.9
306			417.9			65.2	483.1
307			312.4				312.4
308			312.4				312.4
309			482.9				482.9
401				478.2			478.2
402				474.3			474.3
403				549.5		65.2	614.7
501					413.0	65.2	478.2
502					474.3		474.3
503					549.5	65.2	614.7
SUBTOTAL	2,459.6	3,623.7	3,623.7	1,502.0	1,436.8	529.0	13,174.8
LOBBY	615.0						615
REC. ROOMS	600.0						600
TRASH / RECYCLE	140.0						140
HALLWAY		474.3	474.3				948.6
TOTAL	3,814.6	4,098.0	4,098.0	1,502.0	1,436.8	529.0	15,478.4

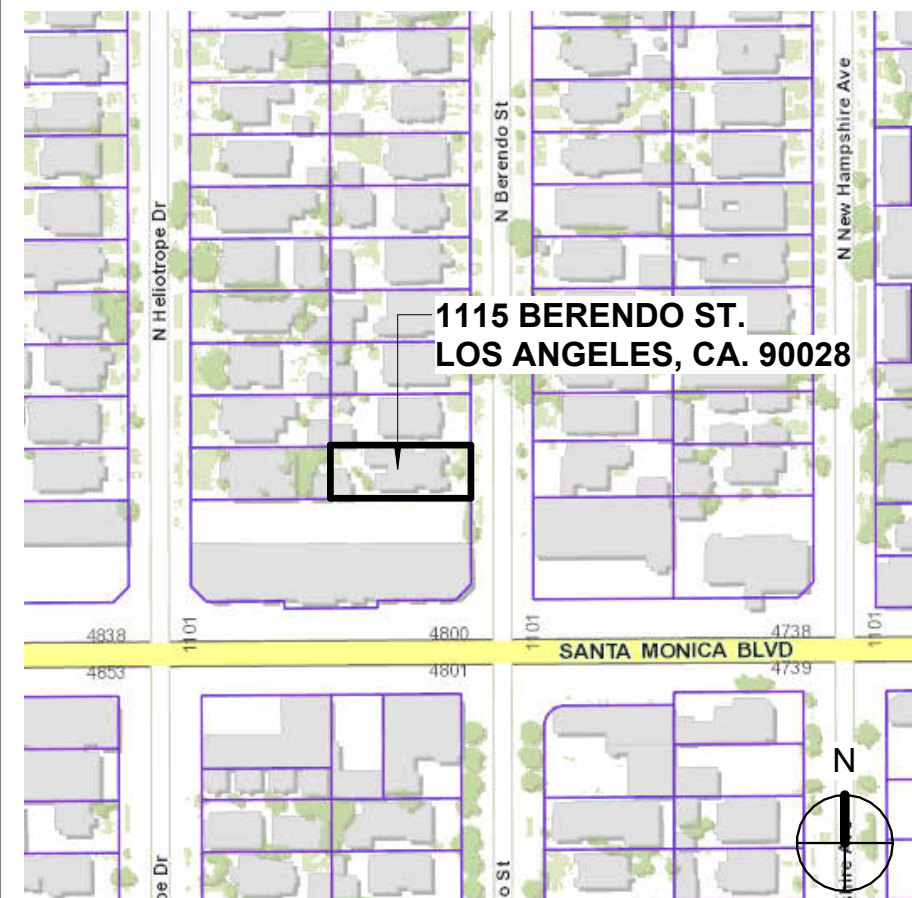
5-FLOOR AREA-BUILDING CODE

FLOOR AREA- BUILDING CODE							
UNIT #	1ST FLR (SF)	2ND FLR (SF)	3RD FLR (SF)	4TH FLR (SF)	5TH FLR (SF)	ROOF DECK (SF)	COVERED BALCONY
101	568.2						568.2
102	384.6						384.6
103	384.6						384.6
104	395.4						395.4
105	425.5						78.7
106	297.4						297.4
107	297.7						297.7
201		569.1				68.9	638.0
202		291.1					291.1
203		291.1					291.1
204		384.6					384.6
205		561.9					561.9
206		425.5				78.7	504.2
207		301.8					301.8
208		301.8					301.8
209		482.9					482.9
301			569.1			68.9	638.0
302			291.1				291.1
303			291.1				291.1
304			384.6				384.6
305			561.9				561.9
306			425.5			78.7	504.2
307			301.8				301.8
308			301.8				301.8
309			482.9				482.9
401				478.2			478.2
402				474.3			474.3
403				536.1			614.8
501					413.0		65.2
502					474.3		474.3
503					536.1		78.7
SUBTOTAL	2,753.4	3,609.8	3,609.8	1,488.6	1,423.4	0.0	596.5
LOBBY	678.9						678.9
STAIR #1	131.8	131.8	131.8	131.8	131.8		659
STAIR #2	127.1	127.1	127.1	127.1	127.1	130.0	765.5
REC. ROOMS	603.7						603.7
TRASH / RECYCLE	126.8	9.3	9.3	9.3	9.3		173.3
HALLWAY		474.6	474.6				949.2
COVERED WALK				413.9			413.9
ELEV. MACH. ROOM						49.6	49.6
TOTAL	4,421.7	4,352.6	4,352.6	2,170.7	1,691.6	188.9	596.5

6-BICYCLE PARKING CALC.

BICYCLE PARKING CALCULATION PER SNAP		
1-LONG TERM BICYCLE PARKING		
TYPE	# UNITS	TOTAL
LONG-TERM SPACES	0.5 BICYCLE PARKING PER UNIT	
REQUIRED	30 UNITS / 2	15
PROVIDED		18
2-SHORT TERM BICYCLE PARKING		
TYPE	# UNITS	TOTAL
SHORT-TERM SPACES	1-25	
REQUIRED	25 UNITS / 10	2.5
SHORT-TERM SPACES	26-100	
REQUIRED	5 UNITS / 15	0.4
TOTAL REQUIRED		3.0
PROVIDED		3 (ROUNDED UP)

7-VICINITY MAP



8-DRAFTING SYMBOLS

	KEY NOTE
DRAWING NUMBER	1
SHEET NUMBER	A1-A1.1
DRAWING NUMBER	X
SHEET NUMBER	XX.X
DRAWING NUMBER	X XX
SHEET NUMBER	XX
DRAWING NUMBER	X XX
SHEET NUMBER	XX
CEILING FINISH	XX-XX
HEIGHT AFF	XXX X - X"
LEVEL	LEVEL +XX'-XX"
	XX
	XX
	XX

9-CH. 5 COMPLIANCE

BICYCLE PARKING CALCULATION PER SNAP		
1-LONG TERM BICYCLE PARKING		
TYPE	# UNITS	TOTAL
LONG-TERM SPACES	0.5 BICYCLE PARKING PER UNIT	
REQUIRED	30 UNITS / 2	15
PROVIDED		18
2-SHORT TERM BICYCLE PARKING		
TYPE	# UNITS	TOTAL
SHORT-TERM SPACES	1-25	
REQUIRED	25 UNITS / 10	2.5
SHORT-TERM SPACES	26-100	
REQUIRED	5 UNITS / 15	0.4
TOTAL REQUIRED		3.0
PROVIDED		3 (ROUNDED UP)

10-SCHOOL FEES

11-ABBREVIATIONS

(E), EX, EXIST	EXISTING
(N)	NEW
AF	ABOVE FINISH FLOOR
ALUM	ALUMINIUM
B	BOTTOM
BDR	BEDROOM
BLW	BELOW
BO	BOTTOM OF
C/L	CENTERLINE
CBC	CALIFORNIA BUILDING CODE
CJ	CEILING JOIST
CL	CLOSET
CLG	CEILING
CLR	CLEAR
D, DIA	DIAMETER
DBL	DOUBLE
DR	DOOR
EQ	EQUAL
FF	FINISH FLOOR
FJ	FLOOR JOIST
FTG	FOOTING
GA	GAUGE
GC	GENERAL CONTRACTOR
GL	GLASS
GWB	GYPSON WALL BOARD
HR	HOUR
MSTR	MASTER
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPP	OPPOSITE
PT	PRESSURE TREATED
PTD	PAINTED
R	RISER

LEGEND

- (180) EXISTING CONTOUR
EXISTING BUILDING
RETAINING WALL
FENCE(CMU) WALL
6" W CON'C CURB
EXISTING FENCE
PROPERTY LINE
(S) SEWER LINE
GAS GAS GAS LINE
WATER LINE
TELEPHONE LINE

- BW BACK OF WALK
EP EDGE OF PAVEMENT
EW EDGE OF WALK
CP CONTROL POINT
FF FINISHED FLOOR
FL FLOW LINE
PAV PAVEMENT
PCC PORTLAND CEMENT CONCRETE
PP POWER POLE
LP LIGHTING POLE
WM WATER METER
SMH SEWER MANHOLE
TC TOP OF CURB
TOS TOP OF STEP
LWN LAWN
DRT DIRT
EG EDGE OF GUTTER
TW TOP OF WALL
DMH DRAINAGE MANHOLE
AC ASPHALT CONCRETE PAVEMENT
PAV PAVEMENT
CL CENTERLINE
WF WOOD FENCE
PB PULL BOX
MW MONITORING WELL
TS TRAFFIC SIGN
BD BOLLARD
SD STORM DRAIN

LEGAL DESCRIPTION

LOT 88 OF TRACK 2577 IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN THE BOOK 26, PAGES 71 ~ 72 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDED OF SAID COUNTY, APN. 5540-024-012

LOT SIZE

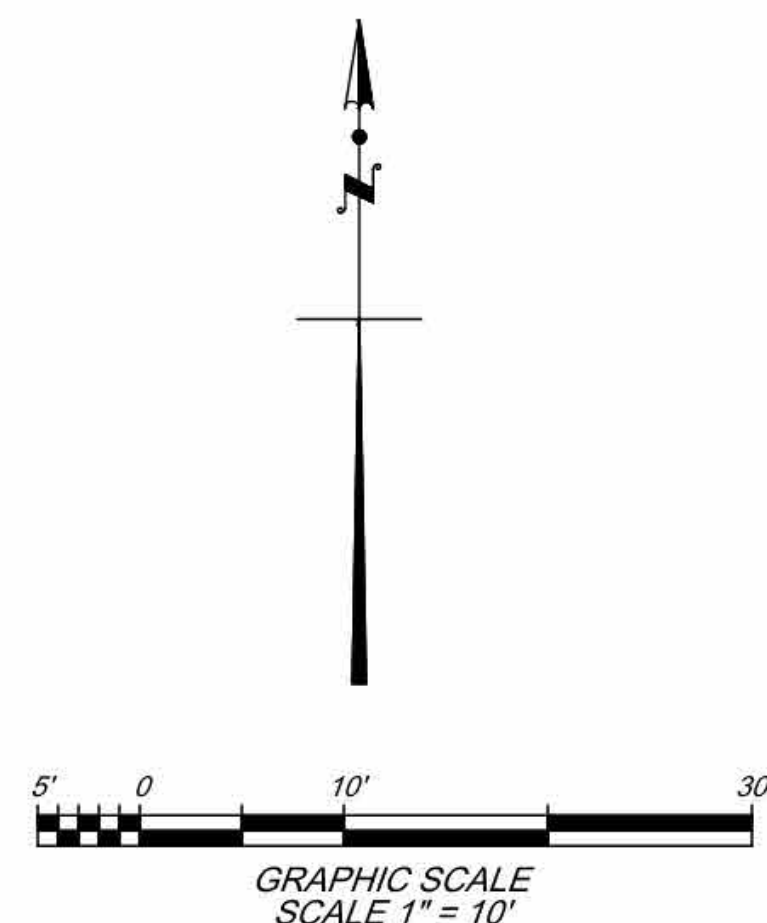
LOT AREA IS 6,750 S.F., OR 0.155 ACRES, MORE OR LESS.

BASIS OF BEARINGS:

THE CENTERLINE OF BERENDO STREET AS SHOWN ON TRACT MAP 2577 BOOK 26/71-72 AS N 0° 4' 15" W.

NOTES

1. THE SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.



BENCH MARK
BENCH MARK: 12-18690
CUT SPIKE IN N CURB SANTA MONICA BLVD, 5FT W OF BERENDO ST E END CB
DATUM: NAVD 1988 ELEVATION: 334.63'

SHEET TITLE
TOPOGRAPHICAL MAP
PROJECT TITLE
PROJECT ADDRESS
1115 N BERENDO ST, LOS ANGELES, CA 90029

EXHIBIT "A"
Page No. 2 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

DATE OF FIELD SURVEY:
OCT 27, 2020

POINT ENGINEERING.
10201 RESEDA BLVD #116
NORTHridge, CA 91324
TEL. 213-258-8451

UFE

ARCHITECT:
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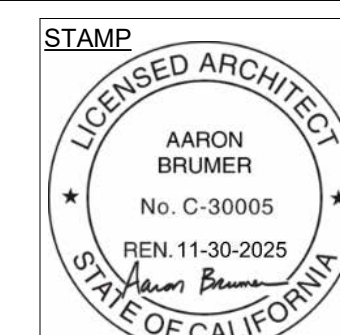
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PROJECT:
30-UNIT MULTIFAMILY DEVELOPMENT
1115, 1117 N BERENDO ST.
LOS ANGELES, CA. 90029

ISSUE	DATE	DESCRIPTION
01	06.03.2022	CITY PLANNING SET #1
02	09.09.2022	PZA SUBMITTAL #1
03	05.16.2023	PZA RESUBMITTAL #1

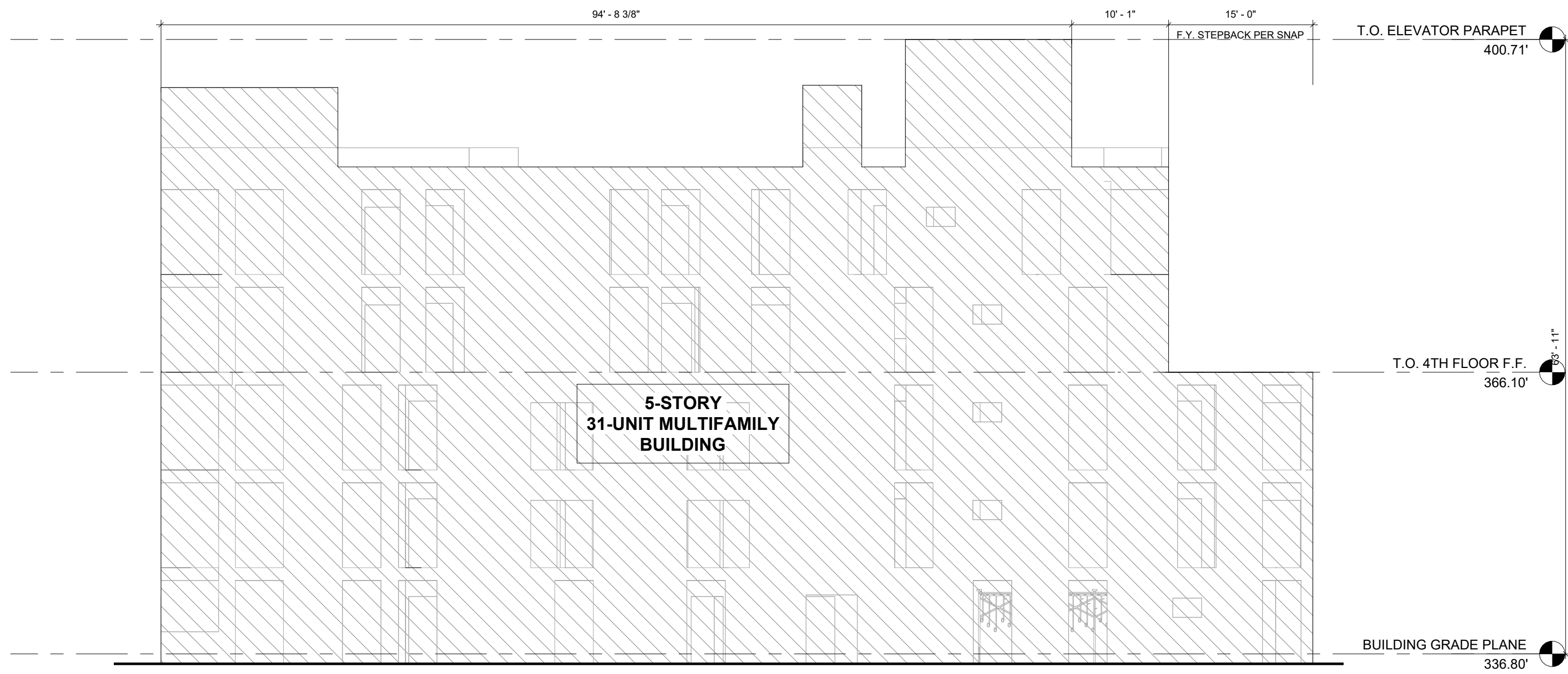
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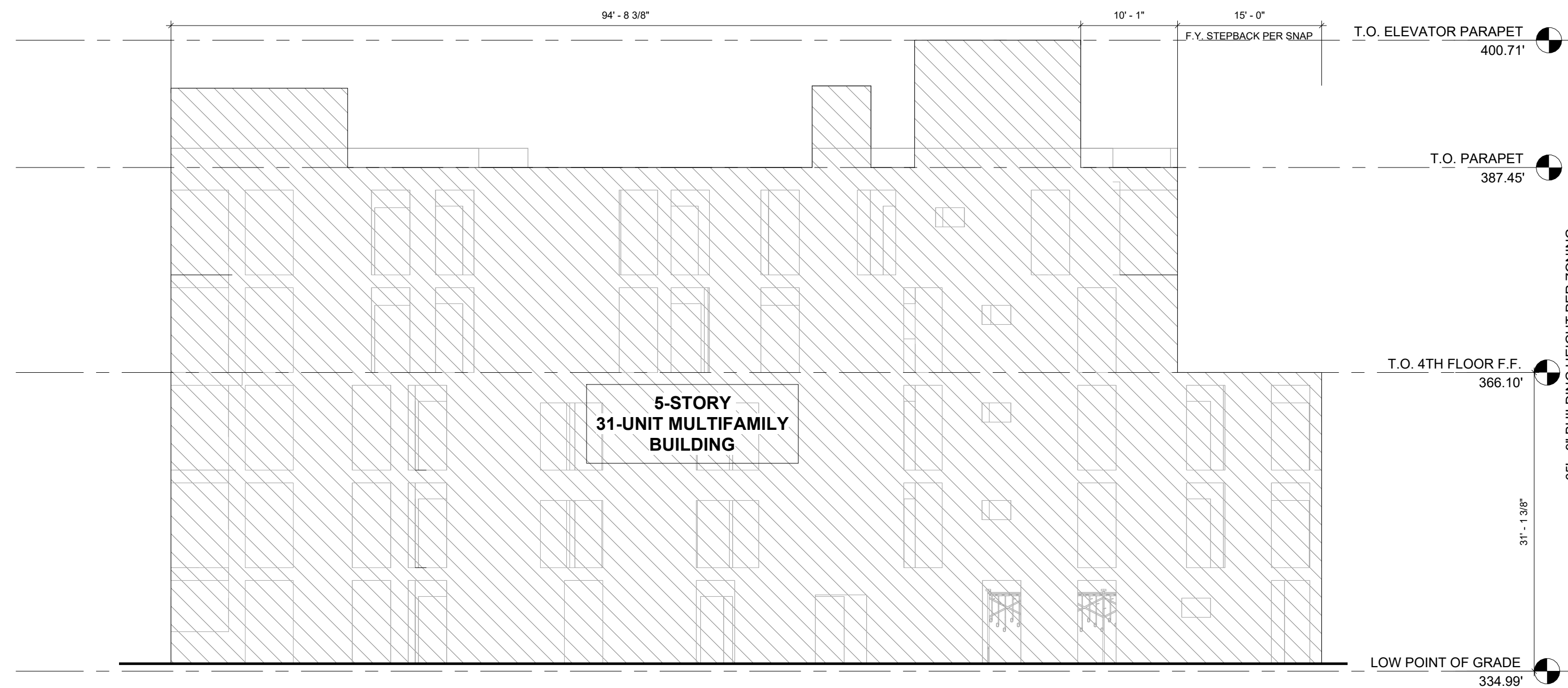
DRAWING TITLE
EXISTING SITE SURVEY

T010

1115, 1117 N
BERENDO ST

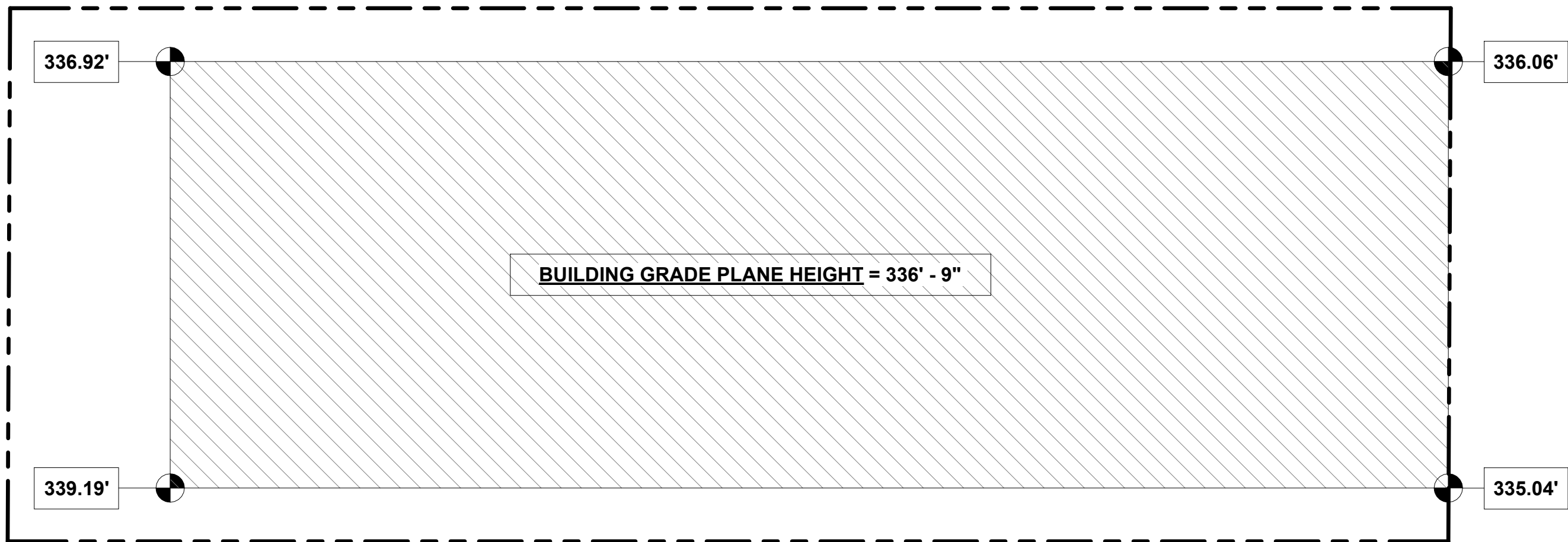


6 BUILDING GRADE PLANE - SOUTH ELEVATION
3/32" = 1'-0"



5 ZONING LOW POINT OF GRADE - SOUTH ELEVATION
3/32" = 1'-0"

GRADE PLANE CALCULATIONS	
339.19' + 336.92' + 336.06' + 335.04'	1347.21'
GRADE PLANE HEIGHT: 1347.21' / 4	336.80'

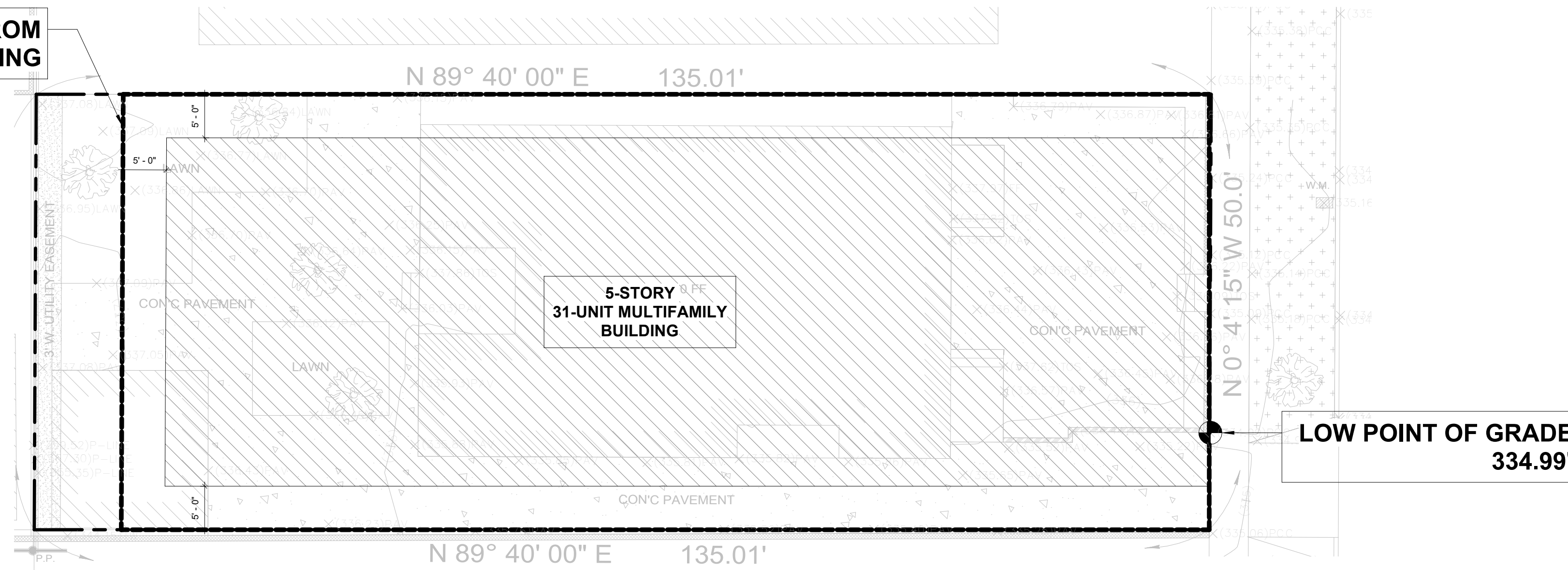


4 GRADE PLANE PLAN
3/32" = 1'-0"

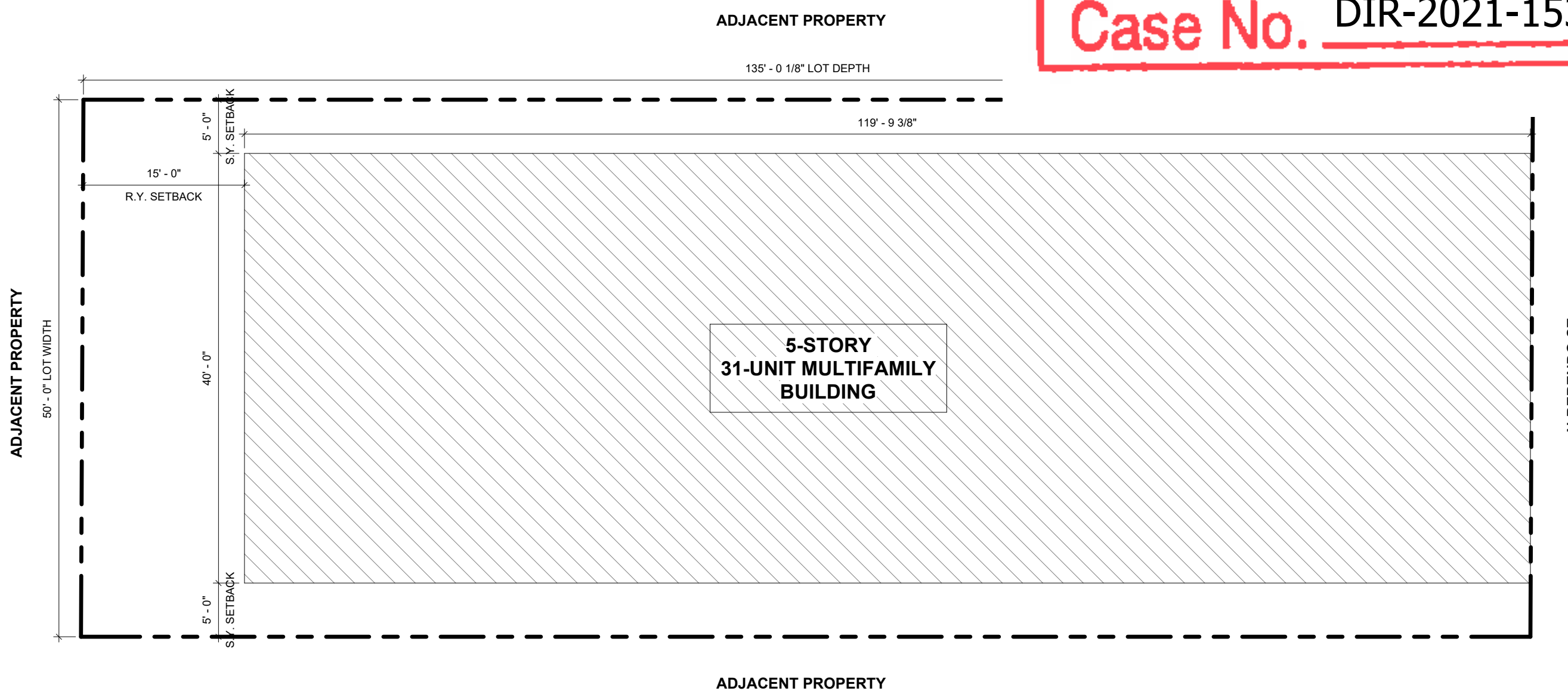
BUIDLABLE AREA CALCULATIONS	
NO YARD REQUIRED PER SNAP SUBAREA C	
BUILDABLE AREA	6,750 SF
MAX SF : 3 X 6,750 =	20,250 SF



2 BUILDABLE AREA DIAGRAM
3/32" = 1'-0"



3 LOW POINT OF GRADE DIAGRAM
3/32" = 1'-0"



1 PLOT PLAN
3/32" = 1'-0"

EXHIBIT "A"
Page No. 3 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

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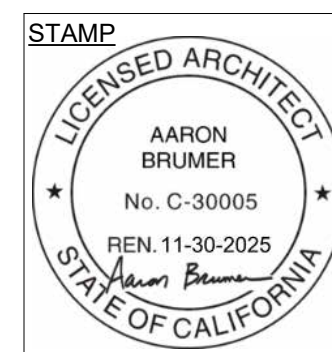
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PROJECT:
30-UNIT MULTIFAMILY DEVELOPMENT

1115, 1117 N BERENDO ST.
LOS ANGELES, CA. 90029

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02	09.09.2022	PZA SUBMITTAL #1
03	05.16.2023	PZA RESUBMITTAL #1

ISSUE	DATE	DESCRIPTION



DRAWING TITLE
PLOT PLAN, BUILDABLE AREA
DIAGRAM, LOW POINT OF GRADE
DIAGRAMS, & GRADE PLANE
DIAGRAMS

T030

1115, 1117 N
BERENDO ST

COMMON OPEN SPACE SUMMARY		
FLOOR	NAME	AREA
COMMON OPEN SPACE		
1ST FLOOR	REAR YARD	755.7 SF
1ST FLOOR	REC. ROOM	600.0 SF
TOTAL COMMON OPEN SPACE		1,355.7 SF
PRIVATE OPEN SPACE		
1ST FLOOR	BALCONY	65.2 SF
2ND FLOOR	BALCONY	68.9 SF
2ND FLOOR	BALCONY	65.2 SF
3RD FLOOR	BALCONY	68.9 SF
3RD FLOOR	BALCONY	65.2 SF
4TH FLOOR	UNIT #401 PRIVATE PATIO	771.2 SF
4TH FLOOR	UNIT #402 PRIVATE PATIO	284.2 SF
4TH FLOOR	UNIT #403 PRIVATE PATIO	255.5 SF
4TH FLOOR	BALCONY	65.2 SF
5TH FLOOR	BALCONY	65.2 SF
5TH FLOOR	BALCONY	65.2 SF
TOTAL PRIVATE OPEN SPACE		1,839.9 SF
TOTAL OPEN SPACE PROVIDED		3,195.6 SF

NOTE: PER VERMONT WESTERN SNAP DEVELOPMENT STANDARDS & DESIGN GUIDELINES
V. SUBAREA B-MIXED USE BLVDS & SUBAREA C-COMMUNITY CENTER

2. USABLE OPEN SPACE. NO PORTION OF THE REQUIRED USABLE OPEN SPACE SHALL HAVE A SLOPE EXCEEDING 10%. UP TO 75% OF THE USABLE OPEN SPACE MAY BE PROVIDED ABOVE THE GROUND FLOOR REGARDLESS OF THE UNDERLYING ZONE.

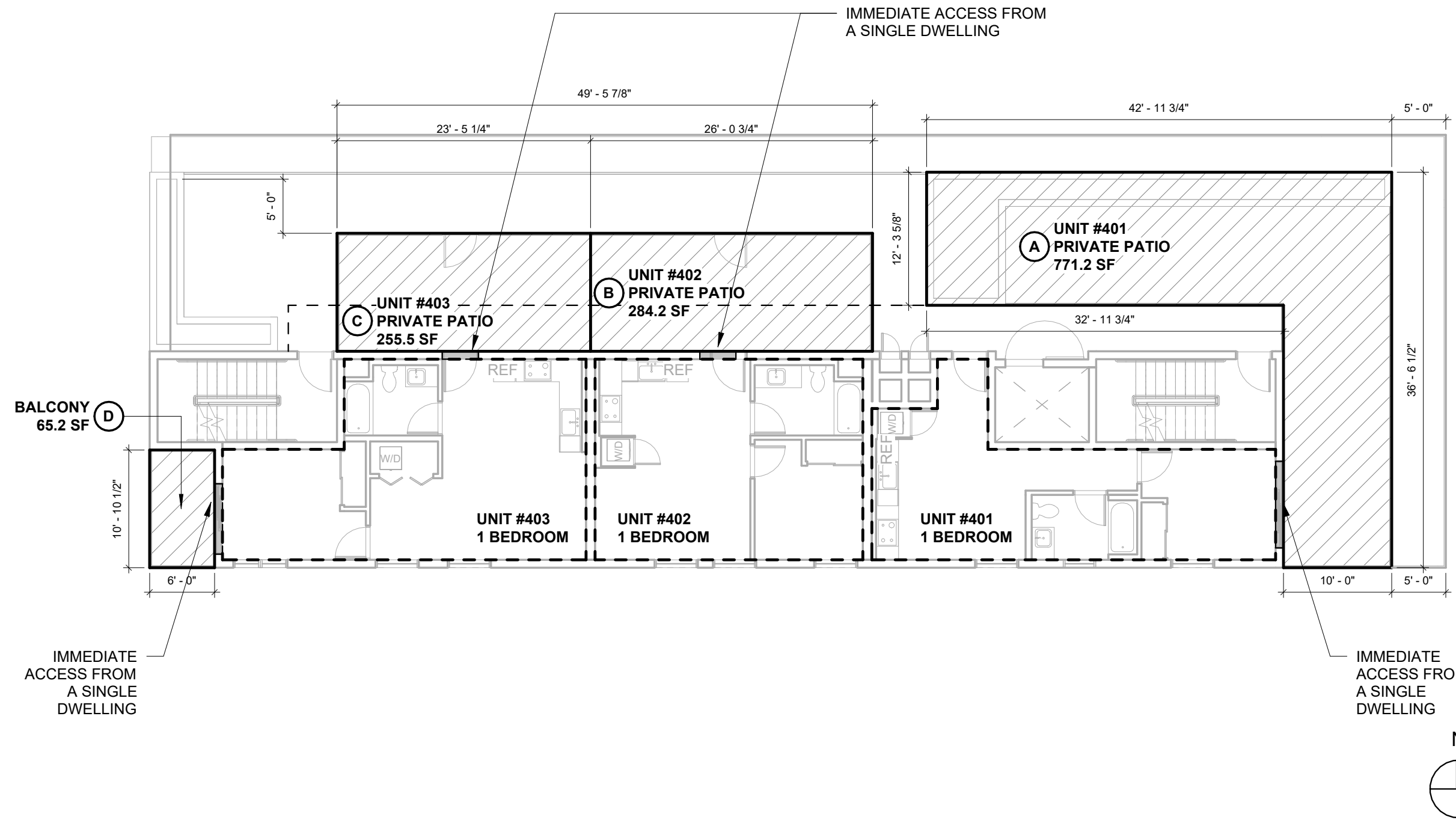
COMMON USABLE OPEN SPACE. NO PORTION OF THE REQUIRED COMMON USABLE OPEN SPACE SHALL HAVE A DIMENSION OF LESS THAN 20 FEET OR BE LESS THAN 400 SQUARE FEET FOR PROJECTS UNDER 10 DWELLING UNITS AND 600 SQUARE FEET FOR PROJECTS 10 DWELLING UNITS OR MORE.

PRIVATE USABLE OPEN SPACE. ONCE THE STANDARDS FOR THE COMMON USABLE OPEN SPACE REFERENCED IN THE PARAGRAPH ABOVE HAVE BEEN MET, PROJECTS MAY PROVIDE PRIVATE USABLE OPEN SPACE, SUCH AS BALCONIES OR PATIOS, WITH A MINIMUM DIMENSION OF SIX FEET FOR BALCONIES AND TEN FEET FOR PATIOS, THEREBY REDUCING THE REQUIRED USABLE OPEN SPACE DIRECTLY COMMENSURATE WITH THE AMOUNT OF PRIVATE OPEN SPACE PROVIDED

- T.O.C. TIER 4 OFF MENU INCENTIVE: 25% REDUCTION IN MINIMUM USABLE COMMON OPEN SPACE DIMENSION PER SNAP FROM 20'-0" TO 15'-0"
A. PROVIDED: 3,075 SF
3,195.6 SF
- MIN 25% OF REQUIRED COMMON OPEN SPACE AT GRADE:
A. PROVIDED: 3,075 - 2,306.3 = 768.7 SF
1,355.7 SF (44%)
- 75% OF REQUIRED OPEN SPACE ALLOWED ABOVE GRADE PER SNAP:
A. PROVIDED: 3,075 x 0.75 = 2,306.3 SF
1,774.7 SF (58%)
- MAX 25% OF TOTAL REQUIRED OPEN SPACE AS REC. ROOM:
A. PROVIDED: 3,075 x 0.25 = 768.7 SF
600 SF (19.5%)

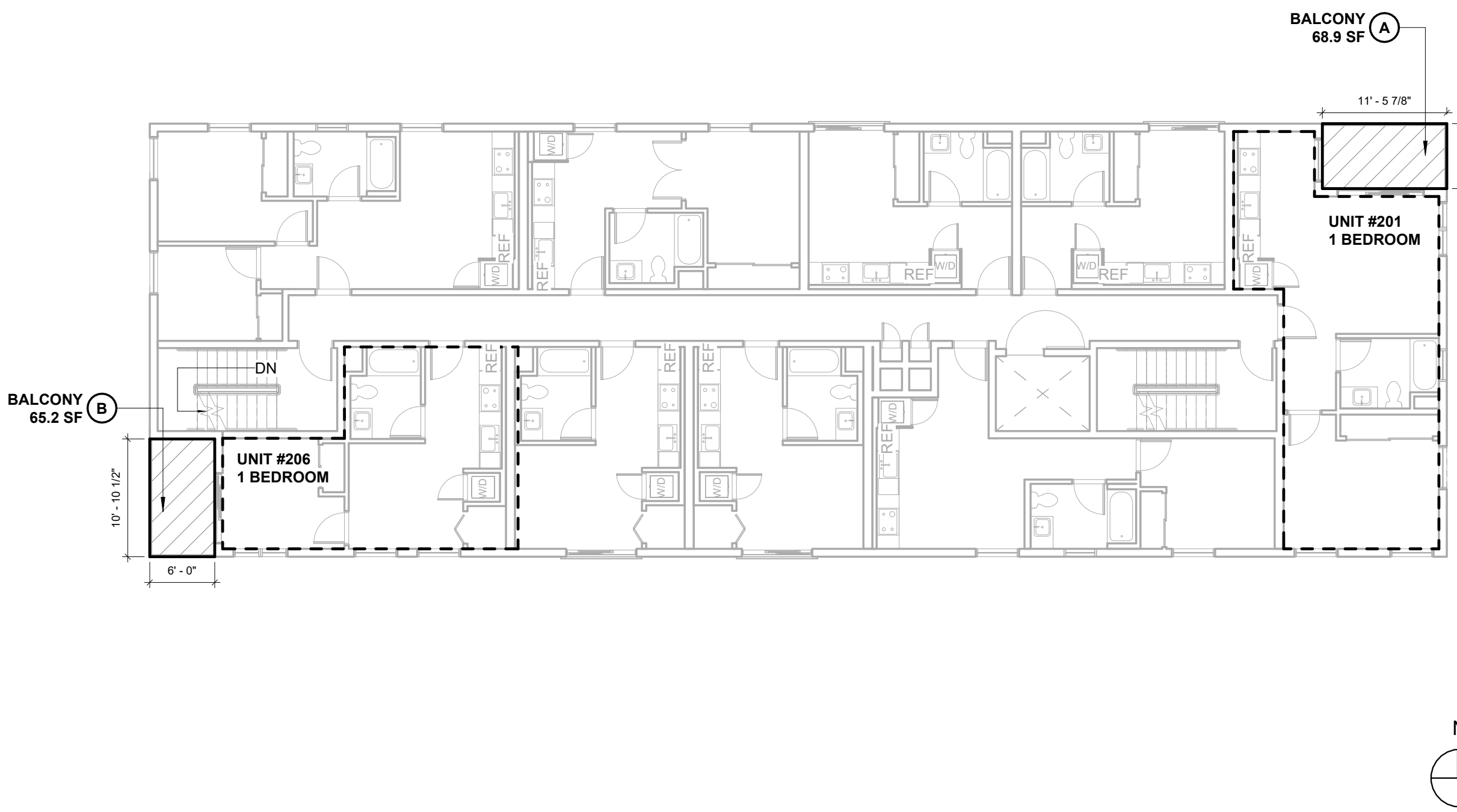
EXHIBIT "A"
Page No. 5 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA
4TH FLOOR		
A	UNIT #401 PRIVATE PATIO	771.2 SF
B	UNIT #402 PRIVATE PATIO	284.2 SF
C	UNIT #403 PRIVATE PATIO	255.5 SF
D	BALCONY	65.2 SF
TOTAL PRIVATE OPEN SPACE		1,376.1 SF



4 4TH FLOOR PLAN - OPEN SPACE
3/32" = 1'-0"

PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA
2ND FLOOR		
A	BALCONY	68.9 SF
B	BALCONY	65.2 SF
TOTAL PRIVATE OPEN SPACE		134.1 SF



2 2ND FLOOR PLAN - OPEN SPACE
3/32" = 1'-0"

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PROJECT:
30-UNIT MULTIFAMILY DEVELOPMENT

1115, 1117 N BERENDO ST.
LOS ANGELES, CA. 90029

PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA
5TH FLOOR		
A	BALCONY	65.2 SF
B	BALCONY	65.2 SF
TOTAL PRIVATE OPEN SPACE		130.4 SF

5 5TH FLOOR PLAN - OPEN SPACE
3/32" = 1'-0"

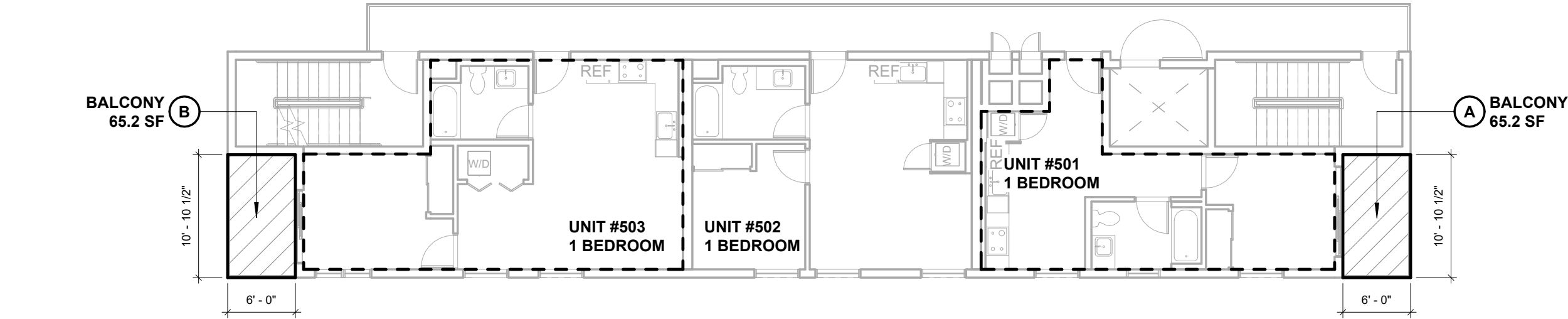
PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA
3RD FLOOR		
A	BALCONY	68.9 SF
B	BALCONY	65.2 SF
TOTAL PRIVATE OPEN SPACE		134.1 SF

3 3RD FLOOR PLAN - OPEN SPACE
3/32" = 1'-0"

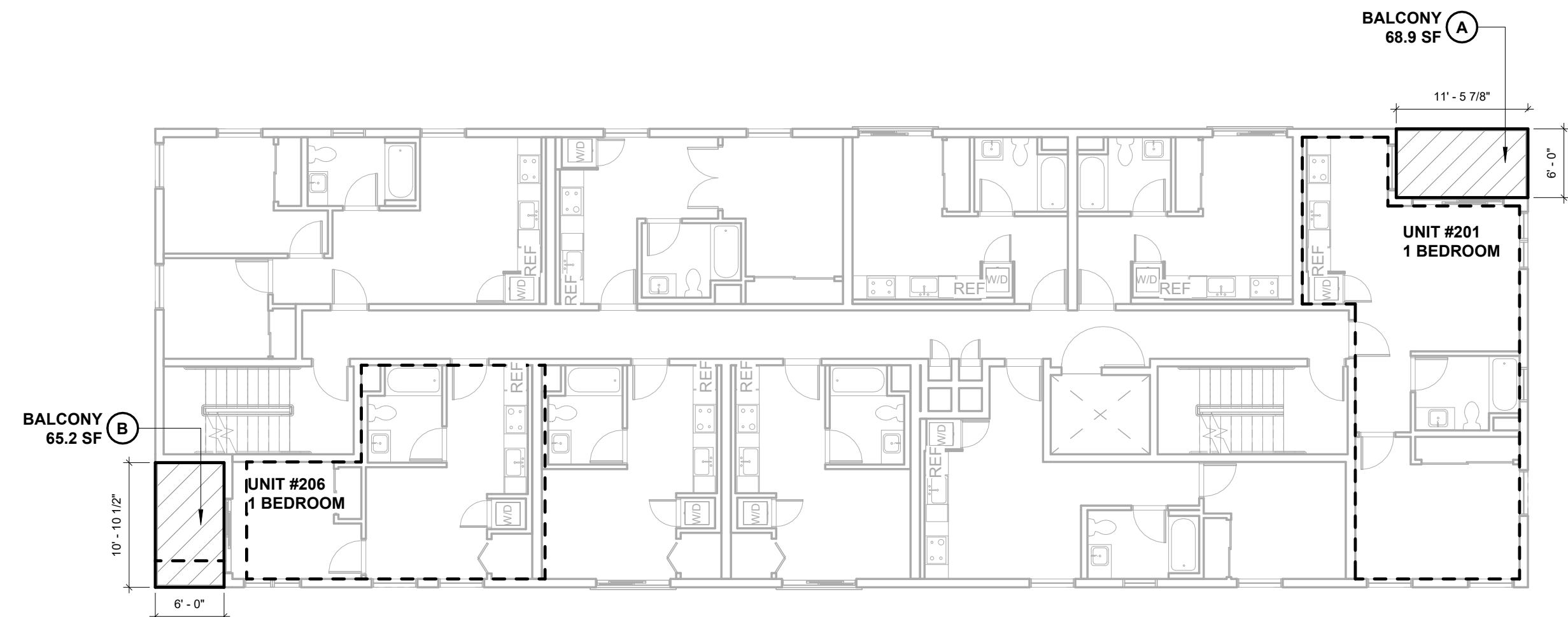
COMMON OPEN SPACE CALC.		
KEYNOTE	Name	AREA
1ST FLOOR		
A	REAR YARD	755.7 SF
B	REC. ROOM	600.0 SF
TOTAL COMMON OPEN SPACE		1,355.7 SF

PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA
1ST FLOOR		
C	BALCONY	65.2 SF
TOTAL PRIVATE OPEN SPACE		65.2 SF

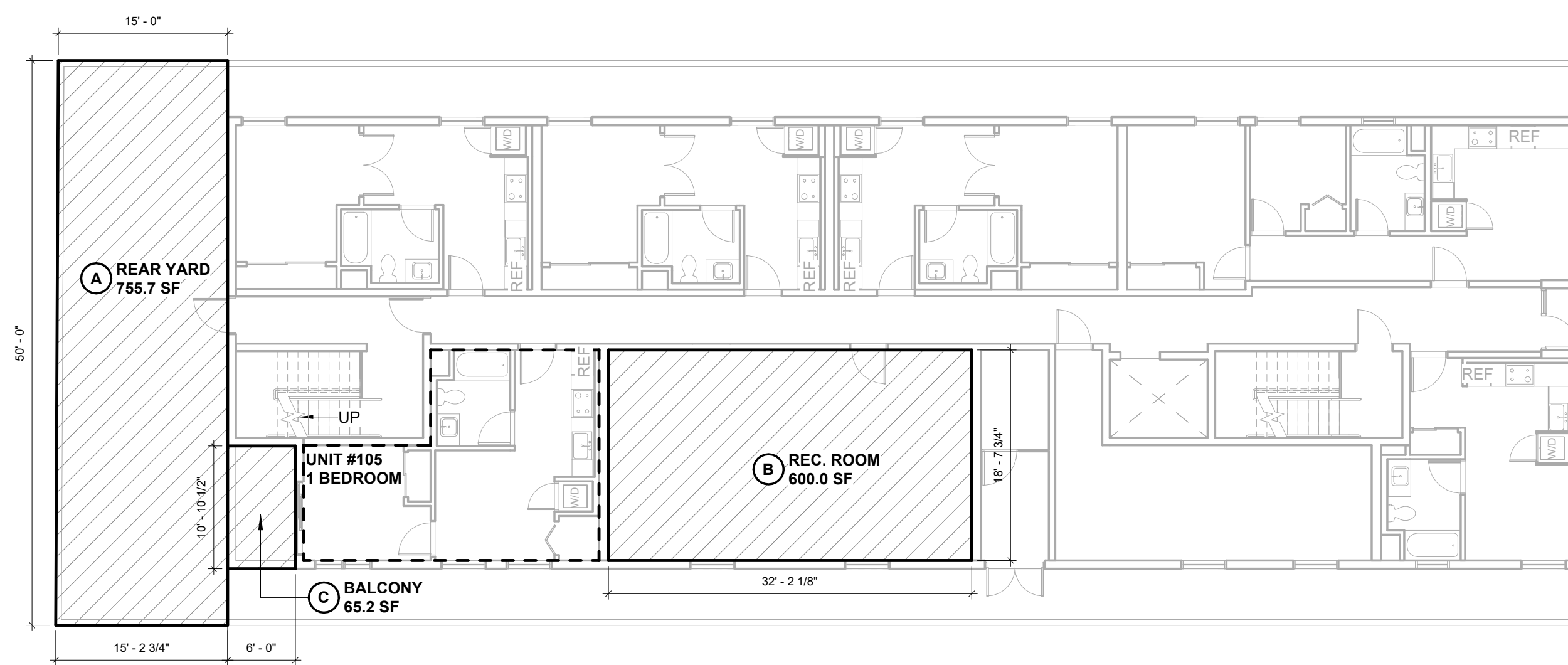
1 1ST FLOOR PLAN - OPEN SPACE
3/32" = 1'-0"



5 5TH FLOOR PLAN - OPEN SPACE
3/32" = 1'-0"



3 3RD FLOOR PLAN - OPEN SPACE
3/32" = 1'-0"



1 1ST FLOOR PLAN - OPEN SPACE
3/32" = 1'-0"

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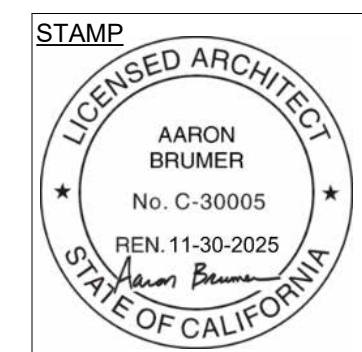
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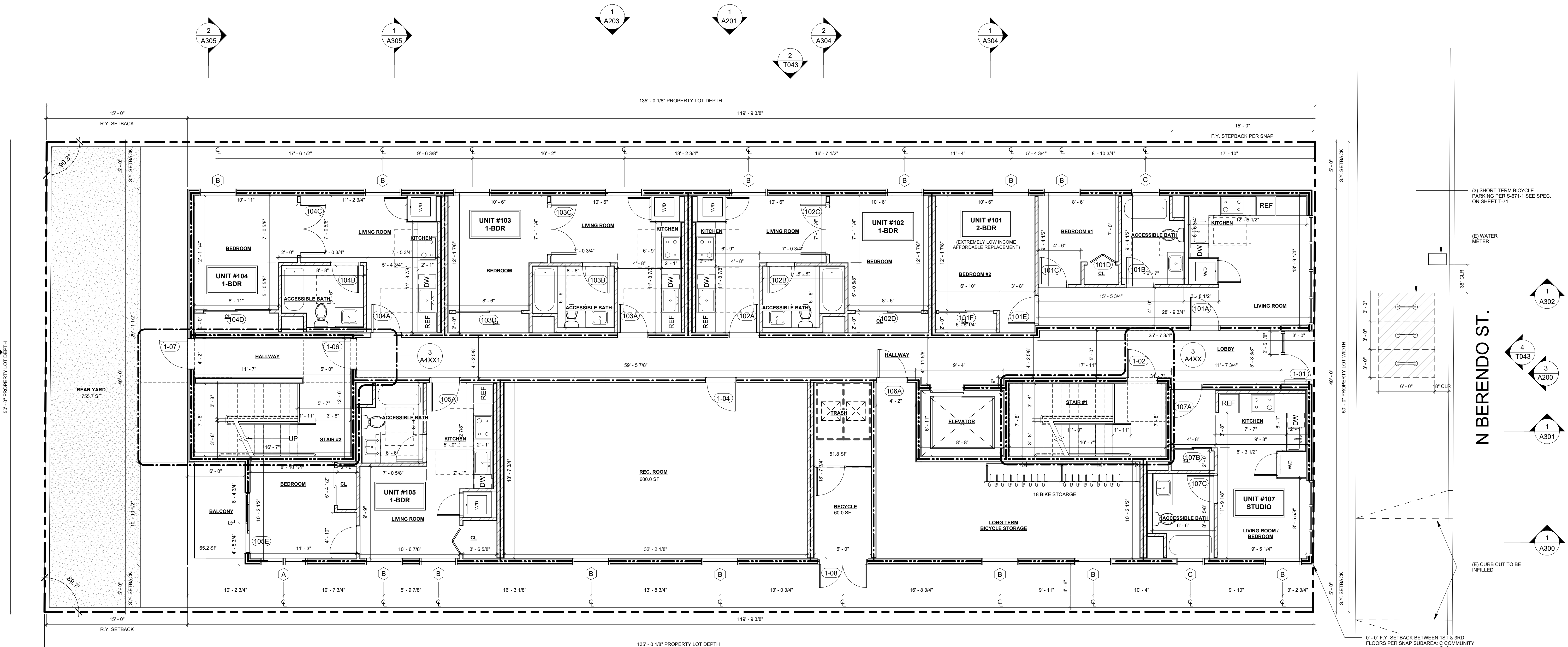
ISSUE	DATE	DESCRIPTION



DRAWING TITLE
COMMON OPEN SPACE DIAGRAM

T032
1115, 1117 N
BERENDO ST

1115, 1117 N
BERENDO ST



NOTE: PER VERMONT/WESTERN TRANSIT ORIENTED DISTRICT SPECIFIC PLAN (STATION NEIGHBORHOOD AREA PLAN)

SECTION 9. SUBAREA C COMMUNITY CENTER

G. PEDESTRIAN THROUGHWAYS.
2. FACADE TREATMENT.

HE BUILDING FACADE FACING THE PEDESTRIAN WALK WAY SHALL BE IMPROVED IN ACCORDANCE WITH THE PROVISIONS OF WITH THE GUIDELINES.

1 1ST FLOOR PLAN
3/16" = 1'-0"

KEYNOTES

- (01) ROLL UP GARAGE DOOR
- SEE STRUCTURAL DRAWINGS
- (02) TRENCH DRAIN
- SEE STRUCTURAL DRAWINGS
- (03) ELEVATOR FIRE DOOR
- (04) STANDPIPE
- (05) SUMP PUMP LOCATION; SEE CIVIL
- (06) AREA DRAIN LOCATIONS; SEE CIVIL
- (07) CONC. RETAINING WALL, TYP.
- SEE STRUCT.
- (08) CONC. COLUMN, TYP.
- SEE STRUCT.
- (09) 2 TIERED BIKE RACKS, 8 BIKES PER ASSEMBLY,
TYP.; 24 TOTAL LONG TERM SPACES PROVIDED.

LEGEND

- CONCRETE WALL-
SEE STRUCTURAL DRAWINGS
- 8" CMU WALL-
SEE STRUCTURAL DRAWINGS
- 2 X 6 WD STUD WALL-
SEE STRUCTURAL DRAWINGS
- 2 X 4 WD STUD WALL-
SEE STRUCTURAL DRAWINGS
- 2 X 2 X 4 WD STUD WALL
SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION-
SEE SHEET X.1 FOR DETAILS
- 2-HR RATED CONSTRUCTION-
SEE SHEET X.1 FOR DETAILS
- CARBON MONOXIDE ALARM,
HARD-WIRED W/ BATTERY BACK-UP
- CEILING MOUNTED BATTERY
OPERATED SMOKE DETECTOR,
HARD-WIRED W/ BATTERY BACK-UP
- WHISPER-QUIET CEILING EXHAUST
FAN/LIGHT COMBO, 50 CFM MIN.
ENERGY STAR RATED, HUMIDISTAT
CONTROLLED EXHAUST FAN DUCTED
TO EXTERIOR
- EXIT SIGN

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR. U.O.N.
- ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.
- SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.
- 1/2" MAX THRESHOLD @ ALL ACCESSIBLE DOOR LANDINGS.
- MAX CROSS SLOPE @ OF ALL ACCESSIBLE DOORS.
- THE ELECTRICALM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUBPANEL CURCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- EXTERIOR WALLS SHALL HAVE A FIRE-RESISTANCE NOT LESS THAN (1) HOUR. (CBC 603.1)
- SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF (2) - HR. NUMBER OF STORIES CONNECTED INCLUDES ALL BASEMENTS BUT NOT ANY MEZZANINES. (CBC 713.4)
- SHAFT ENCLOSURES THAT DO NOT EXTEND TO THE BOTTOM OF THE BUILDING SHALL COMPLY WITH A CONDITION IN CBC 713.11. (CBC 713.11)
- DOUBLE STRINGING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5
- BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.
- ALL ROOF RUNOFF TO DRAIN TO STORMWATER PLANTERS PER CIVIL PLANS.

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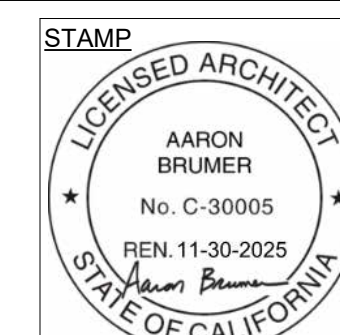
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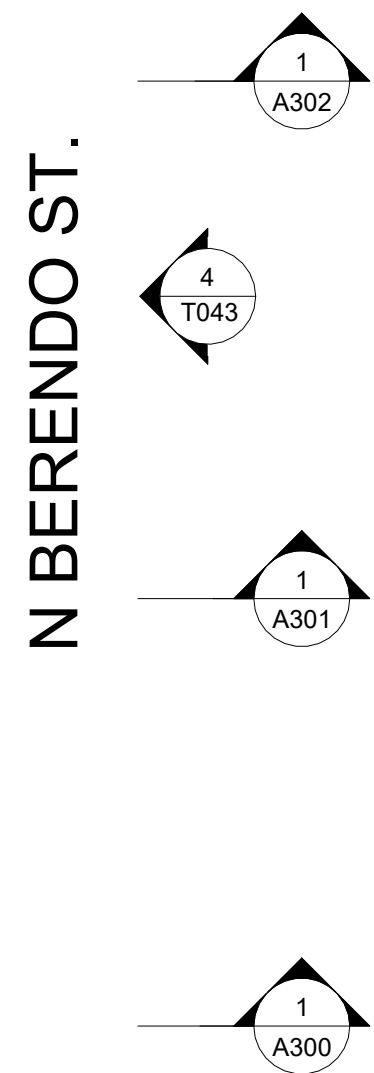


DRAWING TITLE
1ST FLOOR PLAN

A101

1115, 1117 N
BERENDO ST

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Page No. 7 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA



Case No. DIR-2021-1538-TOC-SPP-HCA

1115, 1117 N
BERENDO ST

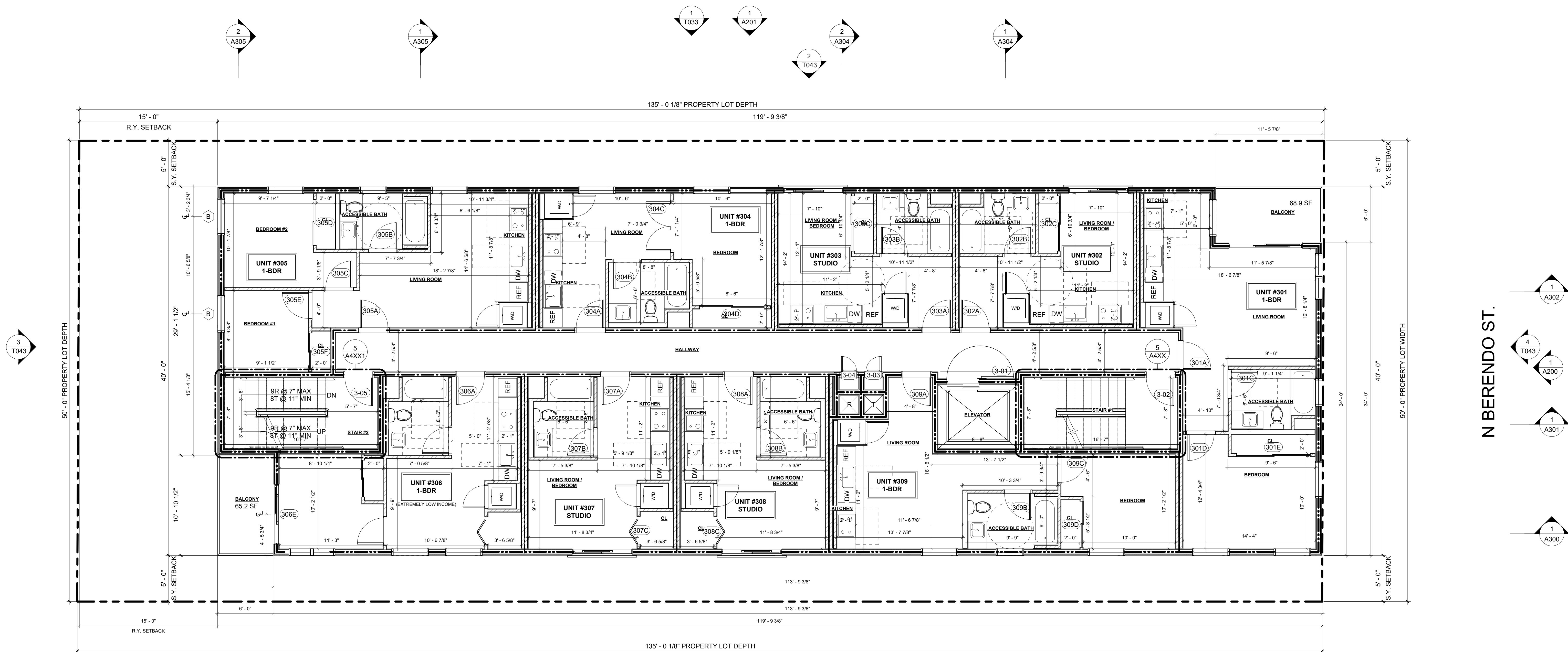


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Page No. 9 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

1 3RD FLOOR PLAN
3/16" = 1'-0"

KEYNOTES

- 01 STANDPIPE
- 02 ELEVATOR FIRE DOOR
- 03 AREA DRAINS
- 04 ELECTRICAL PANEL
- 05 DEX-O-TEX, CLASS 'A' DECK COVERING WEATHERWEAR COATING IN 304 "INSERT COLOR NAME" XL COLOR SRI: 46 SEE SHEET T-15 FOR SPECIFICATION

LEGEND

- 2 X 6 WD STUD WALL - SEE STRUCTURAL DRAWINGS
- 2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS
- 2 X 2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION - SEE SHEET X-1 FOR DETAILS
- 2-HR RATED CONSTRUCTION - SEE SHEET X-1 FOR DETAILS
- CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
- CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
- WHISPER-QUIET CEILING EXHAUST FANLIGHT COMBO, 50 CFM MIN. ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR
- EXIT SIGN

SHEET NOTES

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- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR. U.O.N.
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- 1/2" MAX THRESHOLD @ ALL ACCESSIBLE DOOR LANDINGS.
- MAX CROSS SLOPE @ OF ALL ACCESSIBLE DOORS.
- THE ELECTRICAL SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
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- DOUBLE STRING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5
- BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.
- ALL ROOF RUNOFF TO DRAIN TO STORMWATER PLANTERS PER CIVIL PLANS.

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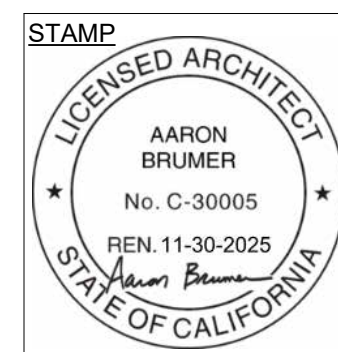
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DRAWING TITLE
3RD FLOOR PLAN

A103

1115, 1117 N
BERENDO ST

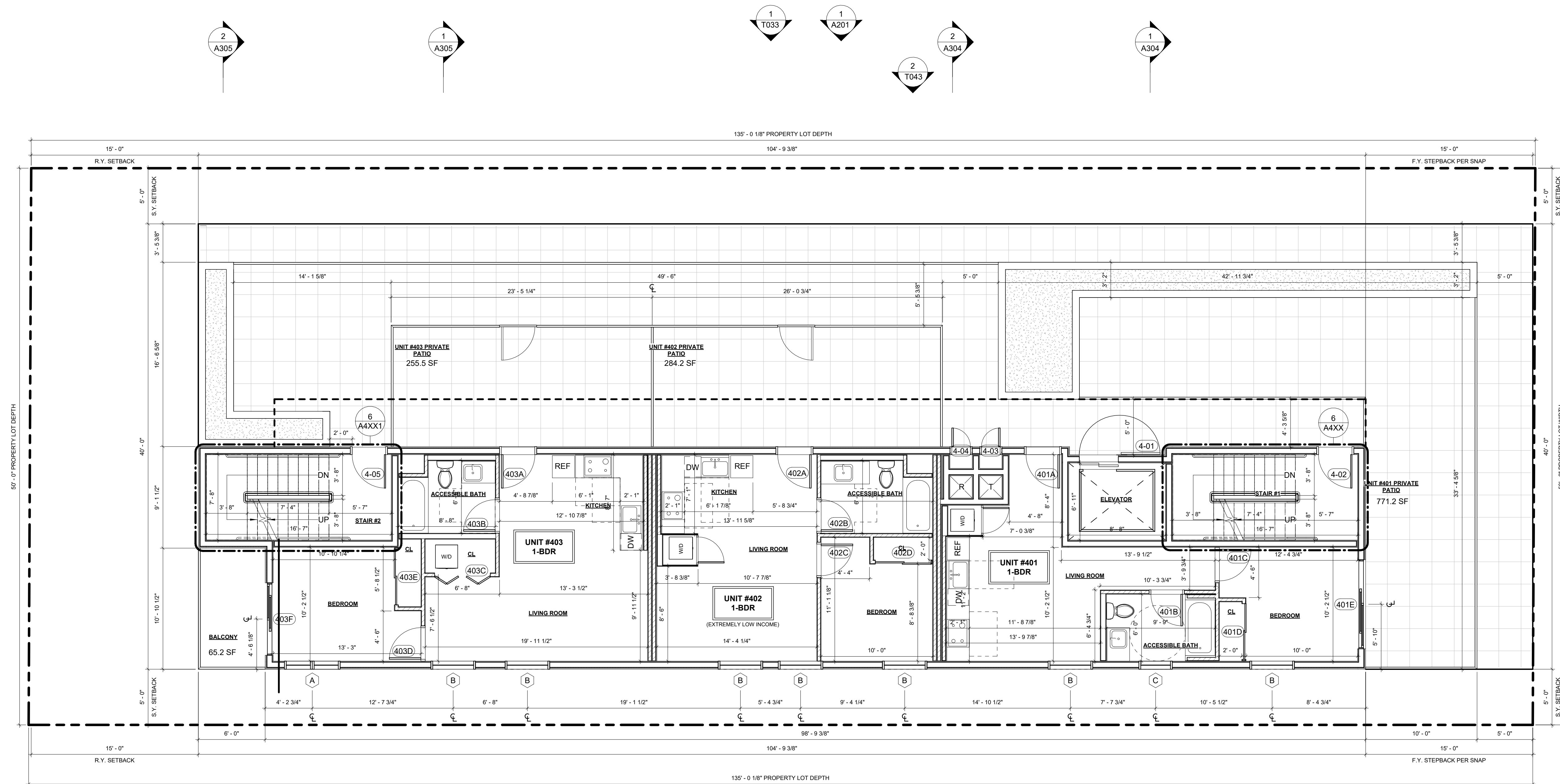











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Case No. DIR-2021-1538-TOC-SPP-HCA

1 4TH FLOOR PLAN
3/16" = 1'-0"

KEYNOTES		LEGEND		SHEET NOTES									
01	STANDPIPE		2 X 6 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP	1.	ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.	5.	ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.	10.	THE ELECTRICALM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.	13.	SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF (2) - HR. NUMBER OF STORIES CONNECTED INCLUDES ALL BASEMENTS BUT NOT ANY MEZZANINES. (CBC 713.4)
02	ELEVATOR FIRE DOOR		2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP	2.	ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.	6.	ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.	11.	THE SERVICE PANEL OR SUBPANEL CURCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSED AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.	14.	SHAFT ENCLOSURES THAT DO NOT EXTEND TO THE BOTTOM OF THE BUILDING SHALL COMPLY WITH A CONDITION IN CBC 713.11.1. (CBC 713.11)
03	AREA DRAINS		2-2 X 4 WD STUD WALL SEE STRUCTURAL DRAWINGS		WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN. ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR	3.	AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.	7.	SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.	12.	EXTERIOR WALLS SHALL HAVE A FIRE-RESISTANCE NOT LESS THAN (1) HOUR. (CBC 603.1)	15.	DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21AS, CHART NO. 5
04	ELECTRICAL PANEL		1-HR RATED CONSTRUCTION- SEE SHEET X.1 FOR DETAILS		EXIT SIGN	4.	SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.	8.	1/2" MAX THRESHOLD @ ALL ACCESSIBLE DOOR LANDINGS.	16.	BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.		
05	DEX-O-TEX, CLASS 'A' DECK COVERING WEATHERWEAR COATING IN 304 "INSERT COLOR NAME" XL COLOR SRI: 46 SEE SHEET T-15 FOR SPECIFICATION		2-HR RATED CONSTRUCTION- SEE SHEET X.1 FOR DETAILS					9.	MAX CROSS SLOPE @ OF ALL ACCESSIBLE DOORS.	17.	ALL ROOF RUNOFF TO DRAIN TO STORMWATER PLANTERS PER CIVIL PLANS.		
										18.			

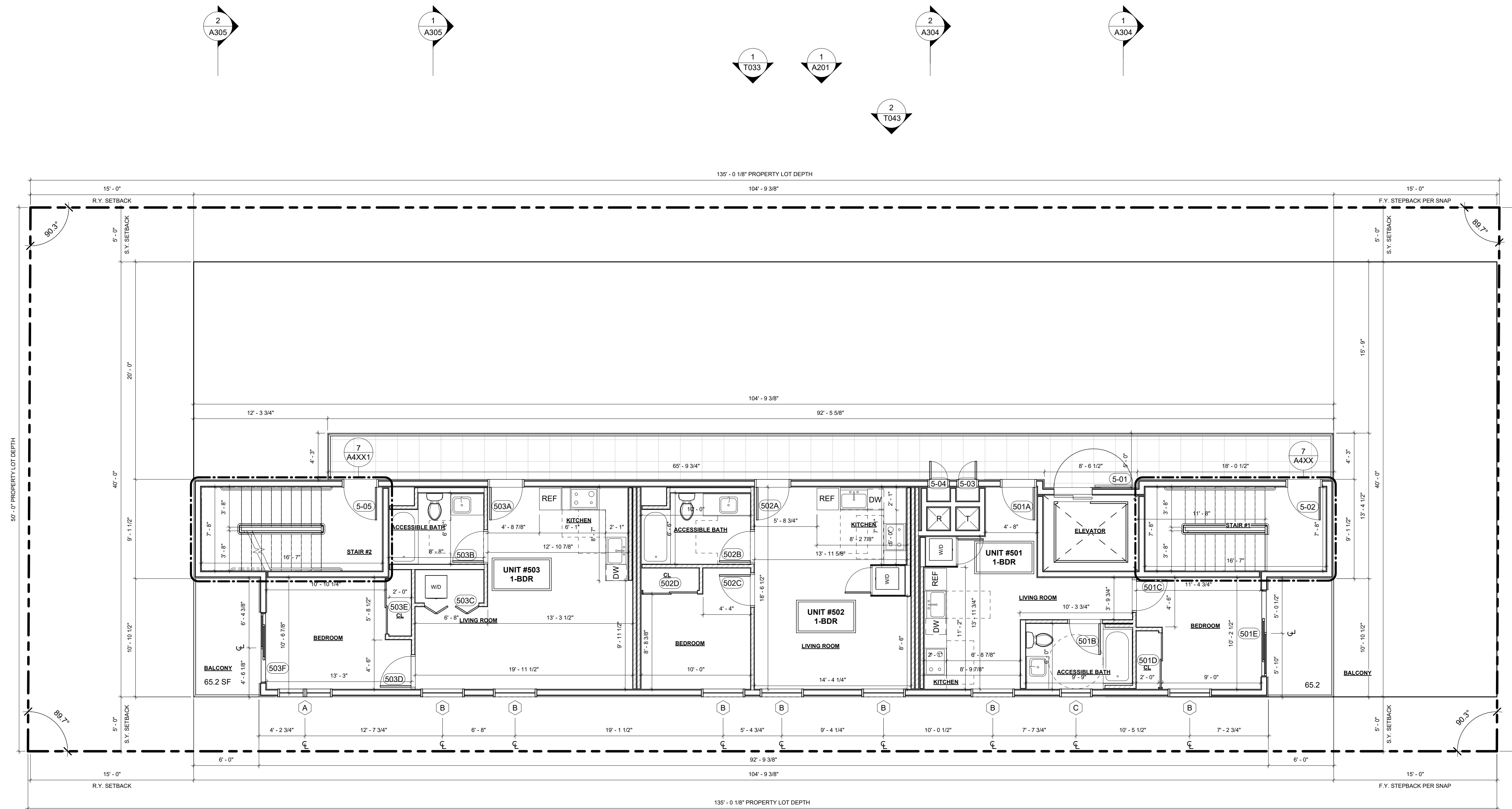











EXHIBIT "A"
Page No. 11 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

1 5TH FLOOR PLAN
3/16" = 1'-0"

KEYNOTES		LEGEND		SHEET NOTES									
01	STANDPIPE		2 X 6 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP	1.	ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.	5.	ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.	10.	THE ELECTRICALM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.	13.	SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF (2) - HR. NUMBER OF STORIES CONNECTED INCLUDES ALL BASEMENTS BUT NOT ANY MEZZANINES. (CBC 713.4)
02	ELEVATOR FIRE DOOR		2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS		CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP	2.	ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.	6.	ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.	11.	THE SERVICE PANEL OR SUBPANEL CURCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSED AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.	14.	SHAFT ENCLOSURES THAT DO NOT EXTEND TO THE BOTTOM OF THE BUILDING SHALL COMPLY WITH A CONDITION IN CBC 713.11.1. (CBC 713.11)
03	AREA DRAINS		2- 2 X 4 WD STUD WALL SEE STRUCTURAL DRAWINGS		WHISPER-QUIET CEILING EXHAUST FANLIGHT COMBO, 50 CFM MIN. ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR	3.	AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.	7.	SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.	12.	EXTERIOR WALLS SHALL HAVE A FIRE-RESISTANCE NOT LESS THAN (1) HOUR. (CBC 603.1)	15.	DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21AS, CHART NO. 5
04	ELECTRICAL PANEL		1-HR RATED CONSTRUCTION- SEE SHEET X.1 FOR DETAILS		EXIT SIGN	4.	SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.	8.	1/2" MAX THRESHOLD @ ALL ACCESSIBLE DOOR LANDINGS.			16.	BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.
05	DEX-O-TEX, CLASS 'A' DECK COVERING WEATHERWEAR COATING IN 304 "INSERT COLOR NAME" XL COLOR SRI: 46 SEE SHEET T-15 FOR SPECIFICATION		2-HR RATED CONSTRUCTION- SEE SHEET X.1 FOR DETAILS					9.	MAX CROSS SLOPE @ OF ALL ACCESSIBLE DOORS.			17.	ALL ROOF RUNOFF TO DRAIN TO STORMWATER PLANTERS PER CIVIL PLANS.
												18.	

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PROJECT:
30-UNIT MULTIFAMILY DEVELOPMENT

1115, 1117 N BERENDO ST.
LOS ANGELES, CA. 90029

ISSUE	DATE	DESCRIPTION
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02	09.09.2022	PZA SUBMITTAL #1
03	05.16.2023	PZA RESUBMITTAL #1

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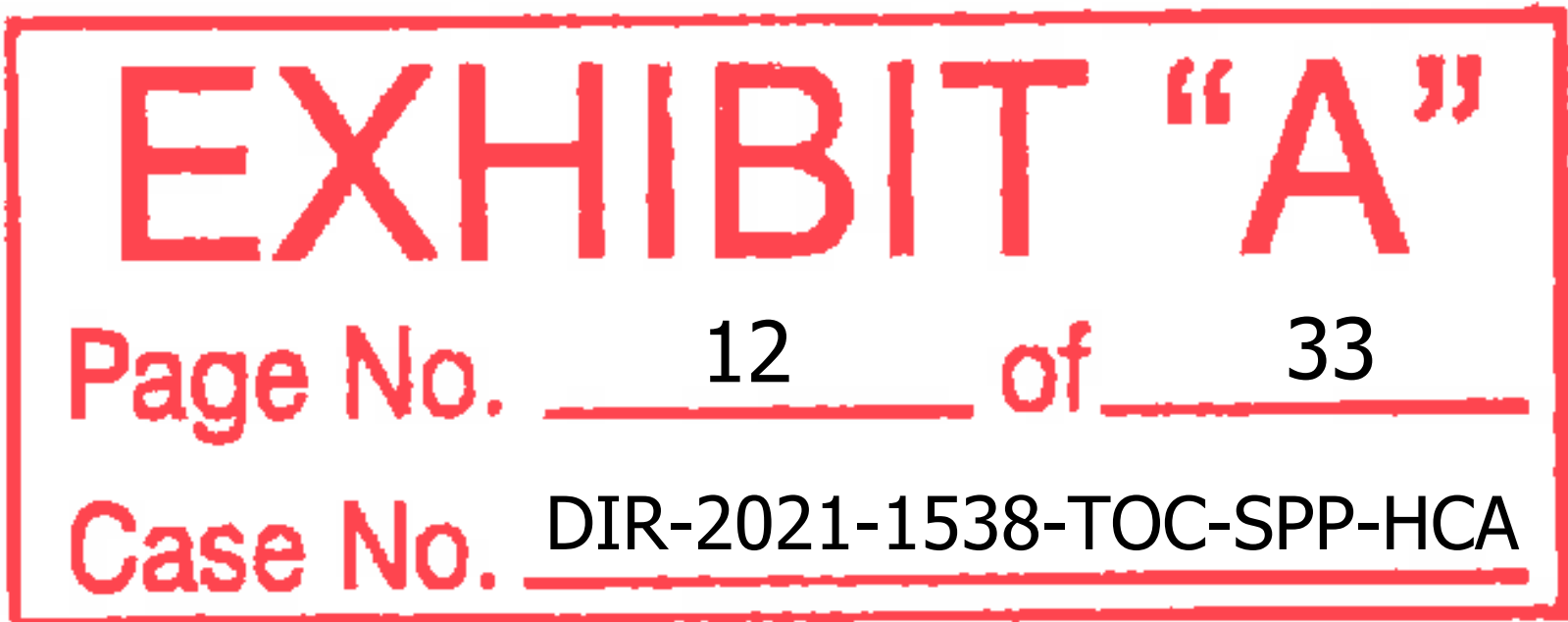
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LICENSED ARCHITECT
AARON
BRUMER
No. C-30005
REN. 11-30-2025
State of California

DRAWING TITLE
5TH FLOOR PLAN

A105










1115, 1117 N
BERENDO ST



KEYNOTES

01	STANDPIPE
02	ELEVATOR FIRE DOOR
03	AREA DRAINS
04	ELECTRICAL PANEL
05	DEX-O-TEX CLASS 'A' DECK COVERING WEATHERWEAR COATING IN 304 "INSERT COLOR NAME" XL COLOR SRL-46 SEE SHEET T-16 FOR SPECIFICATION

LEGEND

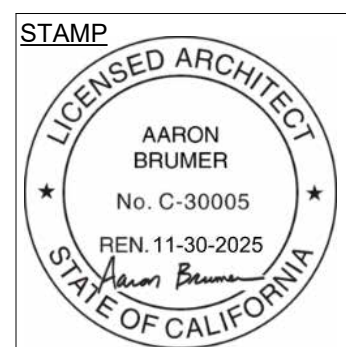
	2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS		CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
	2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS		CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
	2- 2 X 4 WD STUD WALL SEE STRUCTURAL DRAWINGS		WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN. ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR
	1-HR RATED CONSTRUCTION - SEE SHEET X.1 FOR DETAILS		EXIT SIGN
	2-HR RATED CONSTRUCTION - SEE SHEET X.1 FOR DETAILS		

SHEET NOTES			
1.	ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.	5.	ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
2.	ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.	6.	ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2' BELOW THE DOOR THRESHOLD ELEVATION.
3.	AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.	7.	SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.
4.	SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.	8.	1/2" MAX THRESHOLD @ ALL ACCESSIBLE DOOR LANDINGS
		9.	MAX CROSS SLOPE @ OF ALL ACCESSIBLE DOORS.
		10.	THE ELECTRICAL SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
		11.	THE SERVICE PANEL OR SUBPANEL CURCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
		12.	EXTERIOR WALLS SHALL HAVE A FIRE-RESISTANCE NOT LESS THAN (1) HOUR, (CBC 603.1)
		13.	SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF (2) - HR. NUMBER OF STORIES CONNECTED INCLUDES ALL BASEMENTS BUT NOT ANY MEZZANINES. (CBC 713.4)
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		15.	DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5
		16.	BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS, SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.
		17.	ALL ROOF RUNOFF TO DRAIN TO STORMWATER PLANTERS PER CIVIL PLANS.
		18.	

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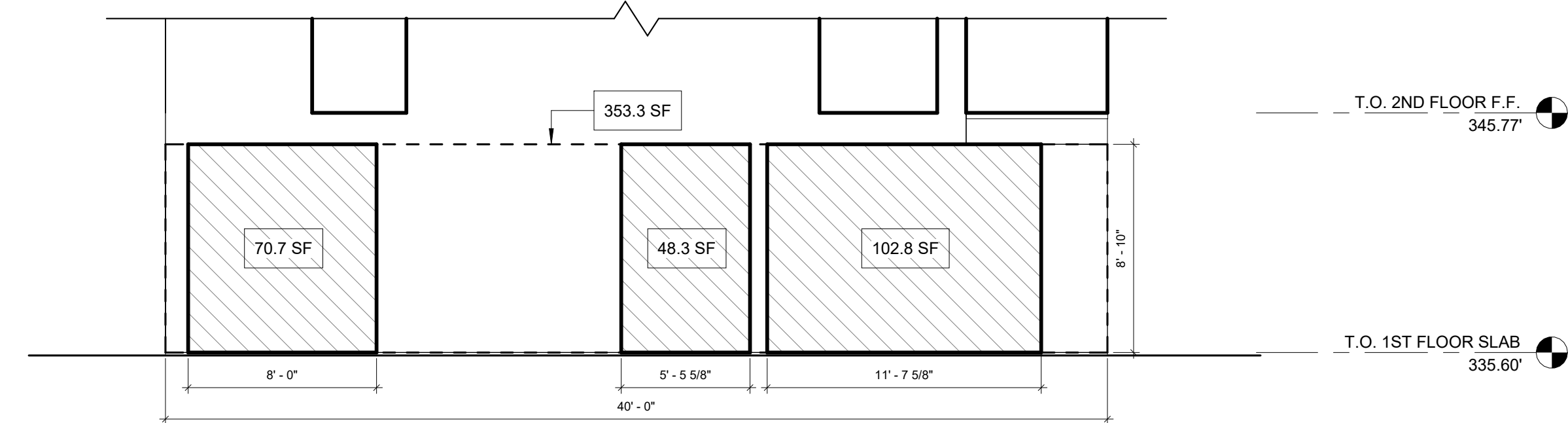
ROOF PLAN

A106
1115, 1117 N
BERENDO ST



3
3/16" = 1'-0"

WEST EXTERIOR ELEVATION - TRANSPARENCY
DIAGRAM



TRANSPARENCY CALCULATIONS - WEST ELEVATION

TOTAL TRANSPARENCY AREA	=	102.8+48.3+70.7	=	221.8 SF
OVERALL SURFACE AREA	=			353.3 SF
% TRANSPARENCY AREA	=	221.8 / 353.3	=	62.7%



NOTE: PER VERMONT/WESTERN TRANSIT ORIENTED DISTRICT
SPECIFIC PLAN (STATION NEIGHBORHOOD AREA PLAN)

SECTION 9. SUBAREA C COMMUNITY CENTER

G. PEDESTRIAN THROUGHWAYS.
2. FACADE TREATMENT.

HE BUILDING FACADE FACING THE PEDESTRIAN WALK WAY
SHALL BE IMPROVED IN ACCORDANCE WITH THE
PROVISIONS OF WITH THE GUIDELINES.

1
3/16" = 1'-0"

WEST EXTERIOR ELEVATION

EXHIBIT "A"

Page No. 13 of 33

Case No. DIR-2021-1538-TOC-SPP-HCA

2
3/16" = 1'-0"

EAST EXTERIOR ELEVATION

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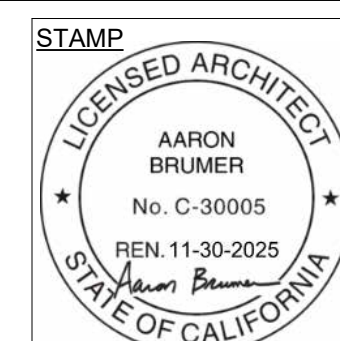
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PROJECT:
30-UNIT MULTIFAMILY DEVELOPMENT

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DRAWING TITLE
EXTERIOR ELEVATIONS

A200

1115, 1117 N
BERENDO ST



EXHIBIT "A"
Page No. 14 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

1 NORTH EXTERIOR ELEVATION
3/16" = 1'-0"

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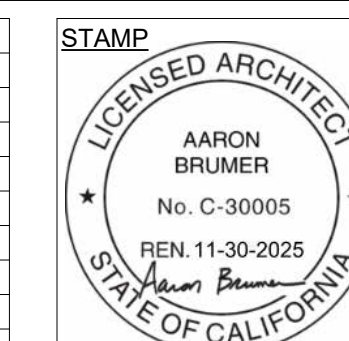
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PROJECT:
30-UNIT MULTIFAMILY DEVELOPMENT

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DRAWING TITLE
EXTERIOR ELEVATIONS

A201

1115, 1117 N
BERENDO ST



EXHIBIT "A"
Page No. 15 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

1 SOUTH EXTERIOR ELEVATION
3/16" = 1'-0"

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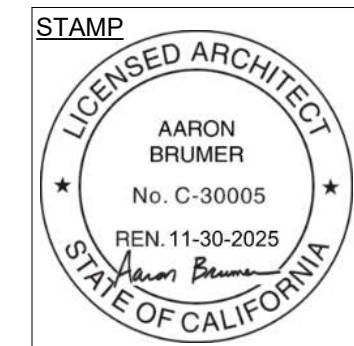
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PROJECT:
30-UNIT MULTIFAMILY DEVELOPMENT

1115, 1117 N BERENDO ST.
LOS ANGELES, CA. 90029

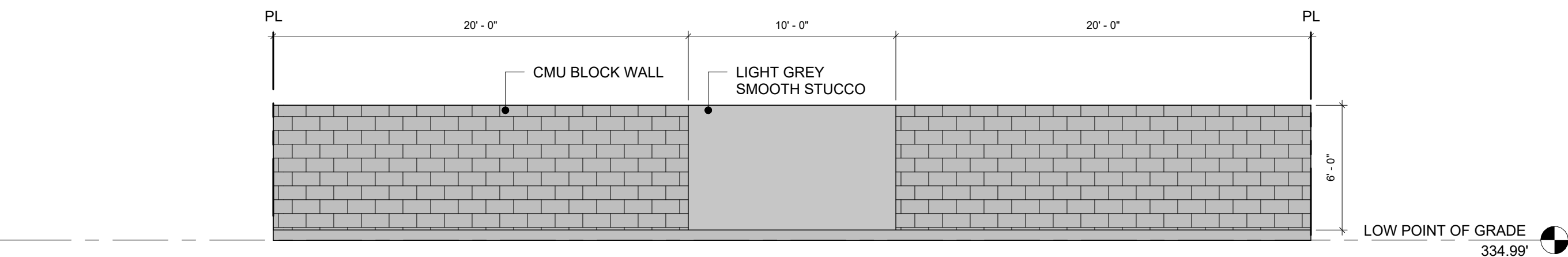
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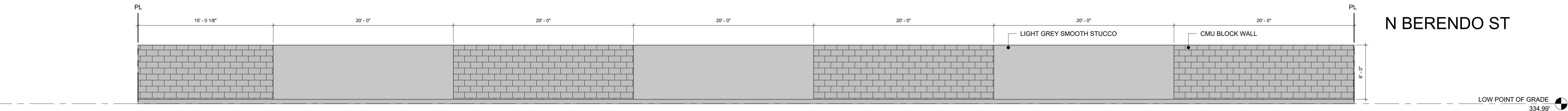
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EXTERIOR ELEVATIONS

A202
1115, 1117 N
BERENDO ST

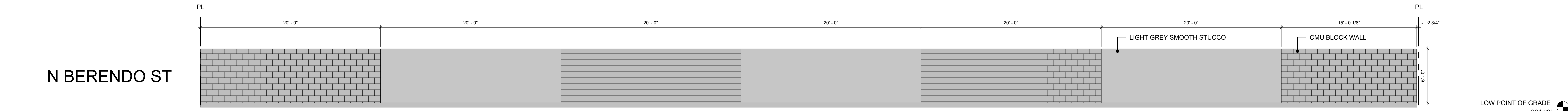


3 EAST PERIMETER WALL ELEVATION
3/16" = 1'-0"

EXHIBIT "A"
Page No. 16 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA



2 SOUTH PERIMETER WALL ELEVATION
3/16" = 1'-0"



1 NORTH PERIMETER WALL ELEVATION
3/16" = 1'-0"

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PROJECT:
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DRAWING TITLE
PERIMETER WALL ELEVATION

A203
1115, 1117 N
BERENDO ST

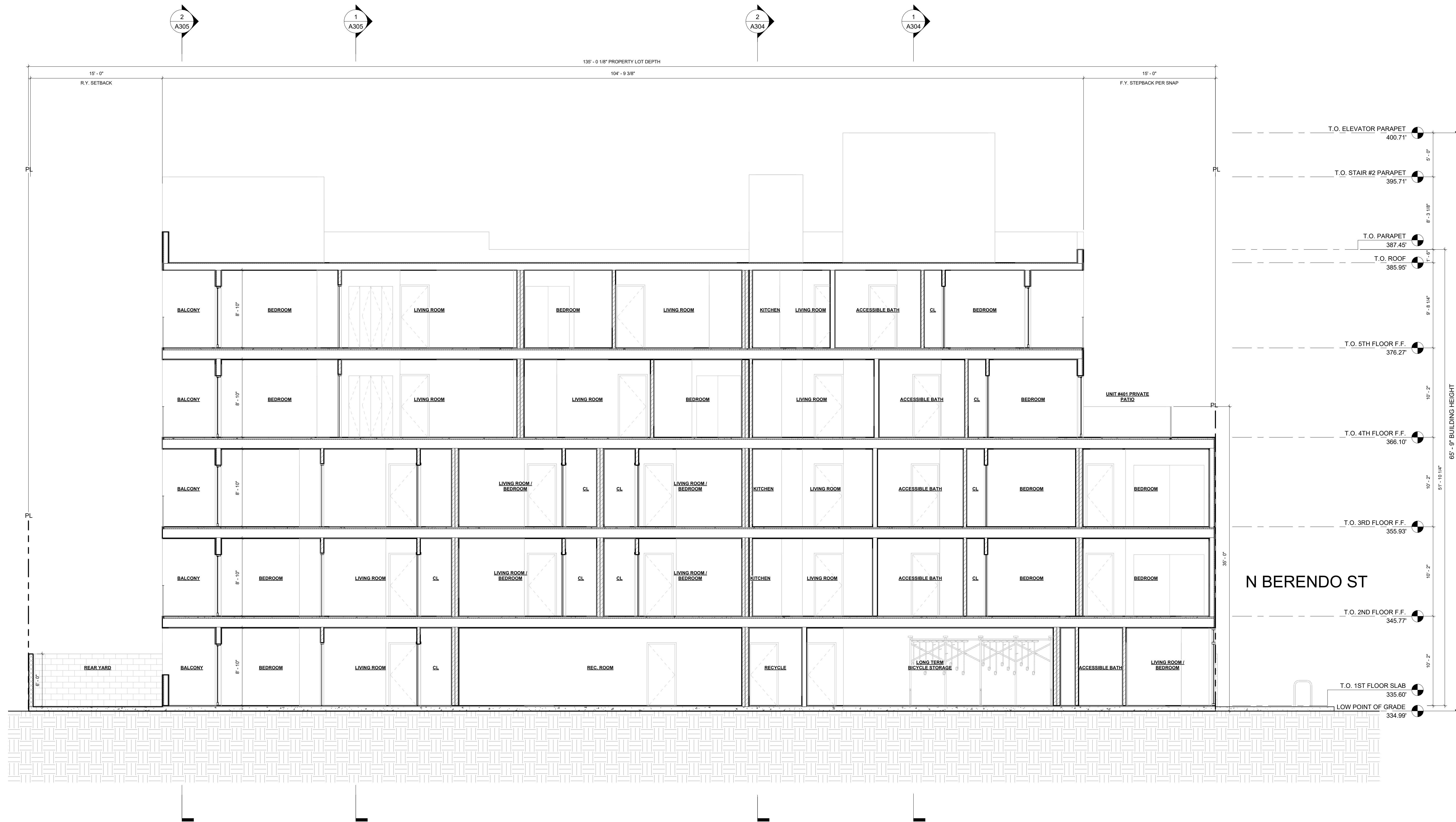


EXHIBIT "A"
Page No. 17 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

1
3/16" = 1'-0"

ARCHITECT:
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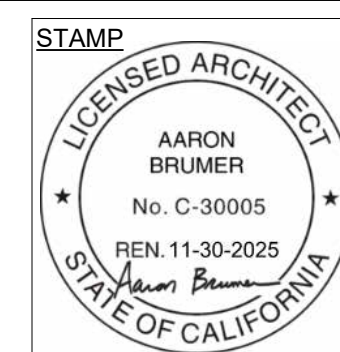
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DRAWING TITLE
LONG SECTION-1

A300

1115, 1117 N
BERENDO ST



EXHIBIT "A"
Page No. 18 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

1 LONG SECTION 2
3/16" = 1'-0"

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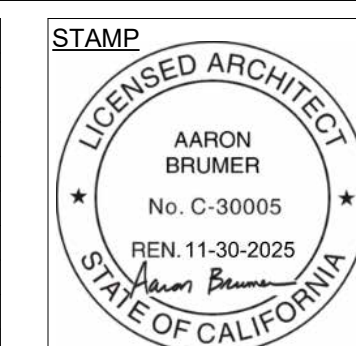
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE
LONG SECTION-2

A301
1115, 1117 N
BERENDO ST

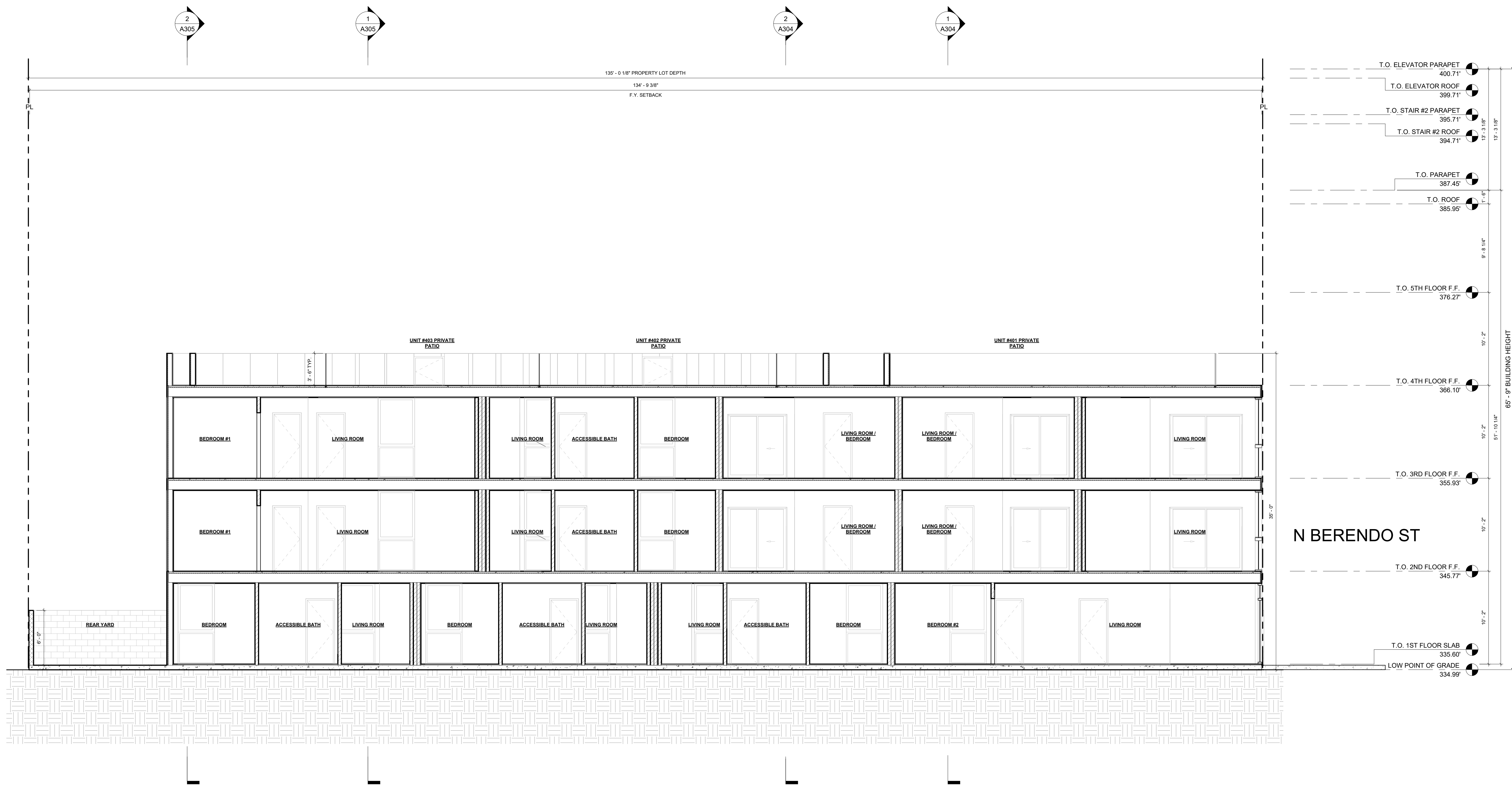


EXHIBIT "A"
Page No. 19 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

1 LONG SECTION 3
3/16" = 1'-0"

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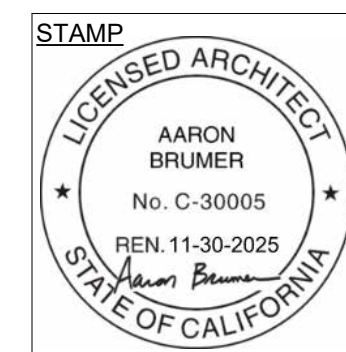
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DRAWING TITLE
LONG SECTION-3

A302
1115, 1117 N
BERENDO ST

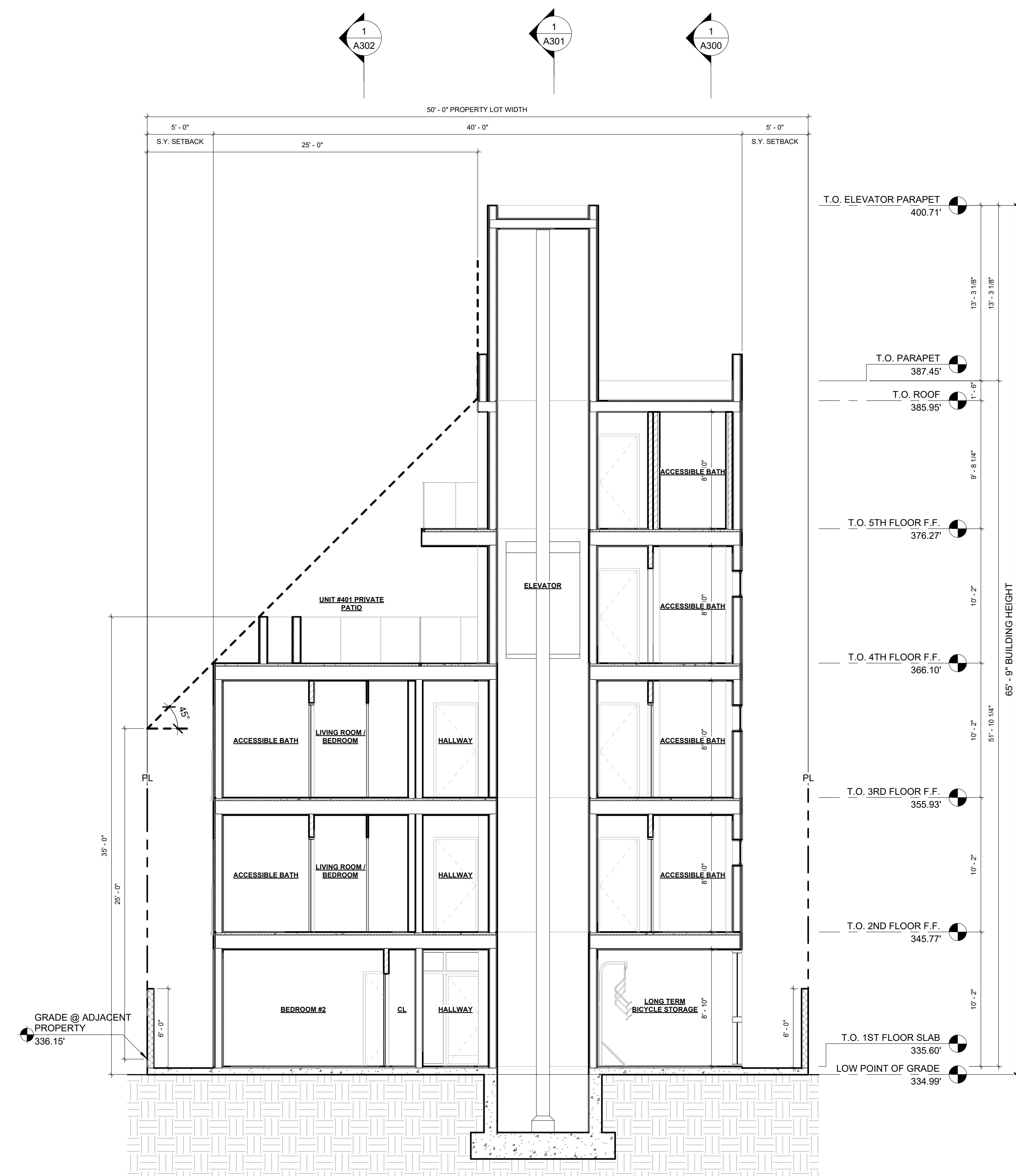
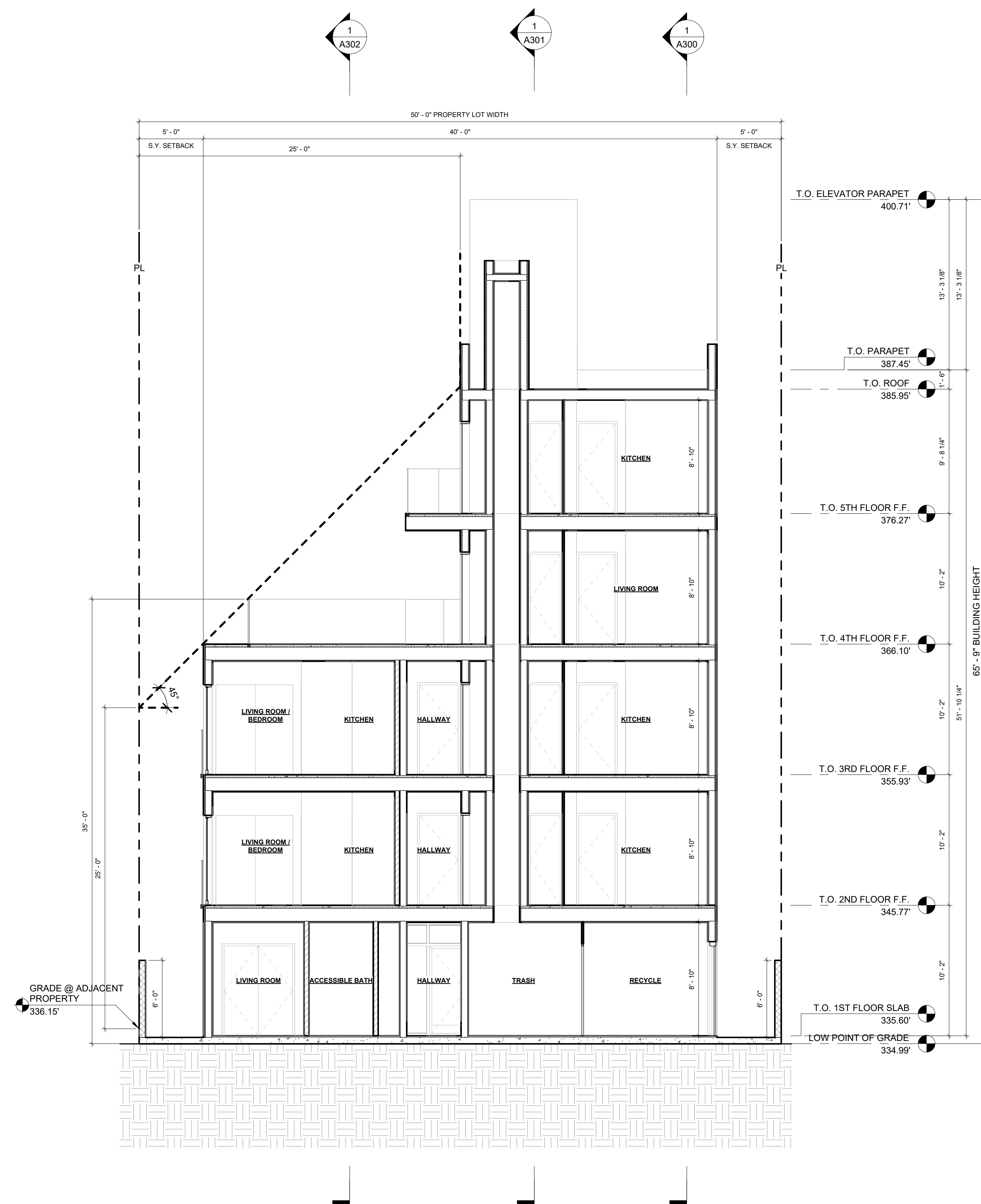


EXHIBIT "A"

Page No. 20 of 33

Case No. DIR-2021-1538-TOC-SPP-HCA

2	SHORT SECTION 2
3/16" = 1'-0"	

1	SHORT SECTION 1
3/16" = 1'-0"	

ARCHITECT:
AARON BRUMER AND ASSOC. ARCHITECTS
10999 RIVERSIDE DRIVE, SUITE #302
NORTH HOLLYWOOD, CA 91602
PHONE: (310) 422-9234
EMAIL: AARON@AARONBRUMER.COM

STRUCTURAL:
BOLD ENGINEER & ASSOCIATES, INC
 3055 WILSHIRE BLVD. #880
 LOS ANGELES, CA 90010
 T: 213-386-3049, F: 323-210-7118,
 C: 213-392-0034
 EMAIL: BOLDENGINEER@GMAIL.COM

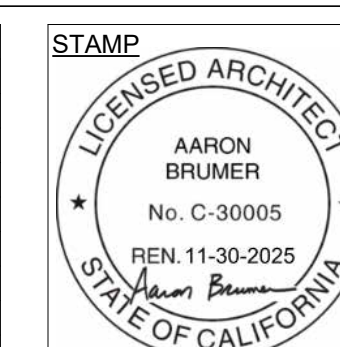
CIVIL:
POINT ENGINEERING, INC
9227 RESEDA BLVD #111
NORTHRIDGE, CA 91324
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EMAIL:
POINTENGINEERINGINC@GMAIL.COM

LANDSCAPE:
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13743 VENTURA BLVD UNIT 220
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EMAIL:
INFO@GREENREPUBLICLANDSCAPES.COM

PROJECT:
30-UNIT MULTIFAMILY DEVELOPMENT

1115, 1117 N BERENDO ST.
LOS ANGELES, CA. 90029

ISSUE	DATE	DESCRIPTION
01	06.03.2022	CITY PLANNING SET #1
02	09.09.2022	PZA SUBMITTAL #1
03	05.16.2023	PZA RESUBMITTAL #1

[illegible]

DRAWING TITLE

SHORT SECTIONS

A304

1115, 1117 N
BERENDO ST

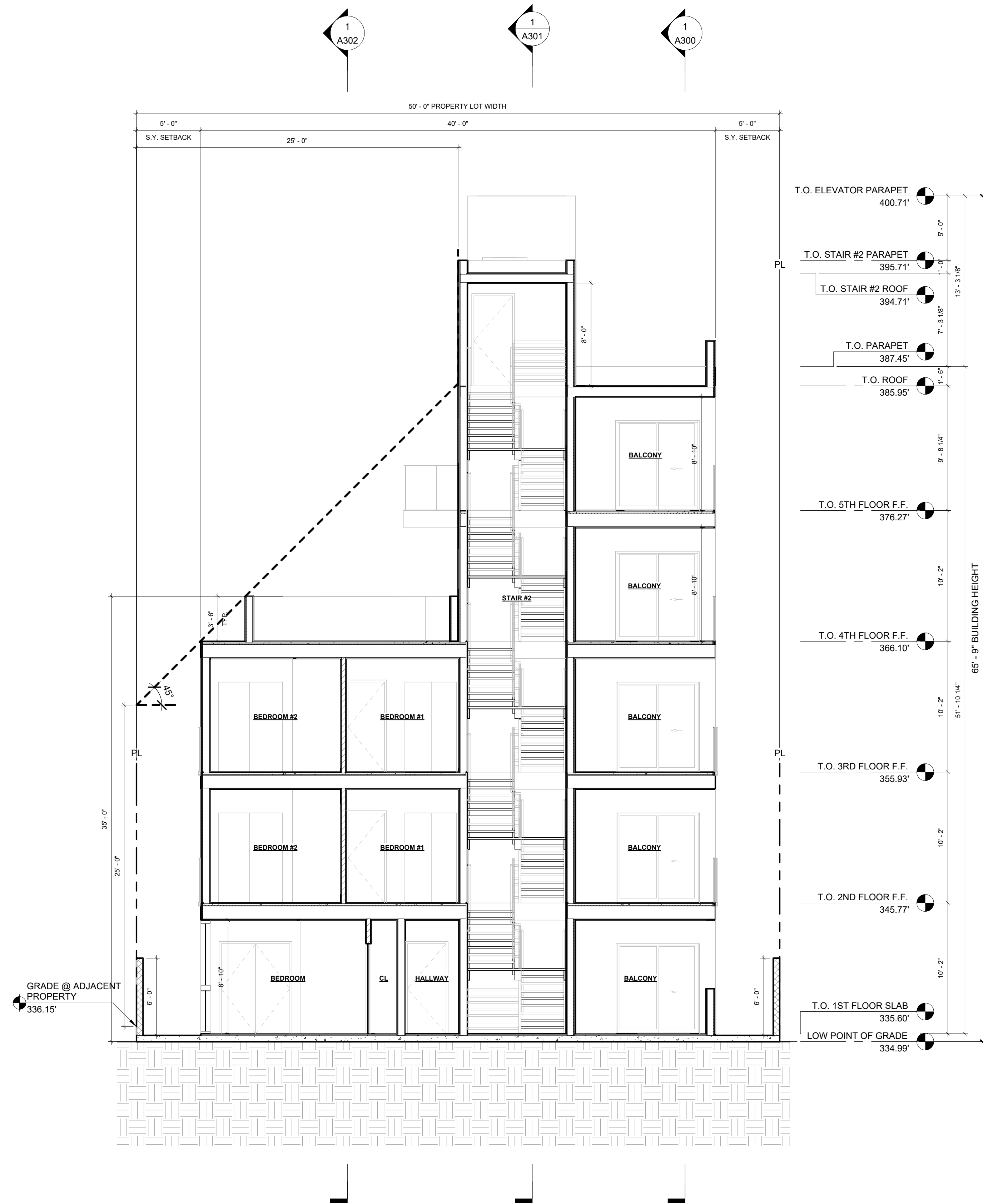


EXHIBIT "A"
Page No. 21 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

2 SHORT SECTION 4
3/16" = 1'-0"

1 SHORT SECTION 3
3/16" = 1'-0"

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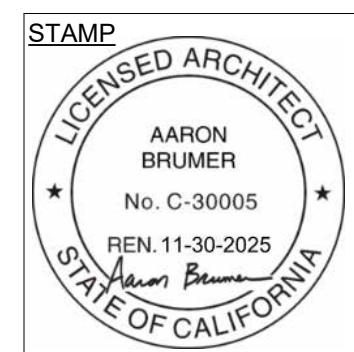
LANDSCAPE:
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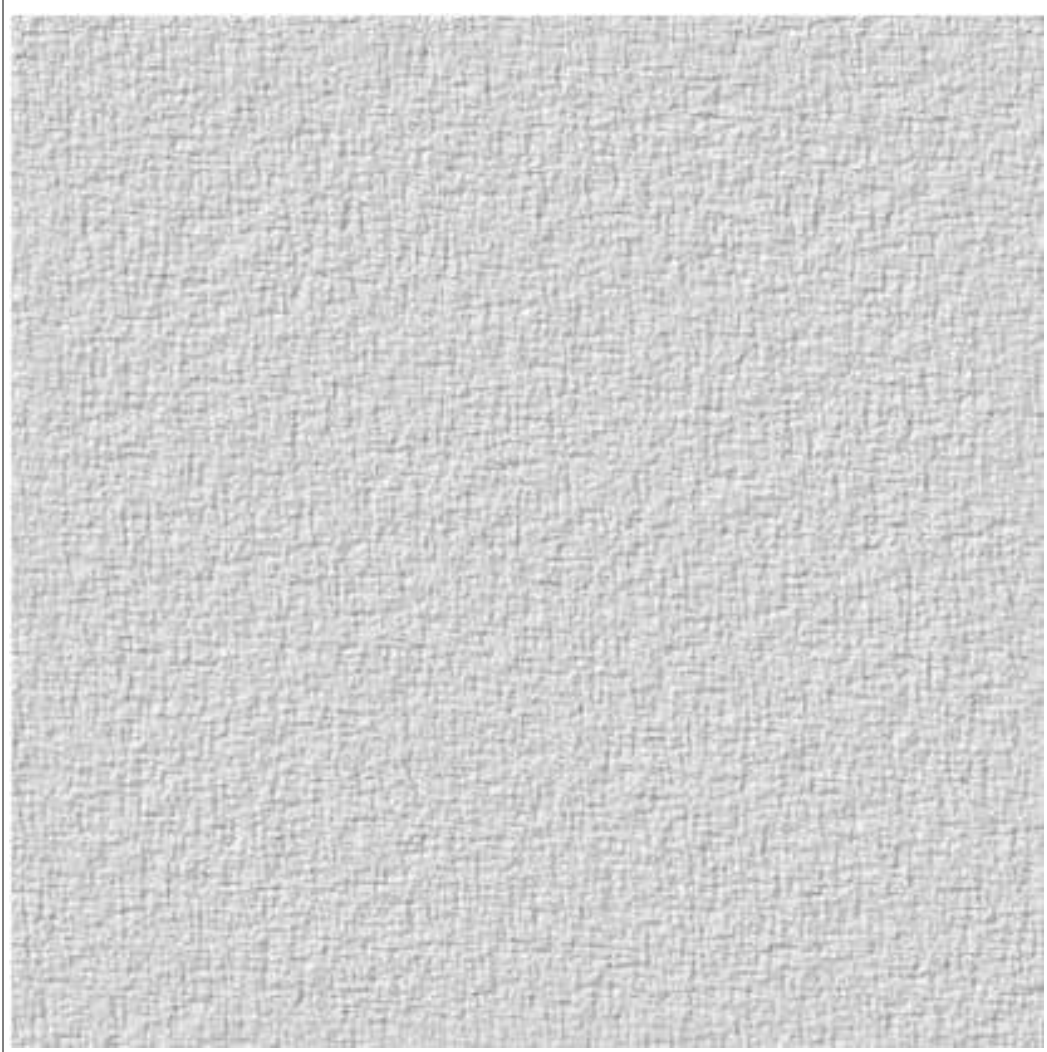


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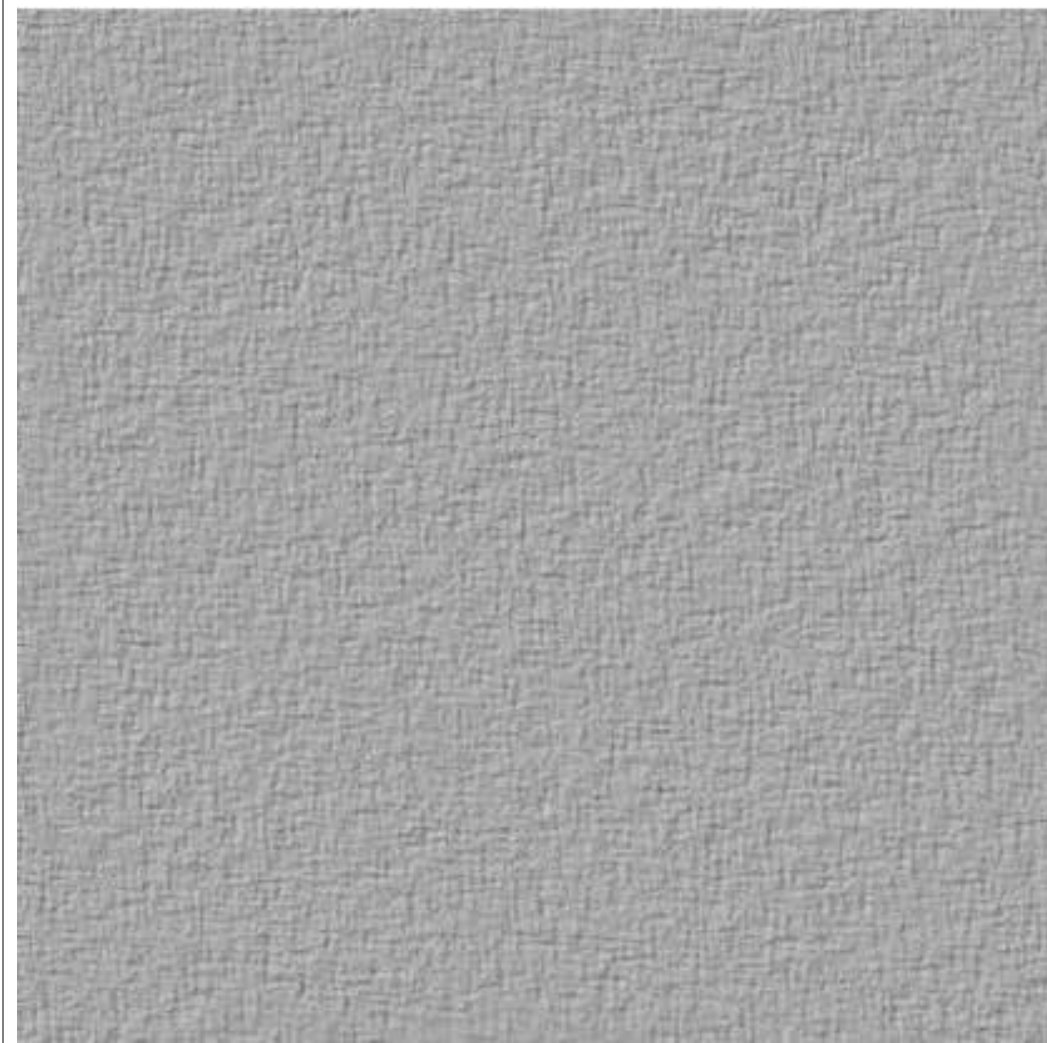
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1115, 1117 N
BERENDO ST



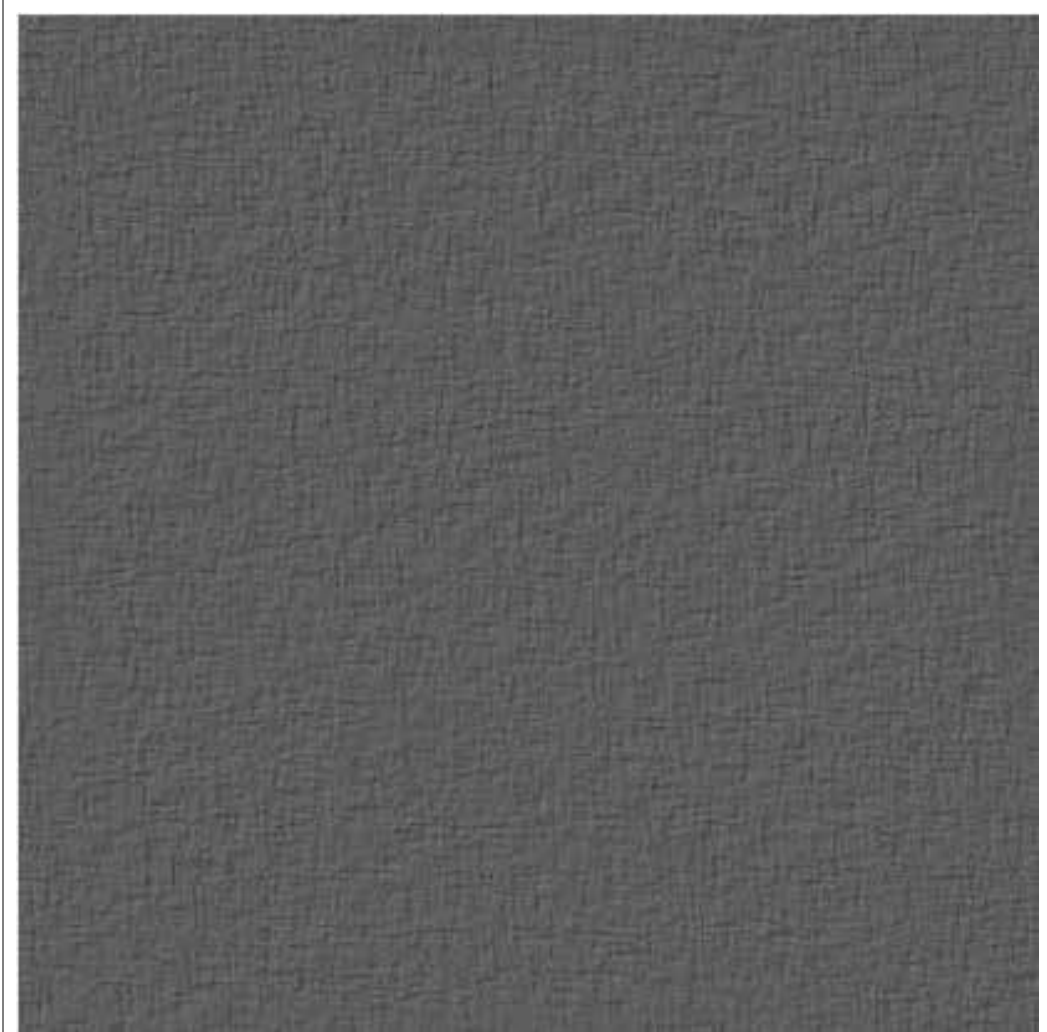
EXHIBIT "A"
Page No. 22 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA



1. WHITE SMOOTH STUCCO



2. LIGHT GRAY SMOOTH STUCCO



3. DARK GRAY SMOOTH STUCCO



4. WOOD VENEER

ARCHITECT:
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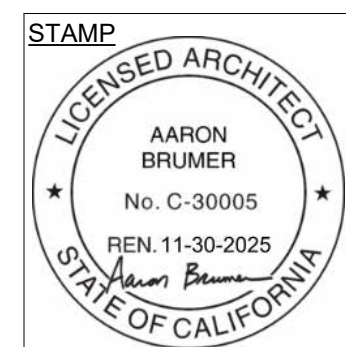
LANDSCAPE:
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PROJECT:
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ISSUE	DATE	DESCRIPTION



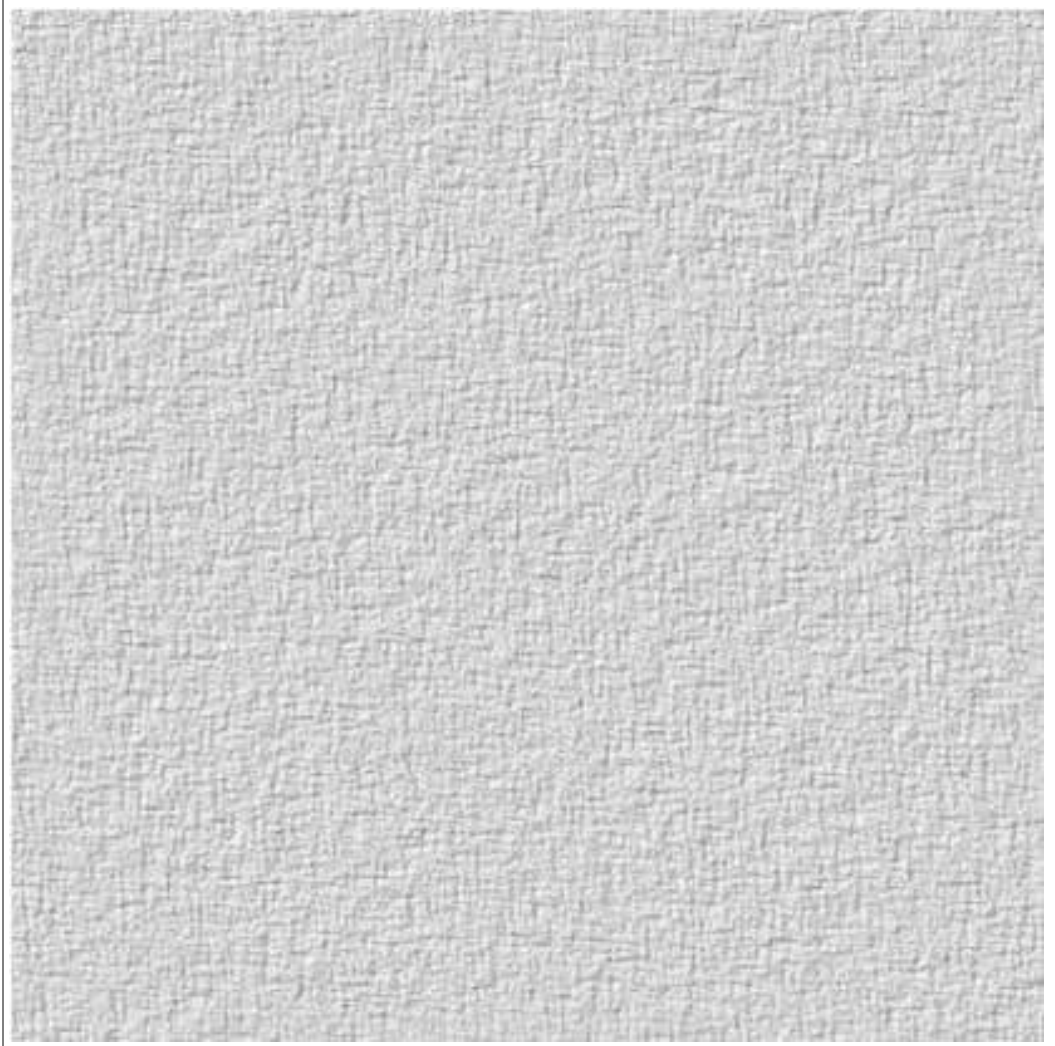
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RENDERING

A400

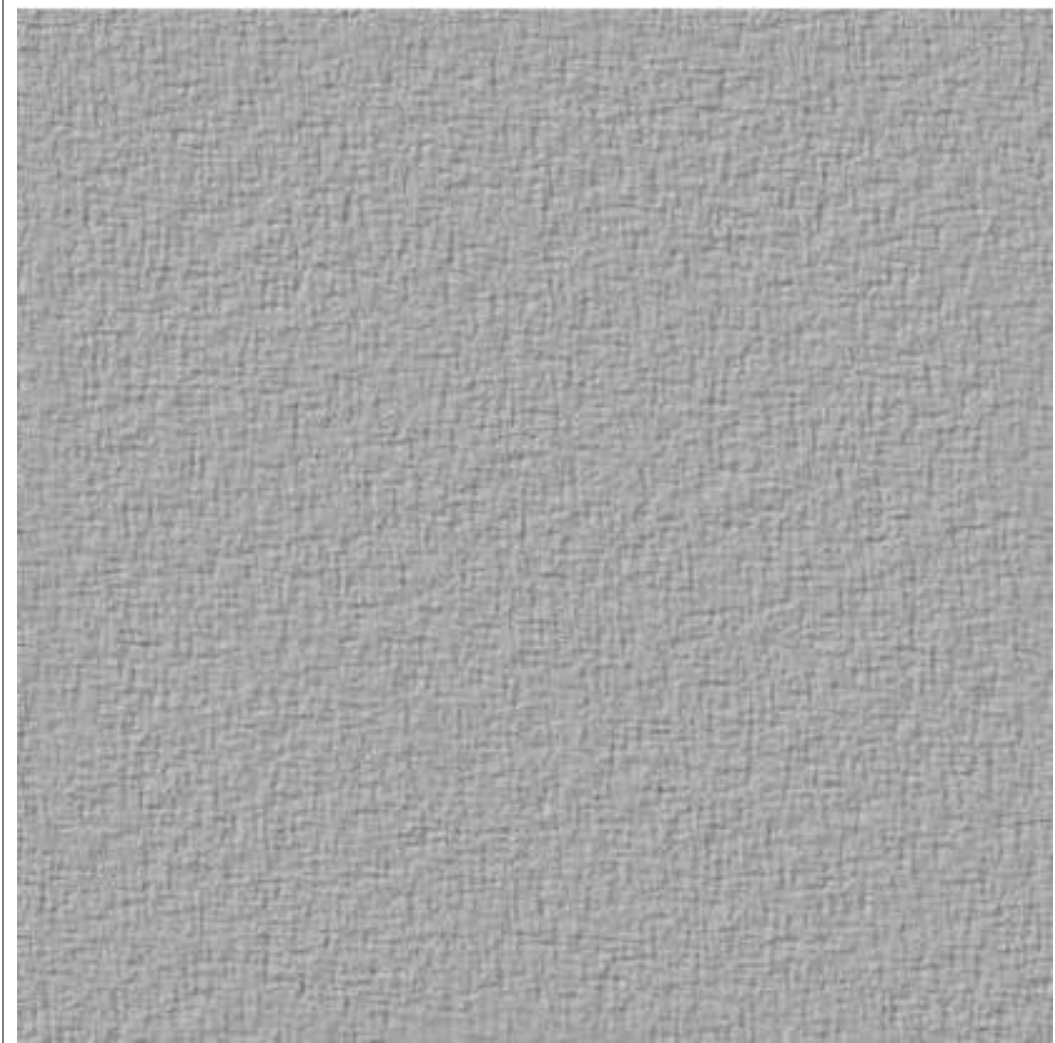
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BERENDO ST



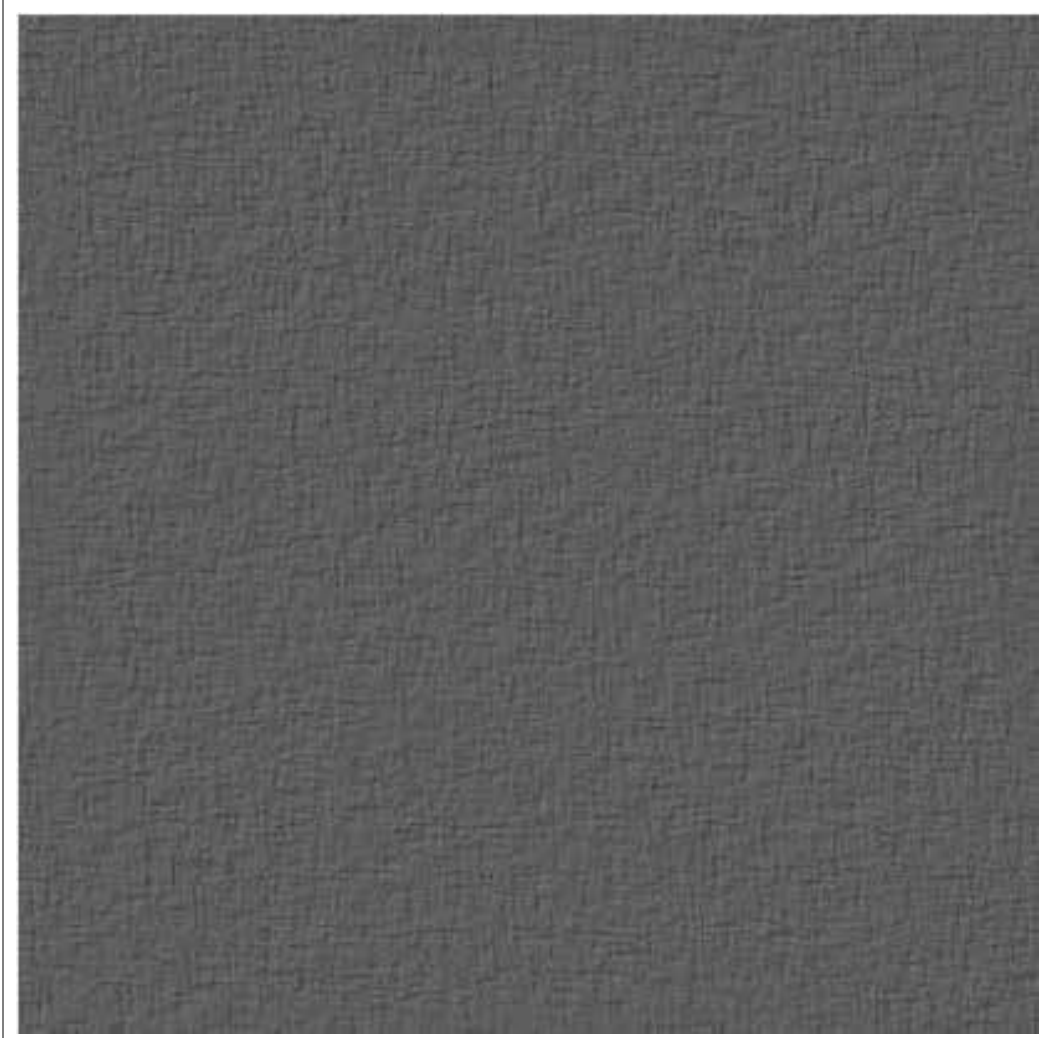
EXHIBIT "A"
Page No. 23 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA



1. WHITE SMOOTH STUCCO



2. LIGHT GRAY SMOOTH STUCCO



3. DARK GRAY SMOOTH STUCCO



4. WOOD VENEER

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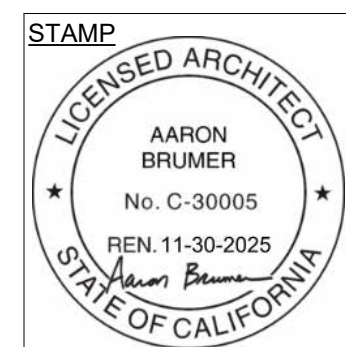
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1115, 1117 N BERENDO ST.
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DRAWING TITLE
RENDERING

A401

1115, 1117 N
BERENDO ST



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EXHIBIT “A”

Page No. 25 of 33

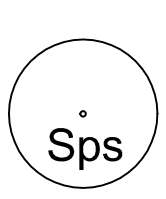
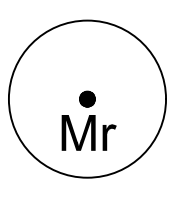
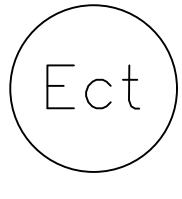
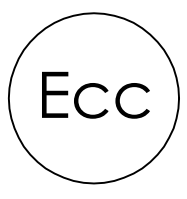
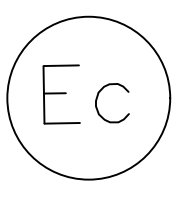
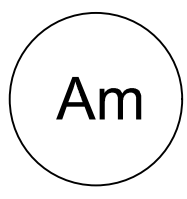
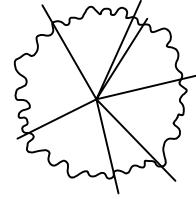
Case No. DIR-2021-1538-TOC-SPP-HCA

GROUND FLOOR PLANT LEGEND:

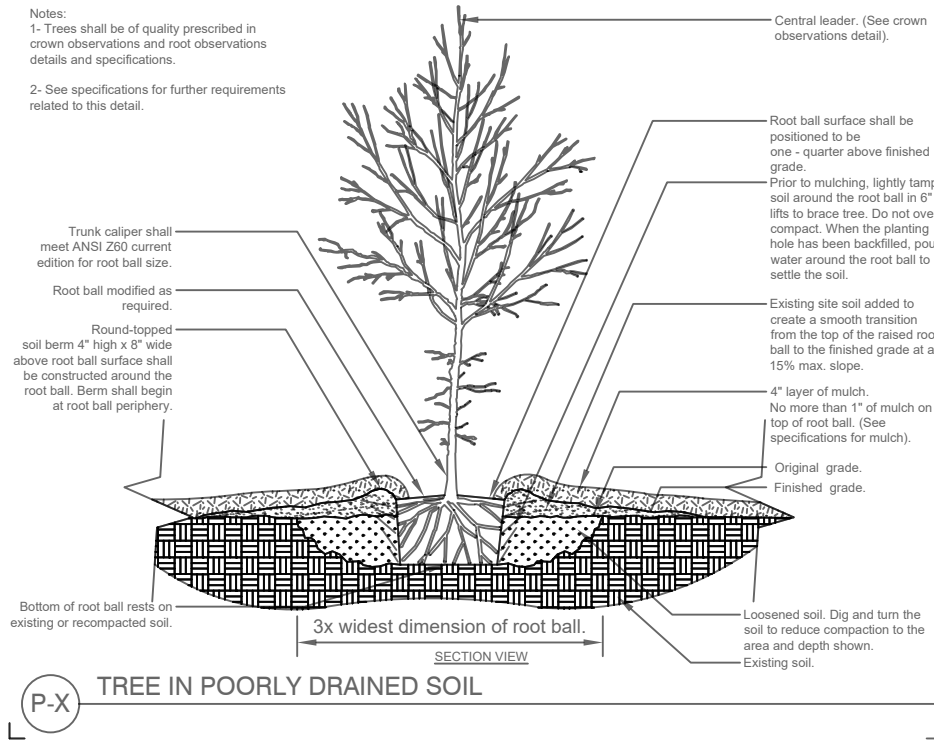
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	PLANT TYPE
	3	PARKINSONIA FLORIDA	BLUE PALO VERDE	24" BOX	VERY LOW <10%	NATIVE TREE

PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	PLANT TYPE
	29	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	LOW 10-30%	NATIVE PERENNIAL
	6	ENCELIA CALIFORNICA	COAST SUNFLOWER	5 GAL	VERY LOW <10%	NATIVE SHRUB
	6	EPHILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	LOW 10-30%	NATIVE PERENNIAL
	2	ERIODICTYON CRASSIFOLIUM	THICKLEAF YERBA SANTA	5 GAL	VERY LOW <10%	NATIVE SHRUB
	6	JUNIPERUS CALIFORNICA	CALIFORNIA JUNIPER	15 GAL	VERY LOW <10%	NATIVE SHRUB
	9	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	LOW 10-30%	NATIVE ORNAMENTAL GRASS
	6	SALVIA LEUCOPHYLLA	PURPLE SAGE	5 GAL	VERY LOW <10%	NATIVE SHRUB

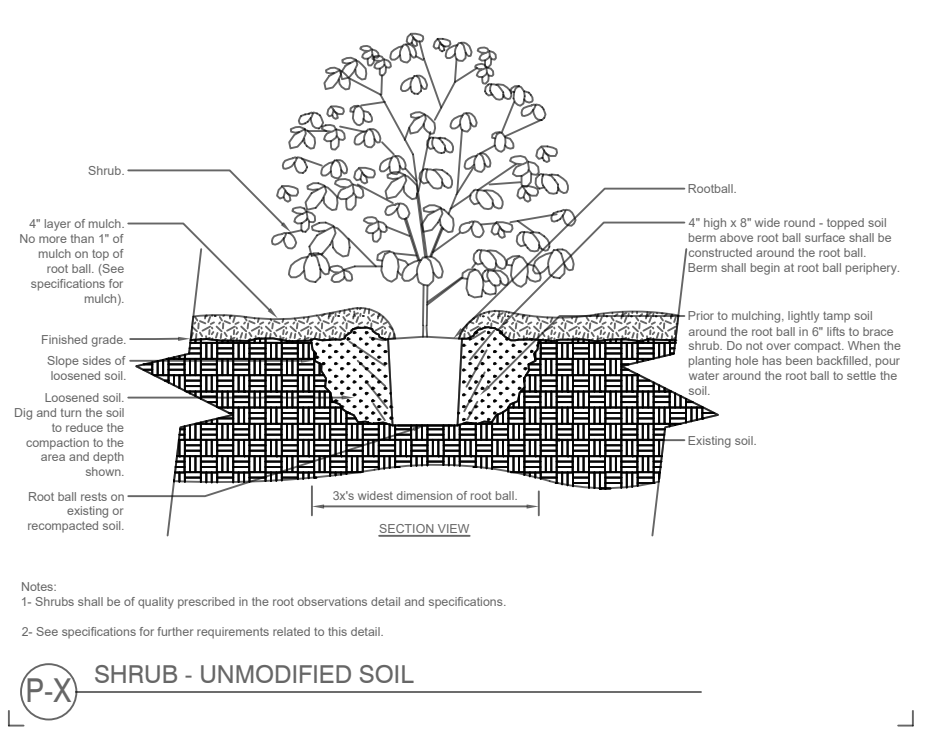
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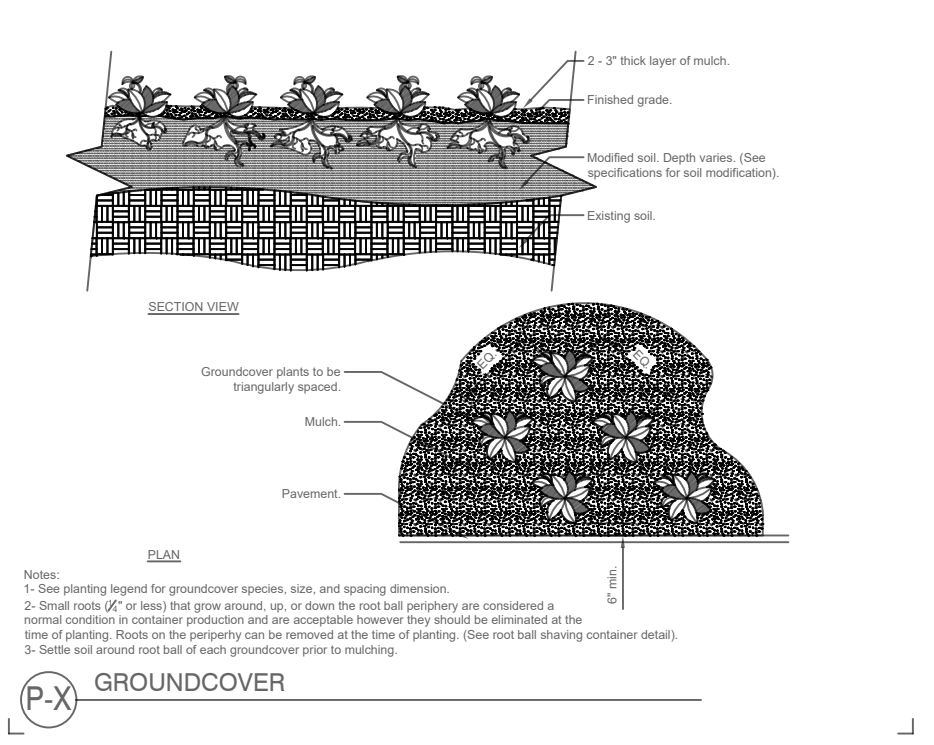
TREE DETAIL:



SHRUB DETAIL:



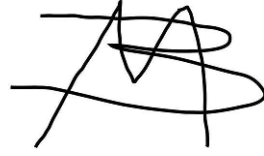
GROUND COVER DETAIL:



Green Republic Landscapes

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License#: 1014404



CLIENT

Yoav Atzmon
1115 N Berendo St
Los Angeles, CA 90029

PROJECT

1115 N Berendo St

DATE

6-7-2023

REVISIONS

1	10-2-2023
2	--
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DRAWING BY: Alisa Summerford

SCALE:NA

SHEET TITLE

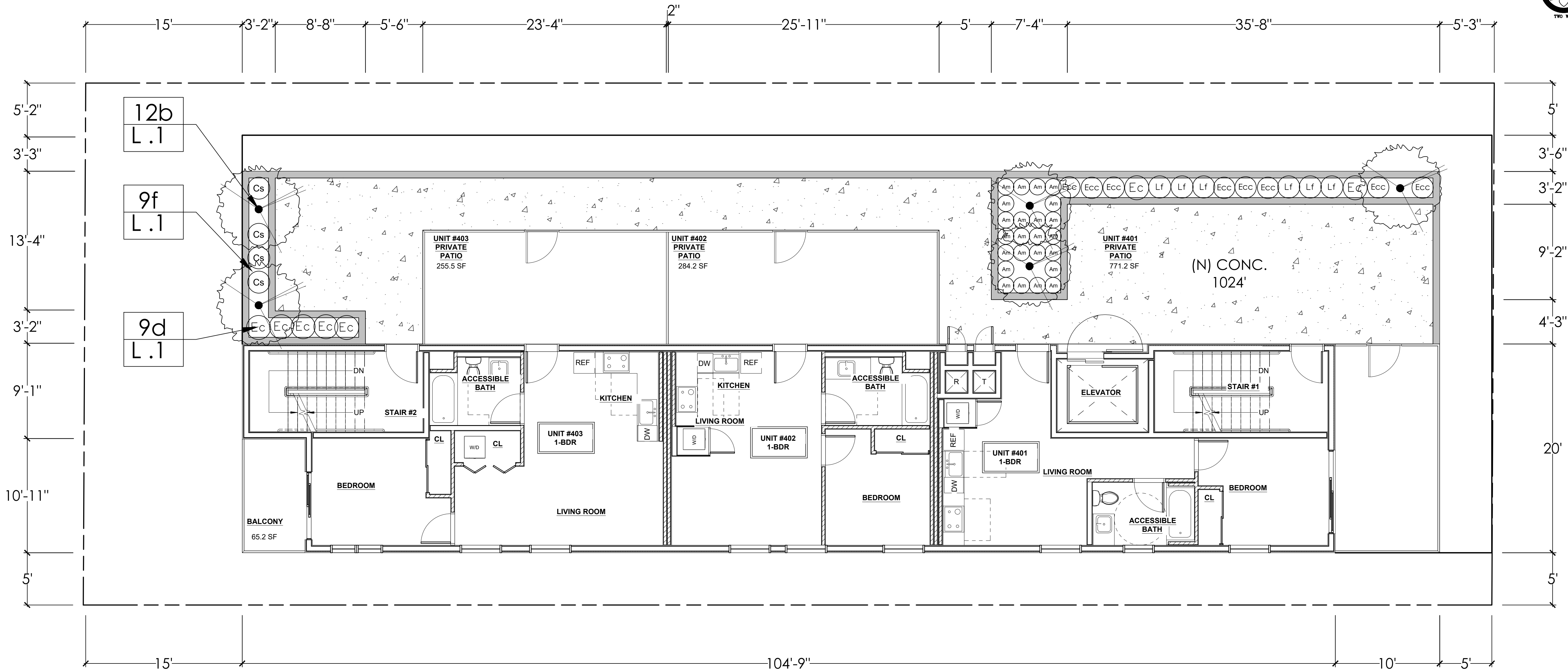
GROUND FLOOR
LEGEND & DETAILS

SHEET NUMBER

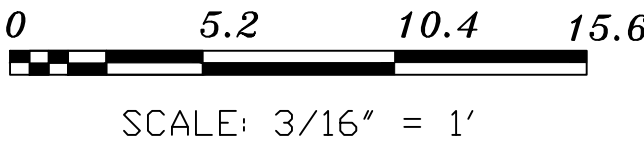
L-2

SHEET 2 OF 4

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FOURTH FLOOR LANDSCAPE PLAN:



FOURTH FLOOR PLANT LEGEND:

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	PLANT TYPE
	5	ARCTOSTAPHYLOS GLAUCA	BIG BERRY MANZANITA	24" BOX	VERY LOW <10%	NATIVE TREE
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	PLANT TYPE
	24	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL	LOW 10-30%	NATIVE PERENNIAL
	4	CALANDRINIA SPECTABILIS	SHINING PINK ROCK PURSLANE	5 GAL	LOW 10-30%	NATIVE PERENNIAL
	7	ENCELIA CALIFORNICA	COAST SUNFLOWER	5 GAL	VERY LOW <10%	NATIVE SHRUB
	8	EPHILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	LOW 10-30%	NATIVE PERENNIAL
	6	LESSINGIA FILAGINIFOLIA	CALIFORNIA BEACH ASTER	5 GAL	LOW 10-30%	NATIVE GROUND COVER

FOURTH FLOOR PLANT IMAGES:



SQ.FOOTAGE CHARTS

TOTAL LANDSCAPE 178 SQ. FT	TOTAL % LANDSCAPE 15%	TOTAL % OF CALIF. NATIVES 100%
TOTAL HARDSCAPE 1024 SQ. FT.	TOTAL % HARDSCAPE 85%	TOTAL % OF NON NATIVES 0%

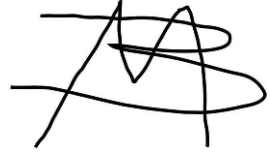
EXHIBIT "A"
Page No. 26 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA



Green Republic Landscapes

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License#: 1014404



C L I E N T

Yoav Atzmon
1115 N Berendo St
Los Angeles, CA 90029

P R O J E C T

1115 N Berendo St

DATE

6-7-2023

R E V I S I O N S

1	10-2-2023
2	-
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DRAWING BY: Alisa Summerford
SCALE: 3/16" = 1'-0"

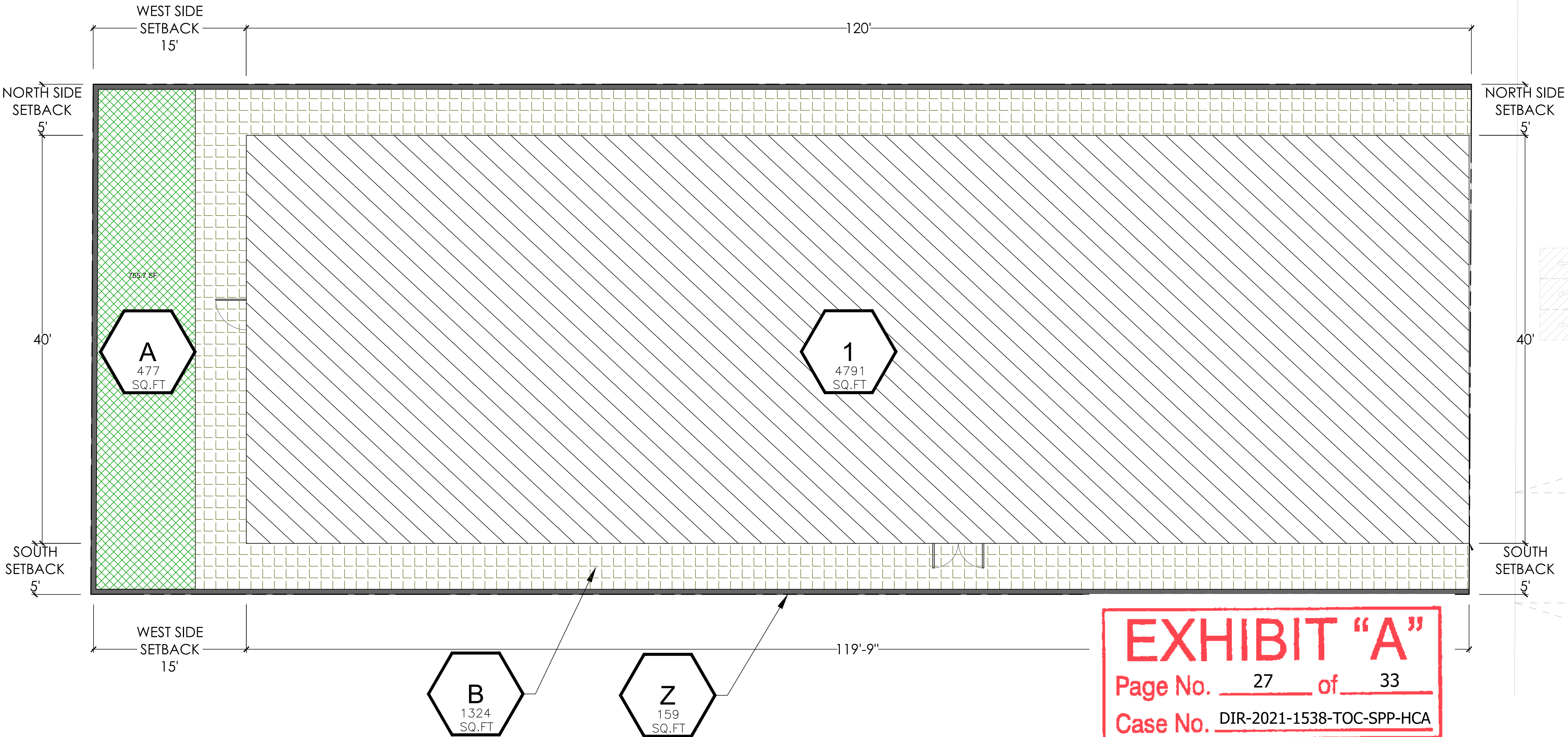
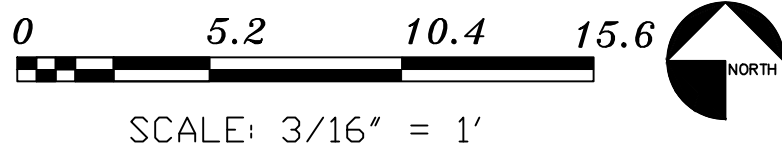
S H E E T T I T L E

4TH FLOOR
LANDSCAPE PLAN

S H E E T N U M B E R

L-3
SHEET 3 OF 4

GROUND FLOOR PERMEABILITY CHART:



1115 N BERENDO ST

TOTAL LOT AREA = 6751 SF

PERVIOUS AREA = 1801.0 SF
IMPERVIOUS AREA = 4791.0 SF
MISC WALL (HORZ AREA) = 159.0 SF
TOTAL AREA = 6751.0 SF

TOTAL SF IN SETBACK CALCULATIONS

FRONT YARD (EAST) = 0 SF
REAR YARD (WEST) = 756 SF
SIDE YARD (NORTH) = 675 SF
SIDE YARD (SOUTH) = 675 SF
TOTAL SF IN SETBACKS = 2106 SF

FRONT YARD (EAST) SETBACK AREA: 0 SF

TOTAL PERMEABLE AREA = 0 SF
TOTAL EAST SETBACK PERMEABILITY = 0.0%

PERVIOUS AREAS

A) LANDSCAPE AND D.G. = 477.0 SF
B) PERMEABLE PAVERS. = 1324.0 SF

TOTAL AREA = 1801.0 SF

TOTAL PERCENTAGE OF PERMEABILITY

PERVIOUS AREAS = 1801.0 SF
IMPERVIOUS AREA = 4950.0 SF
TOTAL AREA = 6751.0 SF

PERCENTAGE OF PERVIOUS AREAS = 27.0%

PERCENTAGE OF IMPERVIOUS AREAS = 73.0%

REAR YARD (WEST) SETBACK AREA: 756 SF

LANDSCAPE AND D.G. = 477 SF
PERMEABLE PAVING AREA = 245 SF

TOTAL PERMEABLE AREA = 722 SF
TOTAL WEST SETBACK PERMEABILITY = 95.0%

IMPERVIOUS AREAS

1) RESIDENCE = 4791.0 SF

TOTAL AREA = 4791.0 SF

SIDE YARD (NORTH) SETBACK AREA: 675 SF

LANDSCAPE AND D.G. = 44 SF
PERMEABLE PAVING AREA = 561 SF

TOTAL PERMEABLE AREA = 605 SF
TOTAL NORTH SETBACK PERMEABILITY = 90.0%

Z) MISC. WALLS (HORIZONTAL AREA) = 159.0 SF

TOTAL AREA = 159.0 SF

SIDE YARD (SOUTH) SETBACK AREA: 675 SF

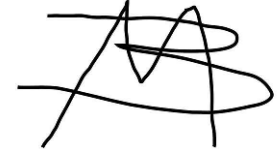
LANDSCAPE AND D.G. = 44 SF
PERMEABLE PAVING AREA = 561 SF

TOTAL PERMEABLE AREA = 605 SF
TOTAL SOUTH SETBACK PERMEABILITY = 90.0%

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CLIENT

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PROJECT

1115 N Berendo St

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REVISIONS

1	10-2-2023	
2	-	
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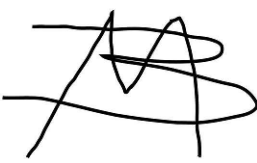
DRAWING BY: Alisa Summerford
SCALE: 3/16" = 1'-0"

SHEET TITLE

PERMEABILITY PLAN & OPEN SPACE CALCS

SHEET NUMBER

L-4
SHEET 4 OF 4



CLIENT

Yoav Atzmon
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PROJECT

1115 N Berendo St

DATE

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REVISIONS

△	10-2-2023	
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DRAWING BY: Saul Navarro
SCALE: 3/16" = 1'-0"

SHEET TITLE

GROUND FLOOR IRRIGATION PLAN

SHEET NUMBER

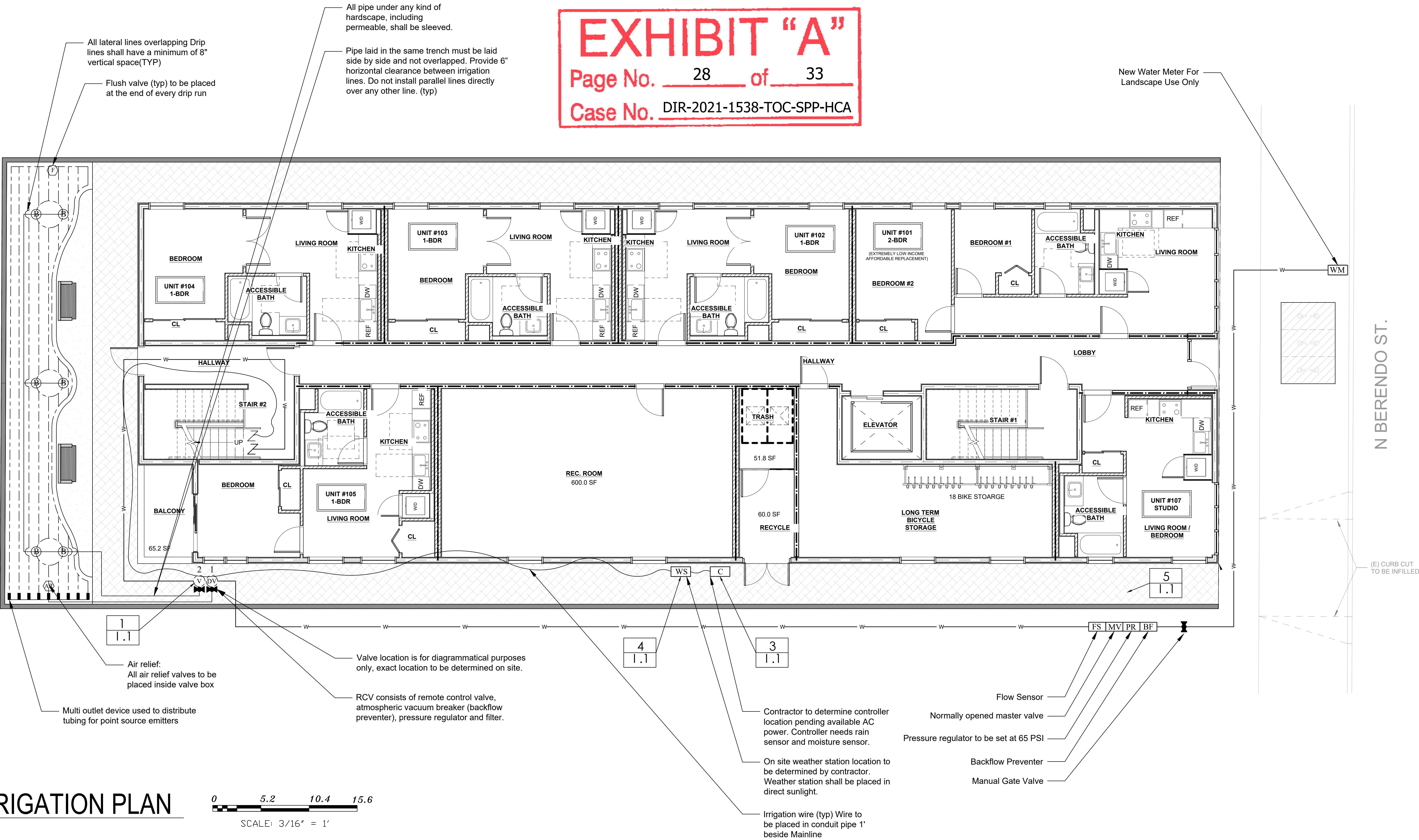
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SHEET 1 OF 6

EXHIBIT "A"

Page No. 28 of 33

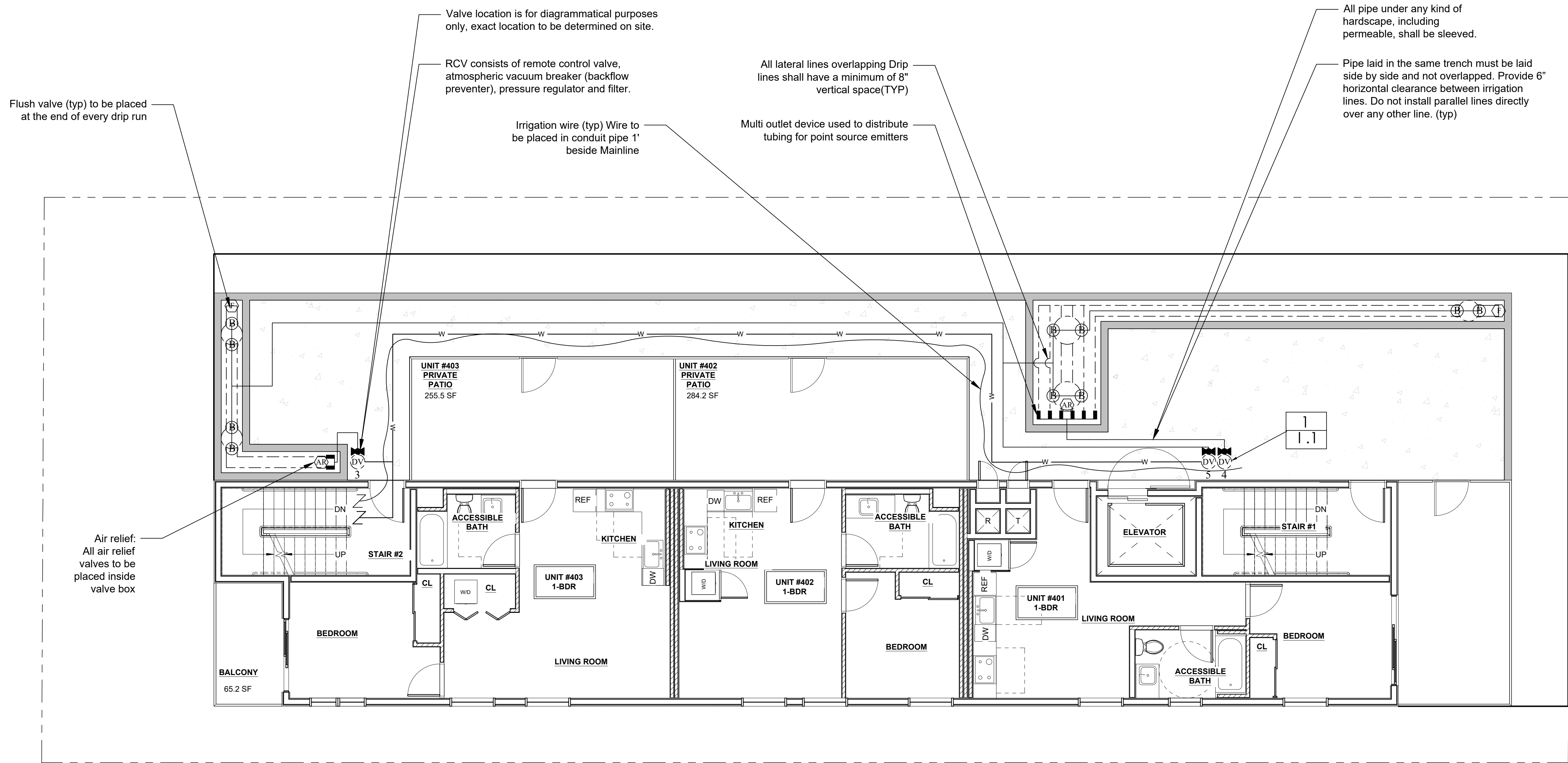
Case No. DIR-2021-1538-TOC-SPP-HCA



IRRIGATION PLAN

0 5.2 10.4 15.6
SCALE: 3/16" = 1'

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IRRIGATION PLAN

0 5.2 10.4 15.6
SCALE: 3/16" = 1'

EXHIBIT "A"

Page No. 29 of 33

Case No. DIR-2021-1538-TOC-SPP-HCA

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License#: 1014404



CLIENT

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1115 N Berendo St
Los Angeles, CA 90029

PROJECT

1115 N Berendo St

DATE

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REVISIONS

10-2-2023	
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DRAWING BY: Saul Navarro

SCALE: 3/16" = 1'-0"

SHEET TITLE

ROOF FLOOR
IRRIGATION PLAN

SHEET NUMBER

I-2

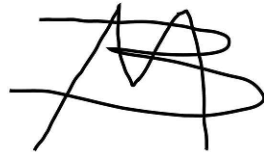
SHEET 2 OF 6

N BERENDO ST.

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE HERETO REMAINS IN THE LANDSCAPE DESIGNER. USE WITHOUT WRITTEN CONSENT OF GREEN REPUBLIC LANDSCAPES IS PROHIBITED. VISUAL CONTACT COUNTERPARTIES ACCEPTANCE OF THESE RESTRICTIONS

Green Republic Landscapes Inc.

P.O Box 5477
Sherman Oaks, Ca 91413
T : 818 616 1860
License#: 1014404



C L I E N T

Yoav Atzman
1115 N Berendo St
Los Angeles, CA 90029

P R O J E C T

1115 N Berendo St

DATE

6-7-2023

R E V I S I O N S

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DRAWING BY: Saul Navarro

SCALE: NA

S H E E T T I T L E

IRRIGATION
LEGEND

S H E E T N U M B E R

I-3

SHEET 3 OF 6

LEGEND

POC

W M	NEW WATER METER: 3/4" WITH 100PSI MIN 80 PSI For Landscape Use Only
BF	Double Check Valve Backflow Prevention Device: Febco: 850 Installed above ground
PR	Pressure Regulator Connected to Master valve: Output to be set at 65 PSI Accu Sync: AS-ADJ
MV	Normally Opened master valve : Hunter: ICV-101G - AS-ADJ Enclosure: Valve box: PVBSTD 12"
FS	Flow Sensor: Hunter: Wireless Flow Sensor: WFS Enclosure: Valve box: PVBSTD 12"
	Isolation valve: Manual Ball valve - 1" Enclosure: Valve box: PVB6RNDGL:6" round green lid

VALVES

	Isolation valve: PVC Ball valve - 1" Enclosure: Valve box: PVB6RNDGL:6" round green lid
DV	Single station drip valve with PRS: Hunter PCZ-101-LF-40 Valve box: PVBSTD 12"
V	Single station valve with PRS: Hunter PGV-101G-30 Valve box: PVBSTD 12"

CONTROLLER

C	Controller: Hunter: IC-600PL (6 station controller) with 1x IC-600-SS (6 station plug-in expansion module) and connected to weather station Enclosure: Wall Mount
WS	Weather Station: Hunter Solar Sync: WSS-SEN (Wireless)
	Controller: Wire Conduit (read general notes)
	Controller Wire Break: Wire Conduit Break Connection to run through building for each valve

REMOTE CONTROL VALVE

Hydrozone number	#	# gpm	Flow rate
Valve size	#"	# in/hr	Precipitation rate

DISTRIBUTION

AR	Air relief valve for drip: Netafim - TLAVRV Valve box: Rainbird - SEB 7xb
F	Flush valve for drip: Netafim - TLFV-1 Valve box: Rainbird - SEB 7xb
B	Bubbler: Trees - Hunter Root zone watering system: RZWS-18
---	Drip line: NETAFIM TLCV4-12 Techline dripline (specified on map) NETAFIM TLCV6-12 Techline dripline (specified on map) <small>** CHECK VALVES PRE-INSTALLED INSIDE NETAFIM DRIP TUBING</small>

PIPING

	Sleeve: All pipe crossing hardscape, including permeable shall be sleeved
ML 1"	Mainline: Schedule 40 PVC - All mainline 1"
	Mainline Break: Schedule 40 PVC - All mainline 1" Connection to run through building for each valve
L 3/4"	
L 1"	Lateral: Schedule 40 PVC - ALL Laterals to be 3/4" or 1"
	PVC to Dripline coupling

VALVE SPECS

NETAFIM: TUBE SPACING 12" O.C. EMITTER SPACING 12" O.C. .4 GPH	1 3/4"	3 gpm .64 in/hr
HUNTER: ROOT ZONE WATERING SYSTEM RZWS-18-50	2 3/4"	7 gpm .67 in/hr
NETAFIM: TUBE SPACING 12" O.C. EMITTER SPACING 12" O.C. .4 GPH	3 3/4"	3 gpm .64 in/hr
NETAFIM: TUBE SPACING 12" O.C. EMITTER SPACING 12" O.C. .4 GPH	4 3/4"	3 gpm .64 in/hr
HUNTER: ROOT ZONE WATERING SYSTEM RZWS-18-50	5 3/4"	7 gpm .67 in/hr

EXHIBIT "A"
Page No. 30 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA

CITY OF LOS ANGELES
WATER MANAGEMENT POINTS

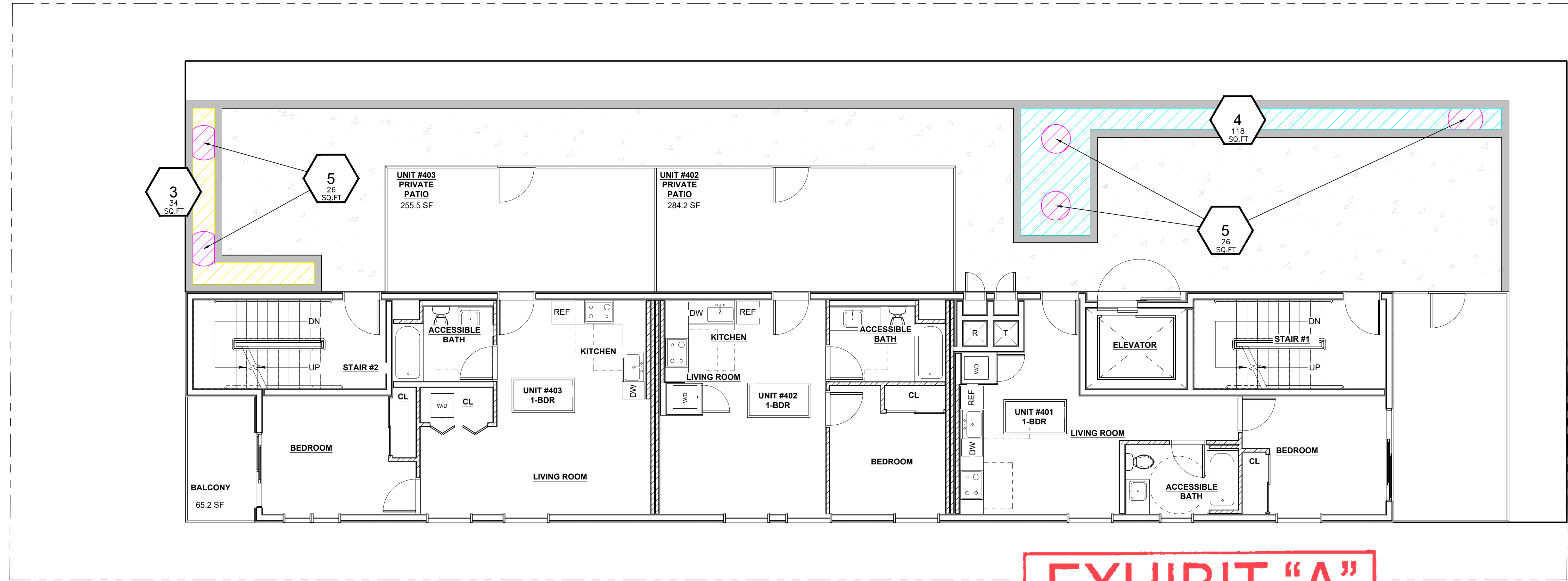
Total s.f. or Project Site: 6751
Total number of points required for site: 100
Total number of points claimed: 299

Legend:	Item No. per LA City Guidelines Sheet No.
1 1.1	

Detail of Points	Points Claimed	Callout
1. Technique Drip/trickle/micro irrigation/low precipitation sprinkler heads with flow-control device. (5 points per circuit)	25	1 1.1
2. Technique Lawn area or swimming pools 0% to 15% of the landscape area	10	2 1.1
3. Technique Automatic irrigation controller with cycling capacity, and with watering schedule (minimum summer/winter schedules) (any number)	5	3 1.1
4. Technique Soil moisture sensor (one for each zone)/anemometer/rain measuring device or sensing system/evapotranspiration data used with automatic controller. (2 per device/ technique; minimum 10 points)	12	4 1.1
5. Technique Permeable paving (minimum 100 square feet).	5	5 1.1
6. Technique Plants on site those that will, in the designed location, and properly established for 3 years, remain in good health with no more than monthly watering in summer (existing plants that comply may be counted) (plants included on the list maintained by the local chapter of the California Native Plant Society may not be counted-- www.lacnps.org/invasive a) Plant (2 per plant - as specified in gallon or box quantity on the drawings)	242	6a 1.1

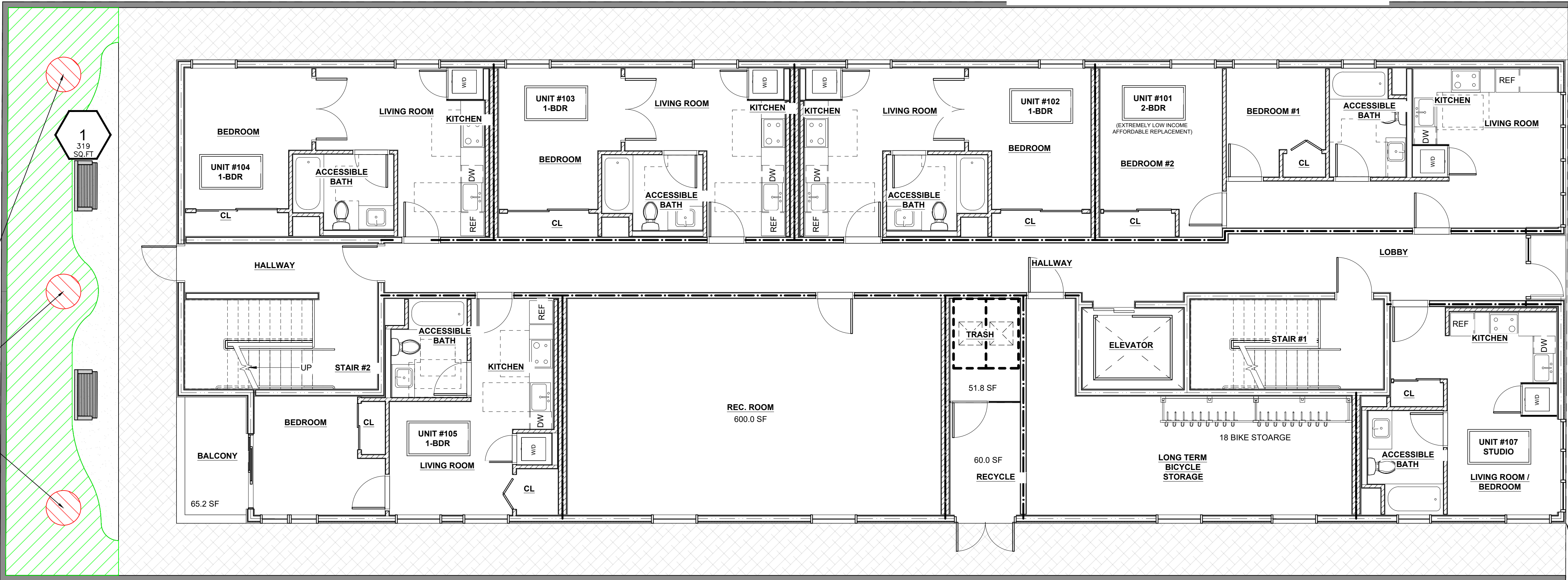
TOTAL NUMBER POINTS CLAIMED: 194

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE HERETO REMAINS IN THE LANDSCAPE DESIGNER. USE WITHOUT WRITTEN CONSENT OF GREEN REPUBLIC LANDSCAPES IS PROHIBITED. VISUAL CONTACT COUNTRIES ACCEPTANCE OF THESE RESTRICTIONS.



ROOF FLOOR HYDROZONE MAP

EXHIBIT "A"
Page No. 31 of 33
Case No. DIR-2021-1538-TOC-SPP-HCA



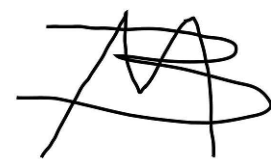
GROUND FLOOR HYDROZONE MAP

N BERENDO ST.

N BERENDO ST.

Green Republic Landscapes Inc.

P.O Box 5477
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T : 818 616 1860
License#: 1014404



CLIENT

Yoav Atzmon
1115 N Berendo St
Los Angeles, CA 90029

PROJECT

1115 N Berendo St

DATE
6-7-2023

REVISIONS

△	10-2-2023
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DRAWING BY: Saul Navarro
SCALE: NTS

SHEET TITLE
HYDROZONE MAP

SHEET NUMBER
1-4
SHEET 4 OF 6

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TILF HEREETO REMAINS IN THE LANDSCAPE DESIGNER. USE WITHOUT WRITTEN CONSENT OF GREEN REPUBLIC LANDSCAPES IS PROHIBITED. VISUAL CONTACT COEXISTENCES ACCEPTANCE OF THESE RESTRICTIONS

GENERAL NOTES

- ALL CONTROL AND COMMON WIRE TO BE AWG #14UF-600 VOLT SOLID COPPER
- PROVIDE P.V.C. SCHED. 40 SLEEVES FOR ALL LATERAL AND PRESSURE LINE AND CONTROL WIRING UNDER PAVING INSTALL WITH 30" OF COVER AND RECOMPACT TO 95%. USE SEPARATE SLEEVES FOR MAINLINE, LATERAL AND WIRE.
- ACTUAL LOCATION OF AUTOMATIC CONTROLLER TO BE VERIFIED WITH OWNER OR HIS REPRESENTATIVE.
- IF MAINLINE AND CONTROL VALVES SHOWN IN WALK AREAS, IT IS FOR CLARITY ONLY. ROUTE IN PLANTED AREAS.
- STOP ALL BACK DRAINAGE OF HEADS.
- USE TEFLON TAPE OR DOPE ON ALL MALE PIPE THREADS OF CONTROL ASSEMBLY, SWING JOINT AND BACKFLOW ASSEMBLY.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS, AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, INCLUDING NEW PLANT MATERIALS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT ARE IN CONFLICT WITH THE PLANS. SUCH CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE IN WRITING. IN THE EVENT OF THE NOTIFICATION IS NOT PERFORMED, THE IRRIGATION INSTALLER SHALL ASSUME FULL RESPONSIBILITY FOR ANY ON-SITE ADJUSTMENTS NECESSARY TO MAKE SURE THE SYSTEM PERFORMS AT NO ADDITIONAL COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALKS, RETAINING WALLS ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING STRUCTURES, ETC.
- INSTALL VALVES IN SHRUB OR GROUND COVER AREAS 12" FROM EXISTING SIDEWALK AS SPACE PERMITS.
- ALL PVC LATERAL TO BE SCHEDULE 40- 3/4". ALL MAINLINE TO BE SCHEDULE 40: 1-1/4".
- THE IRRIGATION CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL FIELD REVISIONS AND SHALL PRESENT THE OWNER AND SHALL PRESENT THE OWNER WITH AN "AS-BUILT" SET OF SEPIAS AT THE CONCLUSION
- THE IRRIGATION SYSTEM SHALL BE TESTED IN THE FIELD BEFORE FINAL APPROVAL.

TEST ALL SPRINKLER MAINS AFTER PIPE IS LAID AND JOINTS ARE COMPLETED BY SUBMITTING TO A PRESSURE TEST OF ONE AND ONE HALF TIMES EXISTING STATIC PRESSURE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. DO NOT BACKFILL ANY TRENCH UNTIL THE OWNER'S REPRESENTATIVE HAS APPROVED THE TEST. REPAIR ANY LEAKS UNTIL LINES MEET TEST REQUIREMENTS AND THE OWNER'S REPRESENTATIVE'S APPROVAL. ALL LATERALS SHALL BE TESTED UNDER MAIN PRESSURE FOR LEAKS; ANY LEAKS SHALL BE REPAIRED. ALL TESTS WITH THE EXCEPTION OF THE LATERALS SHALL BE FOR A DURATION OF 4 HOURS WITH A MAXIMUM DROP
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT TIME OF FINAL INSPECTION.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

IRRIGATION NOTES per MWELO

"A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes".

"An irrigation audit report shall be completed at the time of final inspection".

"Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specific irrigation devices".

"Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur".

"Recirculating water systems shall be used for water features".

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans".

"A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project".

CALCULATIONS

HYDROZONE	PLANT TYPE	PLANT WATER USE TYPE	PLANT FACTOR (PF)	AREA (HA) (SQ.F.)	PF X HA (SQ.F.)	PERCENT OF LANDSCAPE AREA (LA)	IRRIGATION EFFICIENCY (IE)	HYDROZONE ETWU	IRRIGATION METHOD
1	Achillea, Encelia, Ephilobium, Eriodictyon, Juniperus, Muhlenbergia, Salvia	LW	0.3	382	114.6	37%	0.81	4395	D
2	Parkinsonia	MW	0.5	200	100	20%	0.81	3835	B
3	Calandrinia, Ephilobium	LW	0.3	71	21.3	7%	0.81	817	D
4	Achillea, Encelia, Ephilobium, Lessingia	LW	0.3	272	81.6	27%	0.81	3129	D
5	Arctostaphylos	MW	0.5	98	49	10%	0.81	1879	B
TOTAL				1023		100%		14055	

NOTE: Turf shall not be overseeded in winter months. Therefore plant factor used is warm season turf: .06

MAWA = (Eto)(0.62)/[(0.55 x LA) 0 (0.45 x SLA)]

Eto	Conversion factor	Et adjustment factor	LA	Et adjustment factor	SLA	Allocated Gallons
50.1	0.62	0.55	1023	0.45	0	17477

ETWU = (50.1 IN)(.62)/[(PF X HA/IE)] = GALLONS PER YEAR

Calculated above

MAWA > ETWU	
MAWA	17477
ETWU	14055
Difference:	3422

PER MWELO:			
VLW	Very Low water (0.1)	Overhead spray (S)	0.75
LW	Low water (0.2-0.3)	Sub surface drip (D)	0.81
MW	Moderate water (0.4-0.6)	Emitters (E)	0.81
HW	High water (0.7-1.0)	Bubbler (B)	0.81

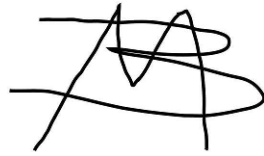
EXHIBIT "A"

Page No. 32 of 33

Case No. DIR-2021-1538-TOC-SPP-HCA

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Los Angeles, CA 90029

P R O J E C T

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DATE

6-7-2023

R E V I S I O N S

10-2-2023	
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DRAWING BY: Saul Navarro

SCALE: NA

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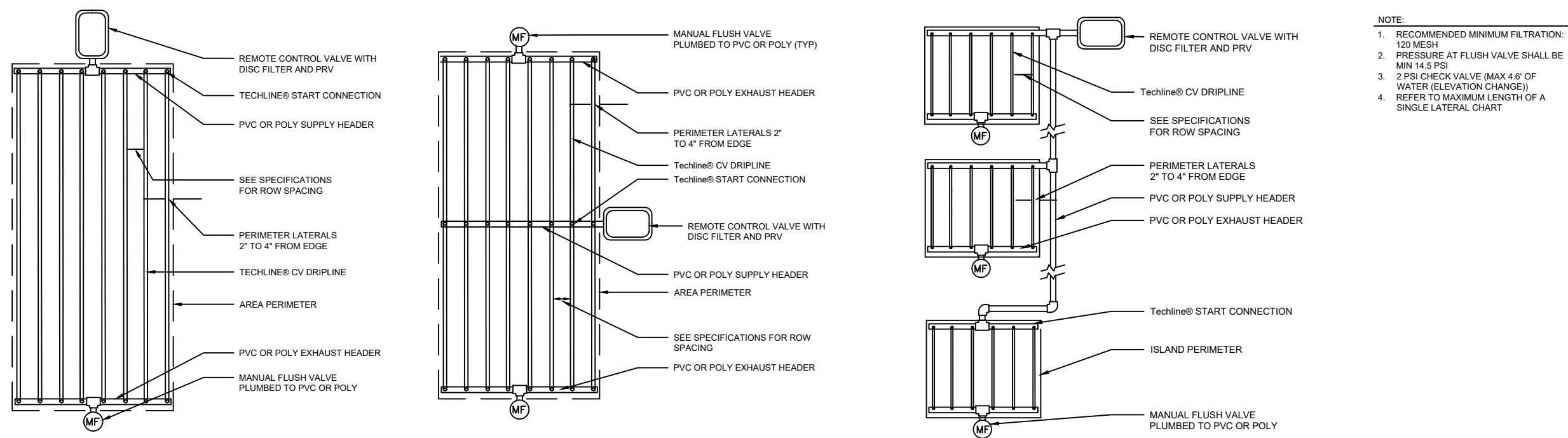
HYDROZONE NOTES
AND CALCS

S H E E T N U M B E R

I-5

SHEET 5 OF 6

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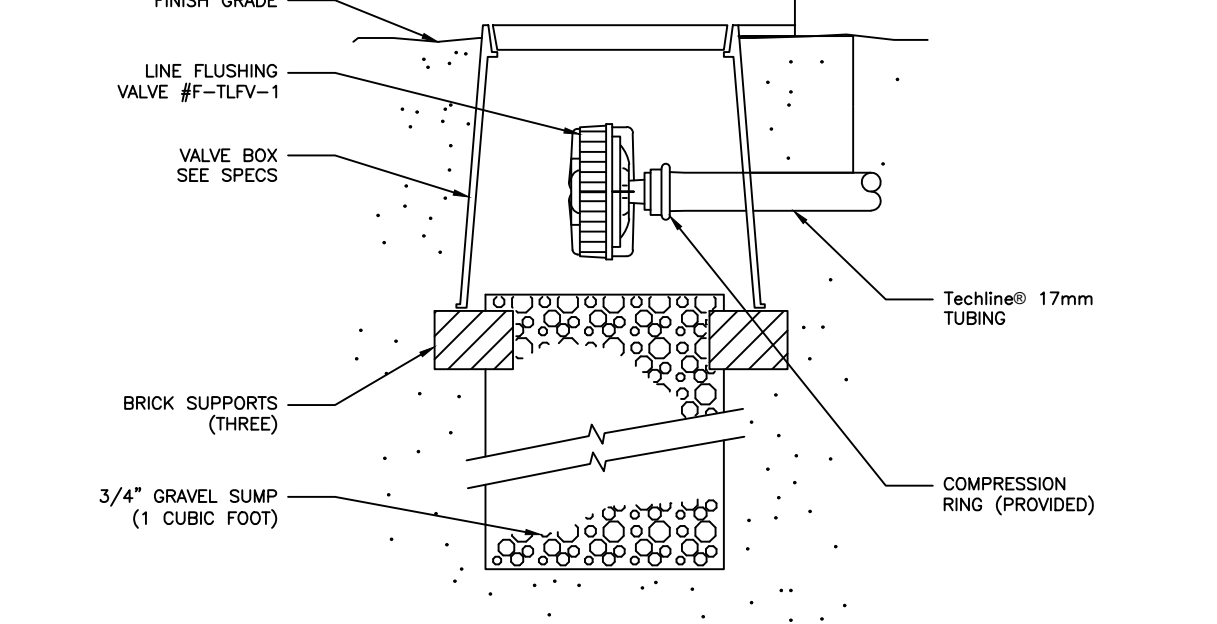
Techline® CV END FEED LAYOUT

CENTER FEED LAYOUT

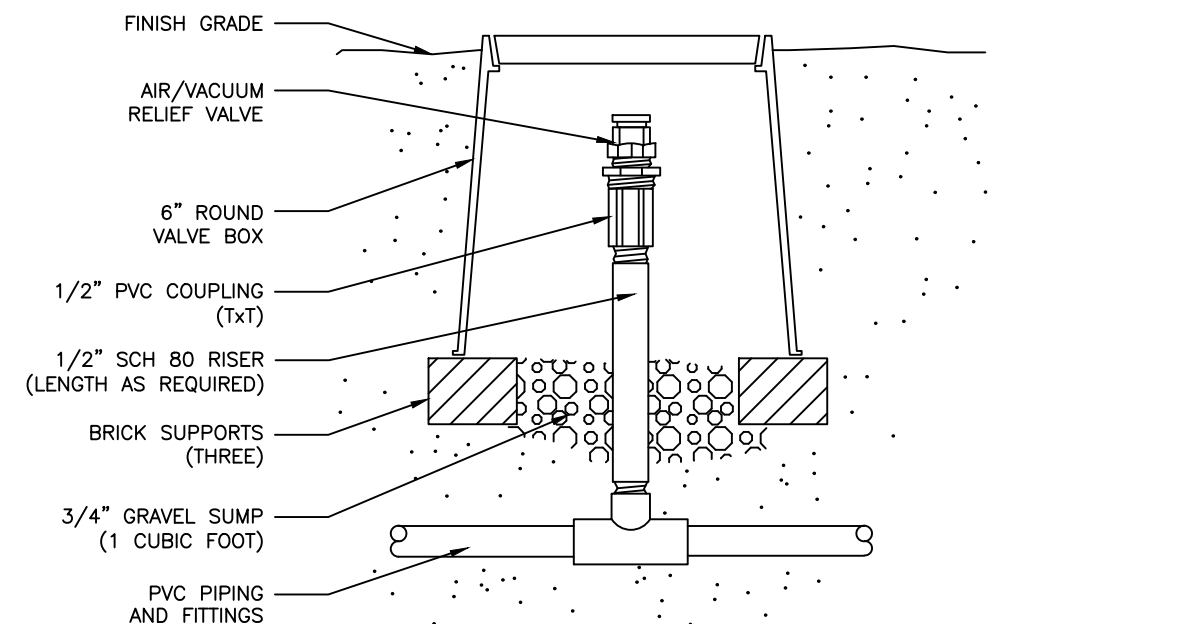
MULTI PLANTER LAYOUT



.4 OR .6 GPH



Techline® LINE FLUSHING VALVE (PLUMBED TO Techline)



Techline® AIR/VACUUM RELIEF (PLUMBED TO PVC)

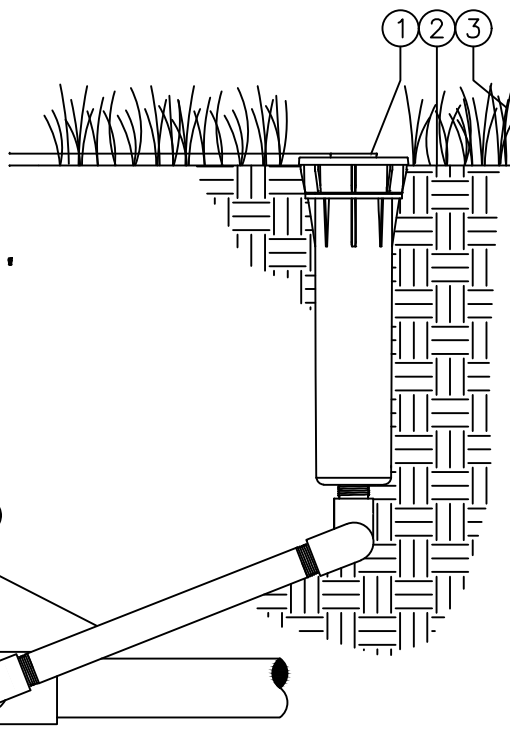


NOT TO SCALE

DETAIL - D273

LEGEND

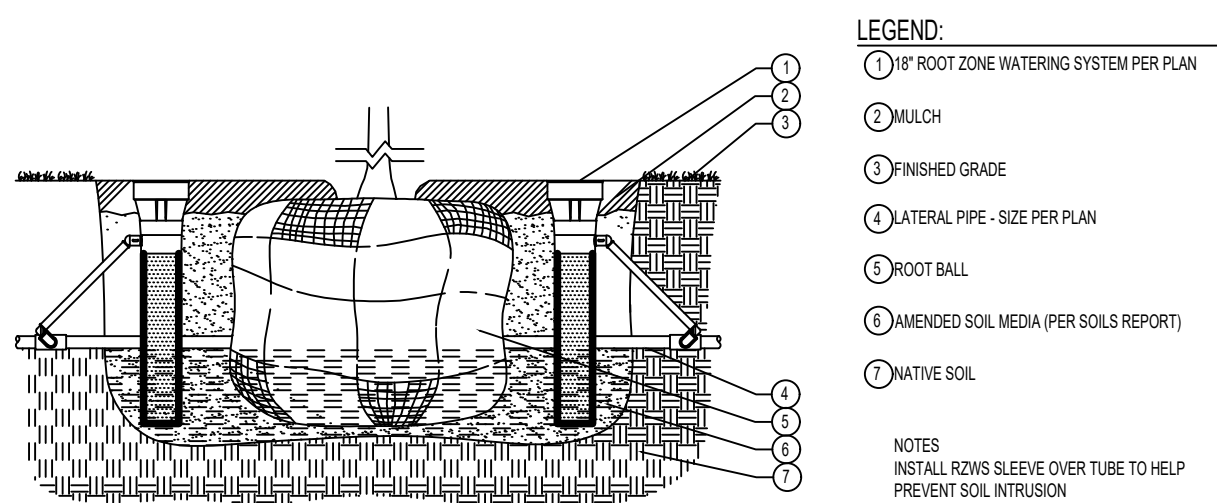
- 1 HUNTER POP-UP BODY (PROS-04), NOZZLE AND CAP PER PLAN
- 2 FINISHED GRADE
- 3 ADJACENT LANDSCAPE
- 4 LATERAL PIPE PER PLAN
- 5 LATERAL FITTING PER PLAN
- 6 FIELD-BUILT SWING ARM



POP-UP BODY (PROS-04) WITH SWING ARM USING BUBBLER PCN NOZZLE

Hunter® SB.PRO.24

NOT TO SCALE



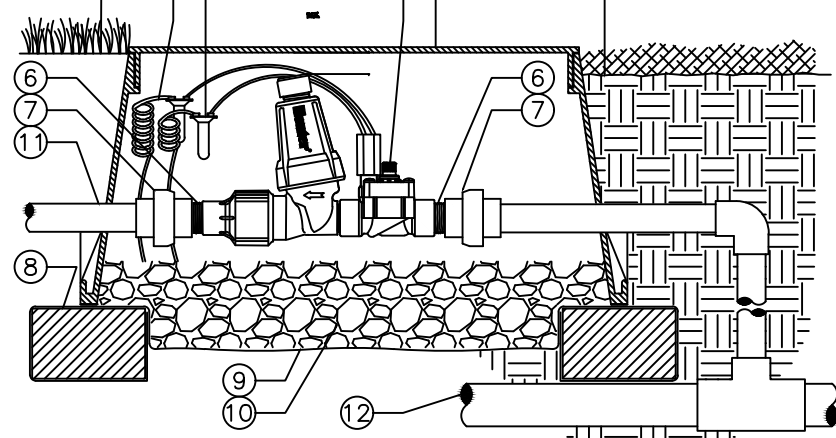
ROOT ZONE WATERING SYSTEM - 18\"/>

Hunter® HM.RZW5.02

NOT TO SCALE

LEGEND

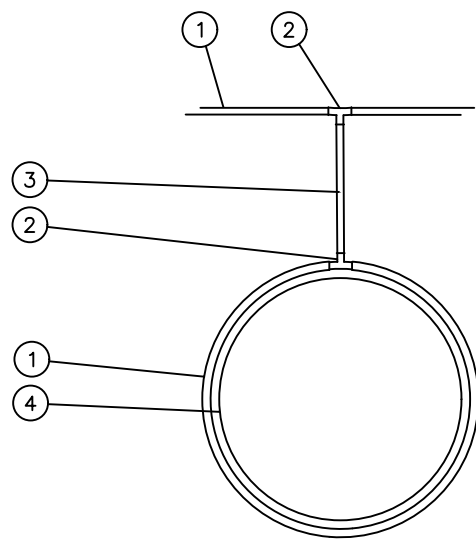
- 1 HUNTER REMOTE CONTROL VALVE (PCZ) WITH FILTER REGULATOR
- 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- 3 WATERPROOF CONNECTORS (2)
- 4 18"-24" COILED WIRE TO CONTROLLER
- 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO
- 7 VALVE
- 8 PVC SLIP X FPT UNION
- 9 BRICK SUPPORTS (4)
- 10 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 11 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- 12 IRRIGATION LATERAL MAINLINE LATERAL AND FITTINGS



DRIP CONTROL ZONE KIT (PCZ-101-LF) WITH UNIONS

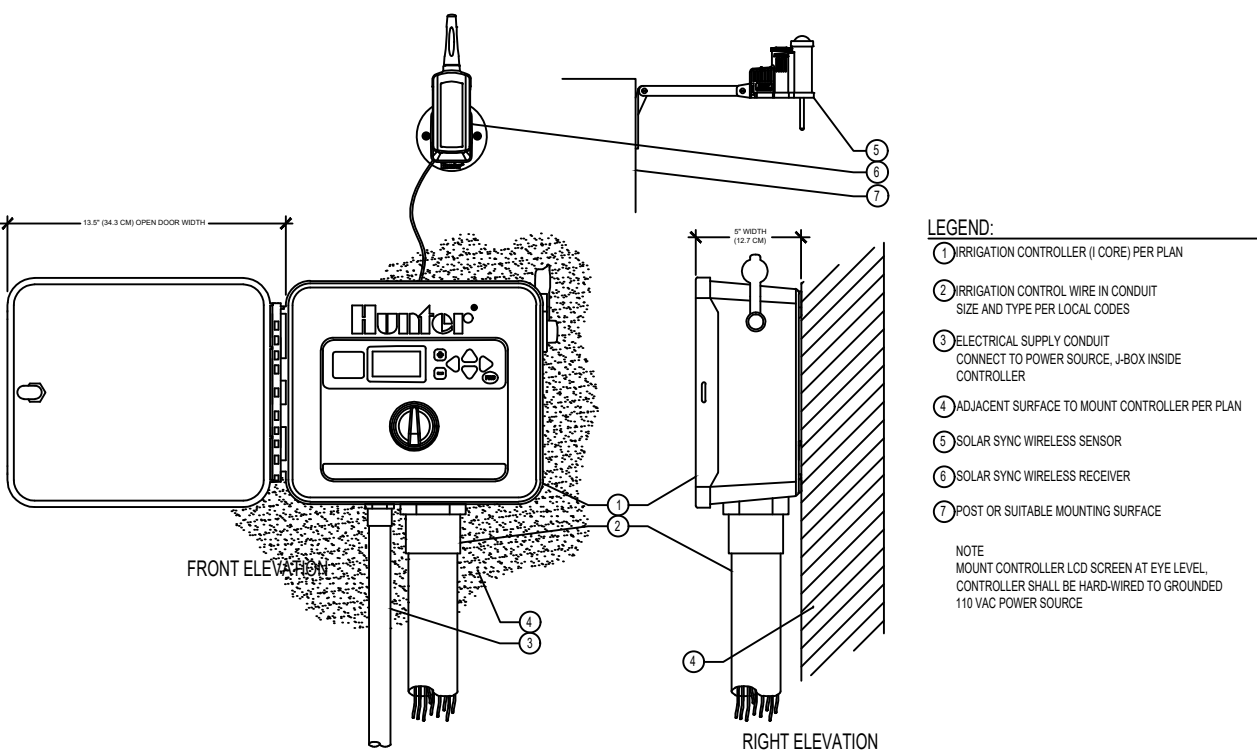
Hunter® V.PCZ.02

NOT TO SCALE



- NOTES:
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

XFCV ON-SURFACE DRIPLINE AROUND TREE



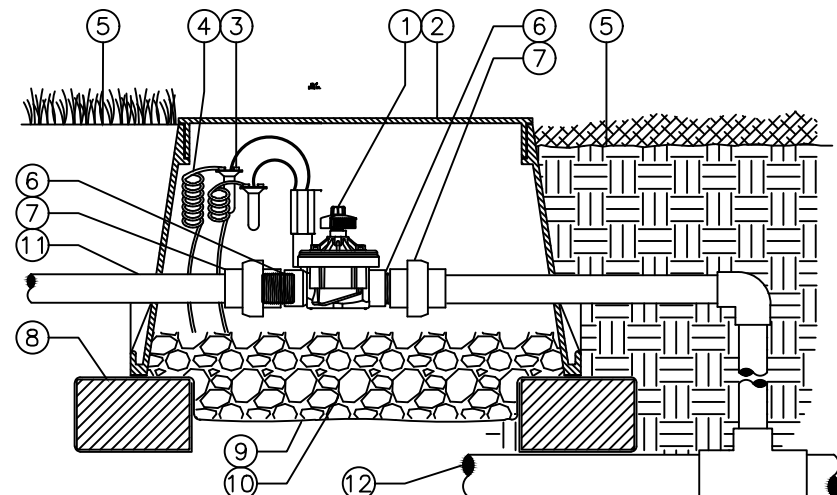
I CORE - WALL MOUNT / SOLAR SYNC WIRELESS

Hunter® C.ICORE.01 / S.SS.04

NOT TO SCALE

LEGEND

- 1 HUNTER REMOTE CONTROL VALVE (ICV) WITH FLOW CONTROL
- 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- 3 WATERPROOF CONNECTORS (2)
- 4 18"-24" COILED WIRE TO CONTROLLER
- 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO
- 7 VALVE
- 8 PVC SLIP X FPT UNION
- 9 BRICK SUPPORTS (4)
- 10 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 11 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- 12 IRRIGATION LATERAL MAINLINE AND FITTINGS



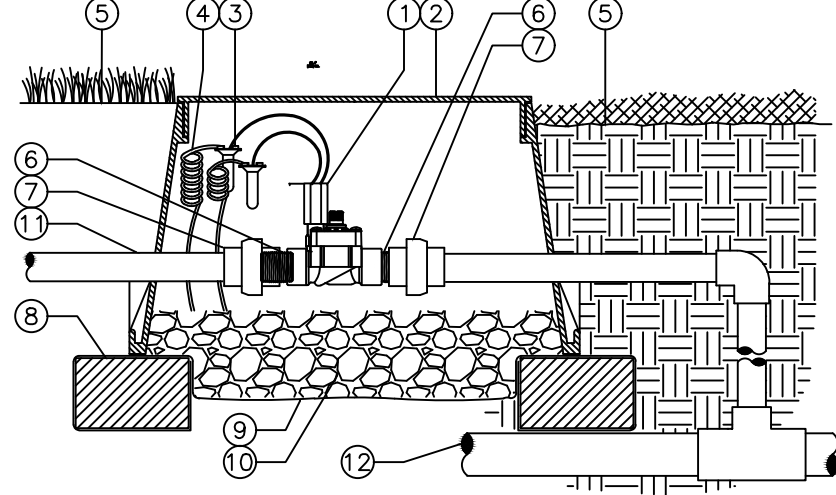
IN-LINE VALVE (ICV-101G) WITH UNIONS FOR USE AS MASTER VALVE

Hunter® V.ICV.02

NOT TO SCALE

LEGEND

- 1 HUNTER REMOTE CONTROL VALVE (PGV)
- 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- 3 WATERPROOF CONNECTORS (2)
- 4 18"-24" COILED WIRE TO CONTROLLER
- 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
- 7 VALVE
- 8 PVC SLIP X FPT UNION
- 9 BRICK SUPPORTS (4)
- 10 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 11 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- 12 IRRIGATION LATERAL MAINLINE AND FITTINGS

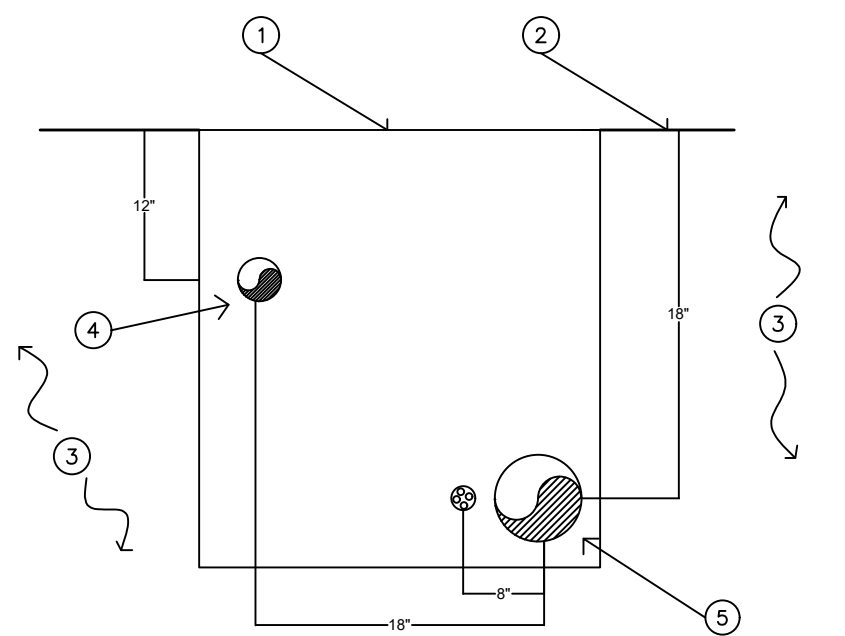


IN-LINE VALVE (PGV-101G) WITH UNIONS

Hunter® V.PGV.06

NOT TO SCALE

- 1 CLEAN COMPACTED BACKFILL
- 2 FINISHED GRADE
- 3 UNDISTURBED SOIL
- 4 LATERAL LINES
- 5 MAINLINE AND CONTROL WIRES

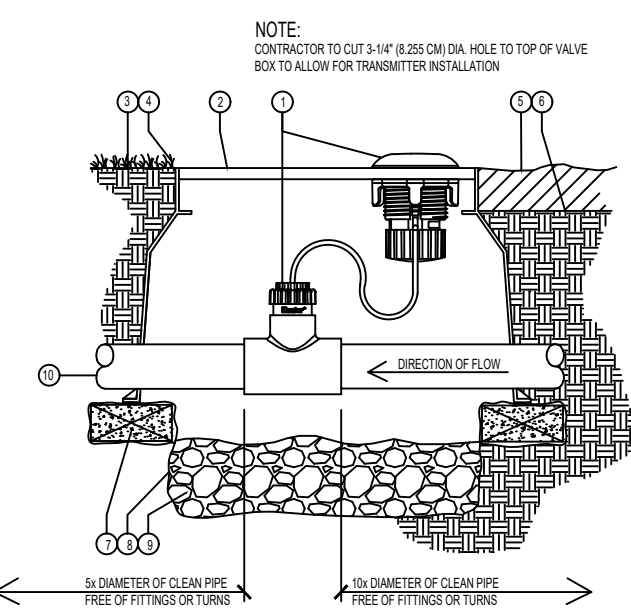


- NOTES:
1. CONTROL WIRES SHALL BE IN CONDUIT.
 2. PIPE SHALL REST IN SAND BED.

PIPE INSTALLATION



- LEGEND:
- 1 WIRELESS FLOW SENSOR AND TRANSMITTER (WFS) PER PLAN
 - 2 IRRIGATION VALVE BOX PER PLAN HEAT STAMP LID WITH "FS" IN 2" CHARACTERS
 - 3 WASHED GRAVEL IN TUB
 - 4 WASHED GRAVEL PER PLAN
 - 5 WASHED GRAVEL PER PLAN
 - 6 BRICK SUPPORTS (4)
 - 7 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
 - 8 3/4" WASHED GRAVEL - 4" MIN. DEPTH
 - 9 IRRIGATION LATERAL

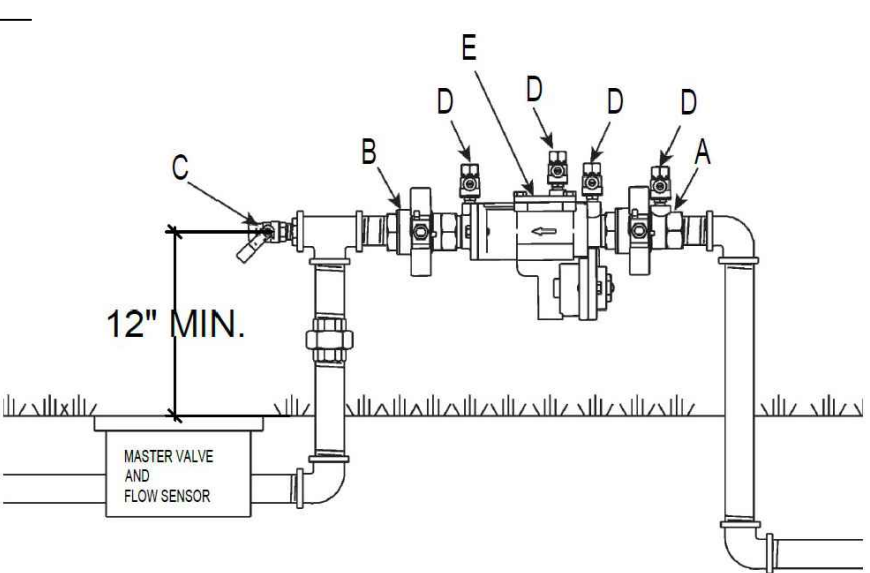


WIRELESS FLOW SENSOR (WFS)

Hunter®

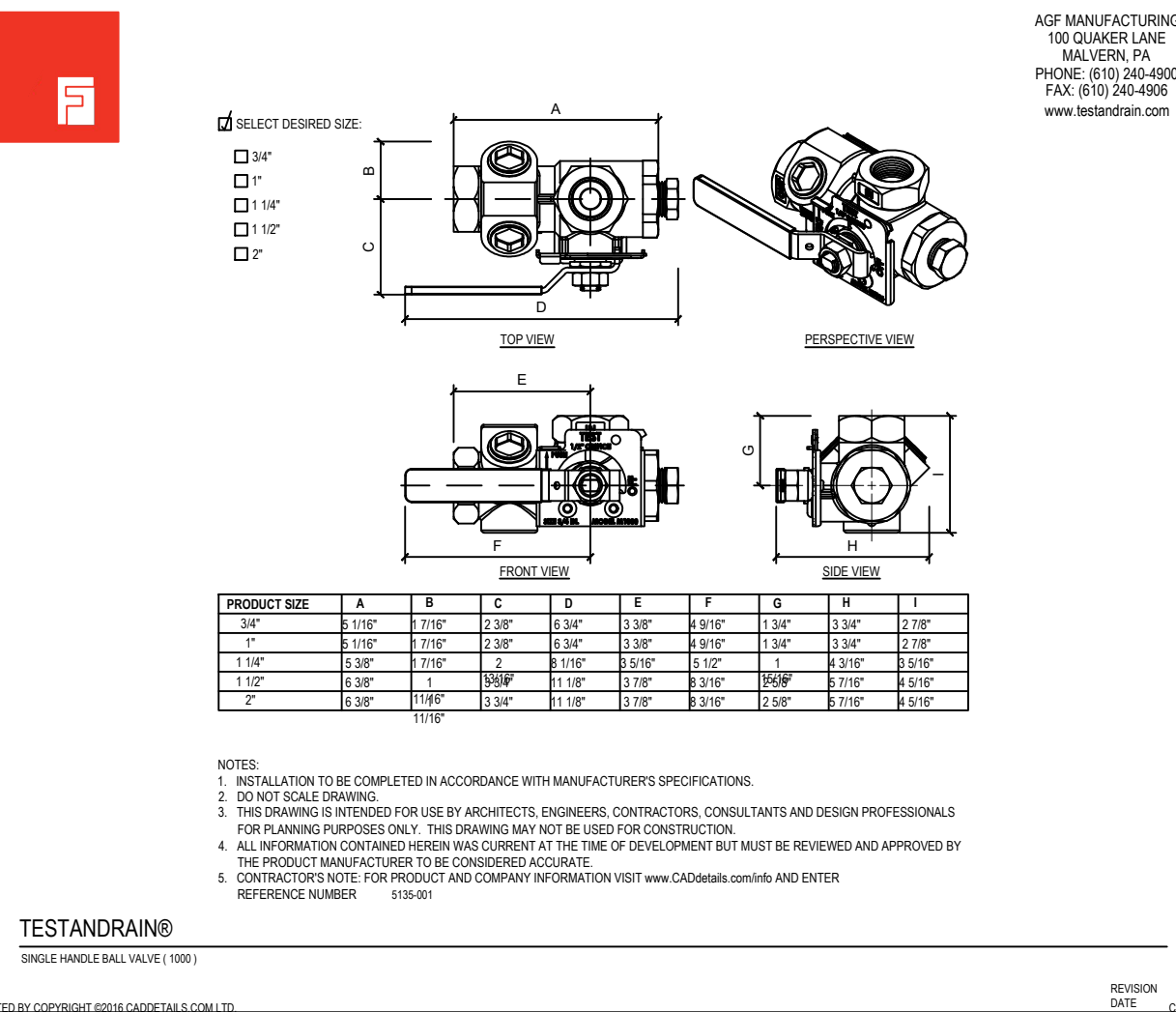
NOT TO SCALE

- LEGEND:
- 1 INLET BALL VALVE
 - 2 OUTLET BALL VALVE
 - 3 OUTLET DRAIN VALVE
 - 4 TEST COCKS
 - 5 HOUSING COVER



DOUBLE CHECK VALVE ASSEMBLY (SERIES 850) FERCO

NOT TO SCALE



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADRAIN.com/ENTER

TEST ANDRAIN®
DOUBLE CHECK VALVE (180)
180-801
DESIGNED BY: CONCEPTS DESIGN AND DESIGN.COM LTD.

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CLIENT

Yoav Atzmon
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PROJECT

1115 N Berendo St

DATE

6-7-2023

REVISIONS

1	10-2-2023
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DRAWING BY: Saul Navarro

SCALE: NTS

SHEET TITLE

IRRIGATION DETAILS

SHEET NUMBER

I-6

SHEET 6 OF 6