

## 1-PROJECT DATA

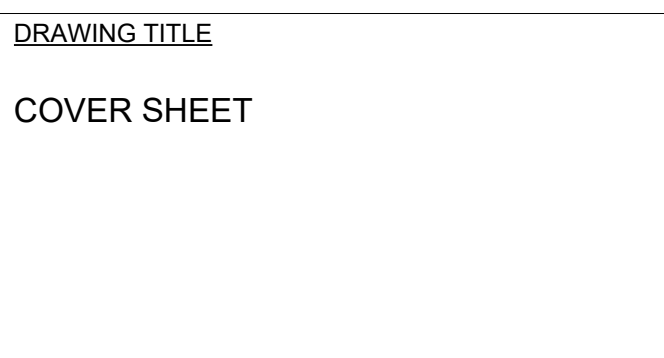
<b>ARCHITECT:</b> <b>AARON BRUMER AND ASSOC. ARCHITECTS</b> 10999 RIVERSIDE DRIVE, SUITE #302 NORTH HOLLYWOOD, CA 91602 PHONE: (310) 422-9234 EMAIL: AARON@AARONBRUMER.COM	<b>STRUCTURAL:</b> <b>BOLD ENGINEER &amp; ASSOCIATES, INC</b> 3055 WILSHIRE BLVD. #880 LOS ANGELES, CA 90010 T: 213-386-3049, F: 323-210-7118, C: 213-392-0034 EMAIL: BOLDENGINEER@GMAIL.COM	<b>CIVIL:</b> <b>POINT ENGINEERING</b> 9227 RESEDA BLVD. NORTH RIDGE T: 213 258 8 EMAIL: POINTENG@
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**LANDSCAPE:**  
**GREEN REPUBLIC LANDSCAPES INC.**  
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**PROJECT:**  
**30-UNIT MULTIFAMILY DEVELOPMENT**

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

[illegible]11114 HELIOTROPE  
DR.

UNIT MIX SUMMARY			
UNIT #	# OF BEDROOMS	# OF HABITABLE ROOMS	AFFORDABLE
101	2	3	
102	1	2	
103	1	2	
104	1	2	
105	1	2	
107	STUDIO	1	EXTREMELY LOW INCOME
201	1	2	
202	STUDIO	1	
203	STUDIO	1	
204	1	2	
205	3	3	EXTREMELY LOW INCOME REPLACEMENT
206	1	2	
207	STUDIO	1	
208	STUDIO	1	
209	1	2	
301	1	2	
302	STUDIO	1	
303	STUDIO	1	EXTREMELY LOW INCOME
304	1	2	
305	2	3	
306	1	2	
307	STUDIO	1	
308	STUDIO	1	
309	1	2	
401	1	2	
402	1	2	EXTREMELY LOW INCOME
403	1	2	
501	1	2	
502	1	2	
503	1	2	
TOTAL	34 BEDROOMS	54 HABITABLE ROOMS	4 AFFORDABLE UNITS
UNIT BREAKDOWN			
STUDIO UNITS		9	
1 BEDROOM UNITS		18	
2 BEDROOM UNITS		2	
3 BEDROOM UNITS		1	
TOTAL UNITS		30	

COMMON OPEN SPACE CALCULATIONS:			
<b>1-REQUIRED COMMON OPEN SPACE AREA</b>			
TYPE	# UNITS	SF	TOTAL SF
STUDIO UNITS	9	x 100 SF	900.0
1-BEDROOM UNITS	18	x 100 SF	1,800.0
2-BEDROOM UNITS	2	x 125 SF	250.0
3-BEDROOM UNITS	1	x 125 SF	125.0
<b>TOTAL REQUIRED</b>	<b>30</b>		<b>3,075.0</b>
75% MAX OF TOTAL REQUIRED ALLOWED ABOVE GROUND FLOOR		(3075 x 0.75)	2,306.3
<b>2-PRIVATE OPEN SPACE - REDUCTIONS</b>			
BALCONY/PATIO @ UNIT	ACTUAL SQ. FT.	SF REDUCTION	
201	65.2	65.2	
201	68.9	68.9	
206	65.2	65.2	
301	68.9	68.9	
306	65.2	65.2	
401	772.4	772.4	
402	282.4	282.4	
403	312.5	312.5	
501	65.2	65.2	
503	65.2	65.2	
<b>SUBTOTAL</b>		<b>1,831.1</b>	
<b>TOTAL REDUCTIONS</b>		<b>1,831.1</b>	
<b>TOTAL LESS REDUCTION</b>		(3075 - 1831.1)	<b>1,243.9</b>
<b>3- COMMON OPEN SPACE - PROVIDED</b>			
TYPE	ACTUAL SQ. FT.	TOTAL SF	
REAR YARD	755.2	755.2	
REC. ROOM	600.0	600.0	
<b>TOTAL</b>		<b>1,355.2</b>	
<b>4-ALLOWABLE OPEN SPACE ABOVE GRADE</b>			
<b>TOTAL SF ABOVE GRADE PROVIDED</b>		<b>1,765.9</b>	
% ABOVE GROUND FLOOR	(1765.9 / 3075)	57.4% (LESS THAN 75% ALLOWABLE ABOVE GRADE)	
<b>TOTAL OPEN SPACE PROVIDED</b>		<b>3,186.3</b>	

FLOOR AREA-ZONING CODE							
UNIT #	1ST FLR (SF)	2ND FLR (SF)	3RD FLR (SF)	4TH FLR (SF)	5TH FLR (SF)	COVERED BALCONY	TOTAL
101	567.3						567.3
102	384.6						384.6
103	384.6						384.6
104	367.0						367.0
105	425.8					65.2	491.0
107	301.5						301.5
201		569.4				68.9	638.3
202		291.1					291.1
203		291.1					291.1
204		384.6					384.6
205		561.9					561.9
206		439.0				65.2	504.2
207		301.8					301.8
208		301.8					301.8
209		482.6					482.6
301			569.4			68.9	638.3
302			291.1				291.1
303			291.1				291.1
304			384.6				384.6
305			561.9				561.9
306			439.0			65.2	504.2
307			301.8				301.8
308			301.8				301.8
309			482.6				482.6
401				478.2			478.2
402				474.3			474.3
403				549.5		65.2	614.7
501					413.0	65.2	478.2
502					474.3		474.3
503					549.5	65.2	614.7
SUBTOTAL	2,430.8	3,623.3	3,623.3	1,502.0	1,436.8	529.0	13,145.2
LOBBY	615.5						615.5
TRASH / RECYCLE	140						140
REC. ROOMS	600						600
HALLWAY		474.6	474.6				949.2
TOTAL	3,786.3	4,097.9	4,097.9	1,502.0	1,436.8	529.0	15,449.9

FLOOR AREA-BUILDING CODE

UNIT #	1ST FLR (SF)	2ND FLR (SF)	3RD FLR (SF)	4TH FLR (SF)	5TH FLR (SF)	ROOF DECK (SF)	COVERED BALCONY	TOTAL
101	567.3							567.3
102	384.6							384.6
103	384.6							384.6
104	395.4							395.4
105	425.8						65.2	491.0
107	301.5							301.5
201		569.4					68.9	638.3
202		291.1						291.1
203		291.1						291.1
204		384.6						384.6
205		561.9						561.9
206		417.9					65.2	483.1
207		312.4						312.4
208		312.4						312.4
209		482.6						482.6
301			569.4				68.9	638.3
302			291.1					291.1
303			291.1					291.1
304			384.6					384.6
305			561.9					561.9
306			417.9				65.2	483.1
307			312.4					312.4
308			312.4					312.4
309			482.6					482.6
401				478.2				478.2
402				474.3				474.3
403				549.5			65.2	614.7
501					413.0		65.2	478.2
502					474.3			474.3
503					549.5		65.2	614.7
SUBTOTAL	2,459.2	3,623.4	3,623.4	1,502.0	1,436.8	0.0	529.0	13,173.8
LOBBY								

BICYCLE PARKING CALCULATION PER SNAP		
1-LONG TERM BICYCLE PARKING		
TYPE	# UNITS	TOTAL
LONG-TERM SPACES	0.5 BICYCLE PARKING PER UNIT	
REQUIRED	31 UNITS / 2	15 (ROUNDED DOWN)
PROVIDED		16
2-SHORT TERM BICYCLE PARKING		
TYPE	# UNITS	TOTAL
SHORT-TERM SPACES	1-25	
REQUIRED	25 UNITS / 10	2.5
SHORT-TERM SPACES	26-100	
REQUIRED	6 UNITS / 15	0.4
TOTAL REQUIRED		2.9
PROVIDED		3 (ROUNDED UP)

		KEY NOTE
DRAWING NUMBER		ELEVATION REFERENCE
SHEET NUMBER		ELEVATION REFERENCE
DRAWING NUMBER		SECTION REFERENCE
SHEET NUMBER		SECTION REFERENCE
DRAWING NUMBER		DETAIL INDICATION
SHEET NUMBER		DETAIL INDICATION
DRAWING NUMBER		DETAIL SECTION INDICATION
SHEET NUMBER		DETAIL SECTION INDICATION
		DOOR TAG
		GENERAL FINISH INDICATION
CEILING FINISH		CEILING FINISH INDICATION
HEIGHT AFF		CEILING FINISH INDICATION
_____		ELEVATION INDICATION
_____		ELEVATION INDICATION
		WINDOW TYPE
		WINDOW TYPE
		WALL TYPE

10-SCHOOL FEES	
(E), EX, EXIST	EXISTING
(N)	NEW
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINIUM
B	BOTTOM
BDR	BEDROOM
BULW	BELOW
BO	BOTTOM OF
CL	CENTERLINE
CBC	CALIFORNIA BUILDING CODE
CJ	CEILING JOIST
CL	CLOSET
CLG	CEILING
CLR	CLEAR
D, DIA	DIAMETER
DBL	DOUBLE
DR	DOOR
EQ	EQUAL
FF	FINISH FLOOR
FJ	FLOOR JOIST
FTG	FOOTING
GA	GAUGE
GC	GENERAL CONTRACTOR
GL	GLASS
GWB	GYPSUM WALL BOARD
HR	HOUR
MSTR	MASTER
N/A	NOT APPLICABLE
NC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPP	OPPOSITE
PT	PRESSURE TREATED
PTD	PAINTED
R	RISER
RCP	REFLECTED CEILING PLAN
RO	ROUGH OPENING
RR	RAFT Rafter
RTD	RATED
SC	SOLID CORE
SF	SQUARE FEET
SIM	SIMILAR
SSD	SEE STRUCTURAL DRAWINGS
ST STL	STAINLESS STEEL
T&G	TONGUE AND GROOVE
T	TREAD
TBD	TO BE DETERMINED
TO	TOP OF
TYP	TYPICAL
UO	UNDERSIDE OF
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
W/	WITH
WO	WOOD
WIC	WALK-IN CLOSET

<b>GENERAL</b>	
T000	COVER SHEET
T010	EXISTING SITE SURVEY
T020	T.O.C. REFERRAL FORM
T030	FLAT PLAN, BUILDABLE AREA DIAGRAM, LOW POINT OF GRADE DIAGRAMS, & GRADE PLANE DIAGRAMS
T031	ZONING SCENARIO FOOTAGE DIAGRAMS
T032	CONCEPT OPEN SPACE DIAGRAMS
T033	VERMONT/WESTERN SNAP WINDOW ADJACENCY DIAGRAMS
T050	BUILDING DEPARTMENT & FIRE DEPARTMENT NOTES
T070	BIKE STORAGE LAYOUT AND DETAILS/ CUT SHEETS
T071	BIKE STORAGE LAYOUT AND DETAILS/ CUT SHEETS (CONT.)
T072	ENERGY EFFICIENT APPLIANCES
<b>ARCHITECTURAL</b>	
A000	SITE PLAN
A101	1ST FLOOR PLAN
A102	2ND FLOOR PLAN
A103	3RD FLOOR PLAN
A104	4TH FLOOR PLAN
A105	5TH FLOOR PLAN
A106	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A203	PERIMETER WALL ELEVATION
A300	LONG SECTION-1
A301	LONG SECTION-2
A302	LONG SECTION-3
A303	SHORT SECTIONS
A304	SHORT SECTIONS
A400	RENDERING
A401	RENDERING
<b>LANDSCAPE</b>	
L-1	GROUND FLOOR LANDSCAPE PLAN
L-2	GROUND FLOOR LEGEND & DETAILS
L-3	4TH FLOOR LANDSCAPE PLAN
L-4	PERMABILITY PLAN
I-1	GROUND FLOOR IRRIGATION PLAN
I-2	ROOF FLOOR IRRIGATION PLAN
I-3	IRRIGATION LEGEND
I-4	HYDROZONE MAPS
I-5	HYDROZONE NOTES AND CALCUS
I-6	IRRIGATION DETAILS

## 11-ABREVIATIONS

LEGEND

- (180) EXISTING CONTOUR  
EXISTING BUILDING  
RETAINING WALL  
FENCE(CMU) WALL  
6"W CON'C CURB  
EXISTING FENCE  
PROPERTY LINE  
(S) (S) SEWER LINE  
GAS GAS GAS LINE  
WATER LINE  
TELEPHONE LINE

- BW BACK OF WALK  
EP EDGE OF PAVEMENT  
EW EDGE OF WALK  
CP CONTROL POINT  
FF FINISHED FLOOR  
FL FLOW LINE  
PAV PAVEMENT  
PCC PORTLAND CEMENT CONCRETE  
PP POWER POLE  
LP LIGHTING POLE  
WM WATER METER  
SMH SEWER MANHOLE  
TC TOP OF CURB  
TOS TOP OF STEP  
LWN LAWN  
DRT DIRT  
EG EDGE OF GUTTER  
TW TOP OF WALL  
DMH DRAINAGE MANHOLE  
AC ASPHALT CONCRETE PAVEMENT  
PAV PAVEMENT  
CL CENTERLINE  
WF WOOD FENCE  
PB PULL BOX  
MW MONITORING WELL  
TS TRAFFIC SIGN  
BD BOLLARD  
SD STORM DRAIN

LEGAL DESCRIPTION

LOT 83 OF TRACK 2577 IN CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA. AS PER MAP RECORDED IN THE BOOK 26, PAGES 71 ~ 72 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDED OF SAID COUNTY. APN. 5540-024-012

LOT SIZE

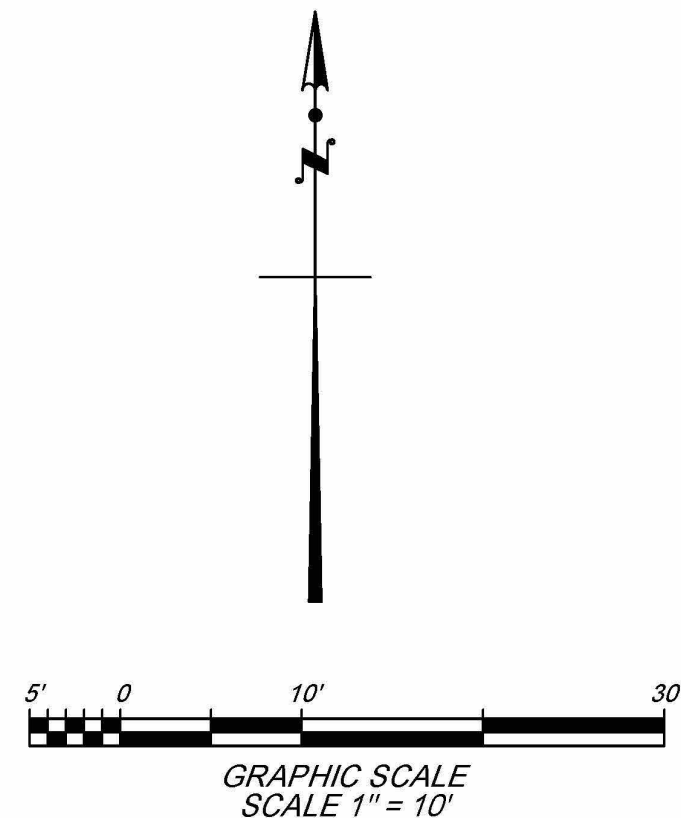
LOT AREA IS 6,750 S.F., OR 0.155 ACRES, MORE OR LESS.

BASIS OF BEARINGS:

THE CENTERLINE OF HELIOTROPE DRIVE AS SHOWN ON TRACT MAP 2577 BOOK 26/71-72 AS N 0° 4' 15" W.

NOTES

1. THE SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.



BENCH MARK  
BENCH MARK: 12-18690  
CUT SPIKE IN N CURB SANTA MONICA BLVD; SET W OF BERENDO ST E END CB  
DATUM: NAVD 1988 ELEVATION: 334.631'

SHEET TITLE  
TOPOGRAPHICAL MAP  
PROJECT TITLE  
PROJECT ADDRESS  
1114 N HELIOTROPE DRIVE, LOS ANGELES, CA 90029

REVISIONS	DATE	BY

POINT ENGINEERING.

10201 RESEDA BLVD #116  
NORTHridge, CA 91324  
TEL. 213-258-8451

UFE

DATE OF FIELD SURVEY  
OCT 21, 2020

13-LADBS STAMP AREA

EXHIBIT "A"  
Page No. 2 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

ARCHITECT:  
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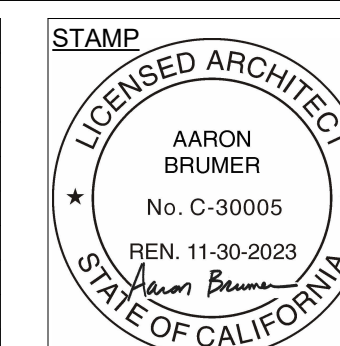
LANDSCAPE:  
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PROJECT:  
30-UNIT MULTIFAMILY DEVELOPMENT

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

ISSUE	DATE	DESCRIPTION
01	07.06.2022	CITY PLANNING SET #1
02	09.09.2022	PZA SUBMITTAL #1
03	05.15.2023	PZA RESUBMITTAL #1
04	06.07.2023	PZA RESUBMITTAL #2
05	10.16.2023	PZA RESUBMITTAL #3
06	10.20.2023	PZA RESUBMITTAL #4

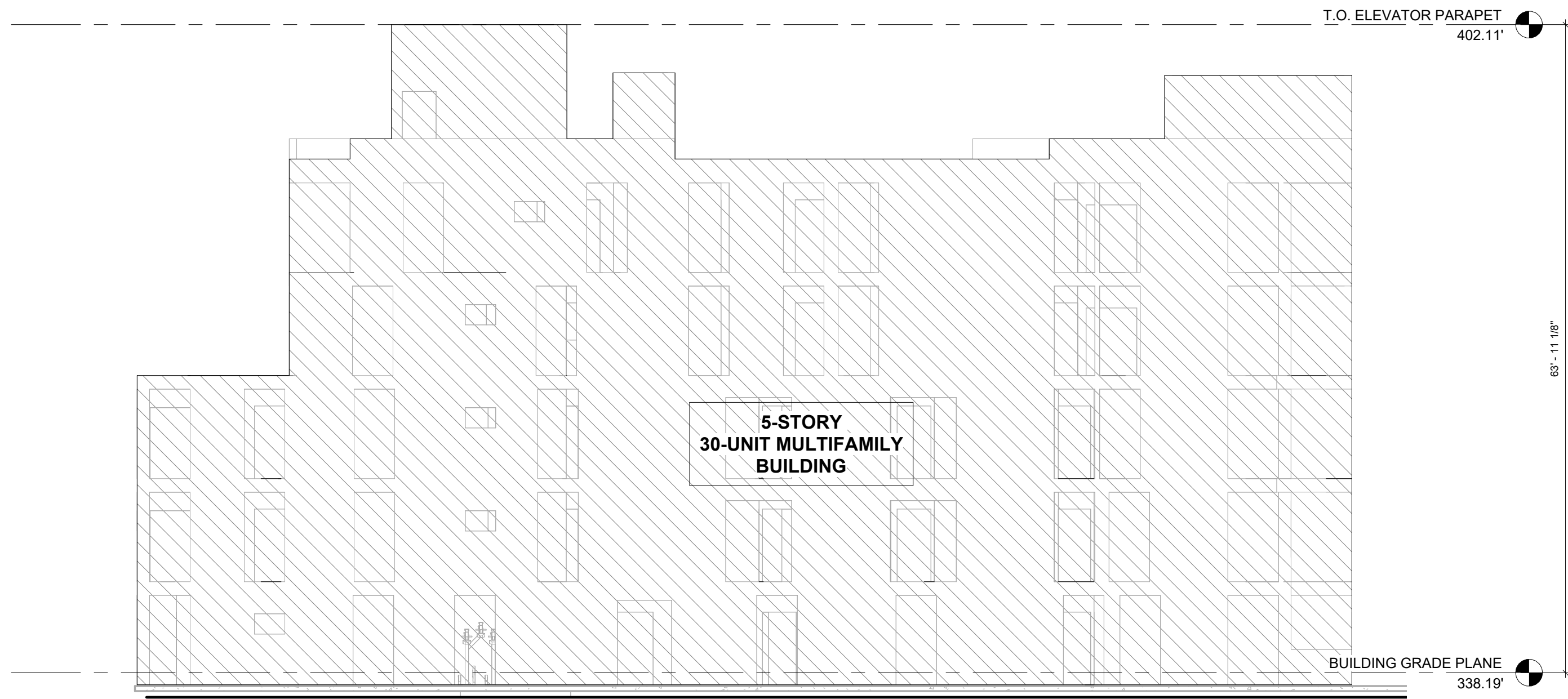
ISSUE	DATE	DESCRIPTION



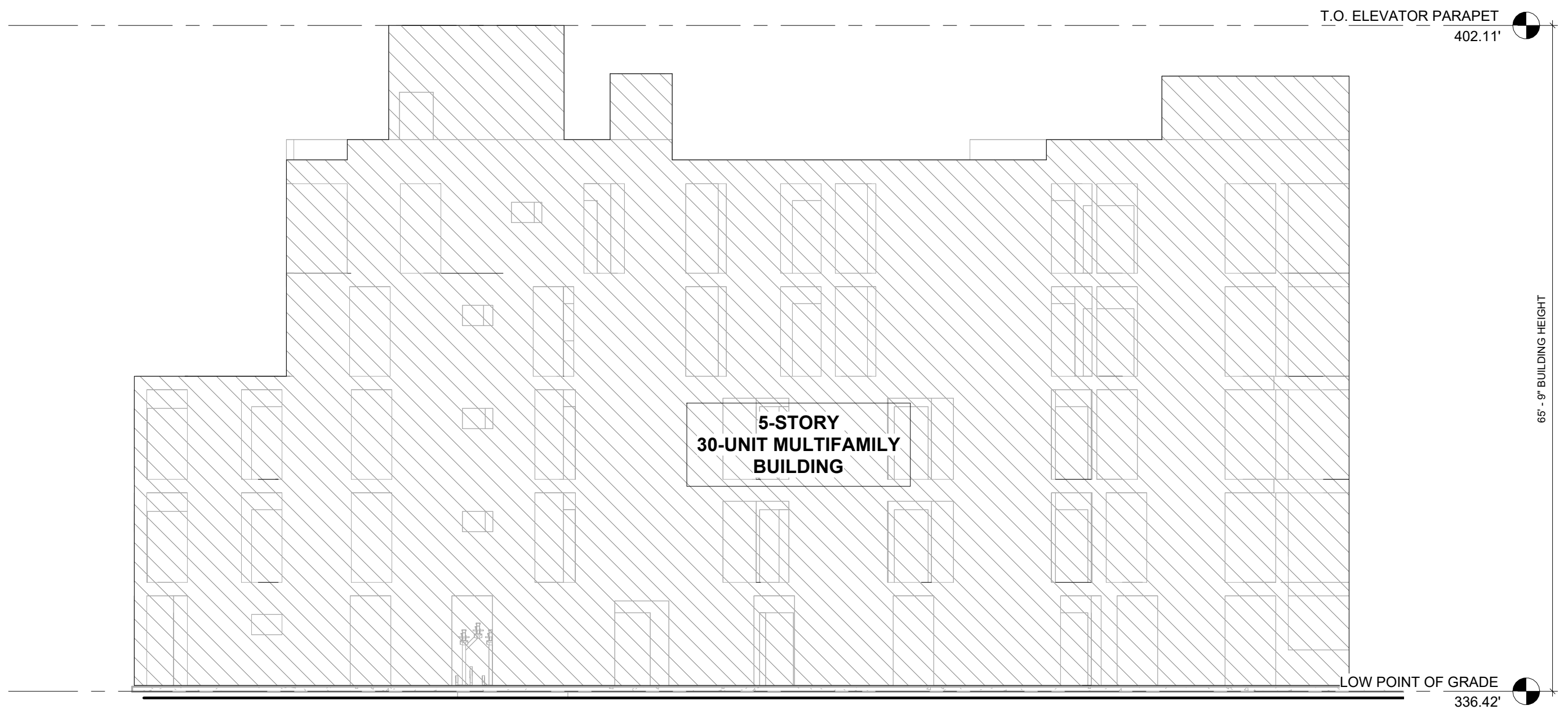
DRAWING TITLE  
EXISTING SITE SURVEY

T010

1114 HELIOTROPE DR.

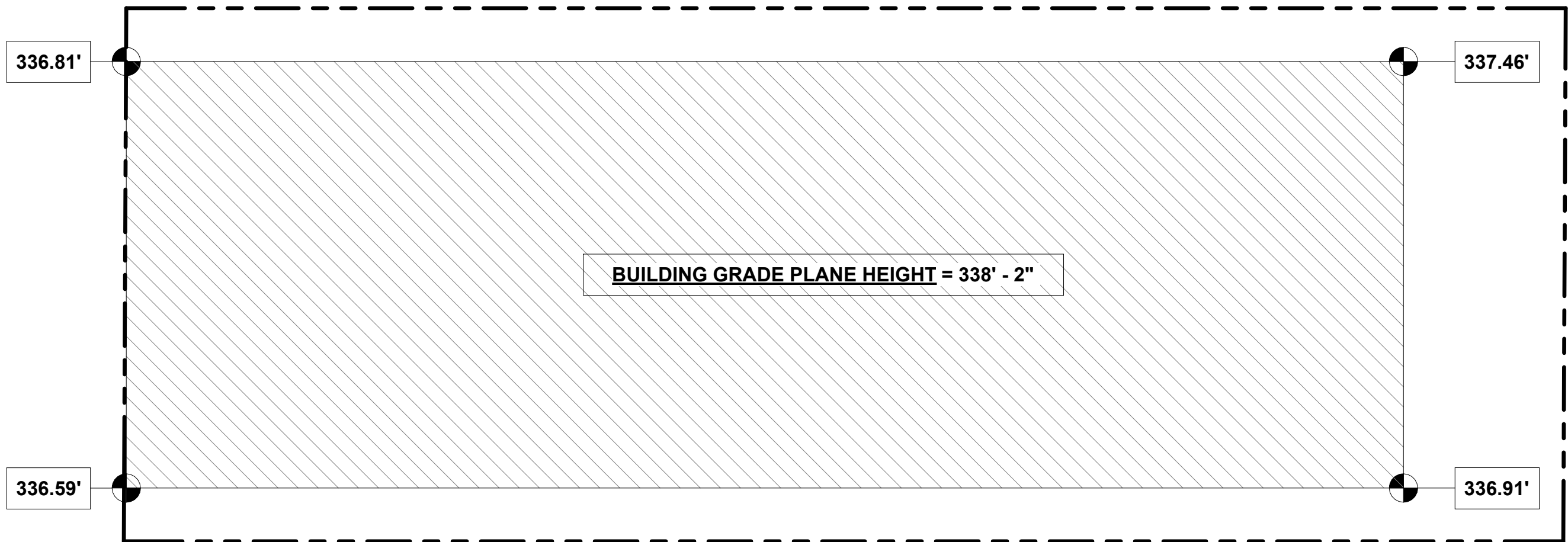


6 BUILDING GRADE PLANE - SOUTH ELEVATION  
3/32" = 1'-0"



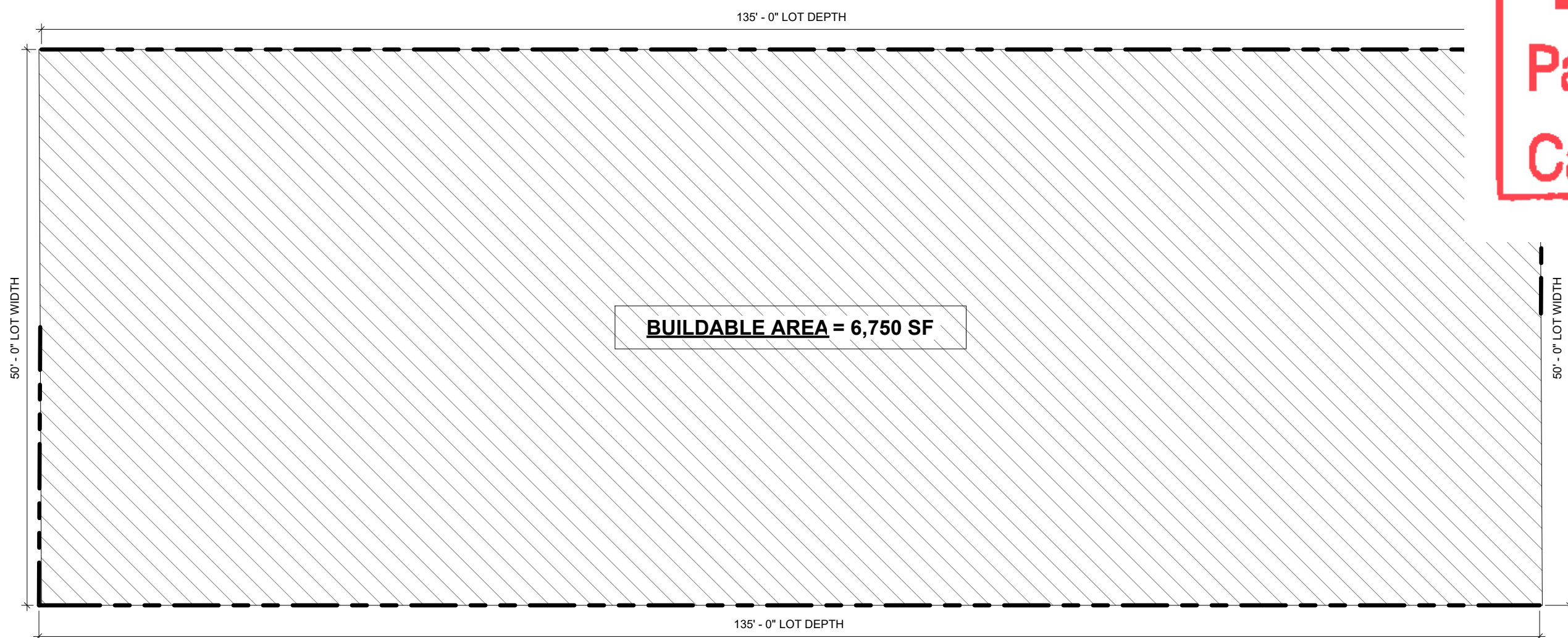
5 ZONING LOW POINT OF GRADE - SOUTH ELEVATION  
3/32" = 1'-0"

GRADE PLANE CALCULATIONS	
336.59' + 336.81' + 337.46' + 341.91'	1349.12'
GRADE PLANE HEIGHT: 1352.77' / 4	338.19'

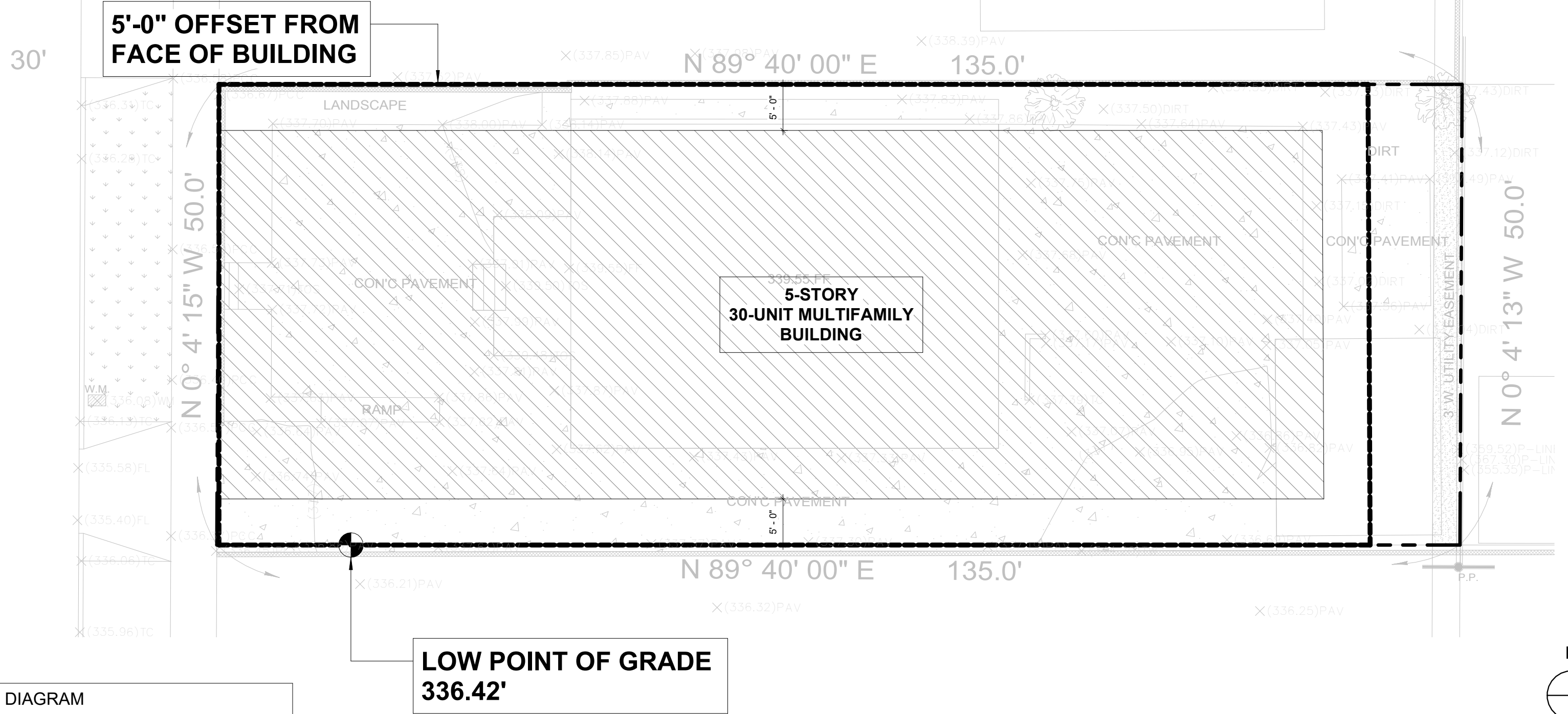


4 GRADE PLANE PLAN  
3/32" = 1'-0"

BUIDLABLE AREA CALCULATIONS	
NO YARD REQUIRED PER SNAP SUBAREA C	
BUILDABLE AREA	6,750 SF
MAX SF : 3 X 6,750 =	20,250 SF

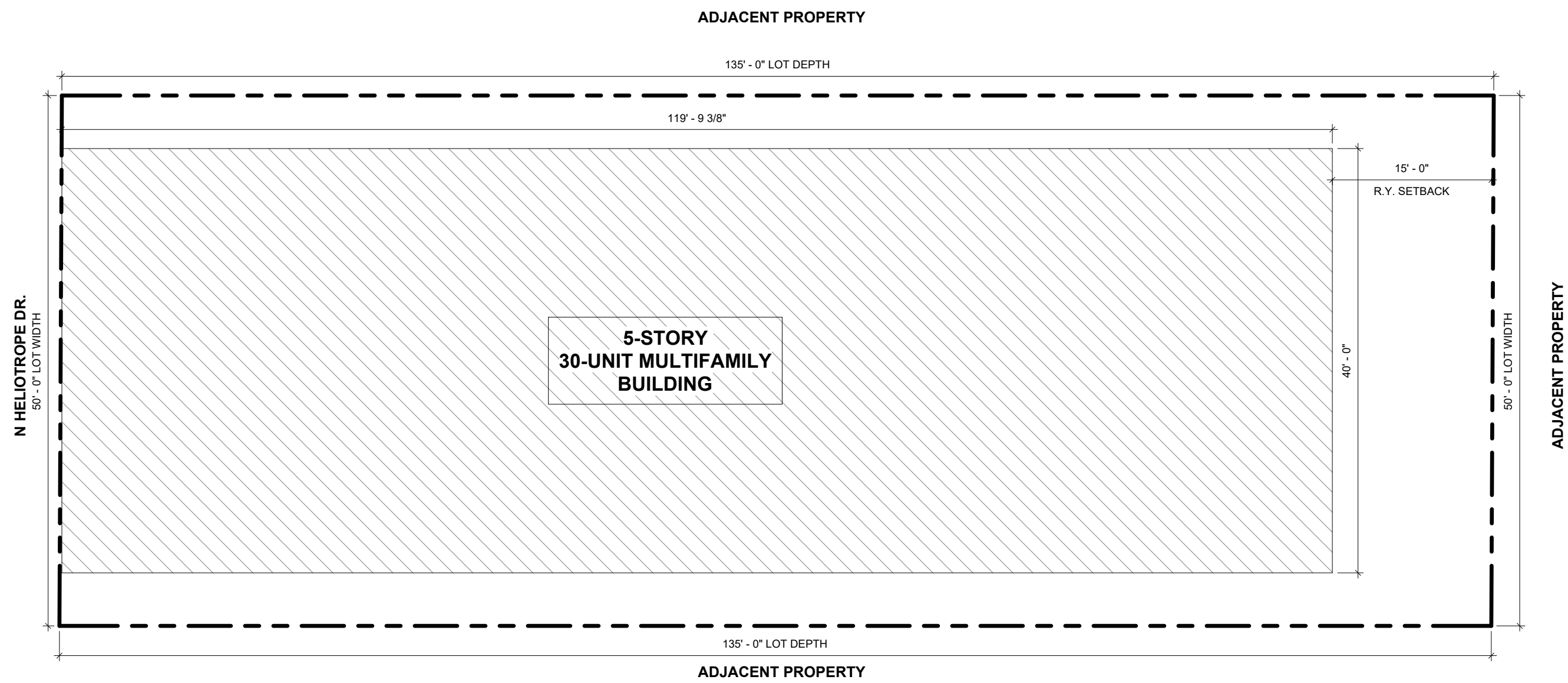


2 BUILDABLE AREA DIAGRAM  
3/32" = 1'-0"



3 LOW POINT OF GRADE DIAGRAM  
3/32" = 1'-0"

**EXHIBIT "A"**  
Page No. 3 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA



1 PLOT PLAN  
3/32" = 1'-0"

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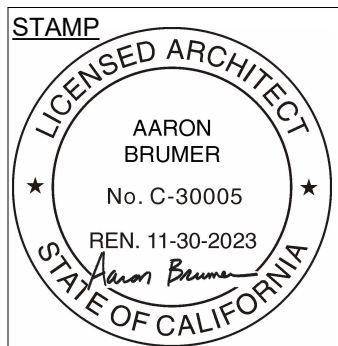
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ISSUE	DATE	DESCRIPTION



**DRAWING TITLE**  
  
PLOT PLAN, BUILDABLE AREA  
DIAGRAM, LOW POINT OF GRADE  
DIAGRAMS, & GRADE PLANE  
DIAGRAMS

**T030**  
**1114 HELIOTROPE DR.**

ZONING SF SUMMARY	
BUILDING AREA	AREA
DWELLING UNITS & AMENITIES	3,880.6 SF
DWELLING UNITS	4,232.1 SF
DWELLING UNITS	4,232.1 SF
DWELLING UNITS	1,567.2 SF
DWELLING UNITS	1,567.2 SF
TOTAL	15,479.2 SF

ZONING SF CALCULATIONS		
KEYNOTE	BUILDING AREA	AREA
C	UNIT #503	549.5 SF
D	COVERED BALCONY	65.2 SF
E	COVERED BALCONY	65.2 SF

4 4TH FLOOR PLAN - ZONING SF DIAGRAM  
3/32" = 1'-0"

ZONING SF CALCULATIONS		
KEYNOTE	BUILDING AREA	AREA
C	UNIT #202	291.1 SF
D	UNIT #203	291.1 SF
E	UNIT #204	384.6 SF
F	UNIT #205	561.9 SF
G	UNIT #206	417.9 SF
H	UNIT #207	312.4 SF
I	UNIT #208	312.4 SF
J	UNIT #209	482.6 SF
K	COVERED BALCONY	68.9 SF
L	COVERED BALCONY	65.2 SF
A	HALLWAY	474.6 SF
B	UNIT #301	569.4 SF
C	UNIT #302	291.1 SF
D	UNIT #303	291.1 SF

### 13-LADBS STAMP AREA

2 2ND FLOOR PLAN - ZONING SF DIAGRAM  
3/32" = 1'-0"

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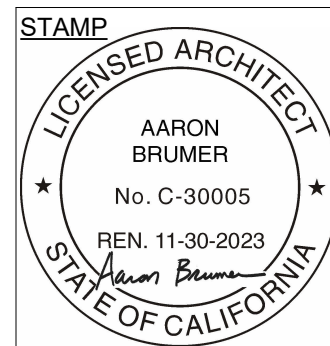
### PROJECT:

30-UNIT MULTIFAMILY DEVELOPMENT

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

ISSUE	DATE	DESCRIPTION
01	07.06.2022	CITY PLANNING SET #1
02	09.09.2022	PZA SUBMITTAL #1
03	05.15.2023	PZA RESUBMITTAL #1
04	06.07.2023	PZA RESUBMITTAL #2
05	10.16.2023	PZA RESUBMITTAL #3
06	10.20.2023	PZA RESUBMITTAL #4

ISSUE	DATE	DESCRIPTION



DRAWING TITLE  
ZONING SQUARE FOOTAGE  
DIAGRAMS

T031

1114 HELIOTROPE DR.

### ZONING SF CALCULATIONS

KEYNOTE	BUILDING AREA	AREA
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5 5TH FLOOR PLAN - ZONING SF DIAGRAM  
3/32" = 1'-0"

ZONING SF CALCULATIONS		
KEYNOTE	BUILDING AREA	AREA
E	UNIT #304	384.6 SF
F	UNIT #305	561.9 SF
G	UNIT #306	417.9 SF
H	UNIT #307	312.4 SF
I	UNIT #308	312.4 SF
J	UNIT #309	482.6 SF
K	COVERED BALCONY	68.9 SF
L	COVERED BALCONY	65.2 SF
A	UNIT #401	478.2 SF
B	UNIT #402	474.3 SF
C	UNIT #403	549.5 SF
D	COVERED BALCONY	65.2 SF
A	UNIT #501	413.0 SF
B	UNIT #502	474.3 SF

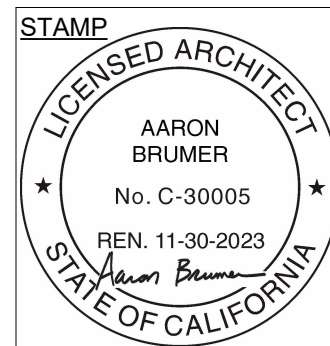
3 3RD FLOOR PLAN - ZONING SF DIAGRAM  
3/32" = 1'-0"

ZONING SF CALCULATIONS		
KEYNOTE	BUILDING AREA	AREA
A	LOBBY	616.2 SF
B	TRASH / RECYCLING	140.0 SF
C	REC. ROOM	600.0 SF
D	UNIT #101	567.3 SF
E	UNIT #102	384.6 SF
F	UNIT #103	384.6 SF
G	UNIT #104	395.4 SF
H	UNIT #105	425.8 SF
J	UNIT #107	301.5 SF
K	COVERED BALCONY	65.2 SF
A	HALLWAY	474.6 SF
B	UNIT #201	569.4 SF

1 1ST FLOOR PLAN - ZONING SF DIAGRAM  
3/32" = 1'-0"

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DRAWING TITLE  
ZONING SQUARE FOOTAGE  
DIAGRAMS

T031

1114 HELIOTROPE DR.

COMMON OPEN SPACE...	
AREA TYPE	AREA
COMMON OPEN SPACE	
REAR YARD	755.2 SF
REC. ROOM	600.0 SF
TOTAL COMMON OPEN SPACE	1,355.2 SF
PRIVATE OPEN SPACE	
BALCONY	463.8 SF
PATIOS & BALCONY	1,367.3 SF
TOTAL PRIVATE OPEN SPACE	1,831.1 SF
TOTAL OPEN SPACE PROVIDED	3,186.3 SF

NOTE: PER VERMONT WESTERN SNAP DEVELOPMENT STANDARDS & DESIGN GUIDELINES V. SUBAREA B-MIXED USE BLVDS & SUBAREA C-COMMUNITY CENTER

2. USABLE OPEN SPACE. NO PORTION OF THE REQUIRED USABLE OPEN SPACE SHALL HAVE A SLOPE EXCEEDING 10%. UP TO 75% OF THE USABLE OPEN SPACE MAY BE PROVIDED ABOVE THE GROUND FLOOR REGARDLESS OF THE UNDERLYING ZONE.

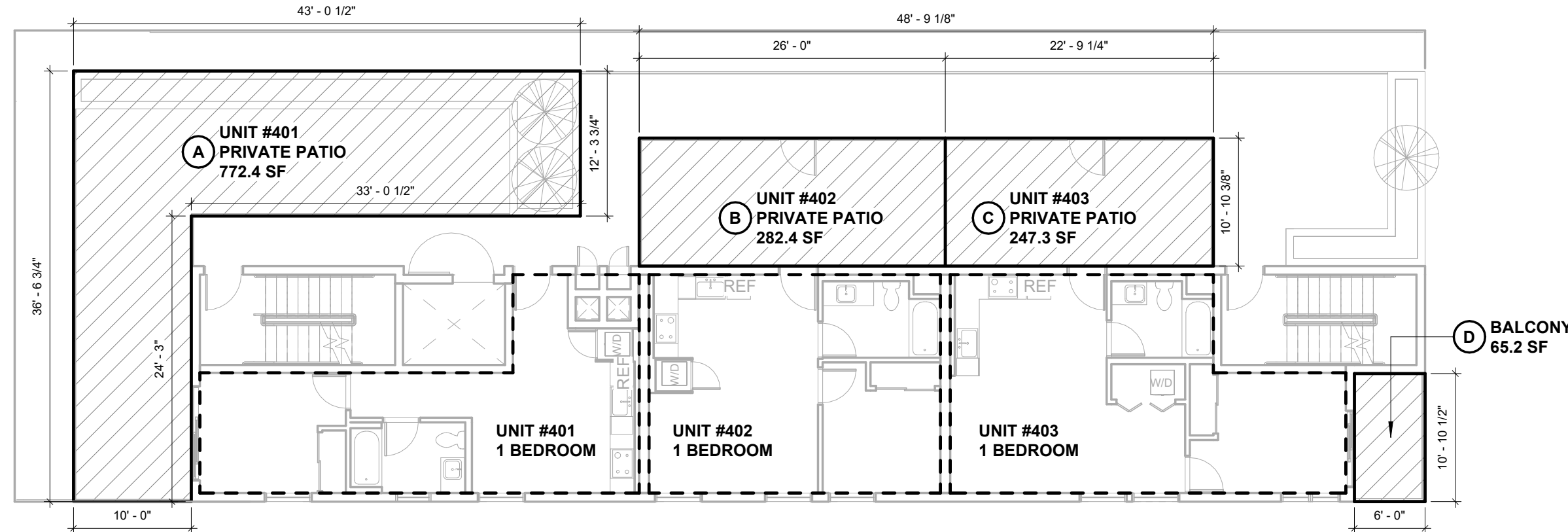
COMMON USABLE OPEN SPACE. NO PORTION OF THE REQUIRED COMMON USABLE OPEN SPACE SHALL HAVE A DIMENSION OF LESS THAN 20 FEET OR BE LESS THAN 400 SQUARE FEET FOR PROJECTS UNDER 10 DWELLING UNITS AND 600 SQUARE FEET FOR PROJECTS 10 DWELLING UNITS OR MORE.

PRIVATE USABLE OPEN SPACE. ONCE THE STANDARDS FOR THE COMMON USABLE OPEN SPACE REFERENCED IN THE PARAGRAPH ABOVE HAVE BEEN MET, PROJECTS MAY PROVIDE PRIVATE USABLE OPEN SPACE, SUCH AS BALCONIES OR PATIOS, WITH A MINIMUM DIMENSION OF SIX FEET FOR BALCONIES AND TEN FEET FOR PATIOS, THEREBY REDUCING THE REQUIRED USABLE OPEN SPACE DIRECTLY COMMENSURATE WITH THE AMOUNT OF PRIVATE OPEN SPACE PROVIDED

- T.O.C. TIER 4 OFF MENU INCENTIVE: 25% REDUCTION IN MINIMUM USABLE COMMON OPEN SPACE DIMENSION PER SNAP FROM 20'-0" TO 15'-0"
- COMMON OPEN SPACE REQUIREMENT:  
A. PROVIDED: 3,075 SF  
3,186.3 SF
- MIN 25% OF REQUIRED COMMON OPEN SPACE AT GRADE:  
A. PROVIDED: 3,075 - 2,306.3 = 768.7 SF  
1,355.2 SF (44%)
- 75% OF REQUIRED OPEN SPACE ALLOWED ABOVE GRADE PER SNAP:  
A. PROVIDED: 3,075 x 0.75 = 2,306.3 SF  
1,765.9 SF (58%)
- MAX 25% OF TOTAL REQUIRED OPEN SPACE AS REC. ROOM:  
A. PROVIDED: 3,075 x 0.25 = 768.7 SF  
600 SF (19.5%)

**EXHIBIT "A"**  
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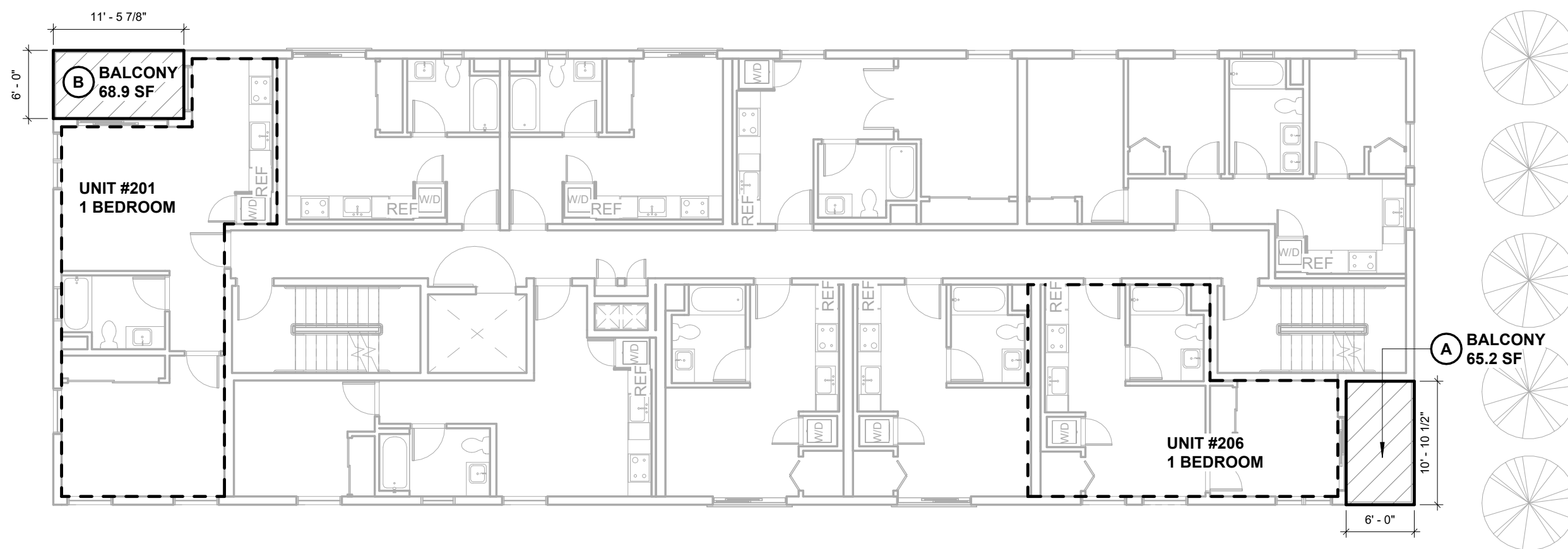
PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA



4 4TH FLOOR PLAN - OPEN SPACE  
3/32" = 1'-0"

PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA
A	UNIT #401 PRIVATE PATIO	772.4 SF
B	UNIT #402 PRIVATE PATIO	282.4 SF
B	BALCONY	68.9 SF
B	BALCONY	68.9 SF

### 13-LADBS STAMP AREA



2 2ND FLOOR PLAN - OPEN SPACE  
3/32" = 1'-0"

**ARCHITECT:**  
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**STRUCTURAL:**  
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**LANDSCAPE:**  
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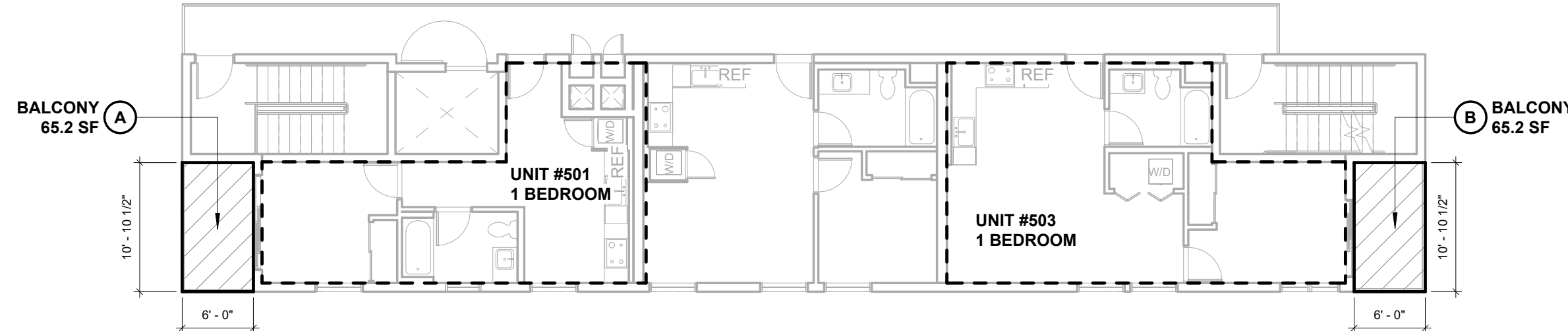
**PROJECT:**  
30-UNIT MULTIFAMILY DEVELOPMENT

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA

5 5TH FLOOR PLAN - OPEN SPACE  
3/32" = 1'-0"

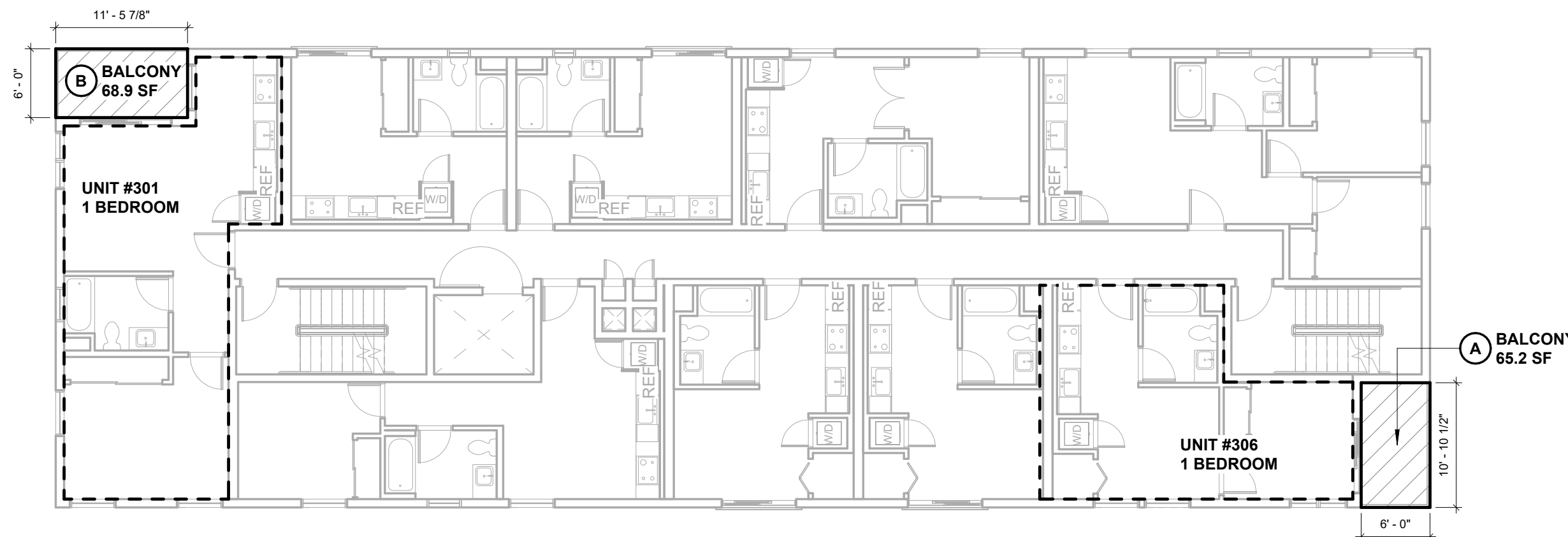
PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA
B	BALCONY	65.2 SF
C	BALCONY	65.2 SF
C	UNIT #403 PRIVATE PATIO	247.3 SF
D	BALCONY	65.2 SF
TOTAL PRIVATE OPEN SPACE		1,831.1 SF



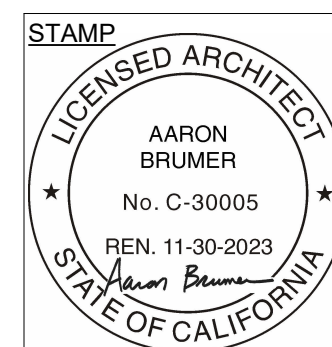
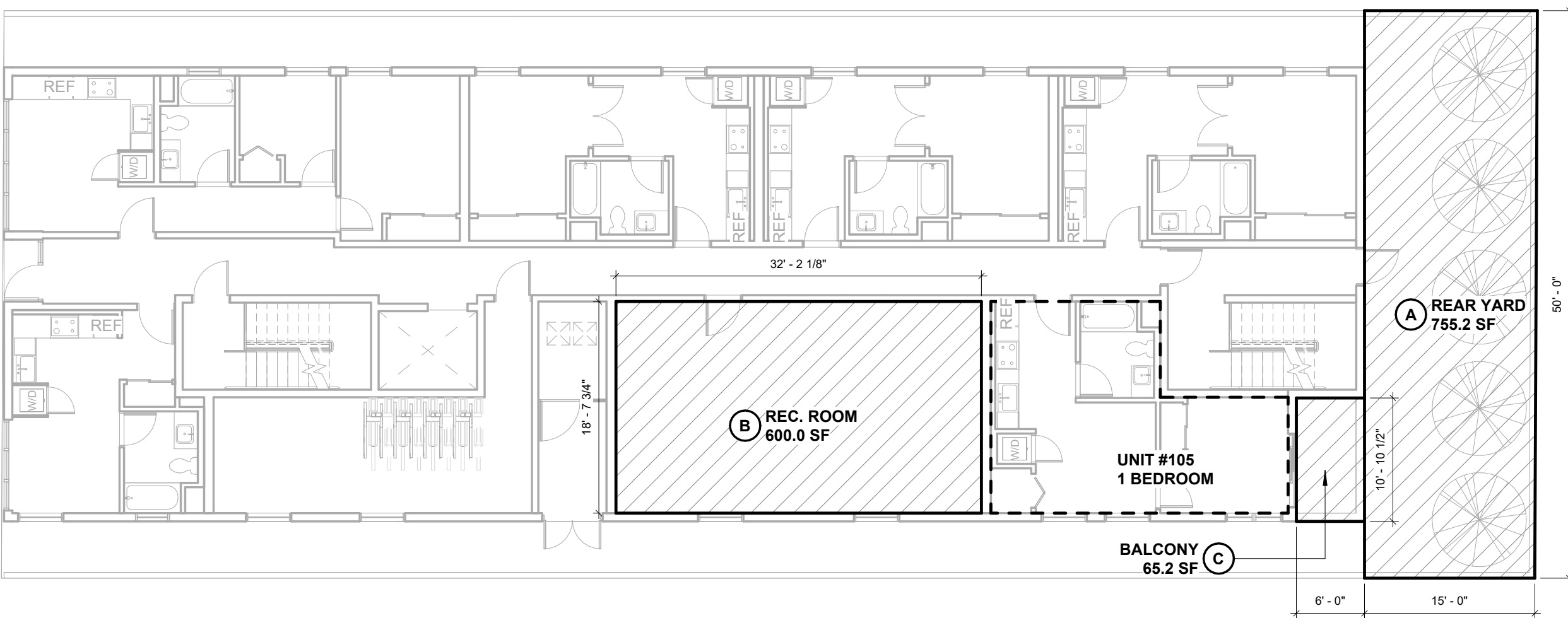
3 3RD FLOOR PLAN - OPEN SPACE  
3/32" = 1'-0"

COMMON OPEN SPACE CALC.		
KEYNOTE	Name	AREA
A	REAR YARD	755.2 SF
B	REC. ROOM	600.0 SF
COMMON OPEN SPACE		1,355.2 SF

PRIVATE OPEN SPACE CALC.		
KEYNOTE	Name	AREA
A	BALCONY	65.2 SF
A	BALCONY	65.2 SF
A	BALCONY	65.2 SF



1 1ST FLOOR PLAN - OPEN SPACE  
3/32" = 1'-0"



DRAWING TITLE  
COMMON OPEN SPACE DIAGRAMS

T032

1114 HELIOTROPE DR.

EXHIBIT "A"

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Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1 VERMONT/WESTERN SNAP WINDOW ADJACENCY  
1/8" = 1'-0" DIAGRAM - NORTH EXTERIOR ELEVATION



N HELIOTROPE DR.

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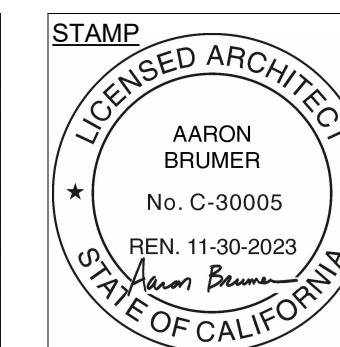
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**PROJECT:**  
30-UNIT MULTIFAMILY DEVELOPMENT  
  
1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

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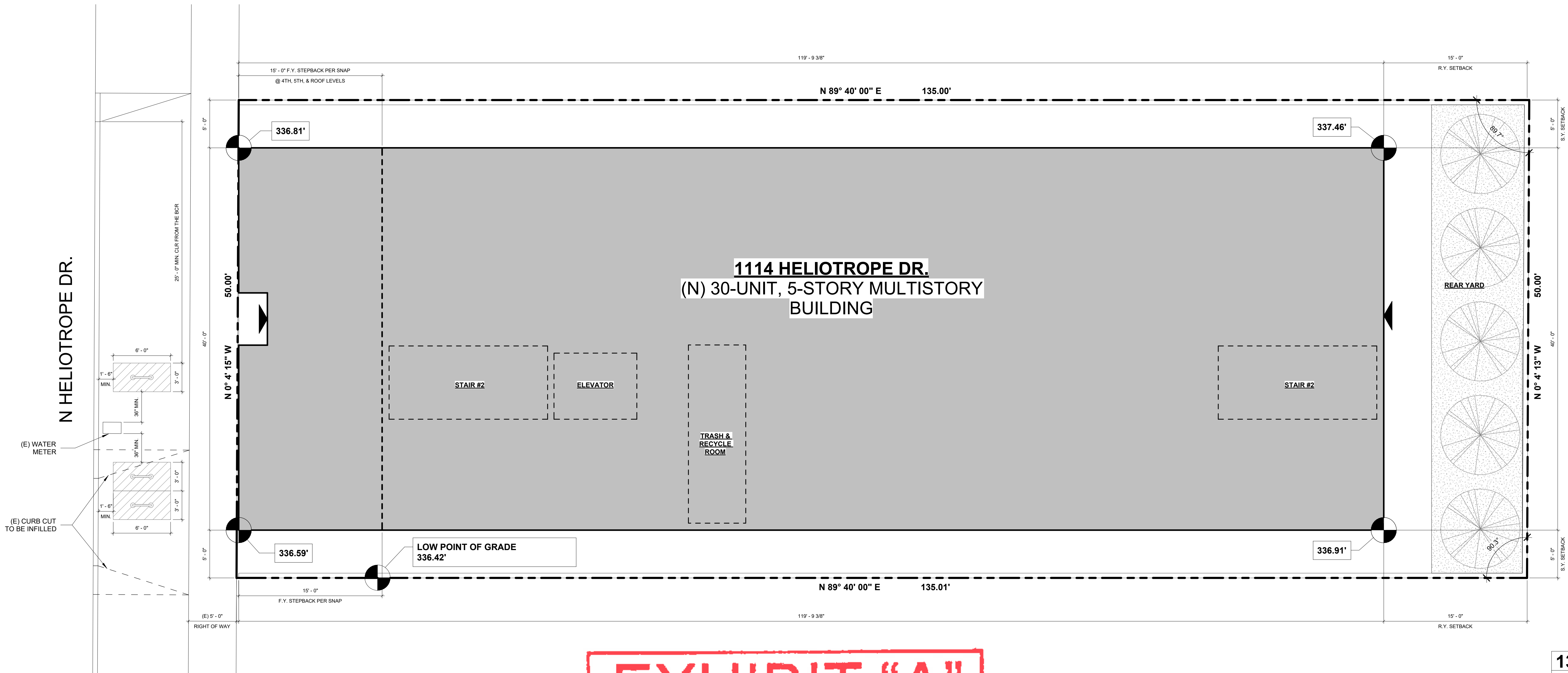
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DRAWING TITLE  
VERMONT/WESTERN SNAP WINDOW  
ADJACENCY DIAGRAMS

T033

1114 HELIOTROPE  
DR.



**EXHIBIT "A"**  
Page No. 7 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

**NOTE:** PER VERMONT/WESTERN TRANSIT ORIENTED DISTRICT  
SPECIFIC PLAN ( STATION NEIGHBORHOOD AREA PLAN)

**SECTION 9. SUBAREA C COMMUNITY CENTER**

**G. PEDESTRIAN THROUGHWAYS.**  
**2. FACADE TREATMENT.**

HE BUILDING FACADE FACING THE PEDESTRIAN WALK WAY  
SHALL BE IMPROVED IN ACCORDANCE WITH THE  
PROVISIONS OF WITH THE GUIDELINES.

**1** SITE PLAN  
3/16" = 1'-0"

**KEYNOTES**

**LEGEND**

▲ ACCESSIBLE ENTRANCE

**SHEET NOTES**

**ARCHITECT:**  
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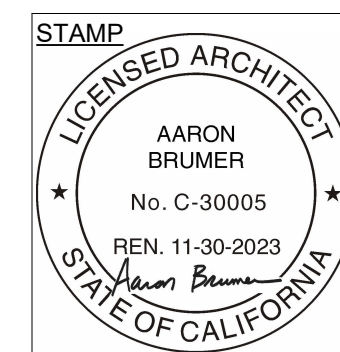
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**PROJECT:**  
**30-UNIT MULTIFAMILY DEVELOPMENT**

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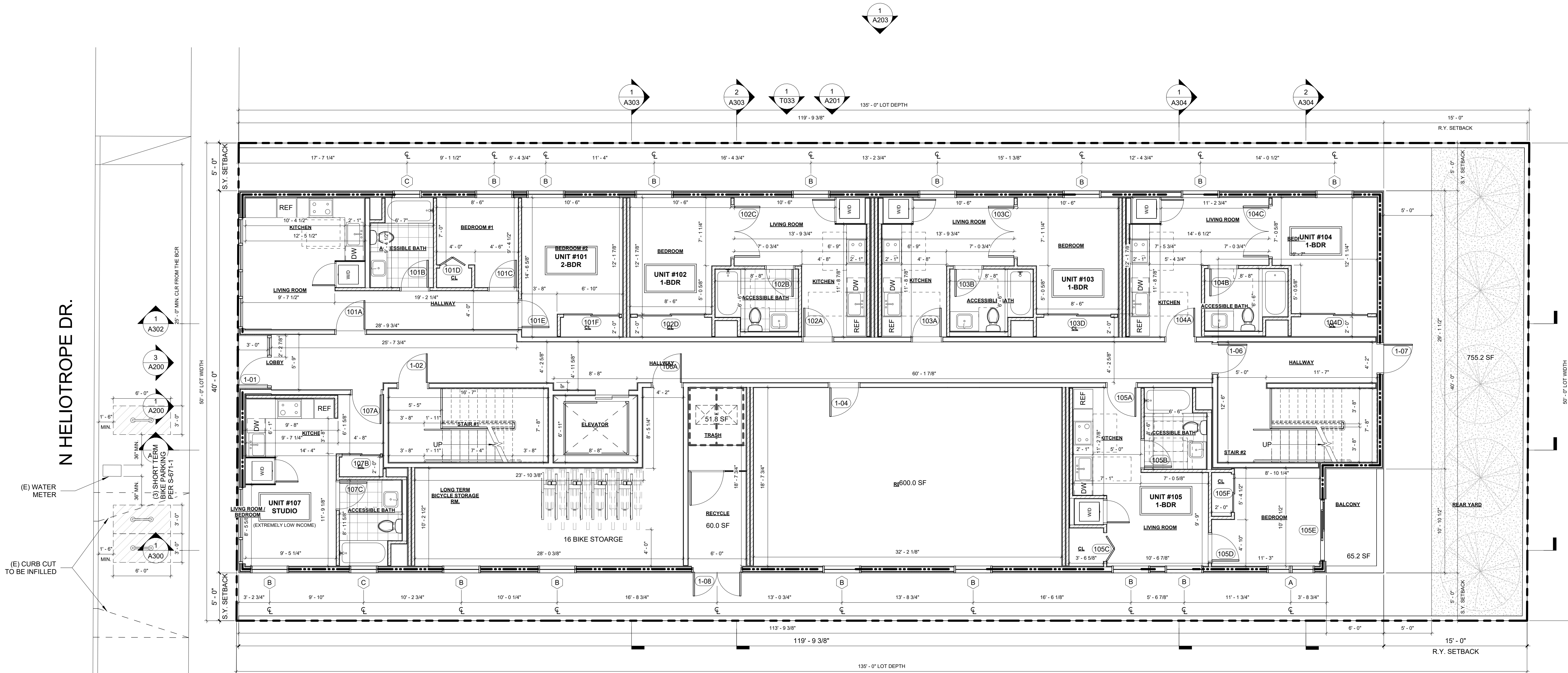
ISSUE	DATE	DESCRIPTION



**DRAWING TITLE**  
SITE PLAN

**A000**

1114 HELIOTROPE DR.



**EXHIBIT "A"**  
Page No. 8 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

**NOTE:** PER VERMONT/WESTERN TRANSIT ORIENTED DISTRICT SPECIFIC PLAN ( STATION NEIGHBORHOOD AREA PLAN)

**SECTION 9. SUBAREA C COMMUNITY CENTER**

**G. PEDESTRIAN THROUGHWAYS.**  
**2. FACADE TREATMENT.**

THE BUILDING FACADE FACING THE PEDESTRIAN WALK WAY SHALL BE IMPROVED IN ACCORDANCE WITH THE PROVISIONS OF WITH THE GUIDELINES.

**1** 1ST FLOOR PLAN  
3/16" = 1'-0"

#### KEYNOTES

- (01) ROLL UP GARAGE DOOR  
- SEE STRUCTURAL DRAWINGS
- (02) TRENCH DRAIN  
- SEE STRUCTURAL DRAWINGS
- (03) ELEVATOR FIRE DOOR
- (04) STANDPIPE
- (05) SUMP PUMP LOCATION; SEE CIVIL
- (06) AREA DRAIN LOCATIONS; SEE CIVIL
- (07) CONC. RETAINING WALL, TYP.  
- SEE STRUCT.
- (08) CONC. COLUMN, TYP.  
- SEE STRUCT.
- (09) 2 TIERED BIKE RACKS, 8 BIKES PER ASSEMBLY,  
TYP.; 24 TOTAL LONG TERM SPACES PROVIDED.

#### LEGEND

- CONCRETE WALL -  
SEE STRUCTURAL DRAWINGS
- 8" CMU WALL -  
SEE STRUCTURAL DRAWINGS
- 2 X 6 WD STUD WALL -  
SEE STRUCTURAL DRAWINGS
- 2 X 4 WD STUD WALL -  
SEE STRUCTURAL DRAWINGS
- 2 X 2 X 4 WD STUD WALL  
SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION -  
SEE SHEET X.1 FOR DETAILS
- 2-HR RATED CONSTRUCTION -  
SEE SHEET X.1 FOR DETAILS
- CARBON MONOXIDE ALARM,  
HARD-WIRED W/ BATTERY BACK-UP
- CEILING MOUNTED BATTERY  
OPERATED SMOKE DETECTOR,  
HARD-WIRED W/ BATTERY BACK-UP
- WHISPER-QUIET CEILING EXHAUST  
FAN/LIGHT COMBO, 50 CFM MIN.  
ENERGY STAR RATED, HUMIDISTAT  
CONTROLLED EXHAUST FAN DUCTED  
TO EXTERIOR
- EXIT SIGN

#### SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR. U.O.N.
- ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.
- SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.
- 1/2" MAX THRESHOLD @ ALL ACCESSIBLE DOOR LANDINGS.
- MAX CROSS SLOPE @ OF ALL ACCESSIBLE DOORS.
- THE ELECTRICAL SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUBPANEL CURCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- EXTERIOR WALLS SHALL HAVE A FIRE-RESISTANCE NOT LESS THAN (1) HOUR. (CBC 603.1)
- SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF (2) - HR. NUMBER OF STORIES CONNECTED INCLUDES ALL BASEMENTS BUT NOT ANY MEZZANINES. (CBC 713.4)
- SHAFT ENCLOSURES THAT DO NOT EXTEND TO THE BOTTOM OF THE BUILDING SHALL COMPLY WITH A CONDITION IN CBC 713.11. (CBC 713.11)
- DOUBLE STRING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5
- BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.
- ALL ROOF RUNOFF TO DRAIN TO STORMWATER PLANTERS PER CIVIL PLANS.

**ARCHITECT:**  
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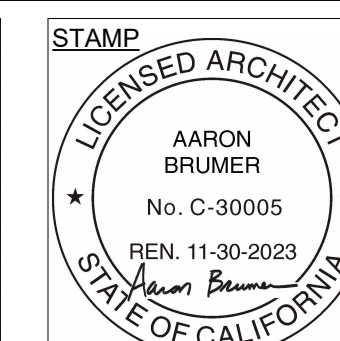
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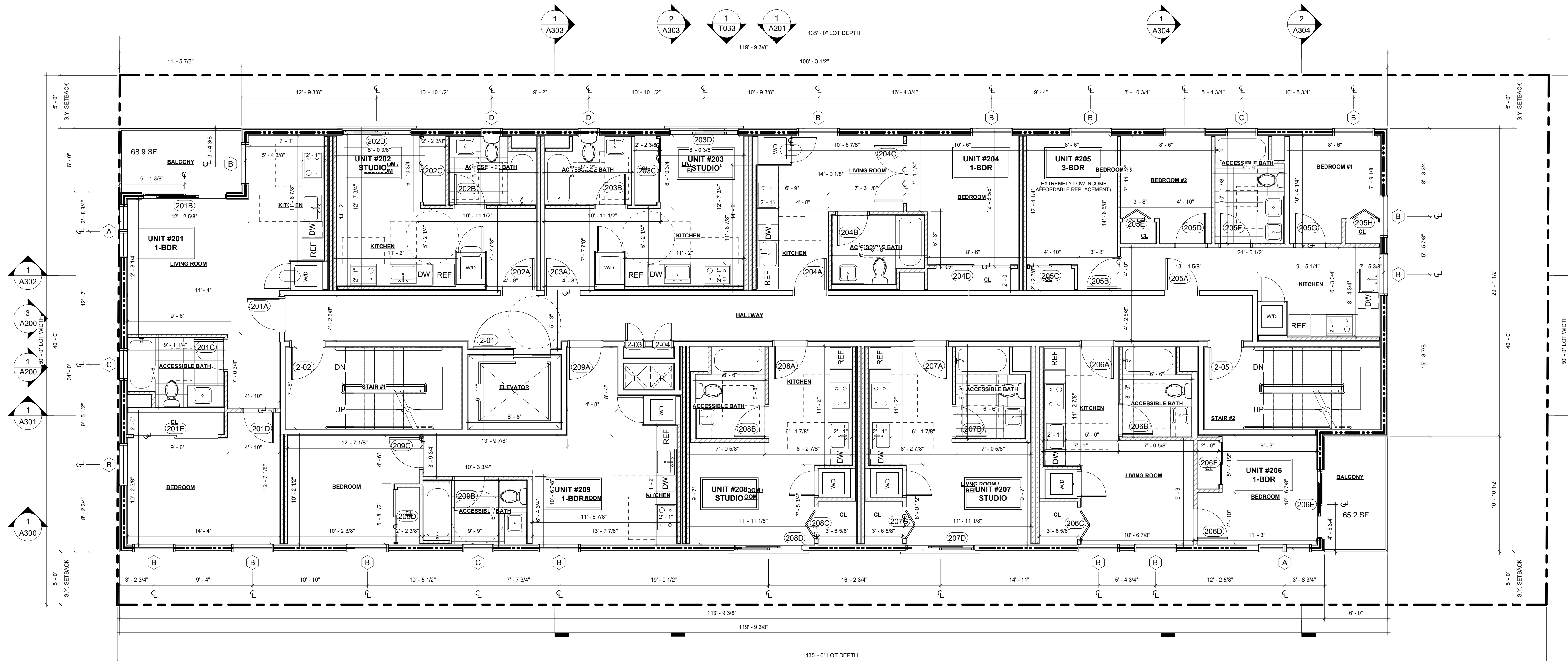


DRAWING TITLE  
1ST FLOOR PLAN

**A101**

1114 HELIOTROPE DR.

N HELIOTROPE DR.



**EXHIBIT "A"**  
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Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1 2ND FLOOR PLAN  
3/16" = 1'-0"

KEYNOTES

- ROLL UP GARAGE DOOR
- BI-FOLDING REMOTE GARAGE ENTRY GATE
- PEDESTRIAN GATE
- STANDPIPE
- ELEVATOR FIRE DOOR
- AREA DRAIN LOCATIONS; SEE CIVIL
- INTERCOM
- FIRE ALARM CONTROL PANEL
- DOWNSPOUT
- SINGLE SHORT-TERM BICYCLE PARKING SPACE, TYP; 2 TOTAL SHORT-TERM SPACES PROVIDED

- MIN. 1-INCH (INSIDE DIAMETER) RACEWAY TO ACCOMMODATE A DEDICATED 200/240 VOLT BRANCH CIRCUIT. RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE EVCS INTO A LISTED CABINET, BOX, OR ENCLOSURE. SEE SHEET NOTES #10 AND #11 FOR ADDITIONAL INFO
- FIRE DEPARTMENT CONNECTION
- ??AUTOMATIC DOOR OPENER FOR SIDE YARD GATE??

LEGEND

- |  |  |  |  |
|--|--|--|--|
|  | CONCRETE WALL<br>- SEE STRUCTURAL DRAWINGS               |  | CARBON MONOXIDE ALARM,<br>HARD-WIRED W/ BATTERY BACK-UP  |
|  | 8" CMU WALL<br>- SEE STRUCTURAL DRAWINGS                 |  | CEILING MOUNTED BATTERY<br>OPERATED SMOKE DETECTOR,<br>HARD-WIRED W/ BATTERY BACK-UP   |
|  | 2 X 4 MTL STUD FURRING WALL<br>- SEE STRUCTURAL DRAWINGS |  | WHISPER-QUIET CEILING EXHAUST<br>FAN/LIGHT COMBO, 50 CFM MIN.<br>ENERGY STAR RATED, HUMIDISTAT<br>CONTROLLED EXHAUST FAN DUCTED<br>TO EXTERIOR |
|  | 1-HR RATED CONSTRUCTION<br>- SEE SHEET X.1 FOR DETAILS   |  | EXIT SIGN  |
|  | 2-HR RATED CONSTRUCTION<br>- SEE SHEET X.1 FOR DETAILS   |  |  |

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" CWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
- ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.
- SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.
- 1/2" MAX THRESHOLD @ ALL ACCESSIBLE DOOR LANDINGS.
- MAX CROSS SLOPE @ OF ALL ACCESSIBLE DOORS.
- THE ELECTRICAL SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSED AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.
- EXTERIOR WALLS SHALL HAVE A FIRE-RESISTANCE NOT LESS THAN (1) HOUR. (CBC 603.1)
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- SHAFT ENCLOSURES THAT DO NOT EXTEND TO THE BOTTOM OF THE BUILDING SHALL COMPLY WITH A CONDITION IN CBC 713.11. (CBC 713.11)
- DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A.5, CHART NO. 5
- BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.
- ALL ROOF RUNOFF TO DRAIN TO STORMWATER PLANTERS PER CIVIL PLANS.

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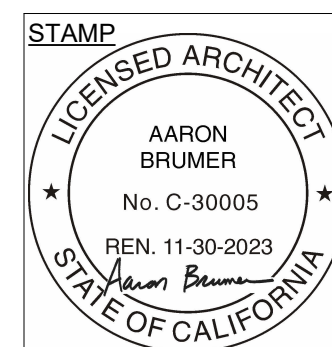
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**PROJECT:**  
30-UNIT MULTIFAMILY DEVELOPMENT

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

ISSUE	DATE	DESCRIPTION
01	07.06.2022	CITY PLANNING SET #1
02	09.09.2022	PZA SUBMITTAL #1
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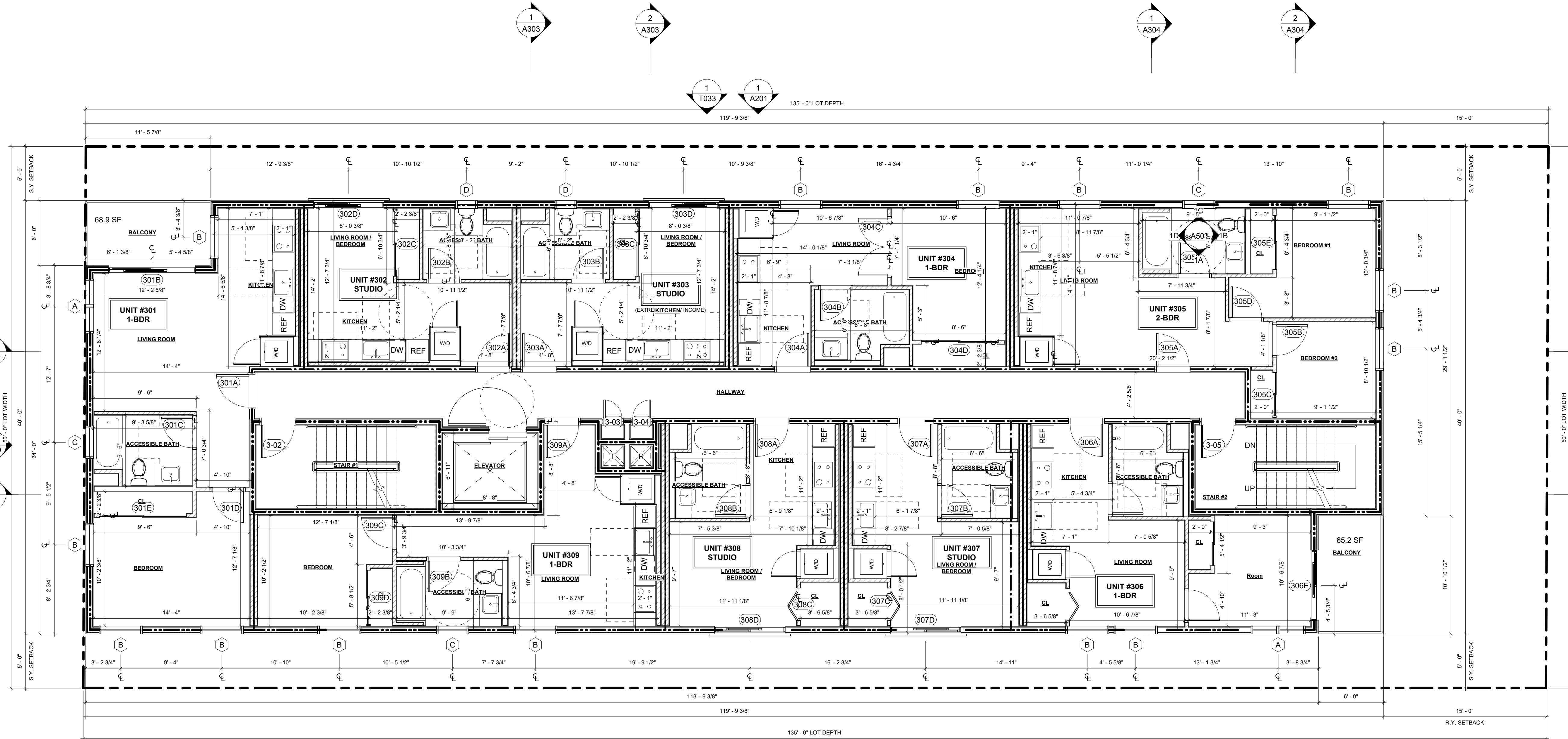


DRAWING TITLE  
2ND FLOOR PLAN

A102

1114 HELIOTROPE DR.

N HELIOTROPE DR.



**EXHIBIT "A"**

Page No. 10 of 34

Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1 3RD FLOOR PLAN  
3/16" = 1'-0"

KEYNOTES

- STANDPIPE
- ELEVATOR FIRE DOOR
- AREA DRAINS
- ELECTRICAL PANEL
- DEX-O-TEX, CLASS 'A' DECK COVERING WEATHERWEAR COATING IN 304  
"INSERT COLOR NAME" XL COLOR  
SRI: 46  
SEE SHEET T-15 FOR SPECIFICATION

LEGEND

- |  |   |  |  |
|--|---|--|--|
|  | 2 X 6 WD STUD WALL-<br>SEE STRUCTURAL DRAWINGS        |  | CARBON MONOXIDE ALARM,<br>HARD-WIRED W/ BATTERY BACK-UP  |
|  | 2 X 4 WD STUD WALL-<br>SEE STRUCTURAL DRAWINGS        |  | CEILING MOUNTED BATTERY<br>OPERATED SMOKE DETECTOR,<br>HARD-WIRED W/ BATTERY BACK-UP   |
|  | 2 X 2 X 4 WD STUD WALL-<br>SEE STRUCTURAL DRAWINGS    |  | WHISPER-QUIET CEILING EXHAUST<br>FAN/LIGHT COMBO, 50 CFM MIN.<br>ENERGY STAR RATED, HUMIDISTAT<br>CONTROLLED EXHAUST FAN DUCTED<br>TO EXTERIOR |
|  | 1-HR RATED CONSTRUCTION-<br>SEE SHEET X-1 FOR DETAILS |  | EXIT SIGN  |
|  | 2-HR RATED CONSTRUCTION-<br>SEE SHEET X-1 FOR DETAILS |  |  |

SHEET NOTES

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- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.
- SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.
- ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR, U.O.N.
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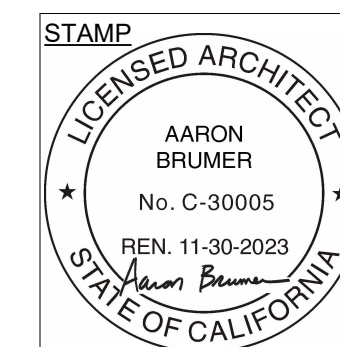
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**PROJECT:**  
30-UNIT MULTIFAMILY DEVELOPMENT

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

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06	10.20.2023	PZA RESUBMITTAL #4

ISSUE	DATE	DESCRIPTION



DRAWING TITLE  
3RD FLOOR PLAN

A103

1114 HELIOTROPE DR.

N HELIOTROPE DR.

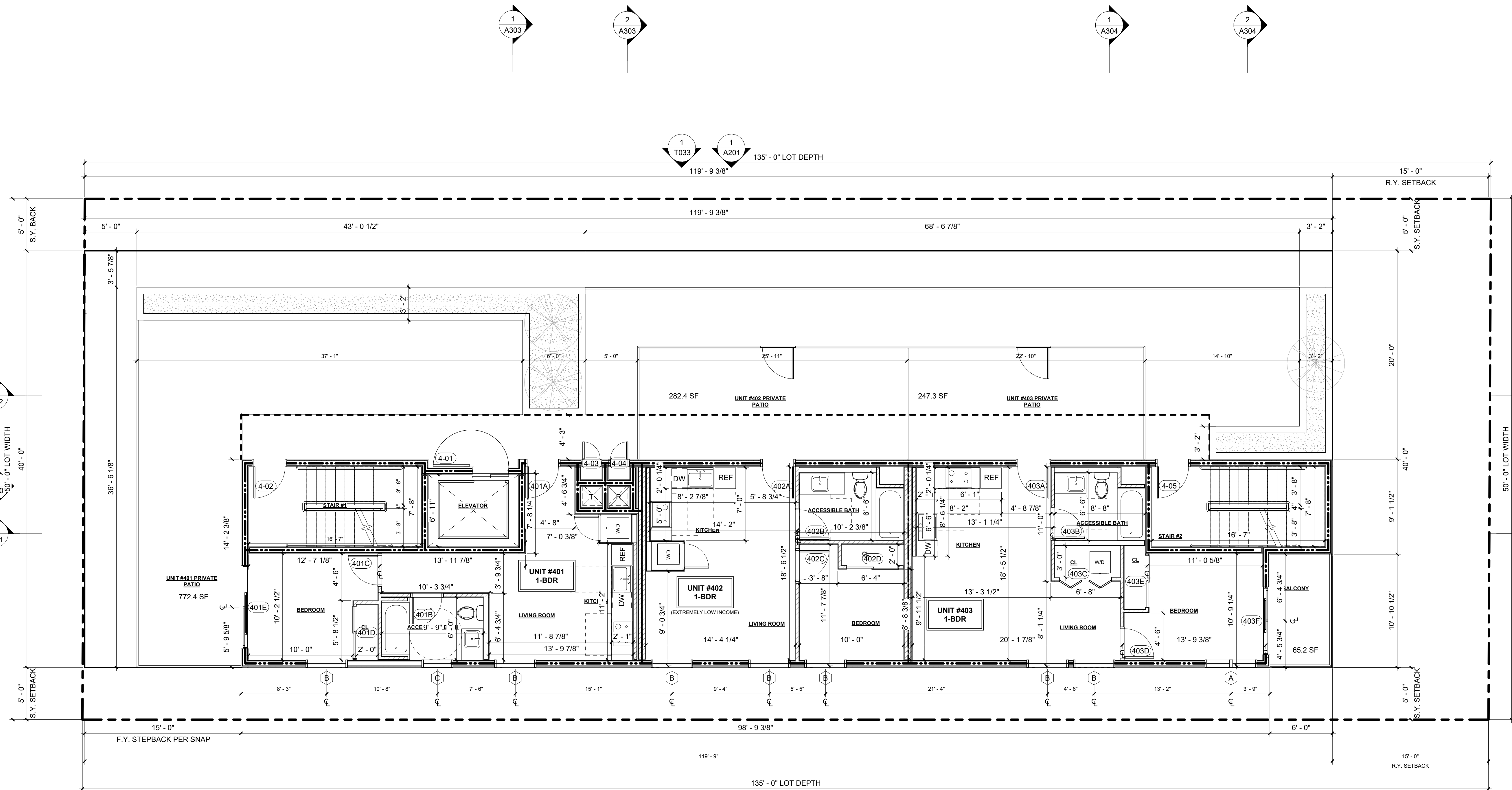


EXHIBIT "A"

Page No. 11 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

1 4TH FLOOR PLAN  
3/16" = 1'-0"

KEYNOTES

- 01 STANDPIPE
- 02 ELEVATOR FIRE DOOR
- 03 AREA DRAINS
- 04 ELECTRICAL PANEL
- 05 DEX-O-TEX, CLASS 'A' DECK COVERING WEATHERWEAR COATING IN 304 "INSERT COLOR NAME" XL COLOR SRI: 46 SEE SHEET T-15 FOR SPECIFICATION

LEGEND

- 2 X 6 WD STUD WALL- SEE STRUCTURAL DRAWINGS
- 2 X 4 WD STUD WALL- SEE STRUCTURAL DRAWINGS
- 2-2 X 4 WD STUD WALL SEE STRUCTURAL DRAWINGS
- 1-HR RATED CONSTRUCTION- SEE SHEET X-1 FOR DETAILS
- 2-HR RATED CONSTRUCTION- SEE SHEET X-1 FOR DETAILS
- CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP
- CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP
- WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN. ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR
- EXIT SIGN

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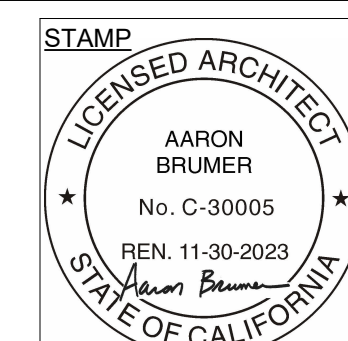
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**PROJECT:**  
30-UNIT MULTIFAMILY DEVELOPMENT

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

ISSUE	DATE	DESCRIPTION
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE  
4TH FLOOR PLAN

A104

1114 HELIOTROPE DR.

N HELIOTROPE DR.

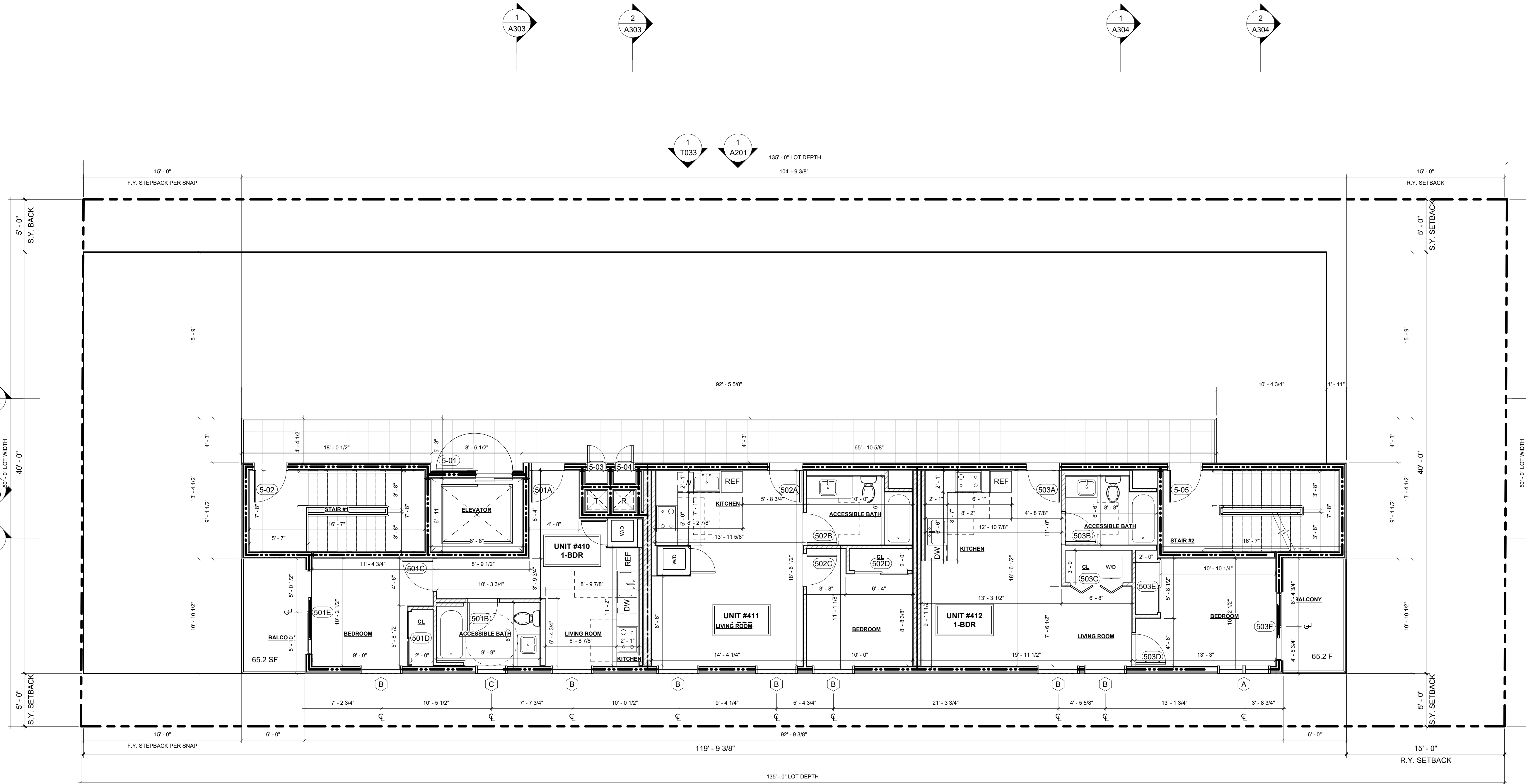


EXHIBIT "A"

Page No. 12 of 34

Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1 5TH FLOOR PLAN  
3/16" = 1'-0"

KEYNOTES

- STANDPIPE
- ELEVATOR FIRE DOOR
- AREA DRAINS
- ELECTRICAL PANEL
- DEX-O-TEX, CLASS 'A' DECK COVERING WEATHERWEAR COATING IN 304 "INSERT COLOR NAME" XL COLOR SRI: 46 SEE SHEET T-15 FOR SPECIFICATION

LEGEND

- |   |  |
|---|--|
| 2 X 6 WD STUD WALL - SEE STRUCTURAL DRAWINGS        | CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP   |
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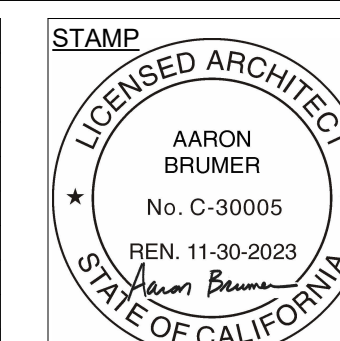
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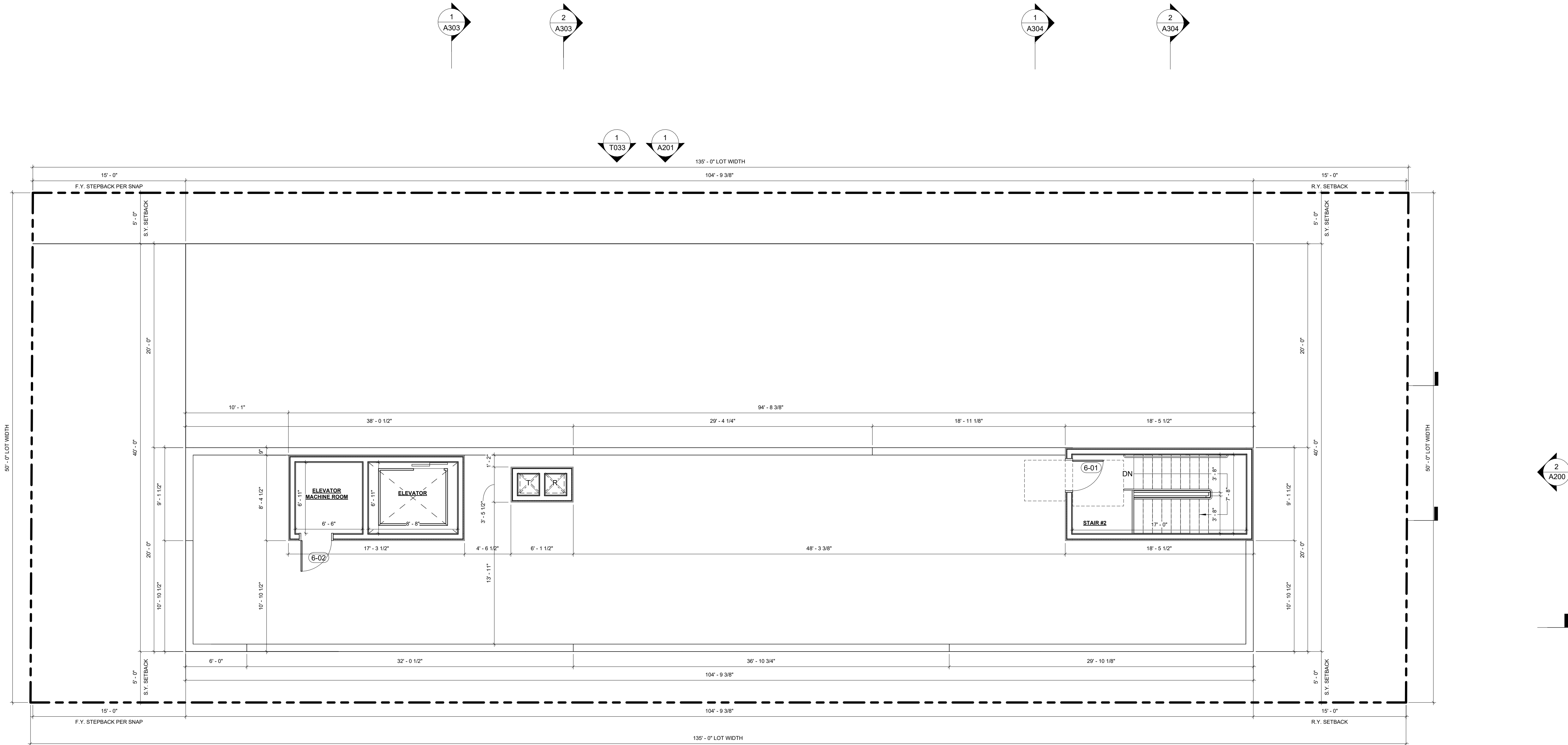


DRAWING TITLE  
5TH FLOOR PLAN

A105

1114 HELIOTROPE DR.

N HELIOTROPE DR.



**EXHIBIT "A"**  
Page No. 13 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1 ROOF PLAN  
3/16" = 1'-0"

KEYNOTES	LEGEND	SHEET NOTES
<p>01 STANDPIPE</p> <p>02 ELEVATOR FIRE DOOR</p> <p>03 AREA DRAINS</p> <p>04 ELECTRICAL PANEL</p> <p>05 DEX-O-TEX, CLASS 'A' DECK COVERING WEATHERWEAR COATING IN 304 "INSERT COLOR NAME" XL COLOR SRI: 46 SEE SHEET T-15 FOR SPECIFICATION</p>	<p>2 X 6 WD STUD WALL - SEE STRUCTURAL DRAWINGS</p> <p>2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS</p> <p>2 X 2 X 4 WD STUD WALL - SEE STRUCTURAL DRAWINGS</p> <p>1-HR RATED CONSTRUCTION - SEE SHEET X-1 FOR DETAILS</p> <p>2-HR RATED CONSTRUCTION - SEE SHEET X-1 FOR DETAILS</p> <p>CARBON MONOXIDE ALARM, HARD-WIRED W/ BATTERY BACK-UP</p> <p>CEILING MOUNTED BATTERY OPERATED SMOKE DETECTOR, HARD-WIRED W/ BATTERY BACK-UP</p> <p>WHISPER-QUIET CEILING EXHAUST FAN/LIGHT COMBO, 50 CFM MIN. ENERGY STAR RATED, HUMIDISTAT CONTROLLED EXHAUST FAN DUCTED TO EXTERIOR</p> <p>EXIT SIGN</p>	<p>1. ALL DIMENSIONS ARE TO FACE OF FRAMING, CENTERLINE OF STRUCTURAL POST, OR EDGE OF SLAB U.O.N.</p> <p>2. ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.</p> <p>3. AT ALL INTERIOR WALLS, INSTALL 1 LAYER 5/8" GWB BOTH SIDES. AT WET LOCATION, INSTALL CEMENT BOARD ON WET SIDE OF WALL.</p> <p>4. SEE STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION INFORMATION.</p> <p>5. ALL DOORS TO BE FRAMED 6" FROM THE ADJACENT PERPENDICULAR WALL TO THE THROAT OF THE HINGE SIDE OF THE DOOR. U.O.N.</p> <p>6. ALL EXTERIOR DOORS SHALL OPEN ONTO A LANDING IN THE DIRECTION OF THE DOORSWING THAT IS NO MORE THAN 1/2" BELOW THE DOOR THRESHOLD ELEVATION.</p> <p>7. SEE INTERIORS PACKAGE FOR ALL INTERIOR MATERIALS, FIXTURES, AND FINISHES.</p> <p>8. 1/2" MAX THRESHOLD @ ALL ACCESSIBLE DOOR LANDINGS.</p> <p>9. MAX CROSS SLOPE @ OF ALL ACCESSIBLE DOORS.</p> <p>10. THE ELECTRICALM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.</p> <p>11. THE SERVICE PANEL OR SUBPANEL CURCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.</p> <p>12. EXTERIOR WALLS SHALL HAVE A FIRE-RESISTANCE NOT LESS THAN (1) HOUR. (CBC 603.1)</p> <p>13. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF (2) - HR. NUMBER OF STORIES CONNECTED INCLUDES ALL BASEMENTS BUT NOT ANY MEZZANINES. (CBC 713.4)</p> <p>14. SHAFT ENCLOSURES THAT DO NOT EXTEND TO THE BOTTOM OF THE BUILDING SHALL COMPLY WITH A CONDITION IN CBC 713.11. (CBC 713.11)</p> <p>15. DOUBLE STRINGING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5</p> <p>16. BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.</p> <p>17. ALL ROOF RUNOFF TO DRAIN TO STORMWATER PLANTERS PER CIVIL PLANS.</p>

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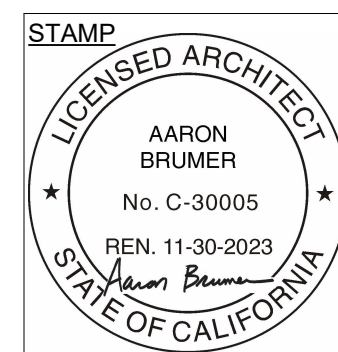
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**PROJECT:**  
**30-UNIT MULTIFAMILY DEVELOPMENT**  
  
1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

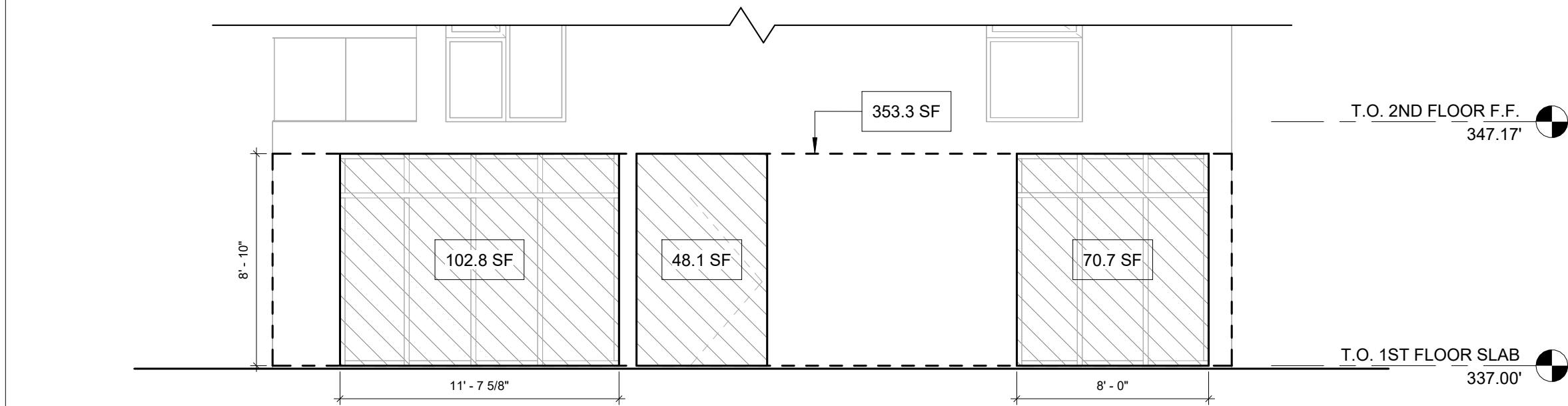
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05	10.16.2023	PZA RESUBMITTAL #3
06	10.20.2023	PZA RESUBMITTAL #4

ISSUE	DATE	DESCRIPTION



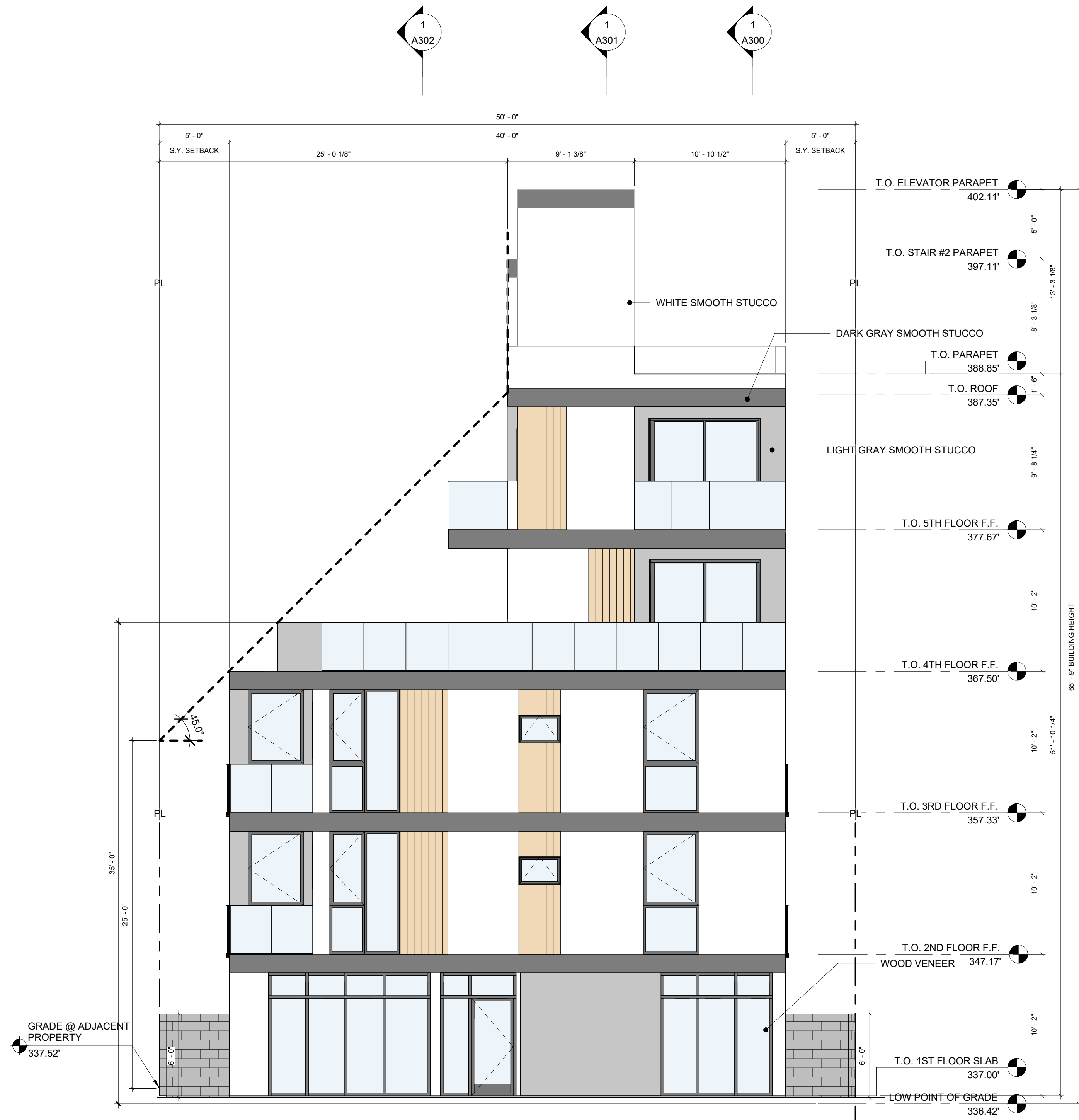
DRAWING TITLE  
ROOF PLAN

**A106**  
1114 HELIOTROPE DR.



TRANSPARENCY CALCULATIONS - WEST ELEVATION  
TOTAL TRANSPARENCY AREA = 102.8+48.1+70.7 = 221.6 SF  
OVERALL SURFACE AREA = 353.3 SF  
% TRANSPARENCY AREA = 221.6 / 353.3 = 62.7%

3 WEST EXTERIOR ELEVATION - TRANSPARENCY DIAGRAM  
3/16" = 1'-0"



NOTE: PER VERMONT/WESTERN TRANSIT ORIENTED DISTRICT  
SPECIFIC PLAN ( STATION NEIGHBORHOOD AREA PLAN)

SECTION 9. SUBAREA C COMMUNITY CENTER

G. PEDESTRIAN THROUGHWAYS.  
2. FACADE TREATMENT.

THE BUILDING FACADE FACING THE PEDESTRIAN WALK WAY  
SHALL BE IMPROVED IN ACCORDANCE WITH THE  
PROVISIONS OF WITH THE GUIDELINES.

1 WEST EXTERIOR ELEVATION  
3/16" = 1'-0"

EXHIBIT "A"

Page No. 14 of 34

Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

2 EAST EXTERIOR ELEVATION  
3/16" = 1'-0"

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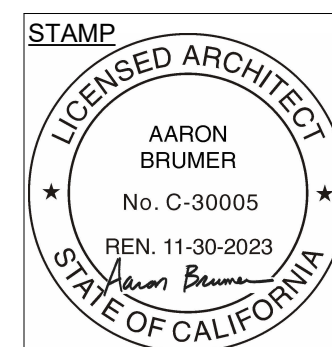
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**PROJECT:**  
30-UNIT MULTIFAMILY DEVELOPMENT

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

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05	10.16.2023	PZA RESUBMITTAL #3
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE  
EXTERIOR ELEVATIONS

A200

1114 HELIOTROPE DR.



**EXHIBIT "A"**  
Page No. 15 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1  
3/16" = 1'-0"

NORTH EXTERIOR ELEVATION

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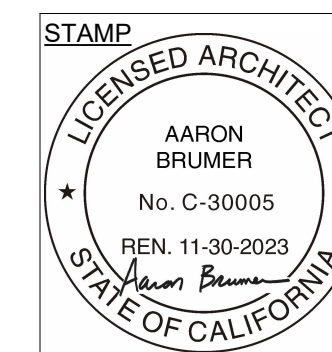
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**PROJECT:**  
**30-UNIT MULTIFAMILY DEVELOPMENT**  
  
1114 N. HELIOTROPE DR.  
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE  
EXTERIOR ELEVATIONS

A201

1114 HELIOTROPE DR.

N HELIOTROPE DR.



**EXHIBIT "A"**  
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Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1 SOUTH EXTERIOR ELEVATION  
3/16" = 1'-0"

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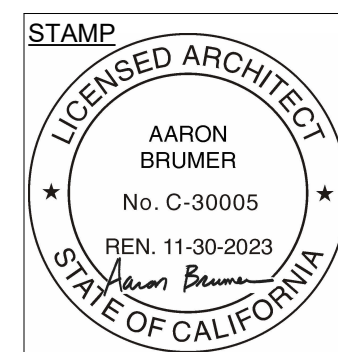
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**PROJECT:**  
**30-UNIT MULTIFAMILY DEVELOPMENT**  
  
1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

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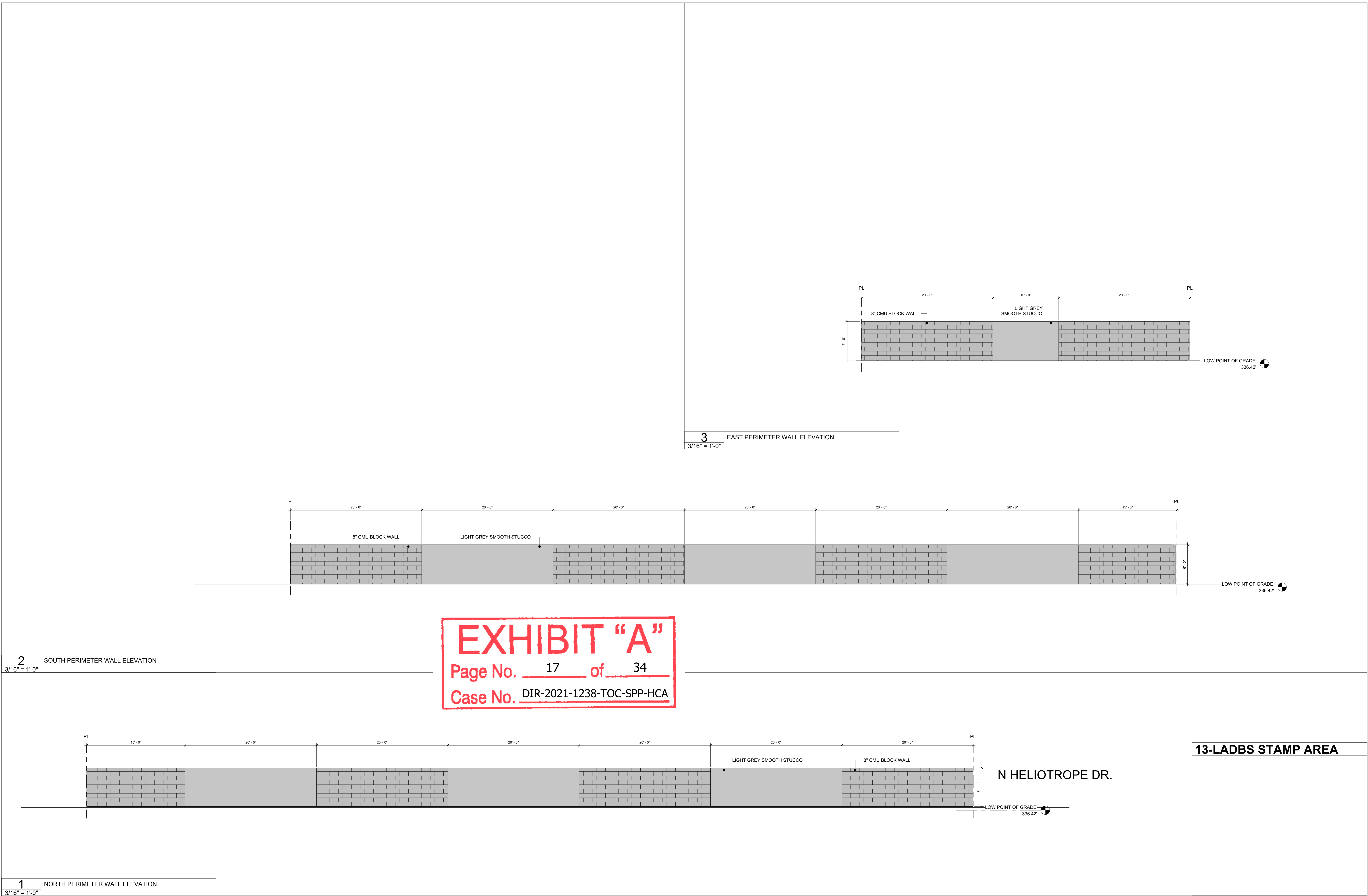
ISSUE	DATE	DESCRIPTION



DRAWING TITLE  
EXTERIOR ELEVATIONS

A202

1114 HELIOTROPE DR.



**EXHIBIT "A"**  
Page No. 17 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

**ARCHITECT:**  
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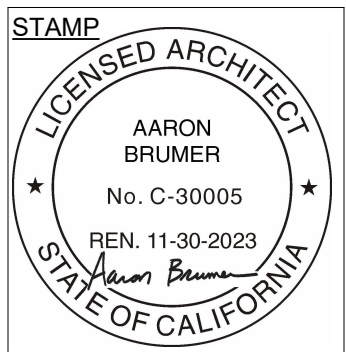
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**PROJECT:**  
30-UNIT MULTIFAMILY DEVELOPMENT  
  
1114 N. HELIOTROPE DR.  
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ISSUE	DATE	DESCRIPTION



DRAWING TITLE  
PERIMETER WALL ELEVATION

**A203**  
1114 HELIOTROPE DR.

N HELIOTROPE DR.

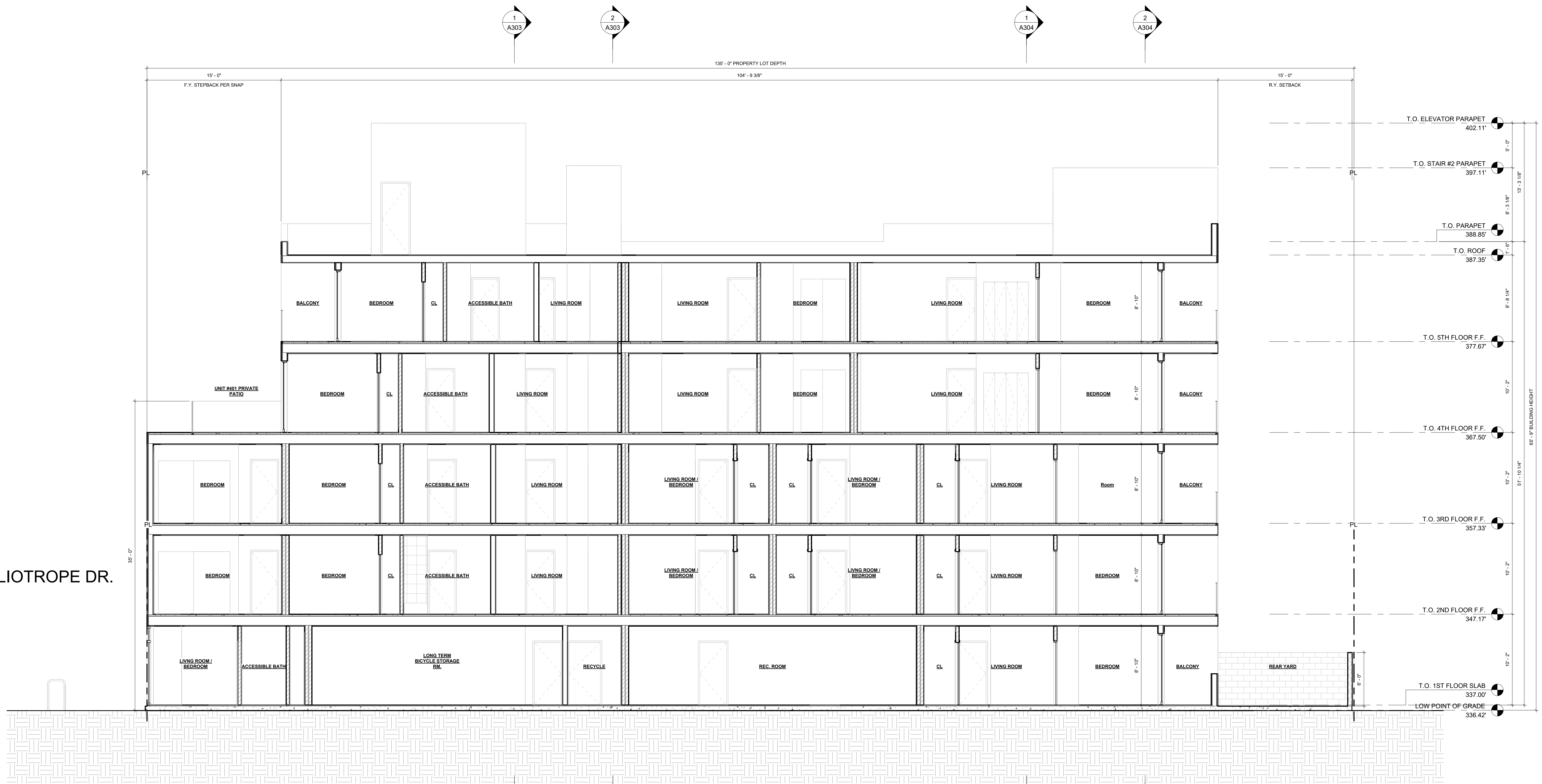


EXHIBIT "A"

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Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1  
3/16" = 1'-0"

LONG SECTION 1

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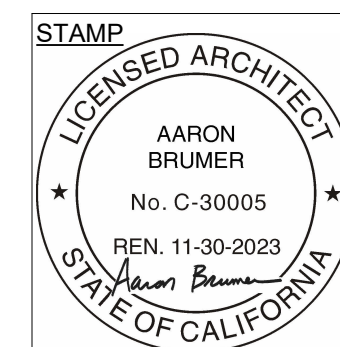
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**PROJECT:**  
30-UNIT MULTIFAMILY DEVELOPMENT

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

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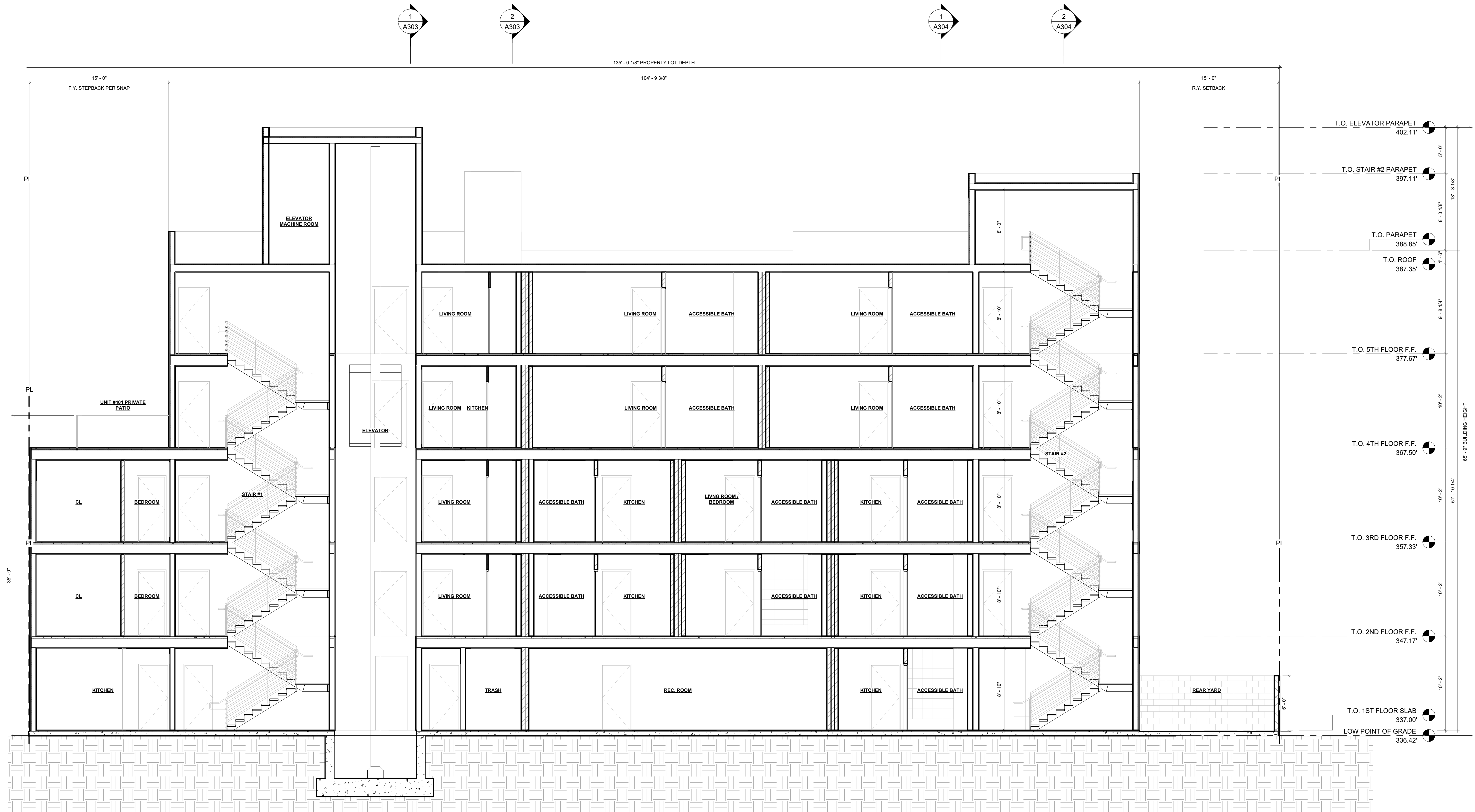


DRAWING TITLE  
LONG SECTION-1

A300

1114 HELIOTROPE DR.

N HELIOTROPE DR.



**EXHIBIT "A"**  
Page No. 19 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1  
3/16" = 1'-0"

LONG SECTION 2

**ARCHITECT:**  
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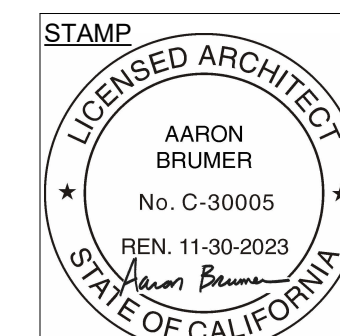
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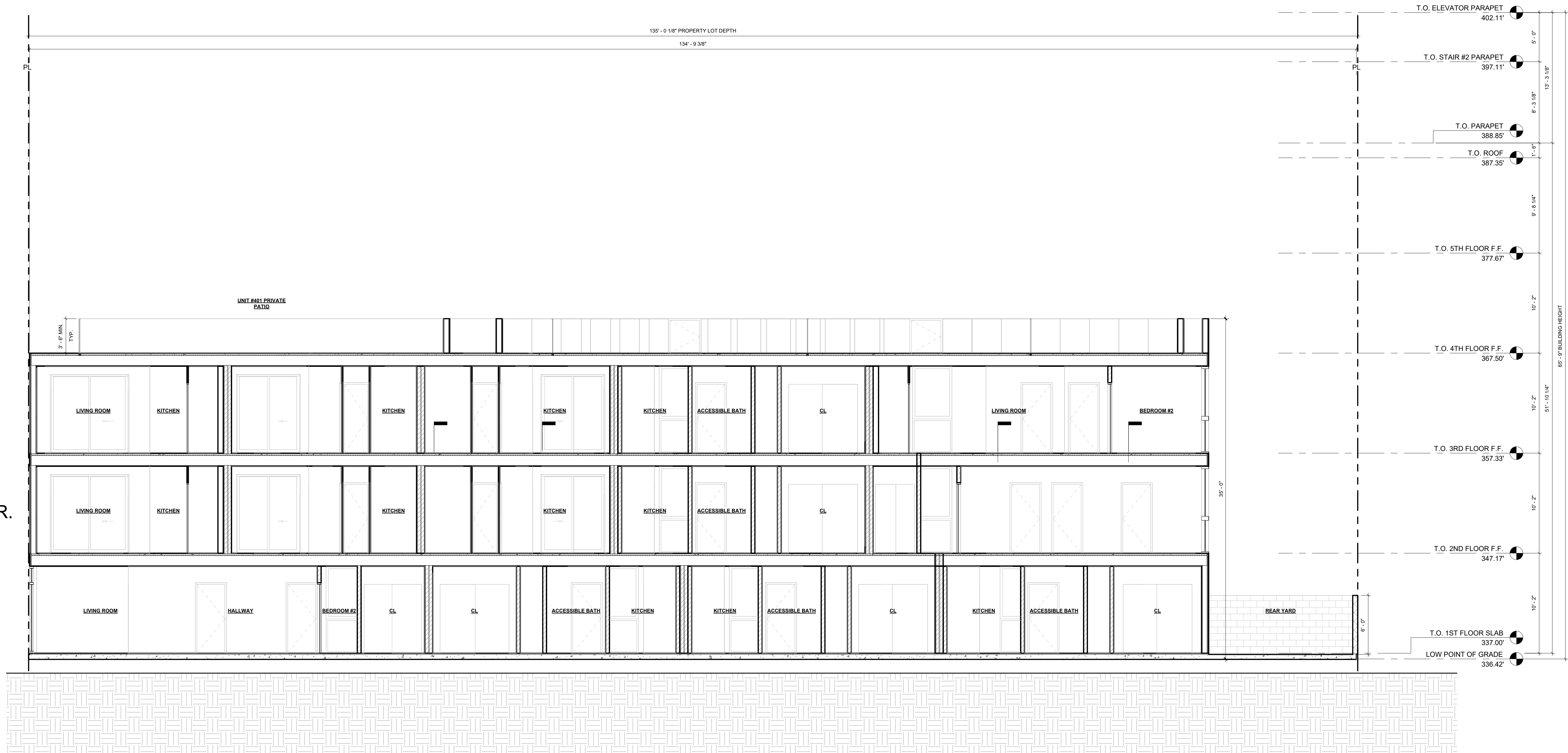


DRAWING TITLE  
LONG SECTION-2

A301

1114 HELIOTROPE DR.

N HELIOTROPE DR.



**EXHIBIT "A"**  
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Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

1 LONG SECTION 3  
3/16" = 1'-0"

**ARCHITECT:**  
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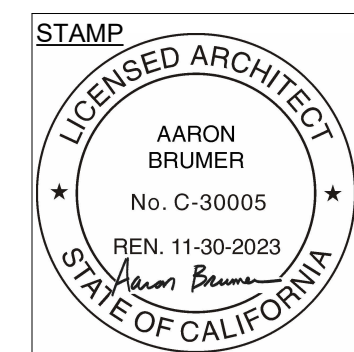
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LONG SECTION-3

**A302**  
1114 HELIOTROPE DR.

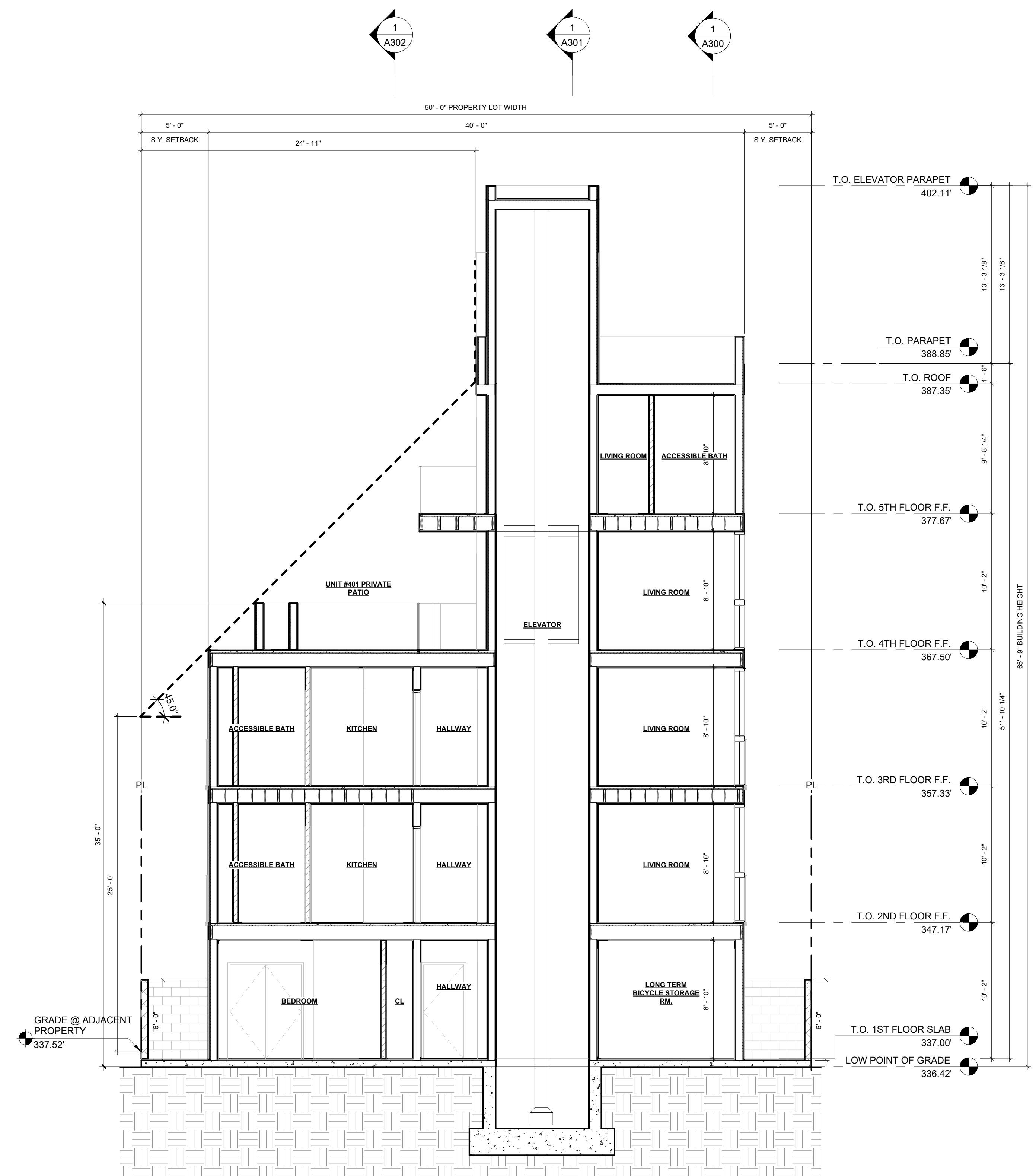
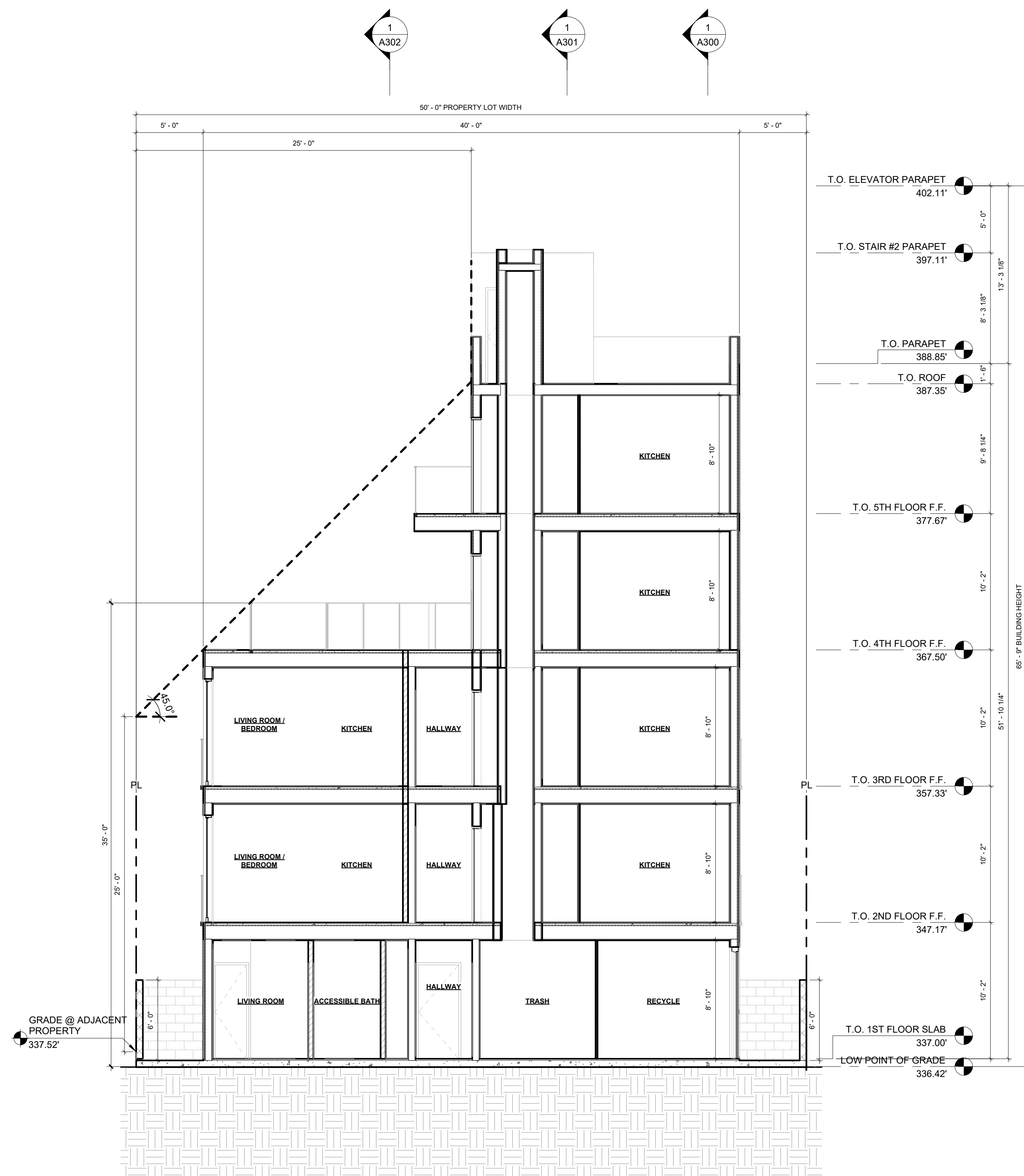


EXHIBIT "A"

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Case No. DIR-2021-1238-TOC-SPP-HCA

13-LADBS STAMP AREA

2 SHORT SECTION 2  
3/16" = 1'-0"

1 SHORT SECTION 1  
3/16" = 1'-0"

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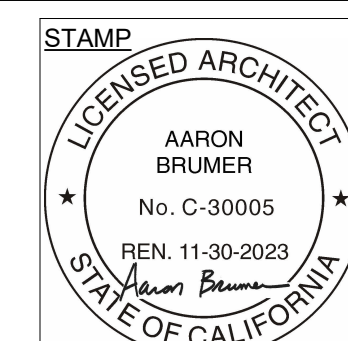
**CIVIL:**  
POINT ENGINEERING, INC.  
9227 RESEDA BLVD #111  
NORTHRIDGE, CA 91324  
T: 213 258 8451  
EMAIL:  
POINTENGINEERINGINC@GMAIL.COM

**LANDSCAPE:**  
GREEN REPUBLIC LANDSCAPES INC.  
13743 VENTURA BLVD UNIT 220  
SHERMAN OAKS, CA 91423  
T: (818) 616-1860  
EMAIL:  
INFO@GREENREPUBLICLANDSCAPES.COM

**PROJECT:**  
30-UNIT MULTIFAMILY DEVELOPMENT  
  
1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

ISSUE	DATE	DESCRIPTION
01	07.06.2022	CITY PLANNING SET #1
02	09.09.2022	PZA SUBMITTAL #1
03	05.15.2023	PZA RESUBMITTAL #1
04	06.07.2023	PZA RESUBMITTAL #2
05	10.16.2023	PZA RESUBMITTAL #3
06	10.20.2023	PZA RESUBMITTAL #4

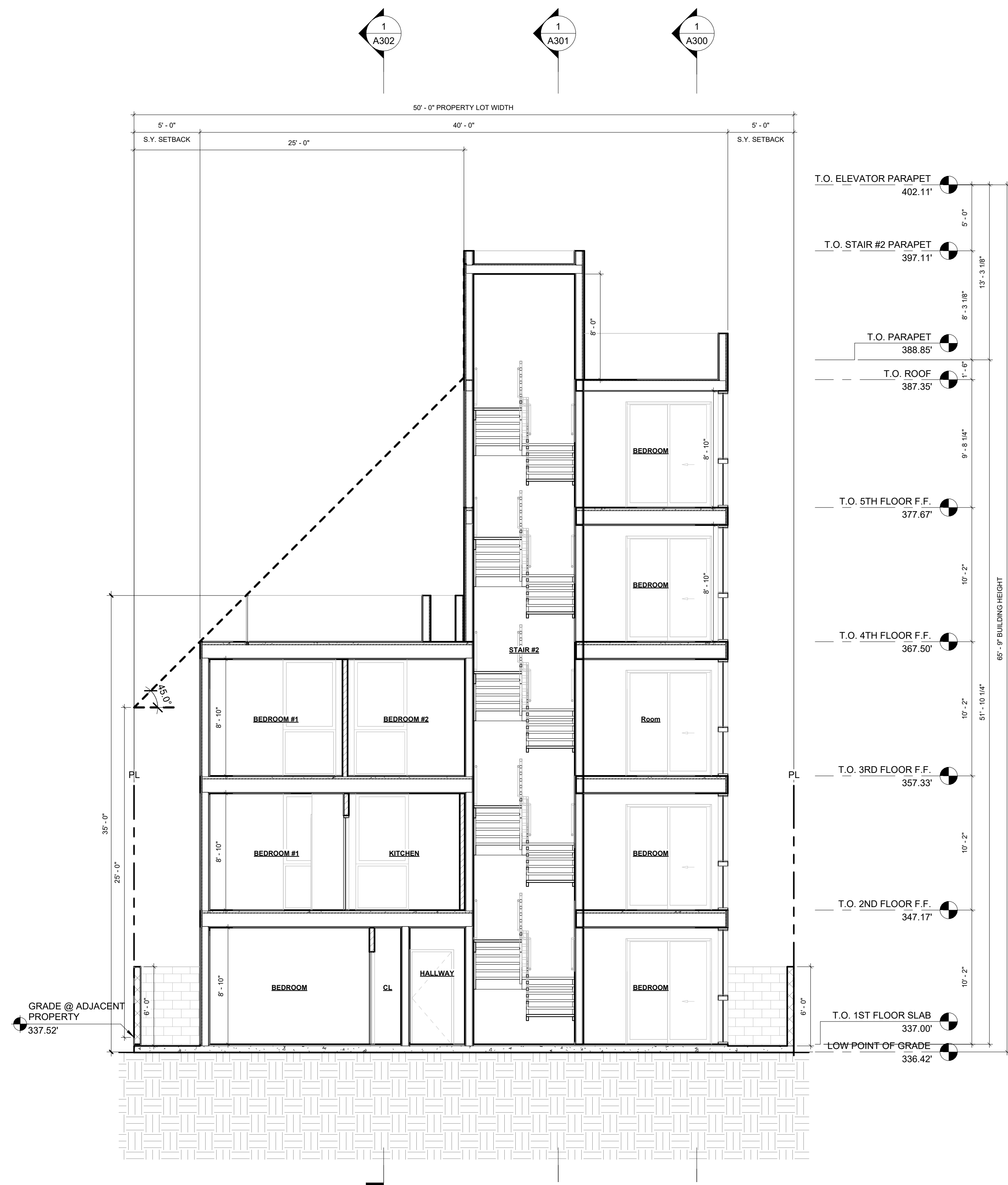
ISSUE	DATE	DESCRIPTION



DRAWING TITLE  
SHORT SECTIONS

A303

1114 HELIOTROPE DR.



**EXHIBIT "A"**  
Page No. 22 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

2  
3/16" = 1'-0"

SHORT SECTION 4

**ARCHITECT:**  
**AARON BRUMER AND ASSOC. ARCHITECTS**  
10999 RIVERSIDE DRIVE, SUITE #302  
NORTH HOLLYWOOD, CA 91602  
PHONE: (310) 422-9234  
EMAIL: AARON@AARONBRUMER.COM

**STRUCTURAL:**  
**BOLD ENGINEER & ASSOCIATES, INC**  
3055 WILSHIRE BLVD. #880  
LOS ANGELES, CA 90010  
T: 213-386-3049, F: 323-210-7118,  
C: 213-392-0034  
EMAIL: BOLDENGINEER@GMAIL.COM

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T: 213 258 8451  
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POINTENGINEERINGINC@GMAIL.COM

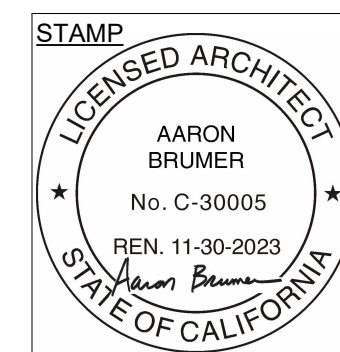
**LANDSCAPE:**  
**GREEN REPUBLIC LANDSCAPES INC.**  
13743 VENTURA BLVD UNIT 220  
SHERMAN OAKS, CA 91423  
T: (818) 616-1860  
EMAIL:  
INFO@GREENREPUBLICLANDSCAPES.COM

**PROJECT:**  
**30-UNIT MULTIFAMILY DEVELOPMENT**

1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

ISSUE	DATE	DESCRIPTION
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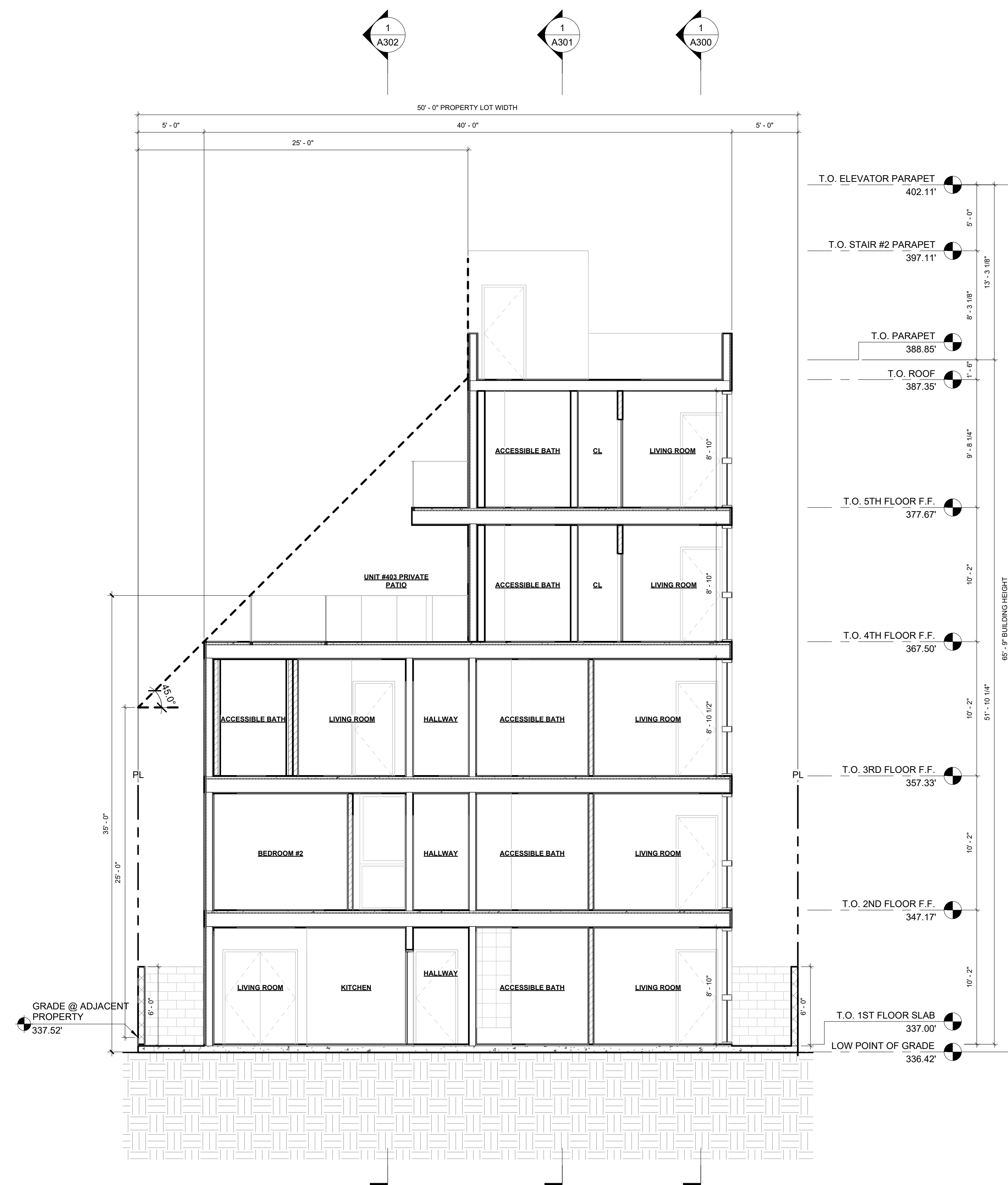
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DRAWING TITLE  
SHORT SECTIONS

**A304**

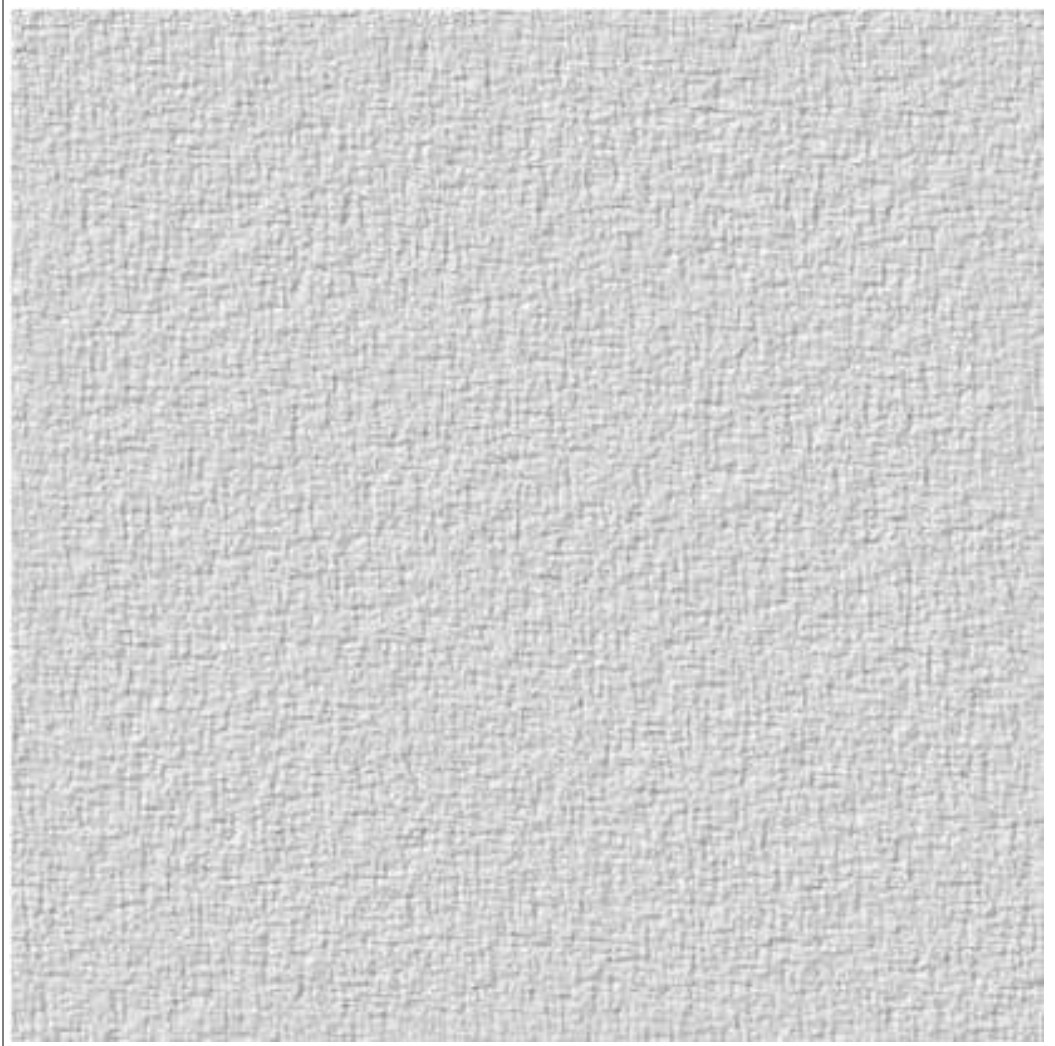
1114 HELIOTROPE  
DR.



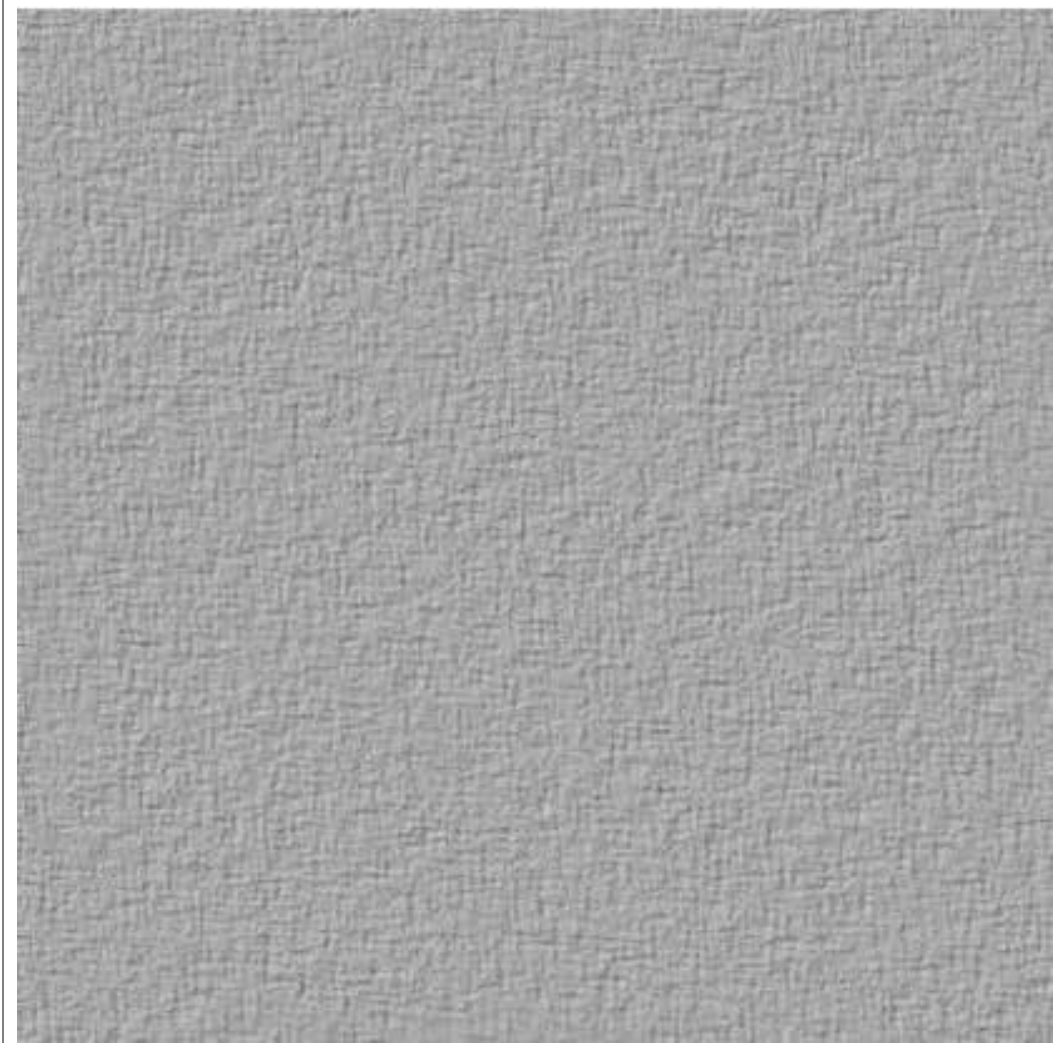
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3/16" = 1'-0"

SHORT SECTION 3

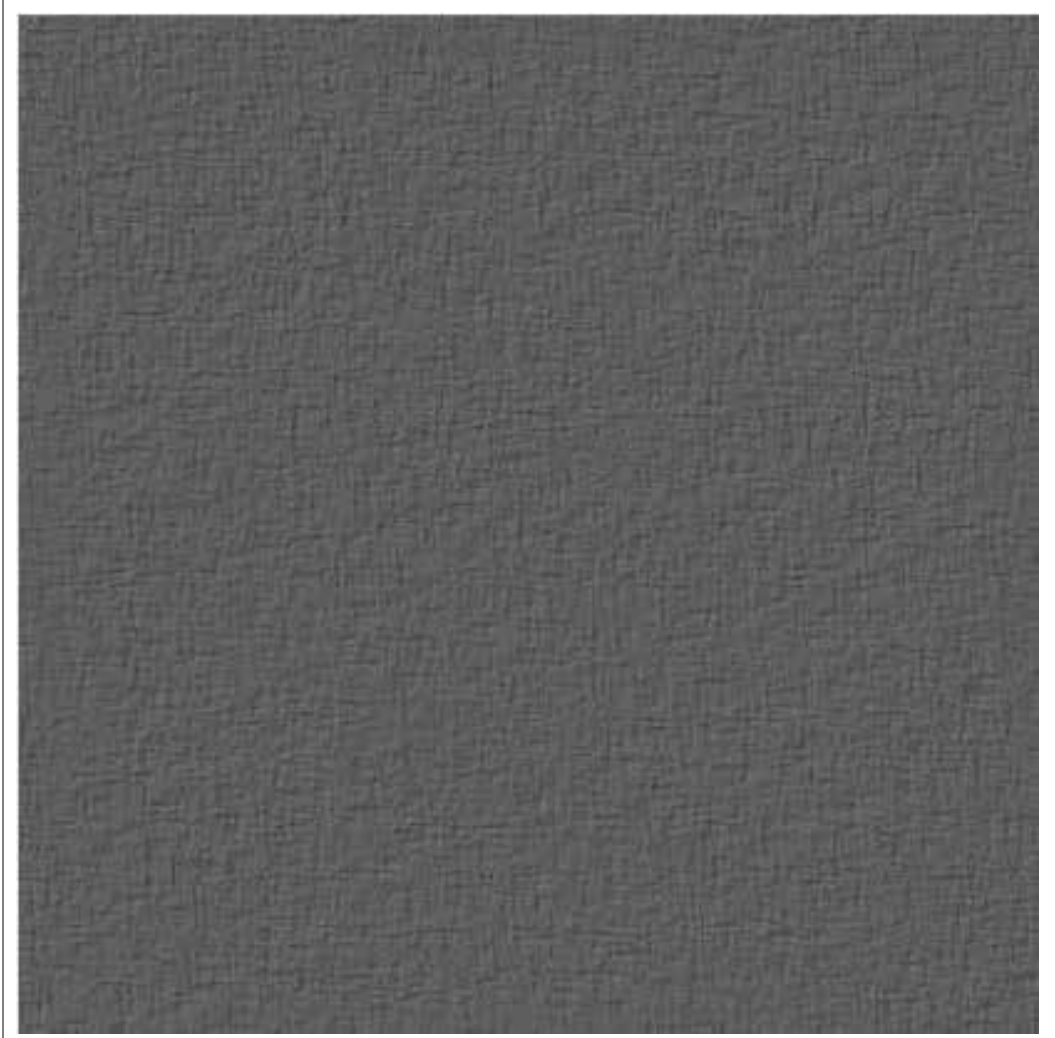
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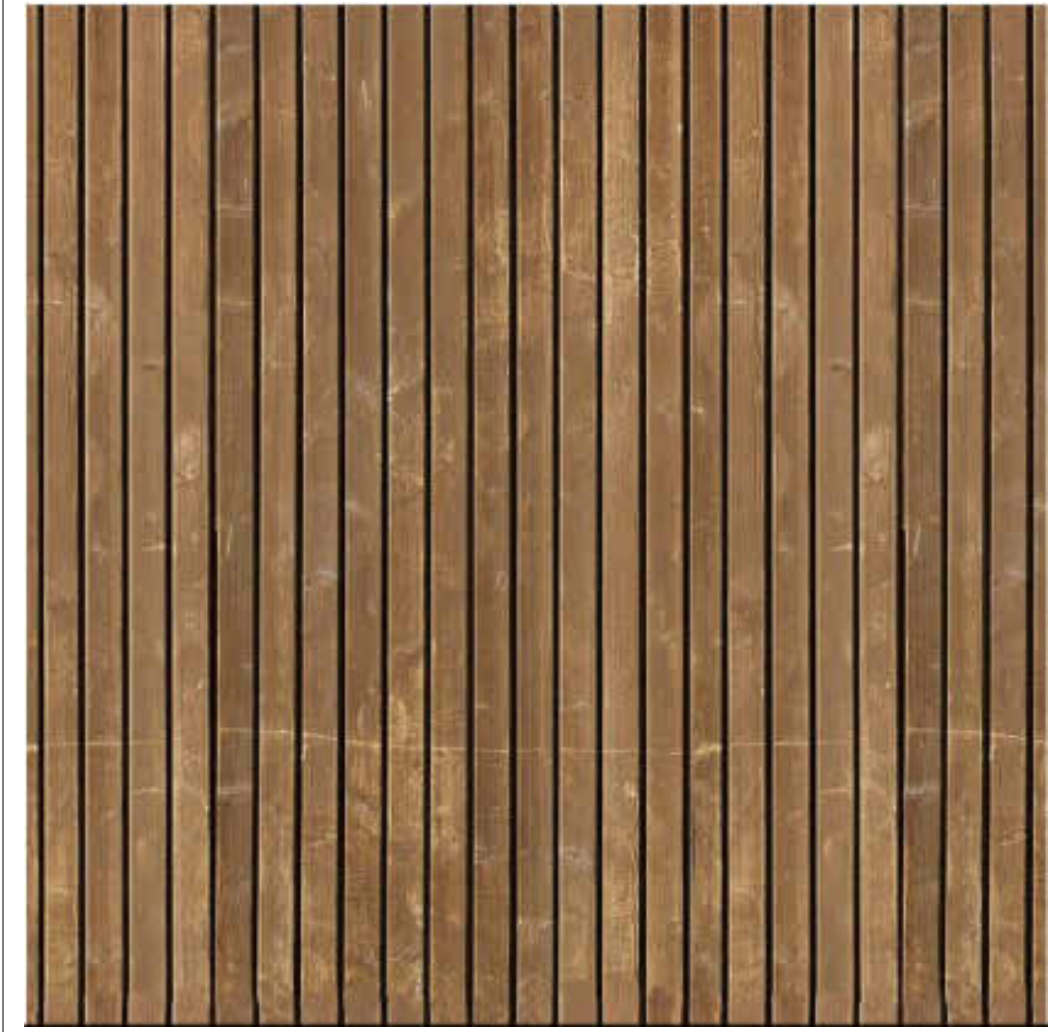
1. WHITE SMOOTH STUCCO



2. LIGHT GRAY SMOOTH STUCCO



3. DARK GRAY SMOOTH STUCCO



4. WOOD VENEER

**ARCHITECT:**  
**AARON BRUMER AND ASSOC. ARCHITECTS**  
10999 RIVERSIDE DRIVE, SUITE #302  
NORTH HOLLYWOOD, CA 91602  
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EMAIL: BOLDENGINEER@GMAIL.COM

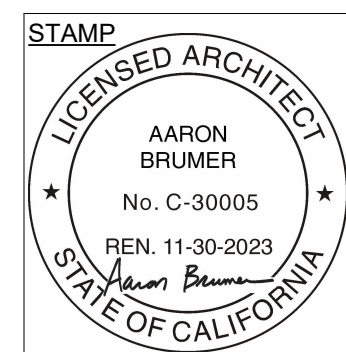
**CIVIL:**  
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**PROJECT:**  
**30-UNIT MULTIFAMILY DEVELOPMENT**  
  
1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

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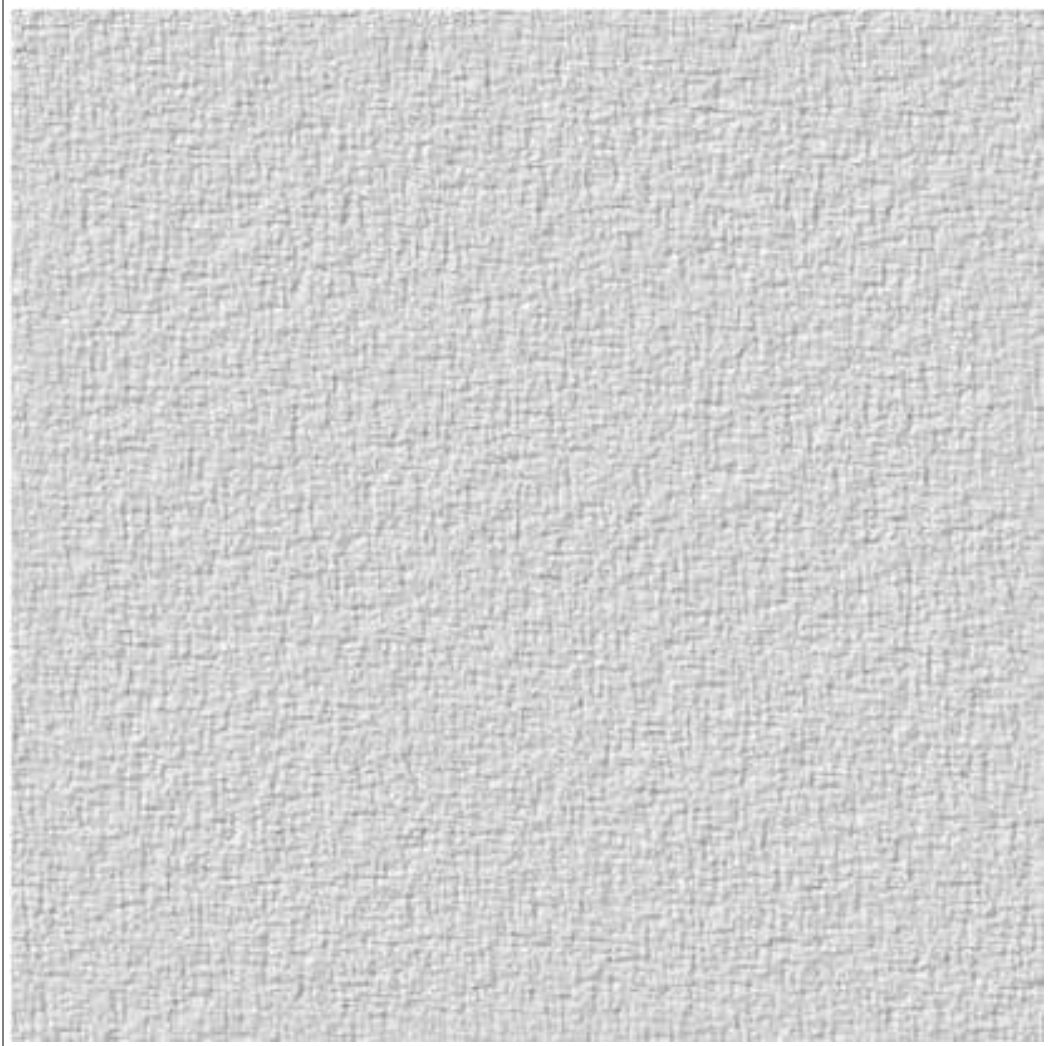
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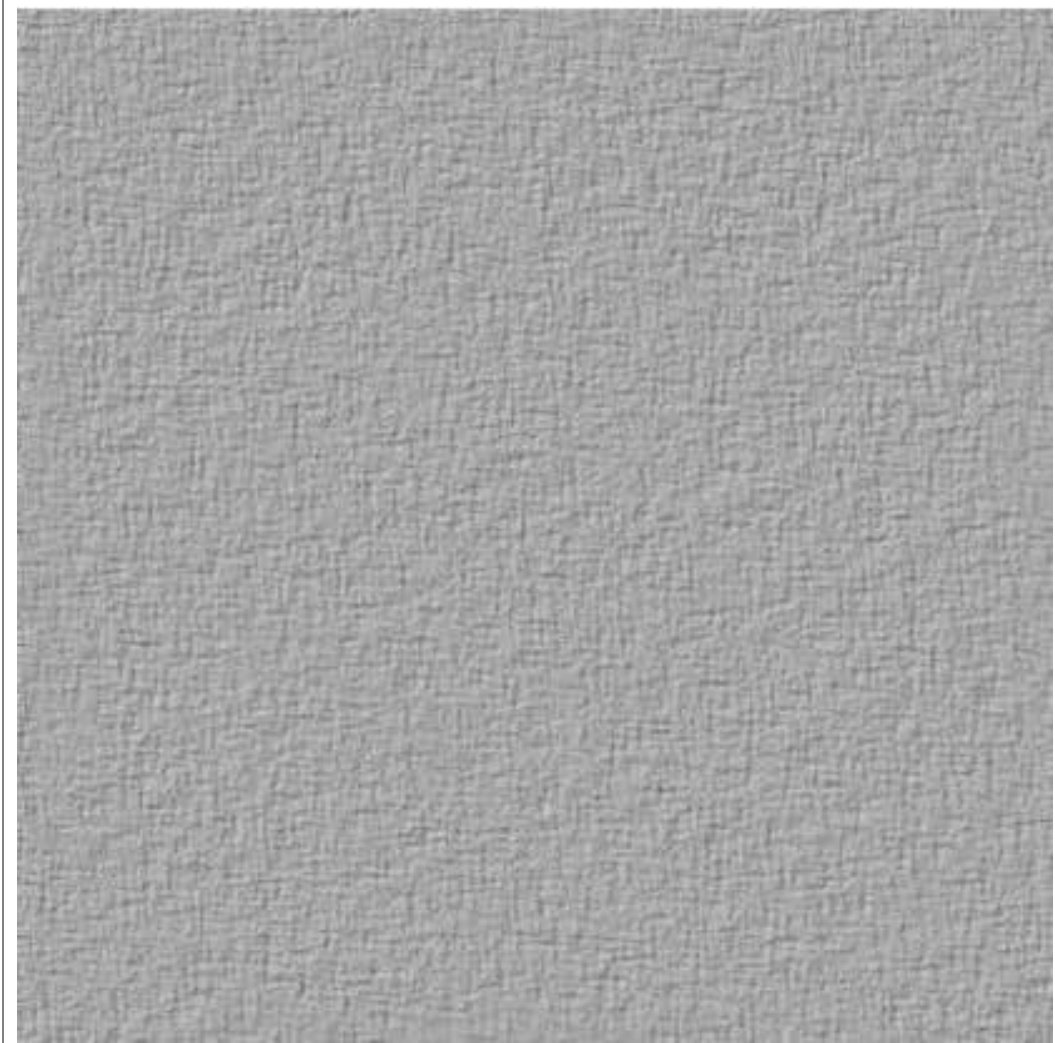
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RENDERING

A400

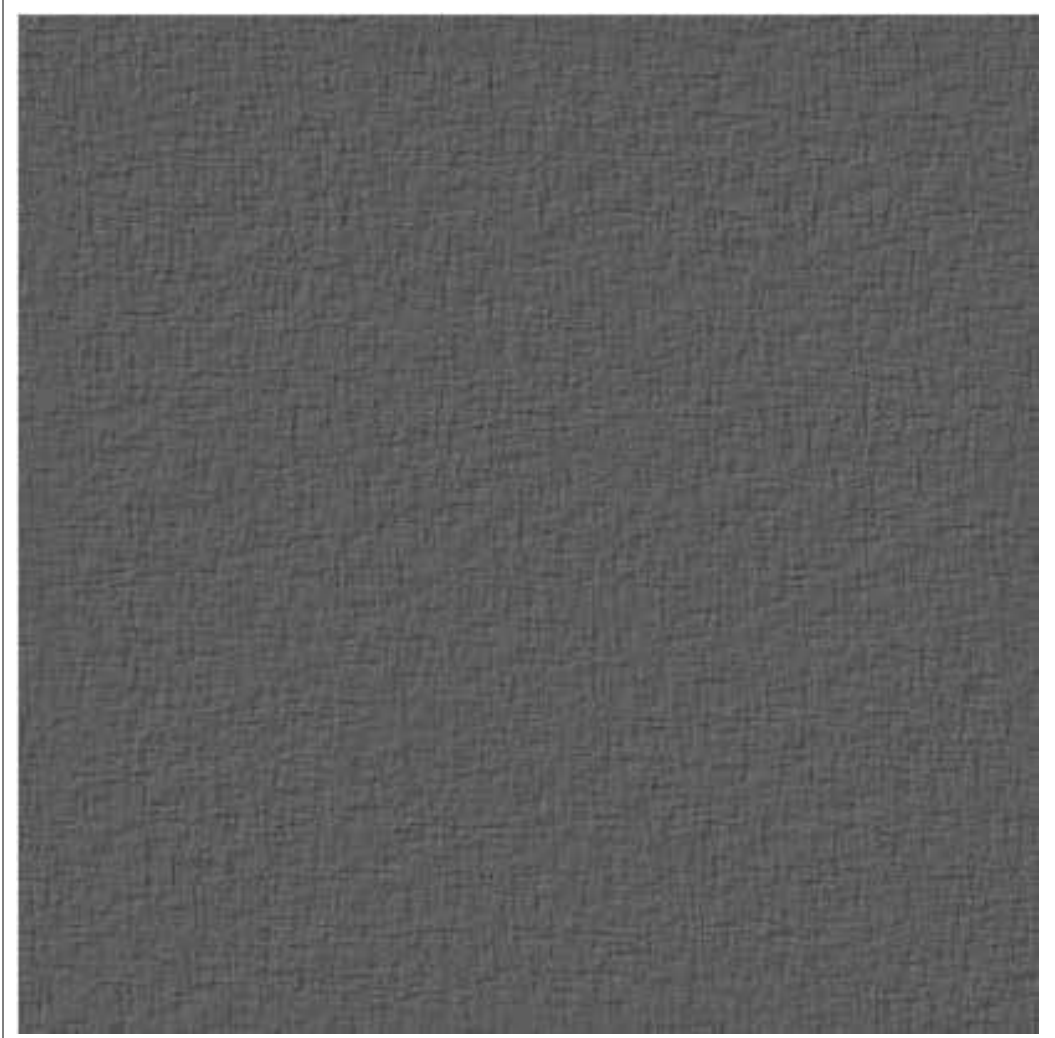
1114 HELIOTROPE DR.



1. WHITE SMOOTH STUCCO



2. LIGHT GRAY SMOOTH STUCCO



3. DARK GRAY SMOOTH STUCCO



4. WOOD VENEER

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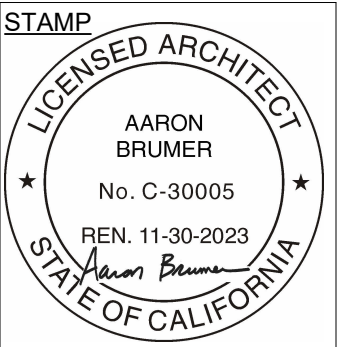
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**LANDSCAPE:**  
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**PROJECT:**  
**30-UNIT MULTIFAMILY DEVELOPMENT**  
  
1114 N. HELIOTROPE DR.  
LOS ANGELES, CA. 90029

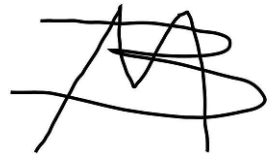
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05	10.16.2023	PZA RESUBMITTAL #3
06	10.20.2023	PZA RESUBMITTAL #4

ISSUE	DATE	DESCRIPTION



DRAWING TITLE  
RENDERING

**A401**  
1114 HELIOTROPE DR.



CLIENT

PROJECT  
1114 N Heliotrope Dr

DATE

6-7-2023

REVISIONS

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DRAWING BY: Alisa Summerford  
SCALE: 3/16" = 1'-0"

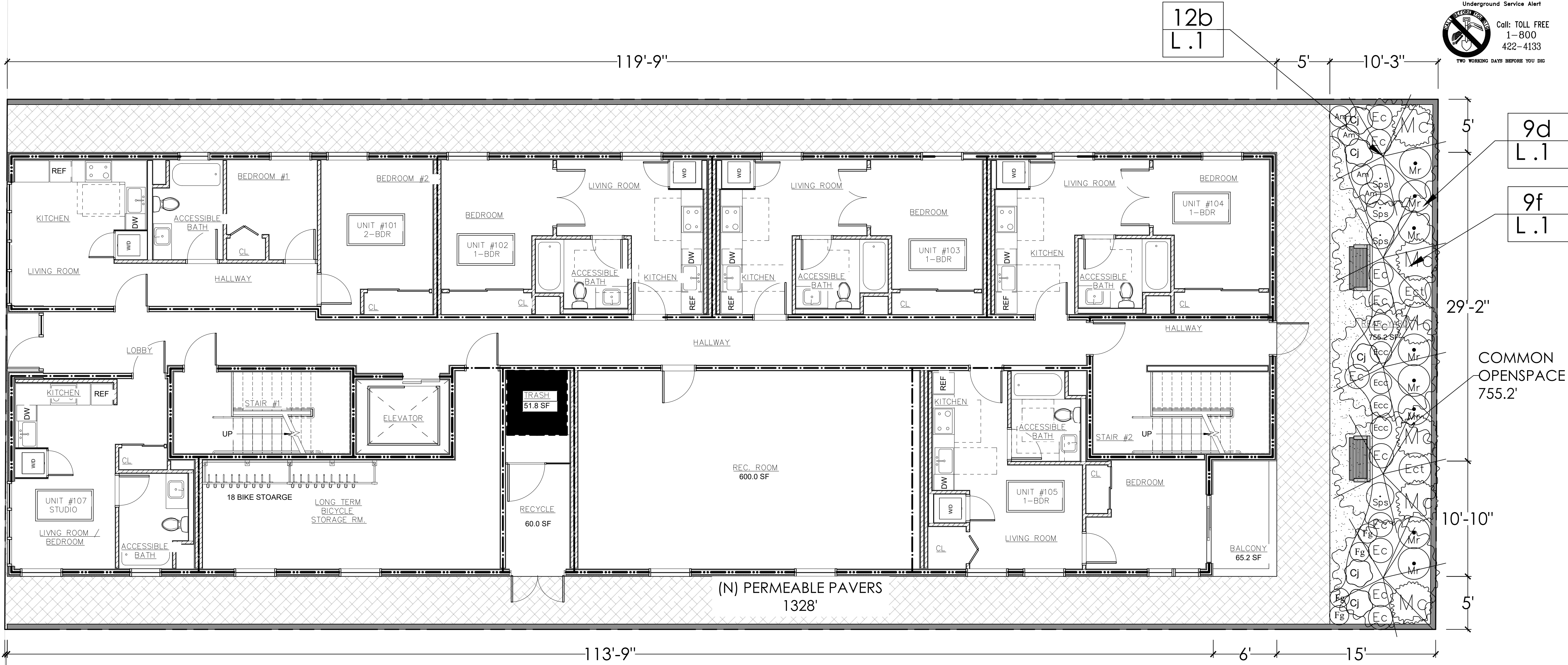
SHEET TITLE

GROUND FLOOR LANDSCAPE PLAN

SHEET NUMBER

L-1

SHEET 1 OF 4



GROUND FLOOR LANDSCAPE PLAN:

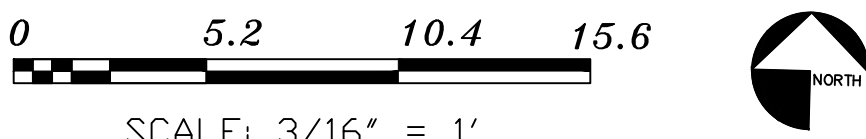


EXHIBIT "A"  
Page No. 25 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

LANDSCAPE NOTES:

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans".

"A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated".

"A Certificate of Completion shall be filled out and certified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed landscape contractor for the project".

"For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil".

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

OWNER SIGNATURE \_\_\_\_\_

SQ.FOOTAGE CHARTS

TOTAL LANDSCAPE 338 SQ. FT	TOTAL % LANDSCAPE 17%	TOTAL % OF CALIF. NATIVES 100%
TOTAL HARDSCAPE 1615 SQ. FT.	TOTAL % HARDSCAPE 83%	TOTAL % OF NON NATIVES 0%

OPEN SPACE REQUIREMENTS FOR 6 OR MORE RESIDENTIAL UNITS

MINIMUM OPEN SPACE REQUIRED	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
175 SQ.FT. PER UNIT HAVING > 3 HABITABLE ROOMS	3075 SQ. FT.	3186.3 SQ. FT.
125 SQ.FT. PER UNIT HAVING 3 HABITABLE ROOMS	30 UNITS WITH < 3 HABITABLE ROOMS (30 x 100 = 3000)	PRIVATE BALCONY: 1243.9 SQ. FT. RECREATION ROOM: 600 SQ. FT. COMMON OPEN SPACE: 755.2 SQ. FT.
100 SQ.FT. PER UNIT HAVING < 3 HABITABLE ROOMS		

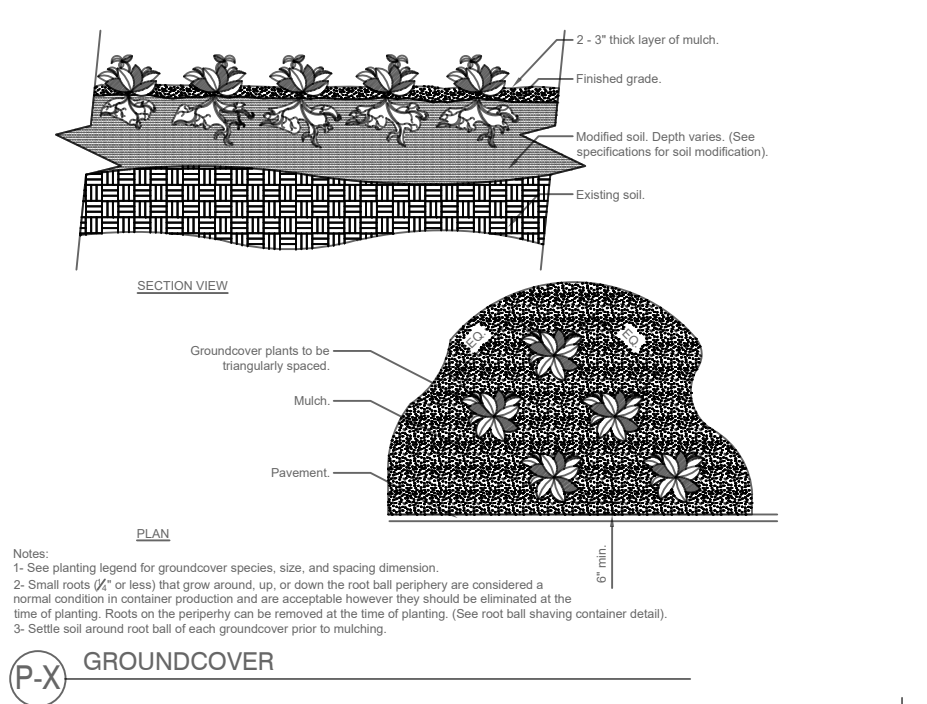
CITY OF LOS ANGELES LANDSCAPE POINTS

Total s.f. or Project Site: 6750  
Total number of points required for site: 10  
Total number of points claimed: 18

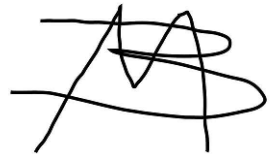
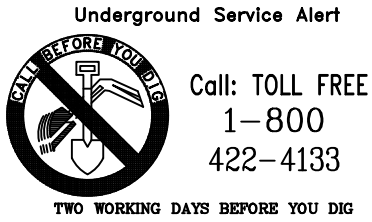
Detail of Points

9. Site Design D. Use of 100% California native plants throughout the project (50% of Landscape points)	5	9d L.1
9. Site Design F. Use of Class I or Class II compost as a soil amendment in all landscaped areas	3	9f L.1
12. Bonus Points B. Planting of any tree, of a tree taxon that does not exist within a 1000-foot radius of the project boundaries (5 points per tree, up to 50% of required landscape points, for Los Angeles area native plants)	10	12b L.1

TOTAL NUMBER POINTS CLAIMED: 18



THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THEREOF REMAINS IN THE LANDSCAPE DESIGNER. USE WITHOUT WRITTEN CONSENT OF GREEN REPUBLIC LANDSCAPES IS PROHIBITED. VISUAL CONTACT CONSTITUTE ACCEPTANCE OF THESE RESTRICTIONS.



CLIENT

Yaov Atzmon  
1114 N Heliotrope Dr  
Los Angeles, 90029

PROJECT

1114 N Heliotrope Dr

DATE

6-7-2023

REVISIONS

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DRAWING BY: Alisa Summerford

SCALE: 3/16" = 1'-0"

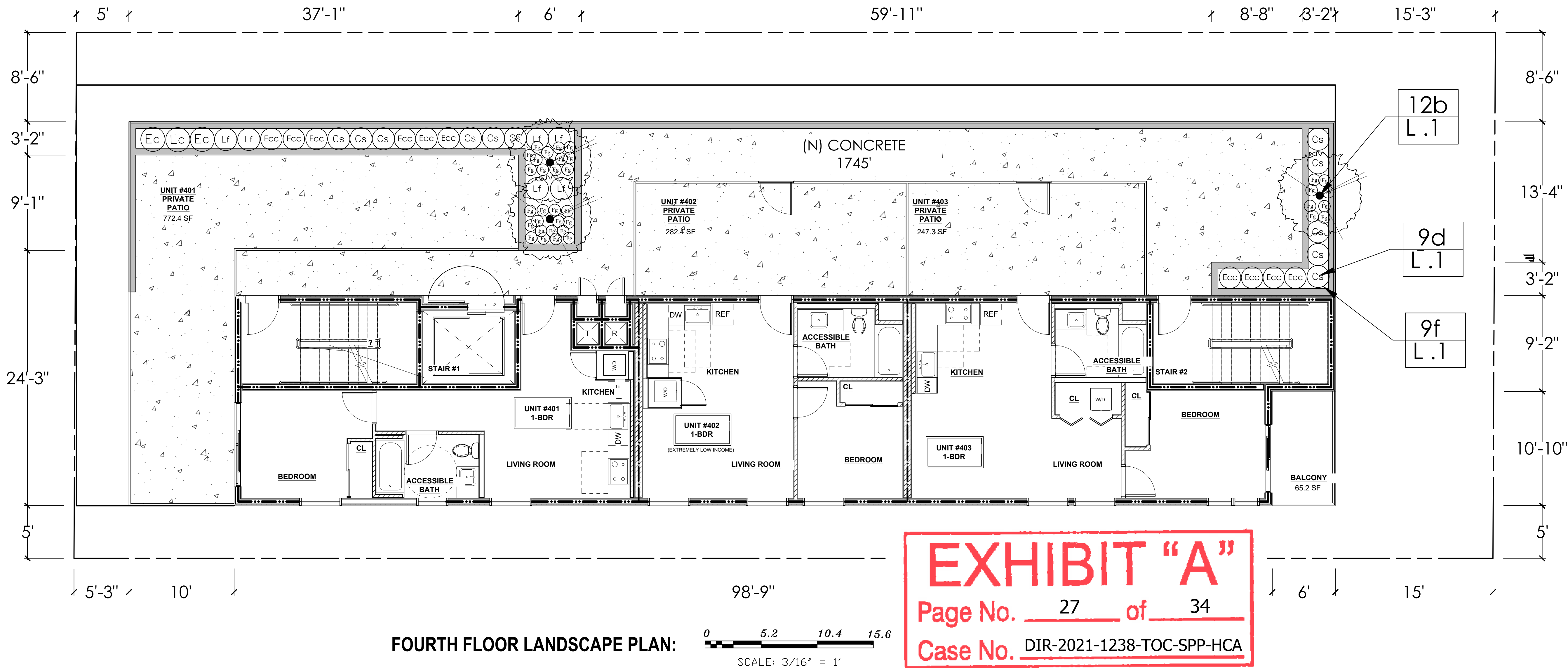
SHEET TITLE

4TH FLOOR  
LANDSCAPE PLAN

SHEET NUMBER

L-3

SHEET 3 OF 4



FOURTH FLOOR PLANT LEGEND:

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	PLANT TYPE
	3	ARCTOSTAPHYLOS GLAUCA	BIG BERRY MANZANITA	24" BOX	VERY LOW <10%	NATIVE TREE
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	PLANT TYPE
	11	CALANDRINIA SPECTABILIS 'SHINING PINK'	SHINING PINK ROCK PURSLANE	5 GAL	LOW 10-30%	NATIVE PERENNIAL
	3	ENCELIA CALIFORNICA	COAST SUNFLOWER	5 GAL	VERY LOW <10%	NATIVE SHRUB
	10	EPHILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	LOW 10-30%	NATIVE PERENNIAL
	35	FESTUCA GLAUCA	BLUE FESCUE	1 GAL	LOW 10-30%	PERENNIAL
	6	LESSINGIA FILAGINIFOLIA	CALIFORNIA BEACH ASTER	5 GAL	LOW 10-30%	NATIVE GROUND COVER

FOURTH FLOOR PLANT IMAGES:

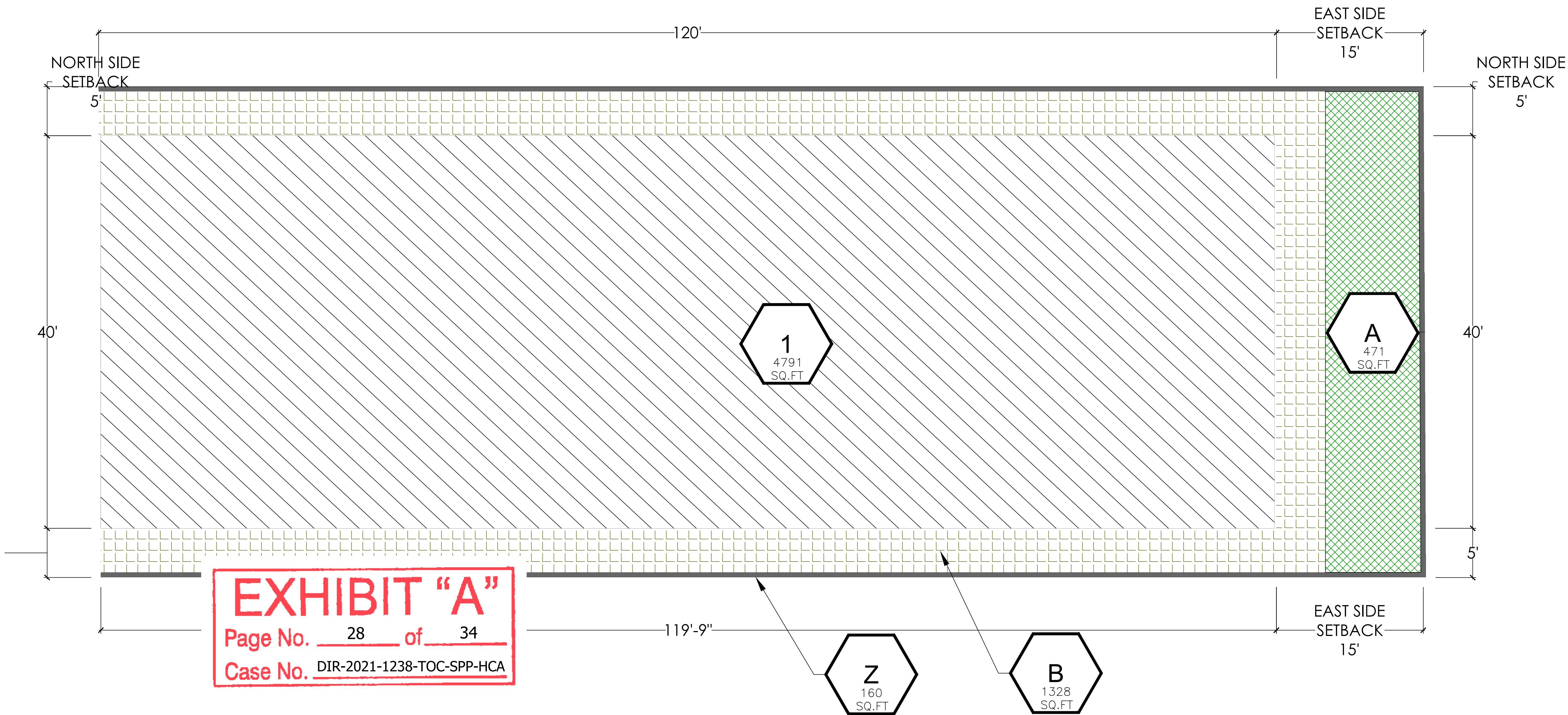
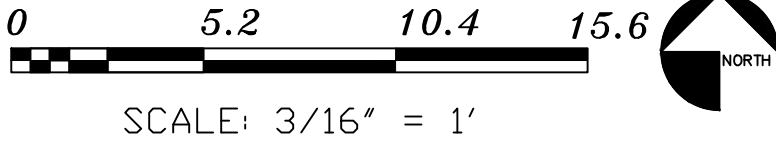


SQ.FOOTAGE CHARTS

TOTAL LANDSCAPE 166 SQ. FT	TOTAL % LANDSCAPE 8%	TOTAL % OF CALIF. NATIVES 100%
TOTAL HARDSCAPE 1937 SQ. FT.	TOTAL % HARDSCAPE 92%	TOTAL % OF NON NATIVES 0%

PLANTED COMMON OPEN SPACE PER LAMC 12.21 G.A(3)			
COMMON OPEN SPACE PROVIDED	755.2'	25%	188.8 SF
24 INCH BOX TREES REQUIRED PER LAMC 12.21 G.A(3)			
# DWELLING UNITS	30	1:4 D/U	7.5 TREES

GROUND FLOOR PERMEABILITY CHART:



**EXHIBIT "A"**  
Page No. 28 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

1114 N HELIOTROPE

TOTAL LOT AREA = 6750 SF

PERVIOUS AREA = 1799.0 SF  
IMPERVIOUS AREA = 4791.0 SF  
MISC WALL (HORZ AREA) = 160.0 SF  
TOTAL AREA = 6750.0 SF

TOTAL SF IN SETBACK CALCULATIONS

FRONT YARD (WEST) = 0 SF  
REAR YARD (EAST) = 755 SF  
SIDE YARD (NORTH) = 675 SF  
SIDE YARD (SOUTH) = 675 SF  
TOTAL SF IN SETBACKS = 2105 SF

FRONT YARD (WEST) SETBACK AREA: 0 SF

TOTAL PERMEABLE AREA = 0 SF  
TOTAL WEST SETBACK PERMEABILITY = 0.0%

PERVIOUS AREAS

A) LANDSCAPE  
B) PERMEABLE PAVERS.

TOTAL AREA = 1799.0 SF

TOTAL PERCENTAGE OF PERMEABILITY

PERVIOUS AREAS = 1801.0 SF  
IMPERVIOUS AREA = 4950.0 SF  
TOTAL AREA = 6750.0 SF

PERCENTAGE OF PERVIOUS AREAS = 27.0%  
PERCENTAGE OF IMPERVIOUS AREAS = 73.0%

REAR YARD (EAST) SETBACK AREA: 755 SF  
LANDSCAPE AND D.G. = 471 SF  
PERMEABLE PAVING AREA = 250 SF

TOTAL PERMEABLE AREA = 721 SF  
TOTAL WEST SETBACK PERMEABILITY = 96.0%

IMPERVIOUS AREAS

1) RESIDENCE

TOTAL AREA = 4791.0 SF

SIDE YARD (NORTH) SETBACK AREA: 675 SF  
LANDSCAPE AND D.G. = 44 SF  
PERMEABLE PAVING AREA = 561 SF

TOTAL PERMEABLE AREA = 605 SF  
TOTAL NORTH SETBACK PERMEABILITY = 90.0%

Z) MISC. WALLS (HORIZONTAL AREA) = 160.0 SF

TOTAL AREA = 160.0 SF

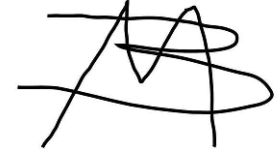
SIDE YARD (SOUTH) SETBACK AREA: 675 SF  
LANDSCAPE AND D.G. = 44 SF  
PERMEABLE PAVING AREA = 561 SF

TOTAL PERMEABLE AREA = 605 SF  
TOTAL SOUTH SETBACK PERMEABILITY = 90.0%

Green Republic Landscapes

P.O Box 5477  
Sherman Oaks, Ca 91413  
T : 818 288 8060

License#: 1014404



CLIENT

PROJECT

1114 N Heliotrope Dr

DATE

6-7-2023

REVISIONS

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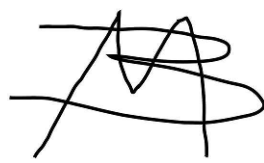
DRAWING BY: Alisa Summerford  
SCALE: 3/16" = 1'-0"

SHEET TITLE

PERMABILITY PLAN

SHEET NUMBER

L-4  
SHEET 4 OF 4



C L I E N T

Yoav Atzom  
1114 N Heliotrope Dr  
Los Angeles, 90029

P R O J E C T

1114 N Heliotrope Dr

DATE  
6-7-2023

R E V I S I O N S

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DRAWING BY: Saul Navarro  
SCALE: 3/16" = 1'-0"

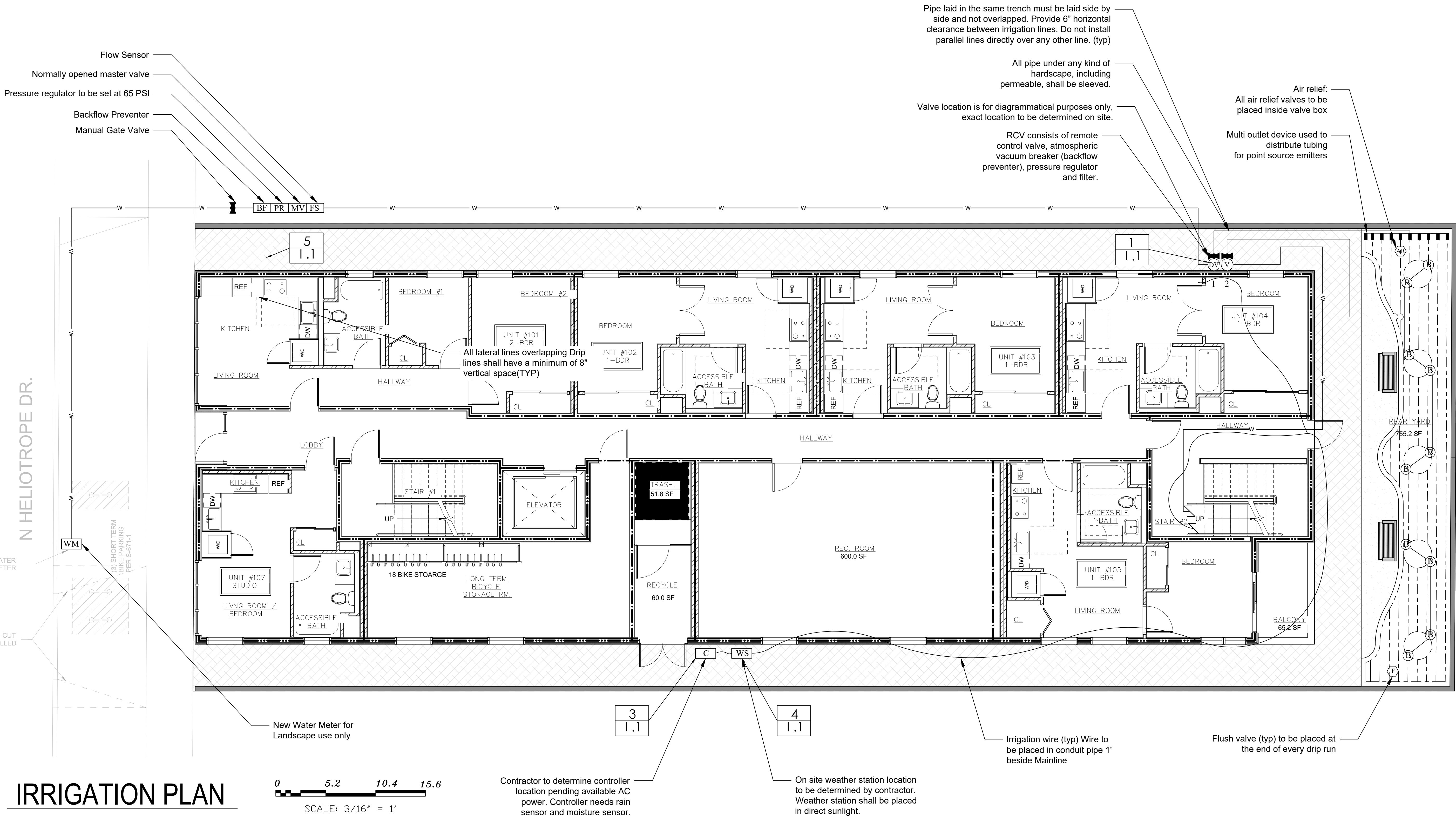
S H E E T   T I T L E

GROUND FLOOR  
IRRIGATION PLAN

S H E E T   N U M B E R

I-1

SHEET 1 OF 6



IRRIGATION PLAN

0 5.2 10.4 15.6  
SCALE: 3/16" = 1'

Contractor to determine controller location pending available AC power. Controller needs rain sensor and moisture sensor.

On site weather station location to be determined by contractor. Weather station shall be placed in direct sunlight.

Irrigation wire (typ) Wire to be placed in conduit pipe 1' beside Mainline

Flush valve (typ) to be placed at the end of every drip run

Pipe laid in the same trench must be laid side by side and not overlapped. Provide 6" horizontal clearance between irrigation lines. Do not install parallel lines directly over any other line. (typ)

All pipe under any kind of hardscape, including permeable, shall be sleeved.

Valve location is for diagrammatical purposes only, exact location to be determined on site.

RCV consists of remote control valve, atmospheric vacuum breaker (backflow preventer), pressure regulator and filter.

Air relief:  
All air relief valves to be placed inside valve box

Multi outlet device used to distribute tubing for point source emitters

Flow Sensor  
Normally opened master valve  
Pressure regulator to be set at 65 PSI  
Backflow Preventer  
Manual Gate Valve

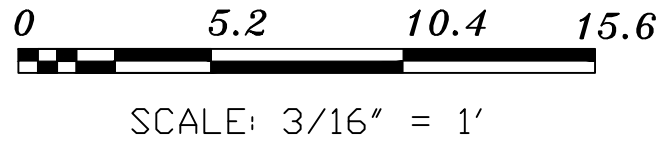
All lateral lines overlapping Drip lines shall have a minimum of 8" vertical space(TYP)

New Water Meter for Landscape use only

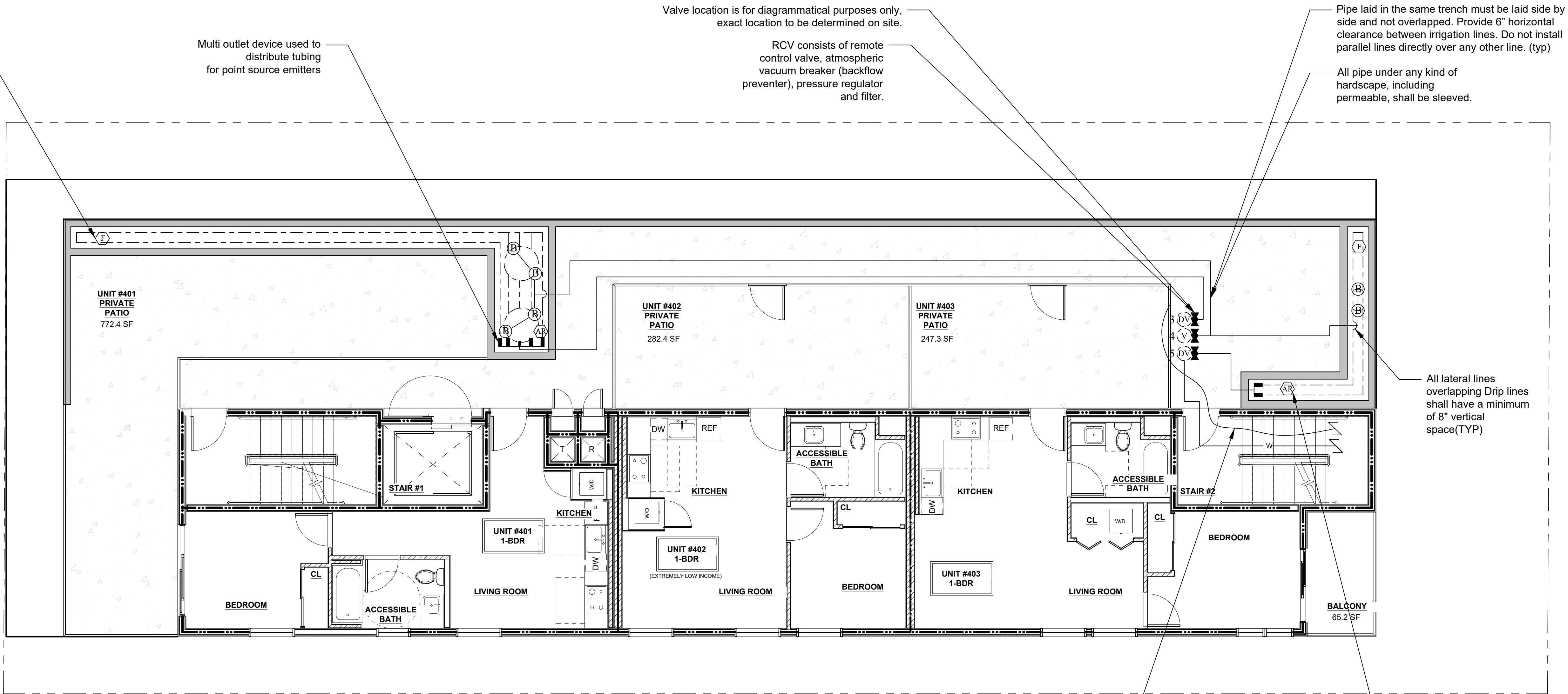
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N HELIOTROPE DR.

IRRIGATION PLAN

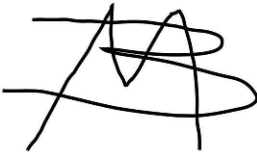


**EXHIBIT "A"**  
Page No. 30 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA



**Green Republic Landscapes Inc.**

P.O Box 5477  
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T : 818 616 1860  
License#: 1014404



C L I E N T

**Yoav Atzom**  
1114 N Heliotrope Dr  
Los Angeles, 90029

P R O J E C T

1114 N Heliotrope Dr

**DATE**  
6-7-2023

R E V I S I O N S

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DRAWING BY: Saul Navarro  
SCALE: 3/16" = 1'-0"

**SHEET TITLE**  
ROOF FLOOR  
IRRIGATION PLAN

**SHEET NUMBER**  
**I-2**  
SHEET 2 OF 6

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THERE TO REMAINS IN THE LANDSCAPE DESIGNER. USE WITHOUT WRITTEN CONSENT OF GREEN REPUBLIC LANDSCAPES IS PROHIBITED. VISUAL CONTACT COUNTERPARTIES ACCEPTANCE OF THESE RESTRICTIONS

Green Republic Landscapes Inc.

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License#: 1014404



C L I E N T

Yoav Atzom  
1114 N Heliotrope Dr  
Los Angeles, 90029

P R O J E C T

1114 N Heliotrope Dr

DATE

6-7-2023

R E V I S I O N S

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DRAWING BY: Saul Navarro

SCALE: NA

S H E E T   T I T L E

IRRIGATION  
LEGEND

S H E E T   N U M B E R

I-3

SHEET 3 OF 6

LEGEND

POC

WM	NEW WATER METER: 3/4" WITH 100PSI MIN 80 PSI For Landscape Use Only
BF	Double Check Valve Backflow Prevention Device: Febco: 850 Installed above ground
PR	Pressure Regulator Connected to Master valve: Output to be set at 65 PSI Accu Sync: AS-ADJ
MV	Normally Opened master valve : Hunter: ICV-101G - AS-ADJ Enclosure: Valve box: PVBSTD 12"
FS	Flow Sensor: Hunter: Wireless Flow Sensor: WFS Enclosure: Valve box: PVBSTD 12"
	Isolation valve: Manual Ball valve - 1" Enclosure: Valve box: PVB6RNDGL:6" round green lid

VALVES

	Isolation valve: PVC Ball valve - 1" Enclosure: Valve box: PVB6RNDGL:6" round green lid
DV	Single station drip valve with PRS: Hunter PCZ-101-LF-40 Valve box: PVBSTD 12"
V	Single station valve with PRS: Hunter PGV-101G-30 Valve box: PVBSTD 12"

CONTROLLER

C	Controller: Hunter: IC-600PL (6 station controller) with 1x IC-600-SS (6 station plug-in expansion module) and connected to weather station Enclosure: Wall Mount
WS	Weather Station: Hunter Solar Sync: WSS-SEN (Wireless)
	Controller: Wire Conduit ( read general notes)
	Controller Wire Break: Wire Conduit Break Connection to run through building for each valve

REMOTE CONTROL VALVE

Hydrozone number	#	# gpm	Flow rate
Valve size	#"	# in/hr	Precipitation rate

DISTRIBUTION

AR	Air relief valve for drip: Netafim - TLAVRV Valve box: Rainbird - SEB 7xb
F	Flush valve for drip: Netafim - TLFV-1 Valve box: Rainbird - SEB 7xb
B	Bubbler: Trees - Hunter Root zone watering system: RZWS-18
---	Drip line: NETAFIM TLCV4-12 Techline dripline (specified on map) NETAFIM TLCV6-12 Techline dripline (specified on map) <small>** CHECK VALVES PRE INSTALLED INSIDE NETAFIM DRIP TUBING</small>

PIPING

=====	Sleeve: All pipe crossing hardscape, including permeable shall be sleeved
ML 1"	Mainline: Schedule 40 PVC - All mainline 1"
	Mainline Break: Schedule 40 PVC - All mainline 1" Connection to run through building for each valve
L 3/4"	
L 1"	Lateral: Schedule 40 PVC - ALL Laterals to be 3/4" or 1"
	PVC to Dripline coupling

VALVE SPECS

NETAFIM: TUBE SPACING 12" O.C. EMITTER SPACING 12" O.C. .4 GPH	1 3/4"	3 gpm .64 in/hr
HUNTER: ROOT ZONE WATERING SYSTEM RZWS-18-50	2 3/4"	7 gpm .67 in/hr
NETAFIM: TUBE SPACING 12" O.C. EMITTER SPACING 12" O.C. .4 GPH	3 3/4"	3 gpm .64 in/hr
HUNTER: ROOT ZONE WATERING SYSTEM RZWS-18-50	4 3/4"	7 gpm .67 in/hr
NETAFIM: TUBE SPACING 12" O.C. EMITTER SPACING 12" O.C. .4 GPH	5 3/4"	3 gpm .64 in/hr

EXHIBIT "A"

Page No. 31 of 34

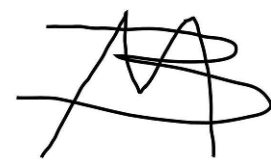
Case No. DIR-2021-1238-TOC-SPP-HCA

CITY OF LOS ANGELES  
WATER MANAGEMENT POINTS

Total s.f. or Project Site: 6750  
Total number of points required for site: 100  
Total number of points claimed: 299

Detail of Points	Item No. per LA City Guidelines Sheet No.	Points Claimed	Callout
1. Technique Drip/trickle/micro irrigation/low precipitation sprinkler heads with flow-control device. (5 points per circuit)	25	1 1.1	
2. Technique Lawn area or swimming pools 0% to 15% of the landscape area	10	2 1.1	
3. Technique Automatic irrigation controller with cycling capacity, and with watering schedule (minimum summer/winter schedules) (any number)	5	3 1.1	
4. Technique Soil moisture sensor (one for each zone)/anemometer/rain measuring device or sensing system/evapotranspiration data used with automatic controller. (2 per device/ technique; minimum 10 points)	12	4 1.1	
5. Technique Permeable paving (minimum 100 square feet).	5	5 1.1	
6. Technique Plants on site those that will, in the designed location, and properly established for 3 years, remain in good health with no more than monthly watering in summer (existing plants that comply may be counted) (plants included on the list maintained by the local chapter of the California Native Plant Society may not be counted-- www.lacnps.org/invasive a) Plant (2 per plant - as specified in gallon or box quantity on the drawings)	242	6a 1.1	

TOTAL NUMBER POINTS CLAIMED: 299



CLIENT

Yoav Atzom  
1114 N Heliotrope Dr  
Los Angeles, 90029

PROJECT

1114 N Heliotrope Dr

DATE

6-7-2023

REVISIONS

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DRAWING BY: Saul Navarro  
SCALE: NTS

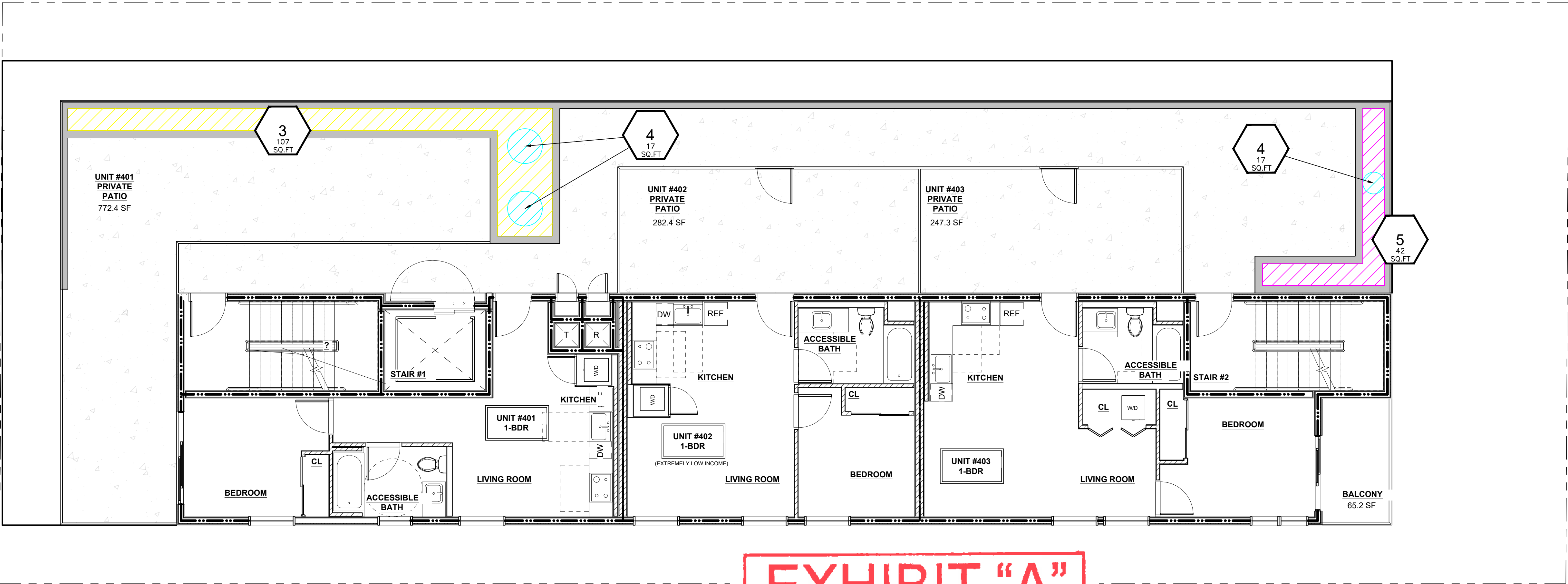
SHEET TITLE

HYDROZONE MAPS

SHEET NUMBER

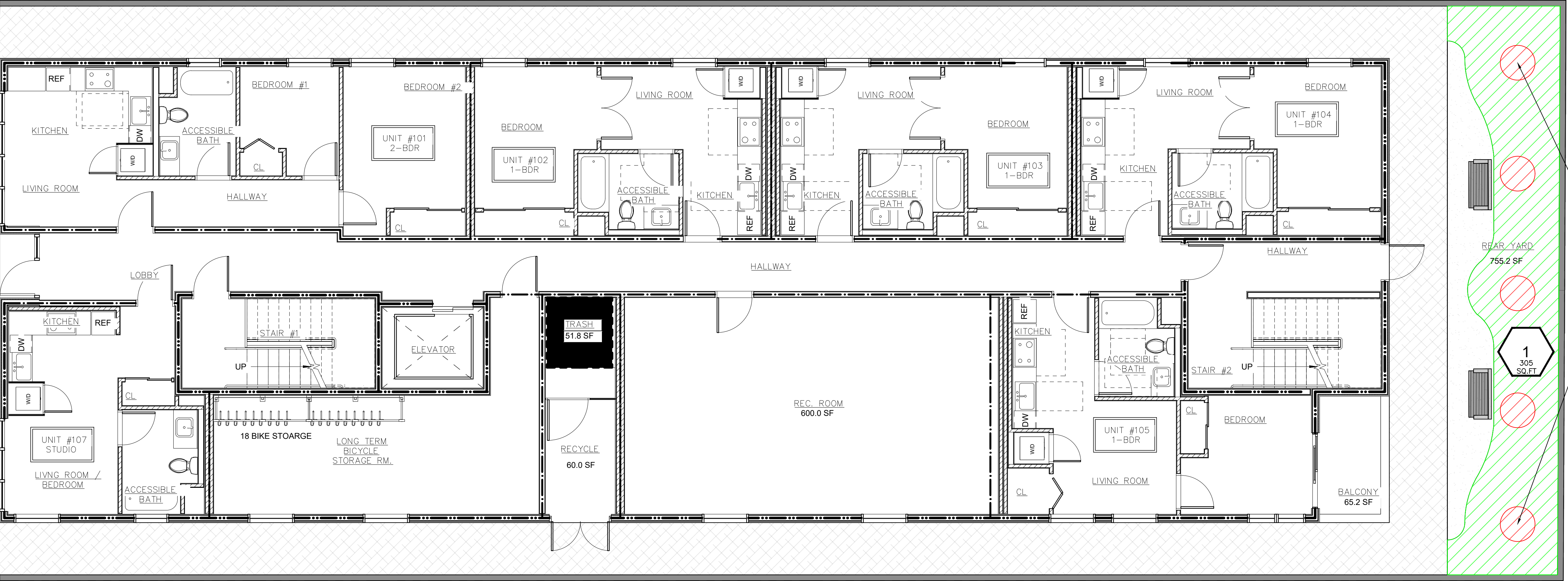
I-4

SHEET 4 OF 6



ROOF FLOOR HYDROZONE MAP

**EXHIBIT "A"**  
Page No. 32 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA



GROUND FLOOR HYDROZONE MAP

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE HERETO REMAINS IN THE LANDSCAPE DESIGNER. USE WITHOUT WRITTEN CONSENT OF GREEN REPUBLIC LANDSCAPES IS PROHIBITED. VISUAL CONTACT COUNTRIES ACCEPTANCE OF THESE RESTRICTIONS.

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## GENERAL NOTES

- ALL CONTROL AND COMMON WIRE TO BE AWG #14UF-600 VOLT SOLID COPPER
- PROVIDE P.V.C. SCHED. 40 SLEEVES FOR ALL LATERAL AND PRESSURE LINE AND CONTROL WIRING UNDER PAVING INSTALL WITH 30" OF COVER AND RECOMPACT TO 95%. USE SEPARATE SLEEVES FOR MAINLINE, LATERAL AND WIRE.
- ACTUAL LOCATION OF AUTOMATIC CONTROLLER TO BE VERIFIED WITH OWNER OR HIS REPRESENTATIVE.
- IF MAINLINE AND CONTROL VALVES SHOWN IN WALK AREAS, IT IS FOR CLARITY ONLY. ROUTE IN PLANTED AREAS.
- STOP ALL BACK DRAINAGE OF HEADS.
- USE TEFLON TAPE OR DOPE ON ALL MALE PIPE THREADS OF CONTROL ASSEMBLY, SWING JOINT AND BACKFLOW ASSEMBLY.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS, AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, INCLUDING NEW PLANT MATERIALS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT ARE IN CONFLICT WITH THE PLANS. SUCH CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE IN WRITING. IN THE EVENT OF THE NOTIFICATION IS NOT PERFORMED, THE IRRIGATION INSTALLER SHALL ASSUME FULL RESPONSIBILITY FOR ANY ON-SITE ADJUSTMENTS NECESSARY TO MAKE SURE THE SYSTEM PERFORMS AT NO ADDITIONAL COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALKS, RETAINING WALLS ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING STRUCTURES, ETC.
- INSTALL VALVES IN SHRUB OR GROUND COVER AREAS 12" FROM EXISTING SIDEWALK AS SPACE PERMITS.
- ALL PVC LATERAL TO BE SCHEDULE 40- 3/4". ALL MAINLINE TO BE SCHEDULE 40: 1-1/4".
- THE IRRIGATION CONTRACTOR SHALL KEEP AN ACCURATE RECORD OF ALL FIELD REVISIONS AND SHALL PRESENT THE OWNER AND SHALL PRESENT THE OWNER WITH AN "AS-BUILT" SET OF SEPIAS AT THE CONCLUSION
- THE IRRIGATION SYSTEM SHALL BE TESTED IN THE FIELD BEFORE FINAL APPROVAL.

TEST ALL SPRINKLER MAINS AFTER PIPE IS LAID AND JOINTS ARE COMPLETED BY SUBMITTING TO A PRESSURE TEST OF ONE AND ONE HALF TIMES EXISTING STATIC PRESSURE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. DO NOT BACKFILL ANY TRENCH UNTIL THE OWNER'S REPRESENTATIVE HAS APPROVED THE TEST. REPAIR ANY LEAKS UNTIL LINES MEET TEST REQUIREMENTS AND THE OWNER'S REPRESENTATIVE'S APPROVAL. ALL LATERALS SHALL BE TESTED UNDER MAIN PRESSURE FOR LEAKS; ANY LEAKS SHALL BE REPAIRED. ALL TESTS WITH THE EXCEPTION OF THE LATERALS SHALL BE FOR A DURATION OF 4 HOURS WITH A MAXIMUM DROP
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT TIME OF FINAL INSPECTION.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.

## IRRIGATION NOTES per MWELO

"A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes".

"An irrigation audit report shall be completed at the time of final inspection".

"Pressure regulating devices are required if water pressure is below or exceeds the recommended pressure of the specific irrigation devices".

"Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur".

"Recirculating water systems shall be used for water features".

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans".

"A Certificate of Completion shall be filled out and certified by either the designer of the landscape plans, irrigation plans, or the licensed landscape contractor for the project".

## CALCULATIONS

HYDROZONE	PLANT TYPE	PLANT WATER USE TYPE	PLANT FACTOR (PF)	AREA (HA) (SQ.F.)	PF X HA (SQ.F.)	PERCENT OF LANDSCAPE AREA (LA)	IRRIGATION EFFICIENCY (IE)	HYDROZONE ETWU	IRRIGATION METHOD
1	Achillea, Ceanothus, Encelia, Epilobium, Eriodictyon, Festuca, Myrica, Muhlenbergia, Salvia	LW	0.3	305	91.5	61%	0.81	3509	D
2	Parkinsonia	MW	0.5	33	16.5	7%	0.81	633	B
3	Calandrinia, Epilobium, Encelia, Festuca, Lessingia	LW	0.3	107	32.1	21%	0.81	1231	D
4	Arctostaphylos	MW	0.5	17	8.5	3%	0.81	326	B
5	Calandrinia, Epilobium, Festuca	LW	0.3	42	12.6	8%	0.81	483	D
TOTAL				504		100%		6182	

NOTE: Turf shall not be overseeded in winter months. Therefore plant factor used is warm season turf: .06

MAWA = (Eto)[(0.62)][(0.55 x LA ) 0 (0.45 x SLA)]

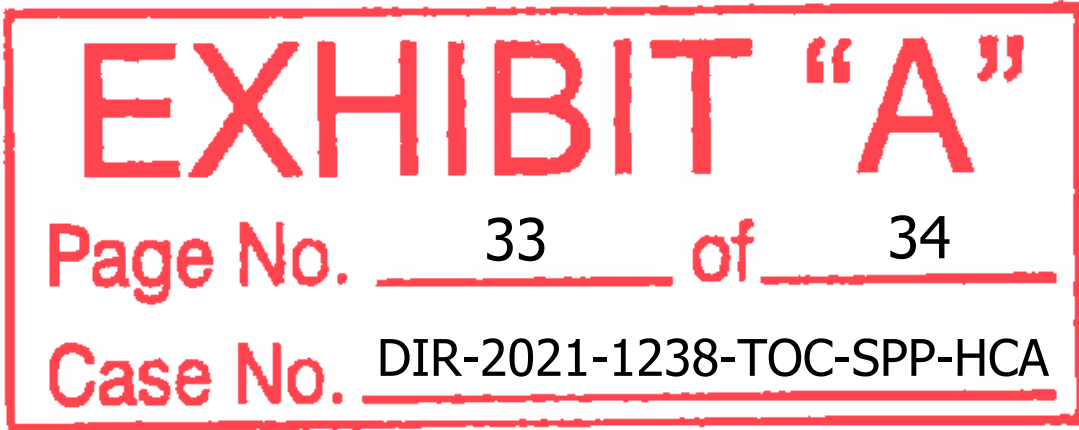
Eto	Conversion factor	Et adjustment factor	LA	Et adjustment factor	SLA	Allocated Gallons
50.1	0.62	0.55	504	0.45	0	8610

ETWU = (50.1 IN)[(.62)][(PF X HA/IE)] = GALLONS PER YEAR

Calculated above

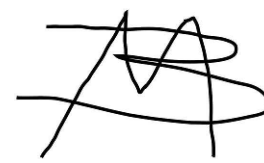
MAWA > ETWU	
MAWA	8610
ETWU	6182
Difference:	2429

PER MWELO:			
VLW	Very Low water (0.1)	Overhead spray (S)	0.75
LW	Low water (0.2-0.3)	Sub surface drip (D)	0.81
MW	Moderate water (0.4-0.6)	Emitters (E)	0.81
HW	High water (0.7-1.0)	Bubbler (B)	0.81



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DRAWING BY: Saul Navarro

SCALE: NTS

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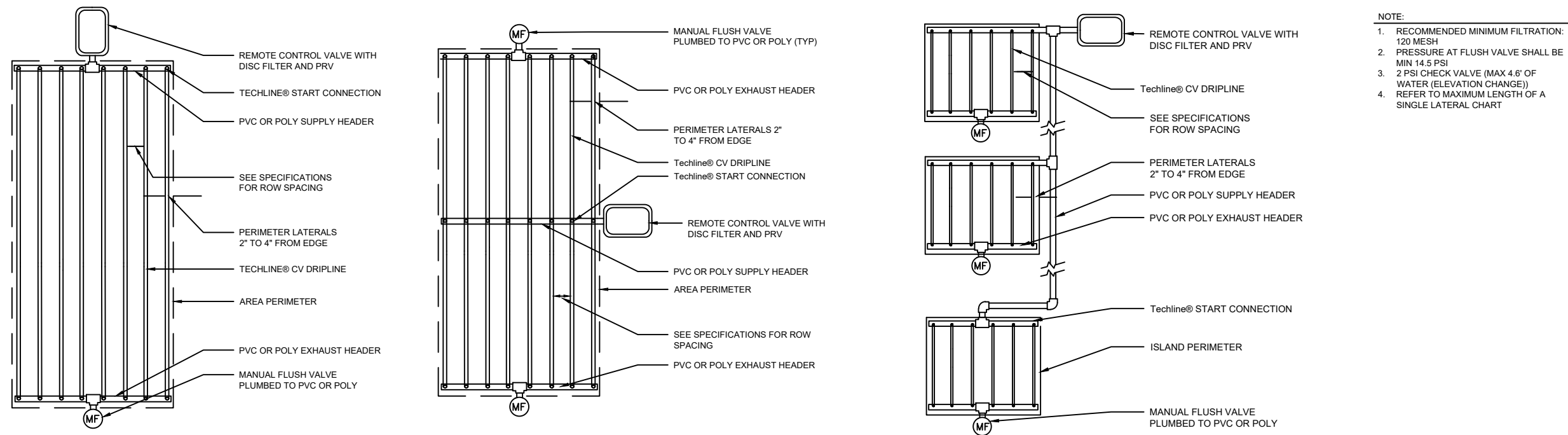
HYDROZONE NOTES  
AND CALCS

S H E E T N U M B E R

I-5

SHEET 5 OF 6

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Techline® CV END FEED LAYOUT

CENTER FEED LAYOUT

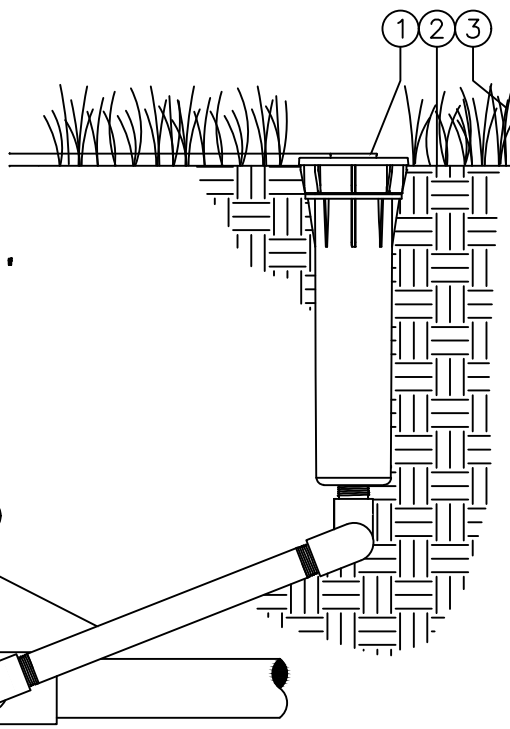
MULTI PLANTER LAYOUT



.4 OR .6 GPH

LEGEND

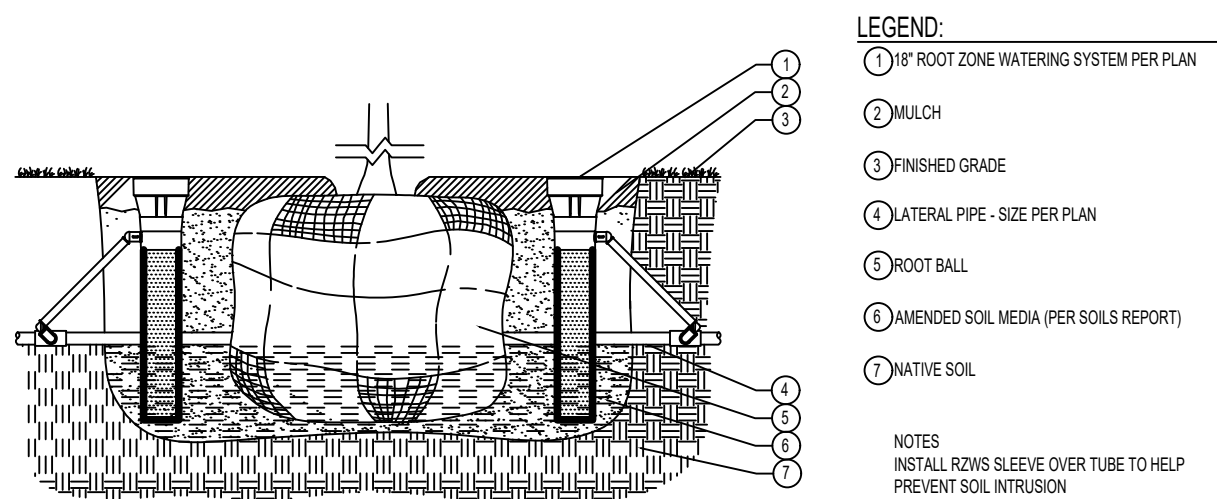
- 1 HUNTER POP-UP BODY (PROS-04), NOZZLE AND CAP PER PLAN
- 2 FINISHED GRADE
- 3 ADJACENT LANDSCAPE
- 4 LATERAL PIPE PER PLAN
- 5 LATERAL FITTING PER PLAN
- 6 FIELD-BUILT SWING ARM



POP-UP BODY (PROS-04) WITH SWING ARM USING BUBBLER PCN NOZZLE

Hunter® SB.PRO.24

NOT TO SCALE

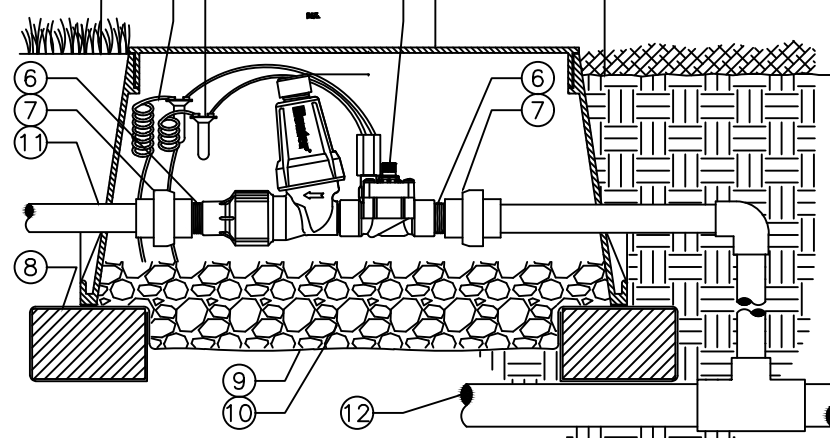


ROOT ZONE WATERING SYSTEM - 18" Hunter® HM.RZW.02

NOT TO SCALE

LEGEND

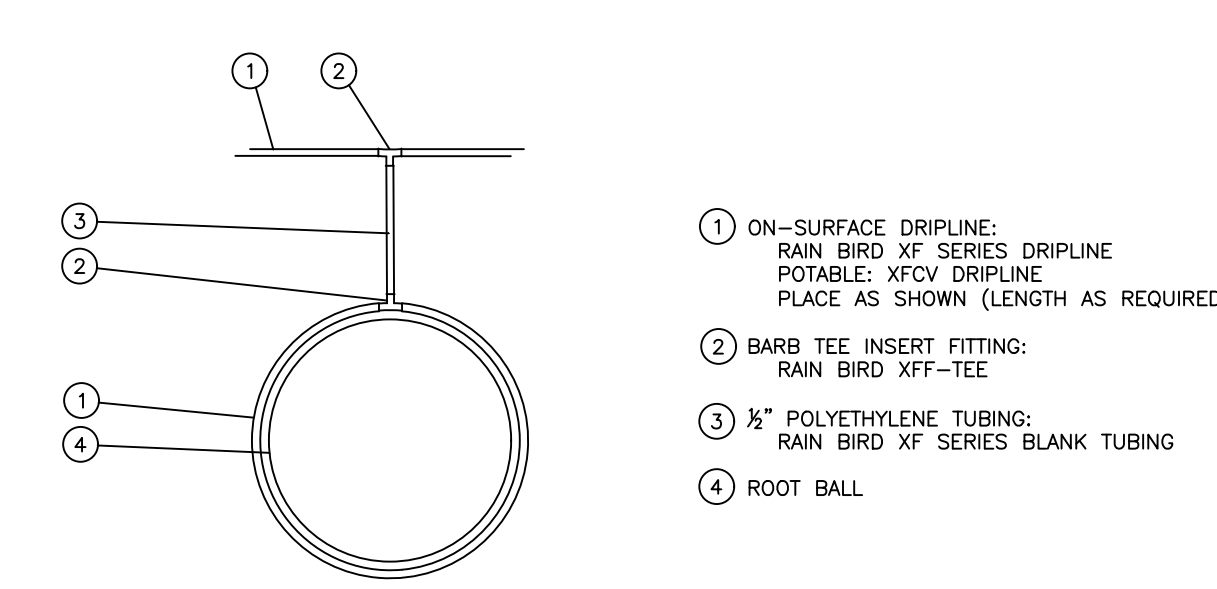
- 1 HUNTER REMOTE CONTROL VALVE (PCZ) WITH FILTER REGULATOR
- 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- 3 WATERPROOF CONNECTORS (2)
- 4 18"-24" COILED WIRE TO CONTROLLER
- 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
- 7 VALVE
- 8 PVC SLIP X FPT UNION
- 9 BRICK SUPPORTS (4)
- 10 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 11 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- 12 IRRIGATION LATERAL MAINLINE LATERAL AND FITTINGS



DRIP CONTROL ZONE KIT (PCZ-101-LF) WITH UNIONS

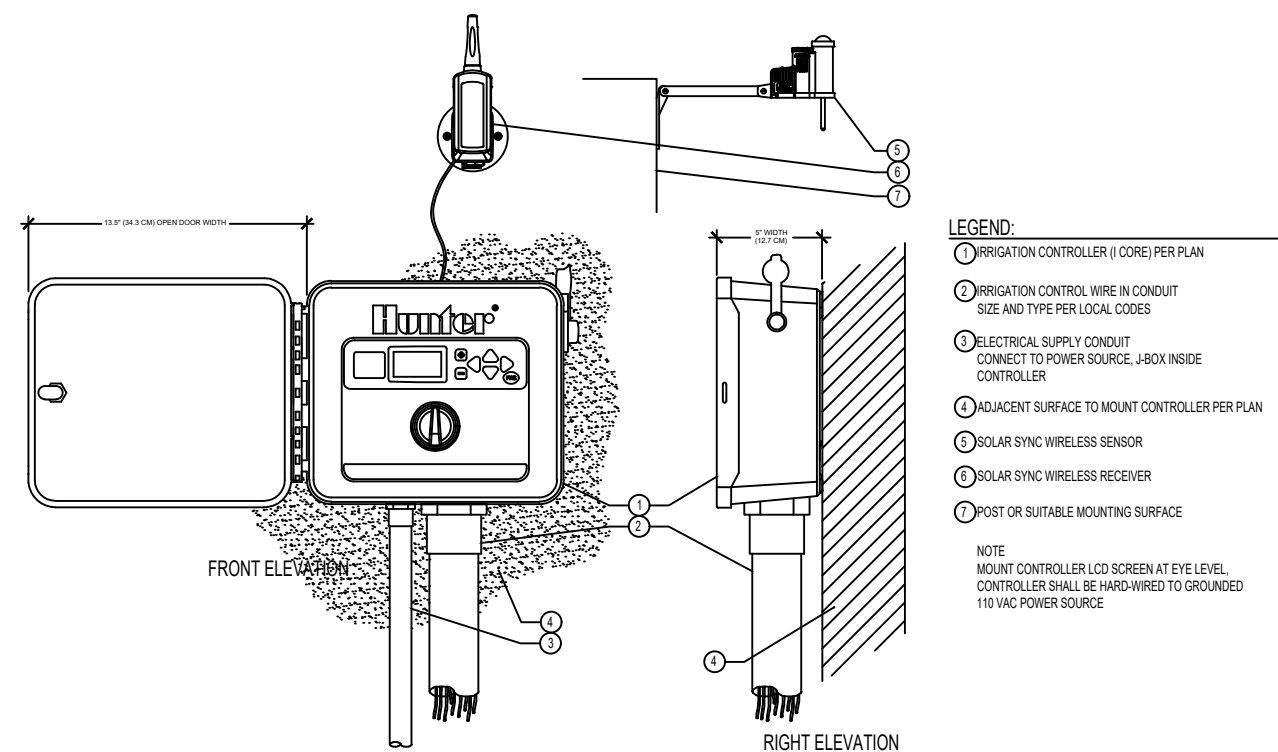
Hunter® V.PCZ.02

NOT TO SCALE



- NOTES:
1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
  3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

XFCV ON-SURFACE DRIPLINE AROUND TREE

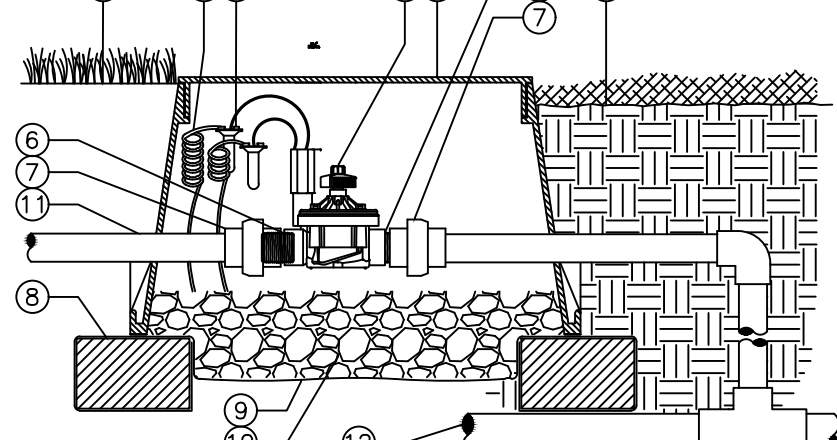


C.CORE.01 / S.SS.04

NOT TO SCALE

LEGEND

- 1 HUNTER REMOTE CONTROL VALVE (ICV) WITH FLOW CONTROL
- 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- 3 WATERPROOF CONNECTORS (2)
- 4 18"-24" COILED WIRE TO CONTROLLER
- 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
- 7 VALVE
- 8 PVC SLIP X FPT UNION
- 9 BRICK SUPPORTS (4)
- 10 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
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- 12 IRRIGATION LATERAL MAINLINE AND FITTINGS



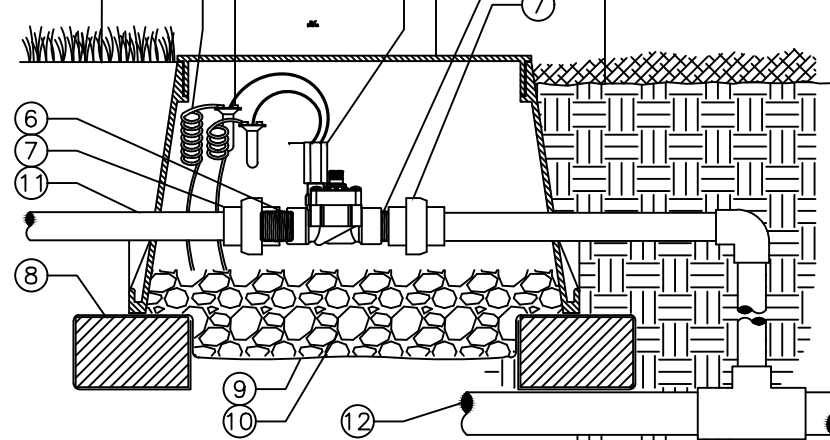
IN-LINE VALVE (ICV-101G) WITH UNIONS FOR USE AS MASTER VALVE

Hunter® V.ICV.02

NOT TO SCALE

LEGEND

- 1 HUNTER REMOTE CONTROL VALVE (PGV) WITH FLOW CONTROL
- 2 IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
- 3 WATERPROOF CONNECTORS (2)
- 4 18"-24" COILED WIRE TO CONTROLLER
- 5 FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- 6 SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
- 7 VALVE
- 8 PVC SLIP X FPT UNION
- 9 BRICK SUPPORTS (4)
- 10 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 11 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- 12 IRRIGATION LATERAL MAINLINE AND FITTINGS

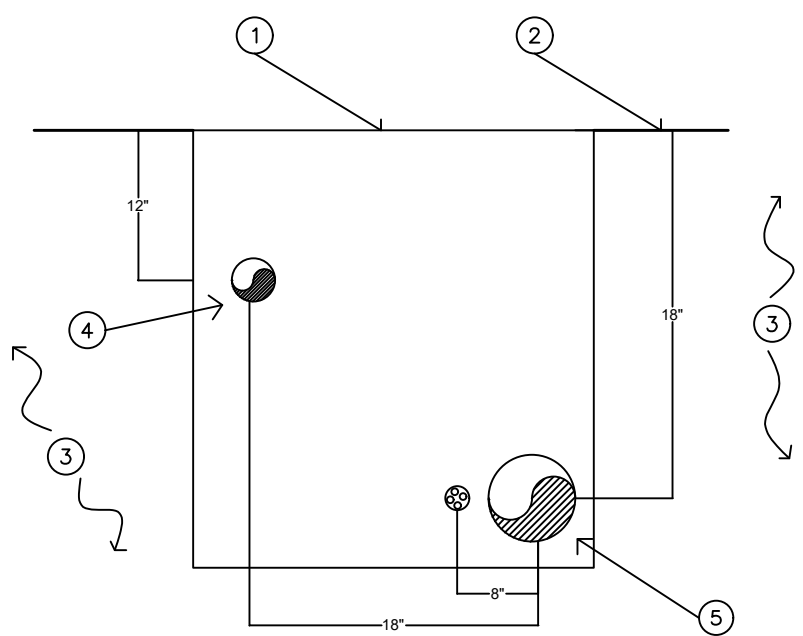


IN-LINE VALVE (PGV-101G) WITH UNIONS

Hunter® V.PGV.06

NOT TO SCALE

- 1 CLEAN COMPACTED BACKFILL
- 2 FINISHED GRADE
- 3 UNDISTURBED SOIL
- 4 LATERAL LINES
- 5 MAINLINE AND CONTROL WIRES

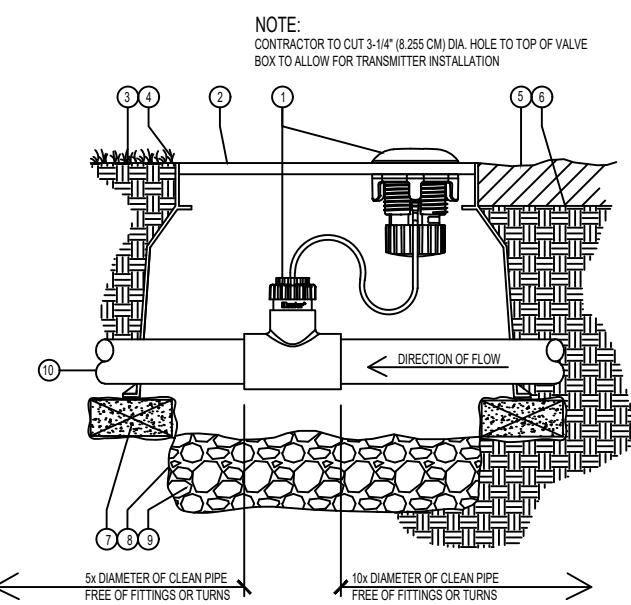


- NOTES:
1. CONTROL WIRES SHALL BE IN CONDUIT.
  2. PIPE SHALL REST IN SAND BED.

PIPE INSTALLATION



- LEGEND:
- 1 WIRELESS FLOW SENSOR AND TRANSMITTER (WFS) PER PLAN
  - 2 IRRIGATION VALVE BOX PER PLAN HEAT STAMP LID WITH "FS" IN 2" CHARACTERS
  - 3 WASHED GRAVEL IN TUB
  - 4 UNDISTURBED SOIL PER PLAN
  - 5 UNDISTURBED SOIL PER PLAN
  - 6 WASHED GRAVEL IN PLANTER BED
  - 7 BRICK SUPPORTS (4)
  - 8 FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
  - 9 3/4" WASHED GRAVEL - 4" MIN. DEPTH
  - 10 IRRIGATION LATERAL

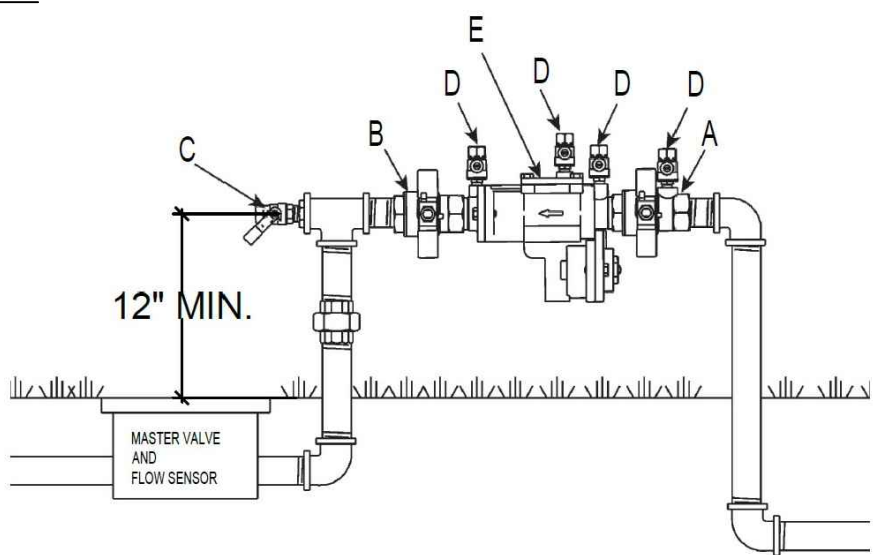


WIRELESS FLOW SENSOR (WFS)

Hunter®

NOT TO SCALE

- LEGEND:
- 1 INLET BALL VALVE
  - 2 OUTLET BALL VALVE
  - 3 OUTLET DRAIN VALVE
  - 4 TEST COCKS
  - 5 HOUSING COVER



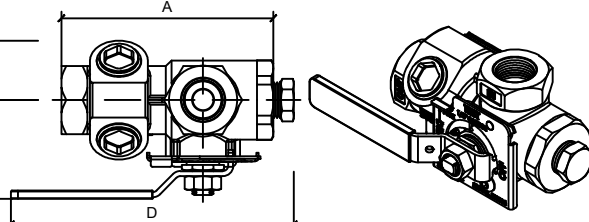
DOUBLE CHECK VALVE ASSEMBLY (SERIES 850) FERCO

NOT TO SCALE



SELECT DESIRED SIZE:

- 1/2" 3/4" 1" 1 1/4" 1 1/2" 2"



PRODUCT SIZE	A	B	C	D	E	F	G	H	I
1/2"	2.125"	1.125"	2.375"	0.375"	0.375"	0.375"	1.125"	0.375"	2.750"
3/4"	2.125"	1.125"	2.375"	0.375"	0.375"	0.375"	1.125"	0.375"	2.750"
1"	2.125"	1.125"	2.375"	0.375"	0.375"	0.375"	1.125"	0.375"	2.750"
1 1/4"	2.125"	1.125"	2.375"	0.375"	0.375"	0.375"	1.125"	0.375"	2.750"
1 1/2"	2.125"	1.125"	2.375"	0.375"	0.375"	0.375"	1.125"	0.375"	2.750"
2"	2.125"	1.125"	2.375"	0.375"	0.375"	0.375"	1.125"	0.375"	2.750"

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  5. CONTRACTOR NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [www.festoolusa.com](http://www.festoolusa.com) AND ENTER REFERENCE NUMBER 8135-01

TESTANDRAIN®  
SMALL DOUBLE CHECK VALVE (850)

AGF MANUFACTURING  
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MILFORD, PA  
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FAX: (610) 240-4856  
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REVISION  
DATE

**EXHIBIT "A"**  
Page No. 34 of 34  
Case No. DIR-2021-1238-TOC-SPP-HCA

Green Republic Landscapes Inc.

P.O Box 5477  
Sherman Oaks, Ca 91413  
T : 818 616 1860  
License#: 1014404



CLIENT

Yoav Atzom  
1114 N Heliotrope Dr  
Los Angeles, 90029

PROJECT

1114 N Heliotrope Dr

DATE

6-7-2023

REVISIONS

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DRAWING BY: Saul Navarro

SCALE: NTS

SHEET TITLE

IRRIGATION DETAILS

SHEET NUMBER

I-6

SHEET 6 OF 6