

# 11835 TENNESSEE PL

**EXHIBIT "A"**  
Page No. 1 of 19  
Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



OWNER		ARCHITECT	
NAME:	TENNESSEE PLACE LLC	NAME:	BREAKFORM DESIGN
ADDRESS:	11835 TENNESSEE PL. LOS ANGELES, 90064	ADDRESS:	127 ARENA STREET EL SEGUNDO, CA 90245
PHONE #:	310-233-3700	PHONE #:	310-233-3700
STRUCTURAL ENGINEER		LAND SURVEYOR	
NAME:	ANDY ALEXANDER & ASSOC	NAME:	PACIFIC LAND CONSULTANTS, INC.
ADDRESS:	1615 GRAMERCY AVE TORRANCE, CA 90501	ADDRESS:	28441 HIGHRIIDGE RD. SUITE 230 ROLLING HILLS ESTATE, CA 90274
PHONE #:	424-358-1085	PHONE #:	310-544-8689

## SPECIFIC PLAN EXCEPTION

A SPECIFIC PLAN EXCEPTION TO ALLOW A 5-FOOT FRONT YARD SETBACK ALONG TWO FRONTAGE STREETS IN LIEU OF THE 15-FOOT FRONT YARD SETBACK REQUIRED PURSUANT TO LAMC 12.10 C.1 AND THE EXPOSITION CORRIDOR NEIGHBORHOOD TRANSIT PLAN.

## F.A.R. / ALLOWED (SEE PAGE A0.24)

LOT A		LOT B	
F.A.R.	3:1	F.A.R.	3:1
BUILDABLE AREA:	858 SF	BUILDABLE AREA:	610 SF
TOTAL ALLOWED:	<b>2,574 SF</b>	TOTAL ALLOWED:	<b>1,830 SF</b>
LOT C		LOT D	
F.A.R.	3:1	F.A.R.	3:1
BUILDABLE AREA:	472 SF	BUILDABLE AREA:	130 SF
TOTAL ALLOWED:	<b>1,416 SF</b>	TOTAL ALLOWED:	<b>390 SF</b>

## VICINITY MAP



## LOT A

LOT AREA:	2,043 SF
GROUND FLOOR:	734 SF
--COVERED:	539 SF
SECOND FLOOR:	1,136 SF
--COVERED:	15 SF
THIRD FLOOR:	610 SF
--COVERED:	315 SF
TOTAL:	<b>3,349 SF</b>

SQUARE FOOTAGE BY CODE:	
ZONING:	3,349 SF
BUILDING:	3,435 SF
SCHOOL FEE:	2,979 SF
(SEE PAGE A0.23)	

## LOT C

LOT AREA:	1,521 SF
GROUND FLOOR:	620 SF
--COVERED:	519 SF
SECOND FLOOR:	945 SF
--COVERED:	0 SF
THIRD FLOOR:	628 SF
--COVERED:	276 SF
TOTAL:	<b>2,988 SF</b>

SQUARE FOOTAGE BY CODE:	
ZONING:	2,996 SF
BUILDING:	3,064 SF
SCHOOL FEE:	2,691 SF
(SEE PAGE A0.23)	

## LOT B

LOT AREA:	1,444 SF
GROUND FLOOR:	565 SF
--COVERED:	444 SF
SECOND FLOOR:	960 SF
--COVERED:	15 SF
THIRD FLOOR:	610 SF
--COVERED:	241 SF
TOTAL:	<b>2,835 SF</b>

SQUARE FOOTAGE BY CODE:	
ZONING:	2,835 SF
BUILDING:	2,921 SF
SCHOOL FEE:	2,619 SF
(SEE PAGE A0.23)	

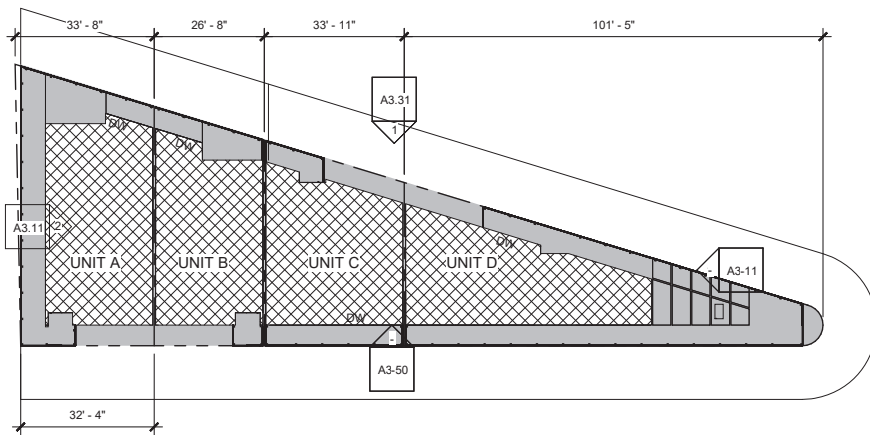
## LOT D

LOT AREA:	2,445 SF
FIRST FLOOR:	689 SF
--COVERED:	936 SF
SECOND FLOOR:	982 SF
--COVERED:	0 SF
THIRD FLOOR:	545 SF
--COVERED:	0 SF
TOTAL:	<b>3,152 SF</b>

SQUARE FOOTAGE BY CODE:	
ZONING:	3,152 SF
BUILDING:	3,218 SF
SCHOOL FEE:	2,694 SF
(SEE PAGE A0.23)	

## PROJECT INFORMATION

PROJECT SUMMARY:	- FOUR NEW SINGLE FAMILY DWELLINGS AS PART OF SMALL LOT SUBDIVISION WITH COVERED PARKING.
PROJECT ADDRESS:	11835 TENNESSEE PL, LOS ANGELES, CA 90064
LOT AREA:	7,461.8 SF
ASSESSOR'S PARCEL #:	4259037003
TRACT:	TR 11968
BLOCK:	NONE
LOT:	7, VAC ORD 140880
ARB #:	NONE
ZONING:	R3(EC)
ZC HEIGHT ALLOWED:	45' - 0"
HEIGHT PROPOSED:	45' - 0"
PARKING REQ.:	8
PARKING PROVIDED:	8 (4 - STANDARD / 4 - COMPACT)
VERY HIGH FIRE HAZARD SEVERITY ZONE:	NO
FIRE DISTRICT NO. 1:	NO
FIRE SPRINKLER:	NFPA-13D REQ'D (PERMIT TO BE SECURED PRIOR TO INSTALLTION)
NUMBER OF STORIES:	THREE (3)



## LOT COVERAGE BREAKDOWN

	BUILDING COVERAGE	LOT SIZE	LOT COVERAGE
LOT A	= 1,265 SF	2,043 SF	61.91 %
LOT B	= 1,086 SF	1,452 SF	74.79 %
LOT C	= 1,139 SF	1,521 SF	74.88 %
LOT D	= 1,200 SF	2,445 SF	49.07 %
<b>BLDG TOTAL</b>	<b>= 4,690 SF</b>	<b>7,461 SF</b>	<b>62.28 %</b>


## DENSITY CALC

7,461.8 SF  
/1200 SF (R3)

**6.21 UNITS**

PER SPECIFIC PLAN

## ABBREVIATIONS & SYMBOLS

<	And	BLKG	Blocking	D	Deep, Depth	EXP	Expansion	GALV	Galvanized	JT	Joint	N	North	P.T.D.	Paper Towel Dispenser	SIM	Similar	T.P.D.	Toilet Paper Dispenser	
@	Angle	BM	Beam	DBL	Double	EXPO	Exposed	G.B.	Grab Bar			N.I.C.	Not in Contract	PTN	Partition	SLDG	Siding	T.S.	Top of Steel	
C	At	BOT	Bottom	DET	Detail	EXT	Exterior	G.I.	Galvanized Iron	KIT	Kitchen	NO	Number			SPEC	Specification	TV	Television	
L	Centerline	BR	Bedroom	D.F.	Drinking Fountain			GL	Glass, Glazing			NOM	Nominal	Q.T.	Quarry Tile	SQ	Square	T.O.W.	Top of Wall	
ø	Diameter or Round	BSMT	Basement	DIA	Diameter	F.A.	Fire Alarm	GND	Ground			N.S.	No Scale			S.S.	Stainless Steel	TYP	Typical	
_	Perpendicular	B.U.R.	Built Up Roofing	DIM	Dimension	F.D.	Floor Drain	GR	Grade			N.T.S.	Not to Scale			SSK	Service Sink			
#	Number			DISP	Dispenser	FDN	Foundation	GYP	Gypsum	LAM	Laminate	LAV	Lavatory	R	Riser	STD	Standard	UNF	Unfinished	
(E)	Existing	CAB	Cabinet	DN	Down	F.E.	Fire Extinguisher	H	High	LKR	Locker	O/	Over	RA	Radius	STD	Standard	UR	Urinal	
		CARP	Carpet	D.O.	Door Opening	F.E.C.	Fire Extinguisher	H.B.	Hose Bib	L.R.	Living Room	OA	Overall	REF	Reference	STL	Steel	UR	Otherwise Noted	
		CB	Catch Basin	DR	Door	Cab		H.C.	Hollow Core	L.T.	Light	OBSC	Obscure	REFR	Refrigerator	STOR	Storage			
AB	Anchor Bolt	C.B.	Cement	DS	Downspout	F.G.	Finish Grade	H.C.	Hollow Core	LT	Light	O.C.	On Center	REIN	Reinforced or Reinforcing	SUSP	Suspended	VERT	Vertical	
A/C	Air Conditioning	CEM	Cement	D.S.P.	Dry Standpipe	H.C.	Fire Hose Cabinet	H.C.	Fire Hose Cabinet	LVR	Louver	O.C.	On Center	REIN	Reinforced or Reinforcing	SUSP	Suspended	VERT	Vertical	
A.C.	Asphaltic Concrete	C.I.	Cast Iron	DWG	Drawing	FIN	Finish	HDWR	Hardware			O.F.D.	Overflow Drain	RESIL	Resilient	SYM	Symmetrical	V.I.F.	Verify if	
ACT	Acoustical Tile	CLG	Ceiling	DWR	Drawer	FLASH	Flashing	HDWD	Hardwood	MATL	Material	OFF	Office	REV	Revised	SYS	System	VOL	Volume	
ACOUS	Acoustical	CLO	Closet			FLR	Floor	H.M.	Hollow Metal	MAX	Maximum	O.H.	Overhang	RFG	Roofing	T	Tread	W	West	
ADJ	Adjustable	CLR	Clear	E	East	FLR	Floor	HORIZ	Horizontal	M.B.	Machine Bolt	OVHD	Overhead	R.H.	Right Hand	T	Tread	W	West	
A.F.F.	Above Finish Floor	CMU	Concrete Masonry Unit	EA	Each	F.O.C.	Face of Concrete	HR	Hour	MECH	Mechanical	OPNG	Opening	RM	Room	T.B.	Towel Bar	W/	With	
ALT	Alter or Alternate	CNTR	Counter	EJ	Expansion Joint	F.O.F.	Face of Finish	MEMB	Membrane			OPP	Opposite	R.O.	Rough Opening	T&G	Tongue and Groove	W.H.	Water Heater	
ALUM	Aluminum	COL	Column	EL	Elevation	F.O.M.	Face of Masonry	H.V.C.	Heating, Ventilation and Air Conditioning	MET	Metal			RWD	Redwood	T.O.C.	Top of Curb	W/O	Without	
ANOD	Anodized	CONC	Concrete	ELEC	Electrical	F.O.S.	Face of Stud	WAC	Water			PC	Piece			T.O.D.	Top of Drain	W.C.	Water Closet	
A.P.	Access Panel	CONN	Connection	ELEV	Elevation	FRF	Fireproof	MH	Manhole			P.D.	Planter Drain			TEL	Telephone	WD	Wood	
APPROX	Approximate	CONST	Construction	EMER	Emergency	FR	Frame	MIN	Minimum			PL	Plate			S.C.	Solid Core	WP	Waterproof	
ARCH	Architectural	CONTR	Continuous	ENCL	Enclosure	FS	Full Size	MIR	Mirror			P.L.	Property Line			SCHED	Schedule	TEMP	Tempered, Temperature	
ASPH	Asphalt	CORR	Corridor	E.O.S.	Edge of Slab	FTG	Footing	INCL	Including			PLMG	Plumbing			SECT	Section	THK	Thick, Thickness	
		CORR	Corridor	EQ	Equal	FTG	Footing	INSUL	Insulation			M.O.	Masonry Opening			SEP	Separation, Separate	THR	Threshold	
BD	Board	C.T.	Ceramic Tile	EQUIP	Equipment	FURR	Furring, Furred	INT	Interior			M.R.	Moisture Resistant			TOIL	Toilet	SH	Shelf	
BITUM	Bituminous	CTR	Center	E.W.	Each Way	FUT	Future			JAN	Janitor	MTD	Mounted			PLYWD	Plywood	SHR	Shower	
BLDG	Building	CTSK	Countersunk	E.W.C.	Electric Water Cooler					PR	Painter	MUL	Mullion			T.O.S.	Top of Sill	SHT	Sheet	
BLK	Block	C.W.	Cold Water	EXIST	Existing	GA	Gauge			JST	Joist					P.T.	Paint	T.P.D.	Toilet Paper Dispenser	

**breakform design**  
127 arena street, el segundo, ca 90245  
[o] 310.322.3700



**11835 TENNESSEE  
PL, LOS ANGELES, CA  
90064**

## REVISIONS

NO.	DESCRIPTION

## COVER

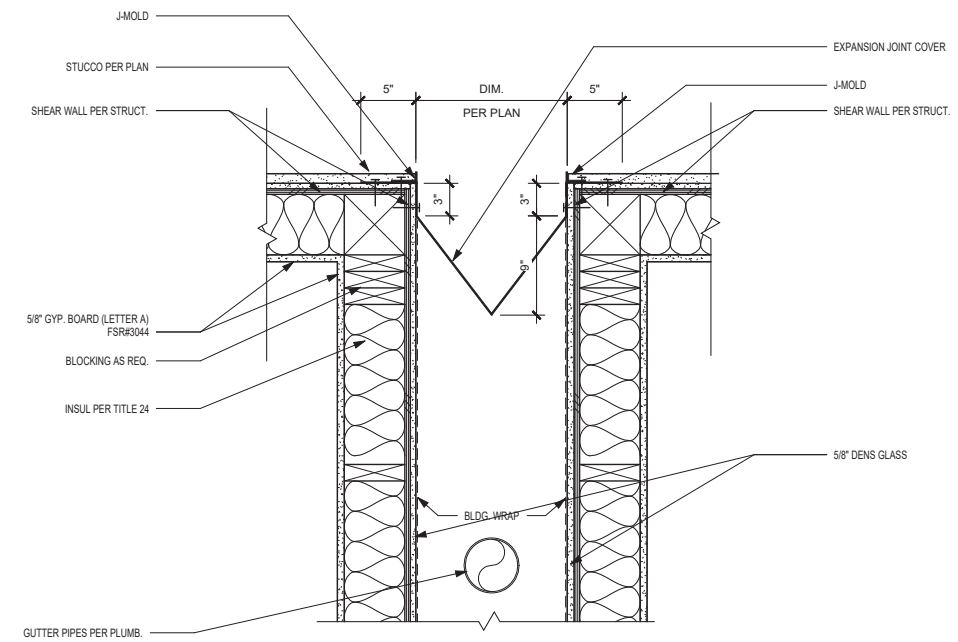
DRAWN	NH
CHECKED	PNK
DATE	10/19/2022 12:03:50 PM
SCALE	3/64" = 1'-0"
JOB #	21-A014
A0.00	

The image contains two technical cross-section drawings of a window frame, labeled 'HEAD' and 'SILL'.

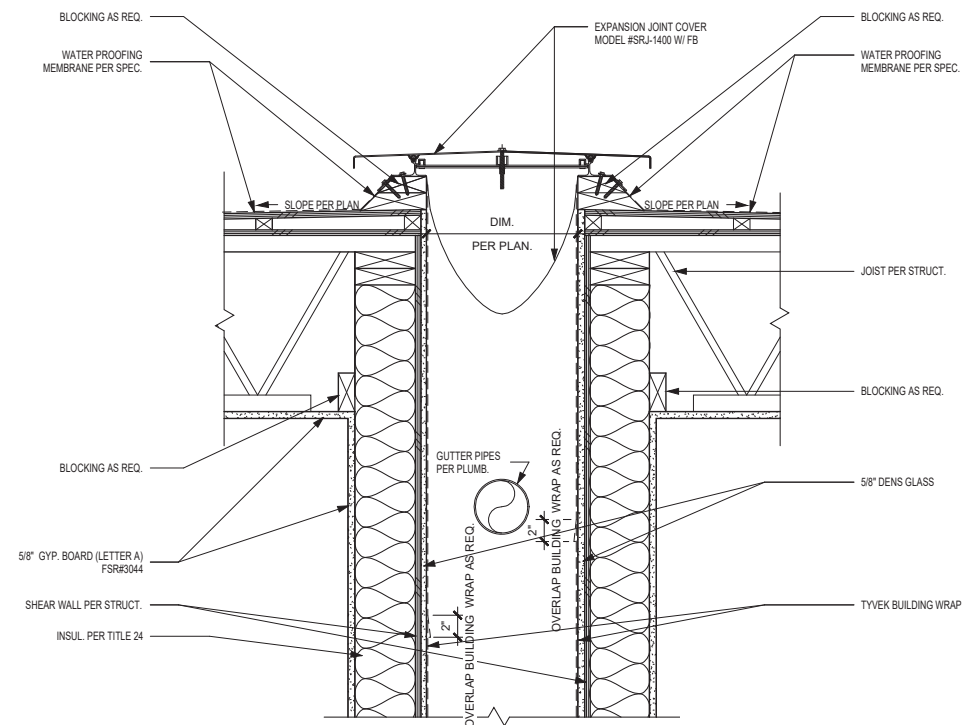
**HEAD Detail:** This drawing shows the top of the window frame. It includes labels for 'PLYWOOD SHEATHING PER STRUCT.' at the top, 'STUCCO PER ARCH SCHEDULE' on the exterior wall, and 'FLANNERY TRIM (FPM 75-100) BLACK (TYP.)' on the interior. A '2% SLOPE TO EXTERIOR' is indicated for the exterior wall. The window frame itself is labeled 'BLACK KYNAR ALUMINUM FLASHING' and 'SEALANT'. Dimensions shown include a 2-inch gap between the trim and the wall, a 3-inch gap between the frame and the wall, and a 5-inch gap between the frame and the sill.

**SILL Detail:** This drawing shows the bottom of the window frame. It includes labels for 'WRAP 5/8" DRYWALL' on the interior wall, '2x4 STRIP AS REQ.' for the wall framing, and '(2) 3/4" MARINE PLY' for the interior wall. The exterior wall is labeled 'STUCCO PER ARCH SCHEDULE' and 'PLYWOOD SHEATHING PER STRUCT.'. The window frame is labeled 'BLACK KYNAR ALUMINUM FLASHING' and 'SEALANT'. A '2% SLOPE TO EXTERIOR' is indicated for the exterior wall. Dimensions shown include a 5-inch gap between the frame and the wall, a 2-inch gap between the frame and the wall, and a 3-inch gap between the frame and the wall.

3



1

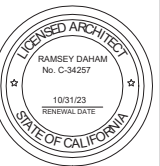


2

**breakform design**

---

109 eucalyptus drive, el segundo, ca 90245



11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

## REVISIONS

## EXTERIOR DETAILS

---

**DRAWN**      Author

**CHECKED** Checker

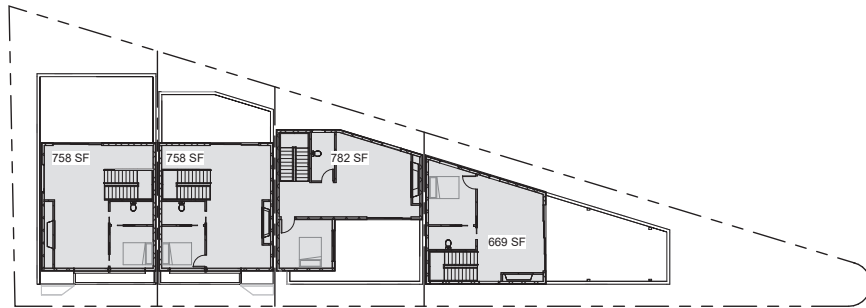
DATE 10/19/2022  
12:03:52 PM

**SCALE** As indicated

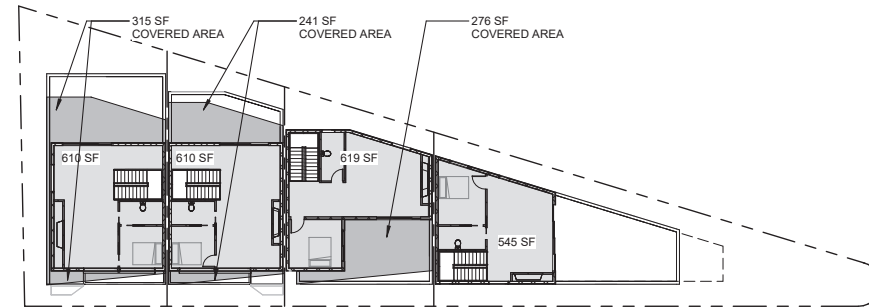
**JOB #** 21-A014

---

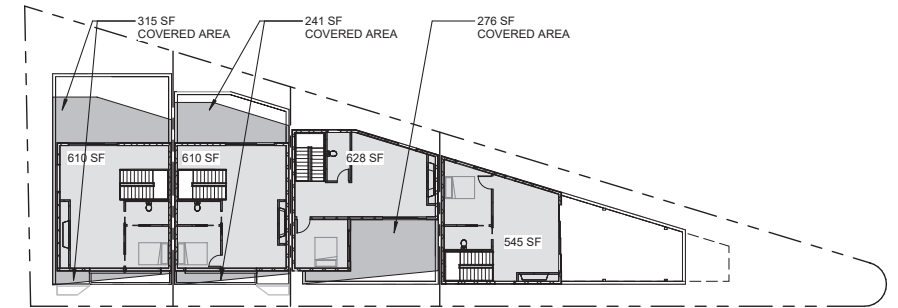
A0.14



SCHOOL FEE - 3RD FLOOR  
1" = 20'-0"

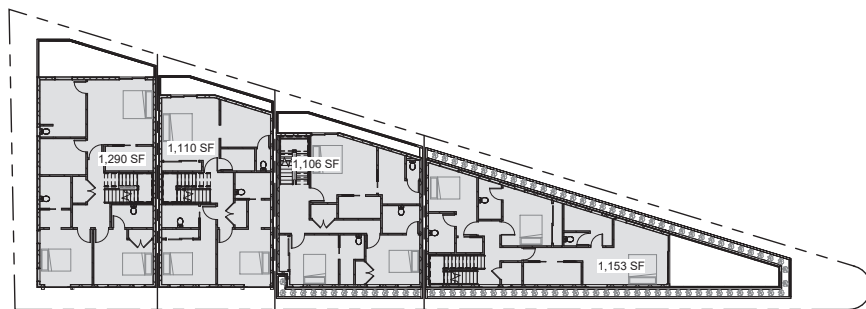


BLDG CODE - 3RD FLOOR  
1" = 20'-0"

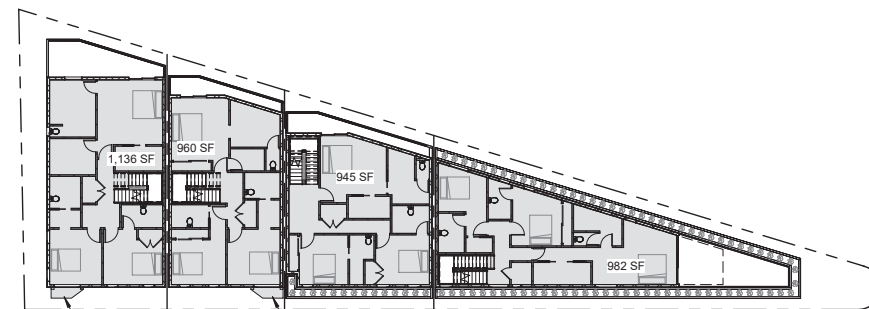


ZONING CODE - 3RD FLOOR  
1" = 20'-0"

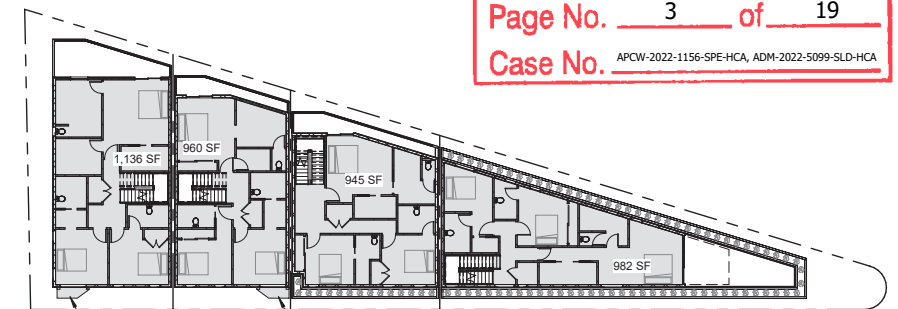
**EXHIBIT "A"**  
Page No. 3 of 19  
Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



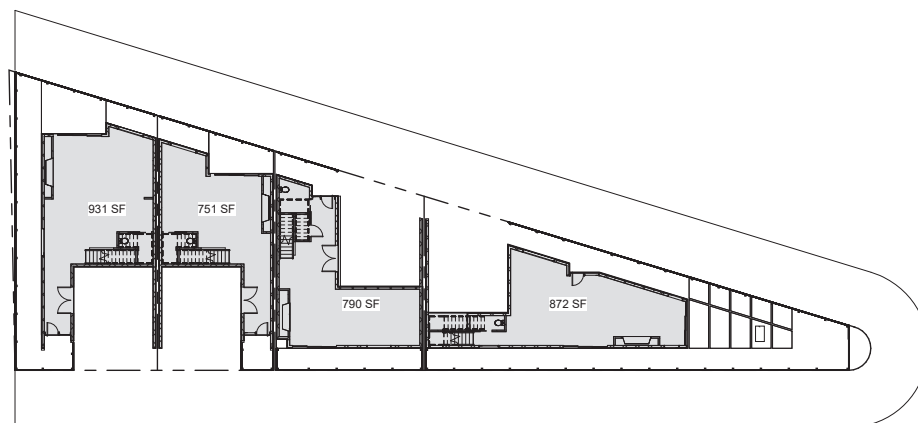
SCHOOL FEE - 2ND FLOOR  
1" = 20'-0"



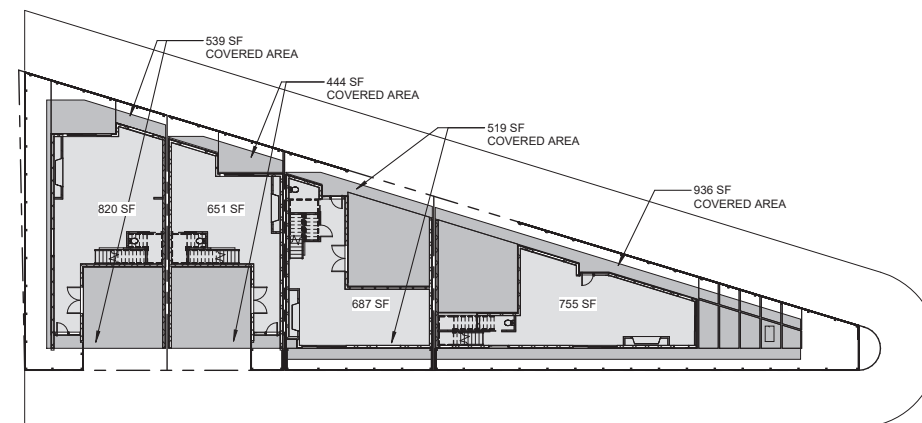
BLDG CODE - 2ND FLOOR  
1" = 20'-0"



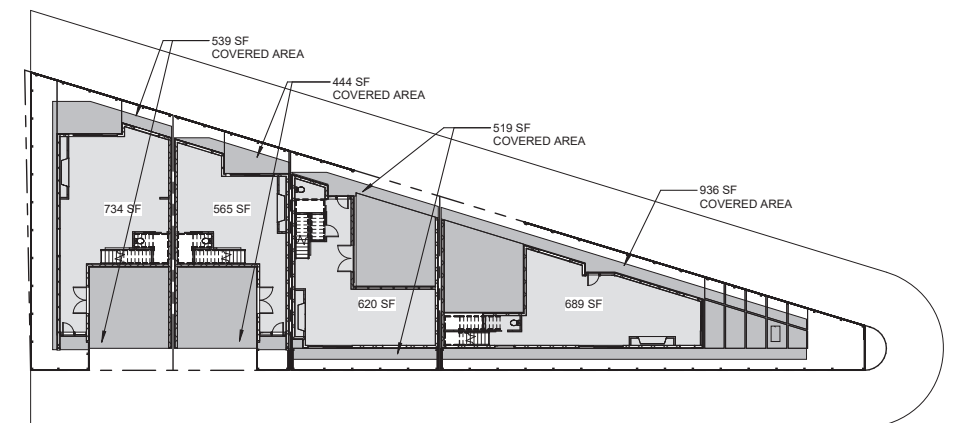
ZONING CODE - 2ND FLOOR  
1" = 20'-0"



SCHOOL FEE - 1ST FLOOR  
1" = 20'-0"



BLDG CODE - 1ST FLOOR  
1" = 20'-0"



ZONING CODE - 1ST FLOOR  
1" = 20'-0"

LOT A:			LOT B:			LOT C:			LOT D:		
1ST FLOOR	=	931 SF	1ST FLOOR	=	751 SF	1ST FLOOR	=	790 SF	1ST FLOOR	=	872 SF
2ND FLOOR	=	1,290 SF	2ND FLOOR	=	1,110 SF	2ND FLOOR	=	1,106 SF	2ND FLOOR	=	1,153 SF
3RD FLOOR	=	758 SF	3RD FLOOR	=	758 SF	3RD FLOOR	=	782 SF	3RD FLOOR	=	669 SF
<b>TOTAL</b>	<b>=</b>	<b>2,979 SF</b>	<b>TOTAL</b>	<b>=</b>	<b>2,619 SF</b>	<b>TOTAL</b>	<b>=</b>	<b>2,678 SF</b>	<b>TOTAL</b>	<b>=</b>	<b>2,694 SF</b>

LOT A:		LOT B:		LOT C:		LOT D:	
1ST FLOOR	= 820 SF	1ST FLOOR	= 651 SF	1ST FLOOR	= 687 SF	1ST FLOOR	= 755 SF
-COVERED	= 539 SF	-COVERED	= 444 SF	-COVERED	= 519 SF	-COVERED	= 936 SF
2ND FLOOR	= 1,138 SF	2ND FLOOR	= 860 SF	2ND FLOOR	= 945 SF	2ND FLOOR	= 965 SF
-COVERED	= 15 SF	-COVERED	= 15 SF	-COVERED	= 0 SF	-COVERED	= 0 SF
3RD FLOOR	= 610 SF	3RD FLOOR	= 610 SF	3RD FLOOR	= 619 SF	3RD FLOOR	= 545 SF
-COVERED	= 315 SF	-COVERED	= 241 SF	-COVERED	= 276 SF	-COVERED	= 0 SF
<b>TOTAL</b>	<b>= 3,435 SF</b>	<b>TOTAL</b>	<b>= 2,921 SF</b>	<b>TOTAL</b>	<b>= 3,046 SF</b>	<b>TOTAL</b>	<b>= 3,218 SF</b>

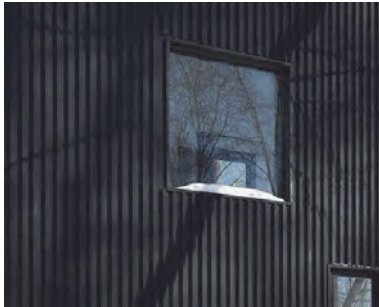
LOT A:		LOT B:		LOT C:		LOT D:	
1ST FLOOR	= 734 SF	1ST FLOOR	= 565 SF	1ST FLOOR	= 620 SF	1ST FLOOR	= 686 SF
-COVERED	= 539 SF	-COVERED	= 444 SF	-COVERED	= 519 SF	-COVERED	= 939 SF
2ND FLOOR	= 136 SF	2ND FLOOR	= 950 SF	2ND FLOOR	= 945 SF	2ND FLOOR	= 985 SF
-COVERED	= 15 SF	-COVERED	= 15 SF	-COVERED	= 0 SF	-COVERED	= 0 SF
3RD FLOOR	= 610 SF	3RD FLOOR	= 610 SF	3RD FLOOR	= 628 SF	3RD FLOOR	= 545 SF
-COVERED	= 315 SF	-COVERED	= 241 SF	-COVERED	= 276 SF	-COVERED	= 0 SF
<b>TOTAL</b>	<b>= 3,349 SF</b>	<b>TOTAL</b>	<b>= 2,835 SF</b>	<b>TOTAL</b>	<b>= 2,988 SF</b>	<b>TOTAL</b>	<b>= 3,152 SF</b>







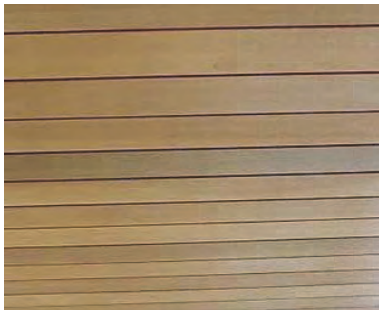
BLACK METAL FLASHING



1X2 CEDAR STRIPS  
(BLACK STAIN)



BOARD FORMED CONCRETE VENEERS



NATURAL T&G CEDAR  
CLEAR A GRADE COLOR SORTED  
(LIGHT)



DECORATIVE FENCING

EXHIBIT “A”

Page No. 5 of 19

Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



REVISIONS

BUILDING MATERIALS

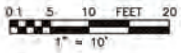
DRAWN	Author
CHECKED	Checker
DATE	10/19/2022 12:03:57 PM
SCALE	
JOB #	21-A014



SURVEY CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS PLAT CONSISTING OF ONE SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN JULY, 2021, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

CHRISTOPHER W. VASSALLO P.L.S. 8418 DATE  
REGISTRATION EXPIRES 12-31-2022



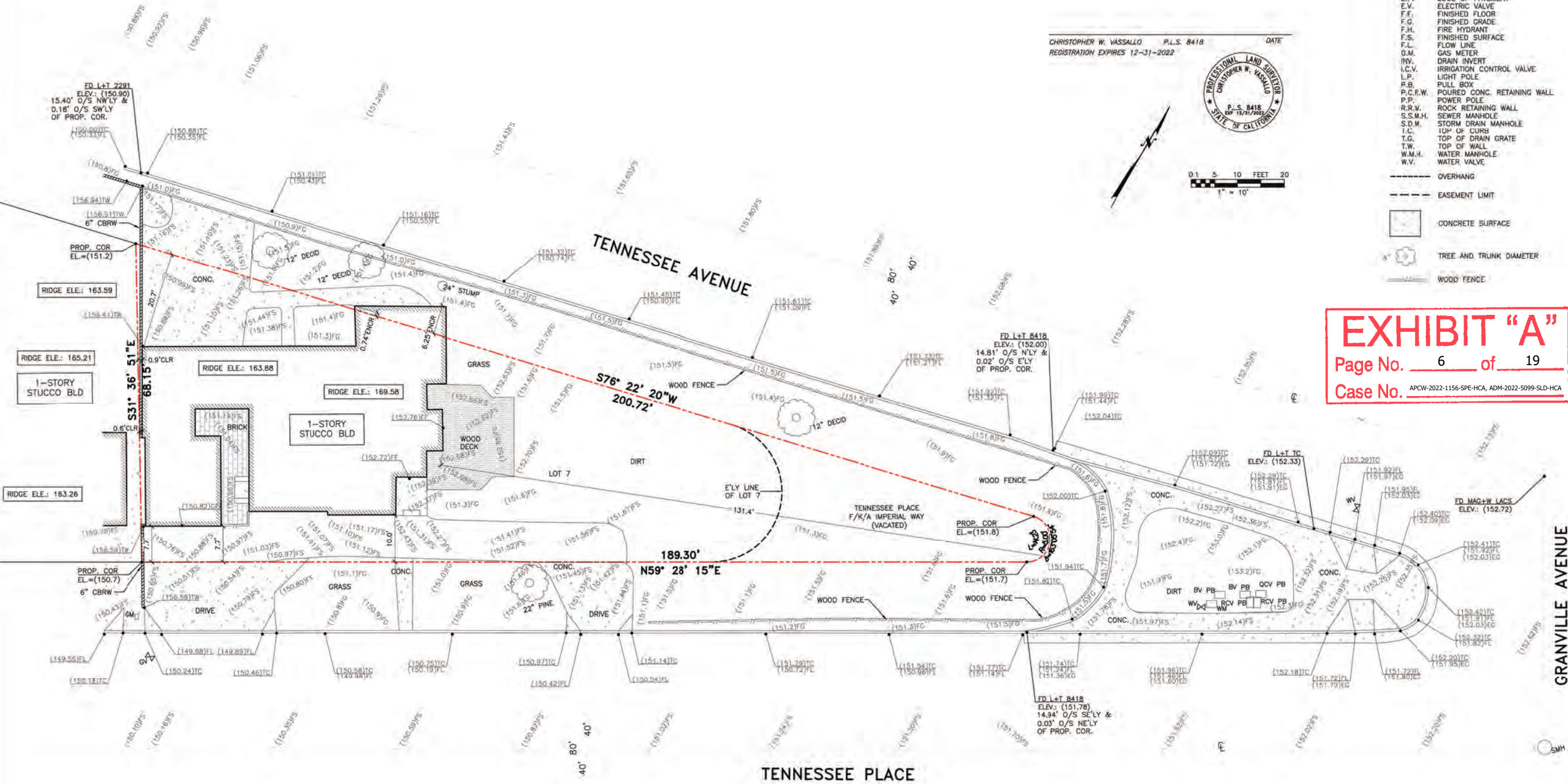
LEGEND

- A.C. ASPHALT CONCRETE PAVEMENT
- B.M. BENCH MARK
- C.B.W. CONCRETE BLOCK WALL
- C.B.R.W. CONCRETE BLOCK RETAINING WALL
- CONC. CONCRETE
- C/O SEWER CLEANOUT
- D.W. CONC. DRIVEWAY APRON
- E.G. EDGE OF GUTTER
- E.M. ELECTRIC METER
- E.P. EDGE OF PAVEMENT
- E.V. ELECTRIC VALVE
- F.F. FINISHED FLOOR
- F.G. FINISHED GRADE
- F.H. FIRE HYDRANT
- F.S. FINISHED SURFACE
- F.L. FLOW LINE
- G.M. GAS METER
- INV. DRAIN INVERT
- I.C.V. IRRIGATION CONTROL VALVE
- L.P. LIGHT POLE
- P.B. PULL BOX
- P.C.R.W. POURED CONC. RETAINING WALL
- P.P. POWER POLE
- R.R.W. ROCK RETAINING WALL
- S.S.M.H. SEWER MANHOLE
- S.D.M. STORM DRAIN MANHOLE
- T.C. 10" OF CURB
- T.G. TOP OF DRAIN GRATE
- T.W. TOP OF WALL
- W.M.H. WATER MANHOLE
- W.V. WATER VALVE
- OVERHANG
- EASEMENT LIMIT
- CONCRETE SURFACE
- TREE AND TRUNK DIAMETER
- WOOD FENCE

EXHIBIT "A"

Page No. 6 of 19

Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



PLEASE NOTE

IF THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT (VIA EMAIL OR ON COMPUTER DISC) AS A COURTESY TO OUR CLIENT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. PACIFIC LAND CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY PACIFIC LAND CONSULTANTS, INC.

UNDERGROUND UTILITIES

ALL INFORMATION SHOWN HEREON REGARDING UNDERGROUND UTILITIES WAS TAKEN FROM VISIBLE SURFACE EVIDENCE OR SOURCES NOT CONNECTED WITH THIS COMPANY AND WHILE SAID INFORMATION IS BELIEVED CORRECT, NO LIABILITY IS ASSUMED FOR THE ACCURACY OR COMPLETENESS OF SAID DATA.

BENCHMARK

B.M.#13-09731  
WIRE SPK 1FT W OF W CURB BUNDY  
OR: 2.8FT N OF BC RET N OF  
TENNESSEE AVE S END CB  
ELEV. 148.815' (NAVD-1988)

LEGAL DESCRIPTION

LOT 7 OF TRACT NO. 11988 AND PART OF TENNESSEE PLACE (F/K/A IMPERIAL WAY) VACATED BY THE CITY OF LOS ANGELES, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 226 PAGE 5 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AREA = 7,463.36 SQ.FT. ARN# 4259-037-003



PACIFIC LAND CONSULTANTS, INC.  
28441 HIGHRISE RD. SUITE 230  
ROLLING HILLS ESTATES, CA 90274  
(310) 544-8689

DRAWN BY: J.C.M.  
PROJECT SITE: 11835 TENNESSEE PLACE  
LOS ANGELES, CA

FILE NAME: 21075LS.DWG
DATE: 8-11-2021
SCALE: 1" = 10'
JOB NO. 21075
SHEET 1 OF 1



1. PROPERTY OWNER SHALL REPAIR OR REPLACE ANY DAMAGED, DEFECTIVE, OFF-GRADE, OR ANY NON-CONFORMING SIDEWALK, DRIVEWAY APPROACH, OR NON-CONFORMING CONDITIONS THAT EXIST IN THE PUBLIC RIGHT OF WAY AND BE CONSIDERED HAZARDOUS BY THE CITY ENGINEER (MUNICIPAL ORDINANCE 9.08.415). THIS WORK WILL REQUIRE A SEPARATE PERMIT THROUGH ENGINEERING DIVISION AND MUST BE OBTAINED BY A LICENSED CONTRACTOR AND COMPLETED PRIOR TO FINAL INSPECTION.

2. PROPERTY OWNER SHALL REPLACE THE PARKWAY WITH DROUGHT TOLERANT PLANTS ACCORDING TO THE CITY'S PARKWAY PLANTING GUIDELINES WHICH CAN BE OBTAINED HERE: <https://www.culvercity.org/home/showdocument?id=3573>

3. APPLICANT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH APPLICANT/OWNER, PW INSPECTOR, AND CONTRACTOR PRIOR TO APPROVING PLANS.

1. ELECTRIC METER - LOCATED IN BASEMENT TO CONNECT TO NEAREST POWERPOL
2. MAIN SEWER LINE RUNS ALONG ALLEY. LATERAL TO BE CONNECTED FROM PUMP IN BIKE STORAGE TO ALLEY.

(SEE PAGE A1.22 FOR PRELIMINARY UTILITY PLAN AND ADDITIONAL NOTES)

<b>UNIT D</b>	
GROUND FLOOR:	749 SF
SECOND FLOOR:	975 SF
THIRD FLOOR:	541 SF
 TOTAL:	 2,265 SF

<b><u>TOTAL PROJECT</u></b>	
UNIT A:	2,551 SF
UNIT B:	2,211 SF
UNIT C:	2,278 SF
UNIT D:	2,265 SF
 UNIT TOTAL:	 9,305 SF

- 1 10" CONC. - BACK LAG  
PER STRUCT. AND SHORING  
(SEE 1/6A:20 FOR DETAIL)
- 2 10" CONC. - FRONT LAG  
PER STRUCT. AND SHORING  
(SEE 1/6A:20 FOR DETAIL)
- 3 CONC. PER STRC.  
(SEE 3/6A:20 FOR DETAIL)
- 4 CMU PER STRC  
(SEE 4/6A:20 FOR DETAIL)
- 5 2x6 EXTERIOR WALL ASSM. W/  
BOARD FORMED CONCRETE VENEER
- 6 2x6 EXTERIOR WALL ASSM. W/  
1X2 CEDAR STRIPS
- 7 2x4 INTERIOR WALL ASSM.  
(SEE 8/6A:20 FOR DETAIL)
- 8 DOUBLE WALL ASSM.  
(SEE 9/6A:20 FOR DETAIL)  
1-HR
- 9 CMU PER STRC W/  
INTERIOR WALL ASSM.  
(SEE 1/6A:20 FOR DETAIL)  
2-HR

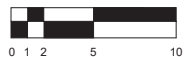
A-1	CONC FLOOR PER STRC. W/ WOOD FINISH (SEE 1/A6.40 FOR DETAIL)
A-2	CONC FLOOR PER STRC. W/ TILE FINISH (SEE 2/A6.40 FOR DETAIL)
A-3	WOOD JOIST PER STRC. W/ WOOD FINISH (SEE 3/A6.40 FOR DETAIL)
A-4	WOOD JOIST PER STRC. W/ TILE FINISH (SEE 4/A6.40 FOR DETAIL)
A-5	WOOD JOIST PER STRUCT. W/ WOOD DECKING (SEE 5/A6.40 FOR DETAIL)
A-6	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (SEE 6/A6.40 FOR DETAIL)
A-7	WOOD JOIST PER STRC. W/ PEDESTAL DECK TILE (SEE 7/A6.40 FOR DETAIL)

	FLOOR TYPE
	1 HR
	2 HR
	SMOKE DETECTOR
	CARBON MONOXIDE
	EXHAUST (GENERAL NOTES #2,3)
	WINDOW TAG
	DOOR TAG
	WALL TYPE
	ELEVATION MARKER
	PROPERTY LINE
	ACCESSIBLE ROUTE
	SEWER LINE



SITE PLAN  
1/8" = 1'-0"

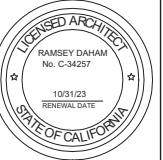
1



# breakform design

---

[o] 310.322.3700



11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

[illegible]

DRAWN	NH
CHECKED	PNK
DATE	10/19/2022 12:04:03 PM
SCALE	As indicated
JOB #	21-A014

A1.00





<b><u>TOTAL PROJECT</u></b>	
UNIT A:	2,551 SF
UNIT B:	2,211 SF
UNIT C:	2,278 SF
UNIT D:	2,265 SF
 UNIT TOTAL:	 9,305 SF

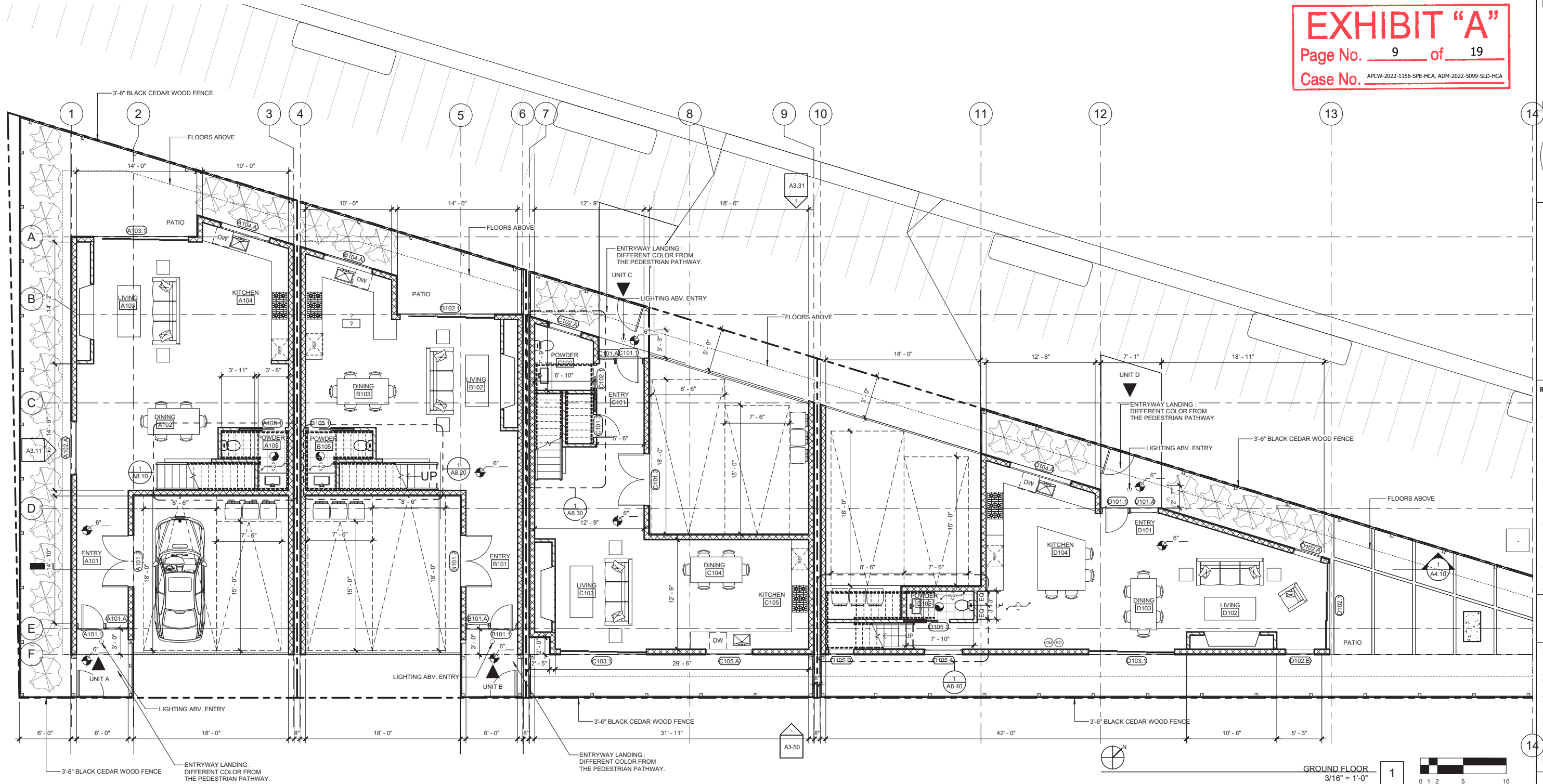
1. SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
2. CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.

## FLOORS

A-1	CONC FLOOR PER STRC. W/ WOOD FINH (SEE 1/A6.40 FOR DETAIL)
A-2	CONC FLOOR PER STRC. W/ TILE FINH (SEE 2/A6.40 FOR DETAIL)
B-1	WOOD JOIST PER STRC. W/ WOOD FINH (SEE 3/A6.40 FOR DETAIL)
B-2	WOOD JOIST PER STRC. W/ TILE FINH (SEE 4/A6.40 FOR DETAIL)
B-3	WOOD JOIST PER STRUCT. W/ WOOD DECKING (SEE 5/A6.40 FOR DETAIL)
B-4	WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (SEE 6/A6.40 FOR DETAIL)
B-5	WOOD JOIST PER STRC. W/ PEDESTAL DECK TILE (SEE 7/A6.40 FOR DETAIL)

	FLOOR TYPE
	1 HR
	2 HR
	SMOKE DETECTOR
	CARBON MONOXIDE
	EXHAUST (GENERAL NOTES #2.3)
	WINDOW TAG
	DOOR TAG
	WALL TYPE
	ELEVATION MARKER
	PROPERTY LINE
	ACCESSIBLE ROUTE
	SEWER LINE

**Case No.** APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



A2.10

UNIT A		UNIT B		UNIT C		UNIT D	
GROUND FLOOR:	813 SF	GROUND FLOOR:	645 SF	GROUND FLOOR:	702 SF	GROUND FLOOR:	749 SF
SECOND FLOOR:	1,121 SF	SECOND FLOOR:	949 SF	SECOND FLOOR:	953 SF	SECOND FLOOR:	975 SF
THIRD FLOOR:	617 SF	THIRD FLOOR:	617 SF	THIRD FLOOR:	623 SF	THIRD FLOOR:	541 SF
TOTAL:	2,551 SF	TOTAL:	2,211 SF	TOTAL:	2,278 SF	TOTAL:	2,265 SF

TOTAL PROJECT	
UNIT A:	2,551 SF
UNIT B:	2,211 SF
UNIT C:	2,278 SF
UNIT D:	2,265 SF
UNIT TOTAL:	9,305 SF

FLOOR PLAN NOTES:

- SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.

ASSEMBLY TYPES

WALLS

- 10" CONC. - BACK LAG PER STRUCT. AND SHORING (SEE 1/A6.20 FOR DETAIL)
- 10" CONC. - FRONT LAG PER STRUCT. AND SHORING (SEE 2/A6.20 FOR DETAIL)
- CONC. PER STRC. (SEE 3/A6.20 FOR DETAIL)
- CMU PER STRC. (SEE 4/A6.20 FOR DETAIL)
- 2x6 EXTERIOR WALL ASSM. W/ BOARD FORMED CONCRETE VENEER
- 2x6 EXTERIOR WALL ASSM. W/ 1X2 CEDAR STRIPS
- 2x4 INTERIOR WALL ASSM. (SEE 8/A6.20 FOR DETAIL)
- DOUBLE WALL ASSM. (SEE 9/A6.20 FOR DETAIL) 1-HR
- CMU PER STRC W/ INTERIOR WALL ASSM. (SEE 10/A6.20 FOR DETAIL) 2-HR

FLOORS

- CONC FLOOR PER STRC. W/ WOOD FINISH (SEE 1/A6.40 FOR DETAIL)
- CONC FLOOR PER STRC. W/ TILE FINISH (SEE 2/A6.40 FOR DETAIL)
- WOOD JOIST PER STRC. W/ WOOD FINISH (SEE 3/A6.40 FOR DETAIL)
- WOOD JOIST PER STRC. W/ TILE FINISH (SEE 4/A6.40 FOR DETAIL)
- WOOD JOIST PER STRUCT. W/ WOOD DECKING (SEE 5/A6.40 FOR DETAIL)
- WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (SEE 6/A6.40 FOR DETAIL)
- WOOD JOIST PER STRC. W/ PEDESTAL DECK TILE (SEE 7/A6.40 FOR DETAIL)

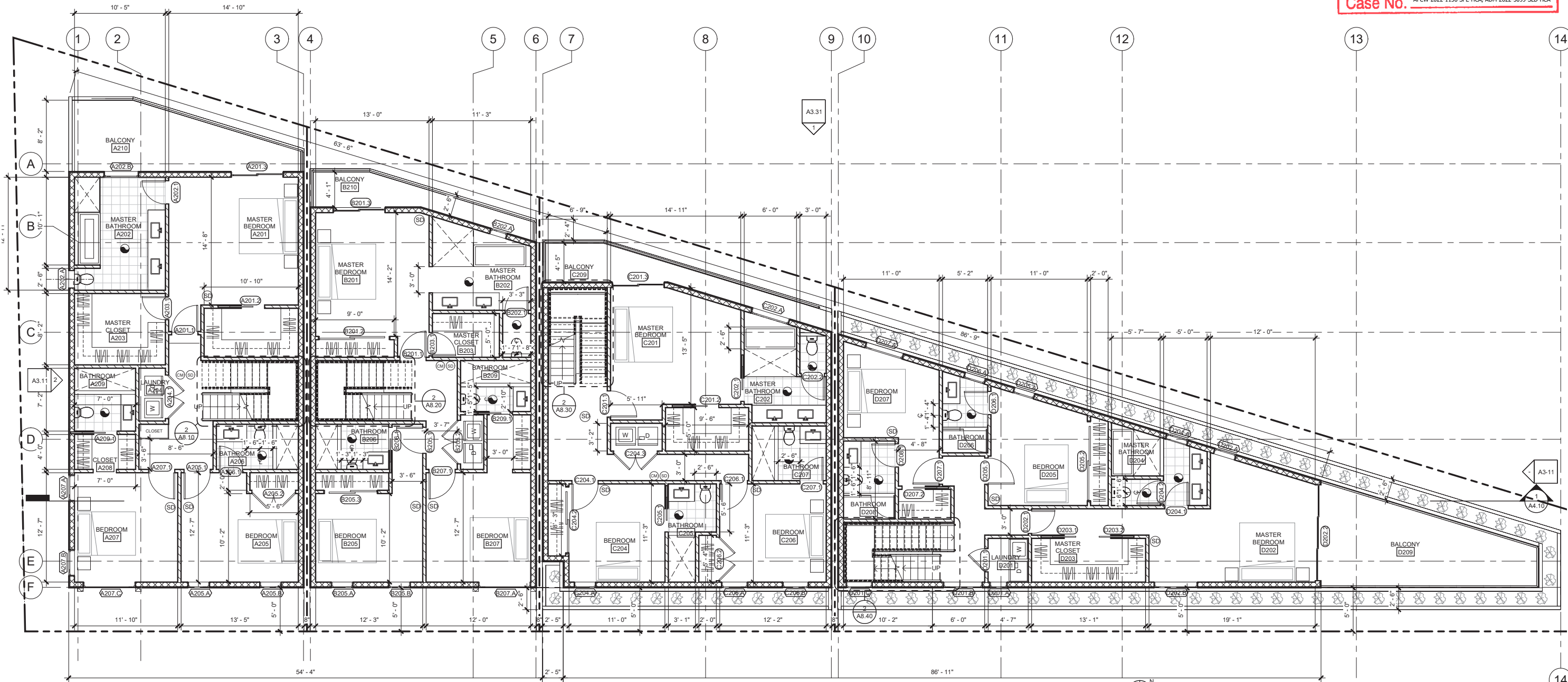
FLOOR PLAN LEGEND

- FLOOR TYPE
- 1 HR
- 2 HR
- SMOKE DETECTOR
- CARBON MONOXIDE
- EXHAUST (GENERAL NOTES #2.3)
- WINDOW TAG
- DOOR TAG
- WALL TYPE
- ELEVATION MARKER
- PROPERTY LINE
- ACCESSIBLE ROUTE
- SEWER LINE

EXHIBIT "A"

Page No. 10 of 19

Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



breakformdesign

109 eucalyptus drive, el segundo, ca 90245  
[o] 310.322.3700



11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

REVISIONS


2ND FLOOR  
PLAN

DRAWN NH

CHECKED PNK

DATE 10/19/2022

12:04:08 PM

SCALE As indicated

JOB # 21-A014

A2.20



UNIT A		UNIT B		UNIT C		UNIT D	
GROUND FLOOR:	813 SF	GROUND FLOOR:	645 SF	GROUND FLOOR:	702 SF	GROUND FLOOR:	749 SF
SECOND FLOOR:	1,121 SF	SECOND FLOOR:	949 SF	SECOND FLOOR:	953 SF	SECOND FLOOR:	975 SF
THIRD FLOOR:	617 SF	THIRD FLOOR:	617 SF	THIRD FLOOR:	623 SF	THIRD FLOOR:	541 SF
TOTAL:	2,551 SF	TOTAL:	2,211 SF	TOTAL:	2,278 SF	TOTAL:	2,265 SF

TOTAL PROJECT	
UNIT A:	2,551 SF
UNIT B:	2,211 SF
UNIT C:	2,278 SF
UNIT D:	2,265 SF
UNIT TOTAL:	9,305 SF

FLOOR PLAN NOTES:

1. SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
2. CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.

ASSEMBLY TYPES

WALLS

- 1 10" CONC. - BACK LAG PER STRUCT. AND SHORING (SEE 1/A6.20 FOR DETAIL)
- 2 10" CONC. - FRONT LAG PER STRUCT. AND SHORING (SEE 2/A6.20 FOR DETAIL)
- 3 CONC. PER STRC. (SEE 3/A6.20 FOR DETAIL)
- 4 CMU PER STRC. (SEE 4/A6.20 FOR DETAIL)
- 5 2x6 EXTERIOR WALL ASSM. W/ BOARD FORMED CONCRETE VENEER
- 6 2x6 EXTERIOR WALL ASSM. W/ 1X2 CEDAR STRIPS
- 7 2x4 INTERIOR WALL ASSM. (SEE 8/A6.20 FOR DETAIL)
- 8 DOUBLE WALL ASSM. (SEE 9/A6.20 FOR DETAIL) 1-HR
- 9 CMU PER STRC W/ INTERIOR WALL ASSM. (SEE 10/A6.20 FOR DETAIL) 2-HR

FLOORS

- 4 CONC FLOOR PER STRC. W/ WOOD FINISH (SEE 1/A6.40 FOR DETAIL)
- 4 CONC FLOOR PER STRC. W/ TILE FINISH (SEE 2/A6.40 FOR DETAIL)
- 6 WOOD JOIST PER STRC. W/ WOOD FINISH (SEE 3/A6.40 FOR DETAIL)
- 6 WOOD JOIST PER STRC. W/ TILE FINISH (SEE 4/A6.40 FOR DETAIL)
- 6 WOOD JOIST PER STRUCT. W/ WOOD DECKING (SEE 5/A6.40 FOR DETAIL)
- 6 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (SEE 6/A6.40 FOR DETAIL)
- 6 WOOD JOIST PER STRC. W/ PEDESTAL DECK TILE (SEE 7/A6.40 FOR DETAIL)

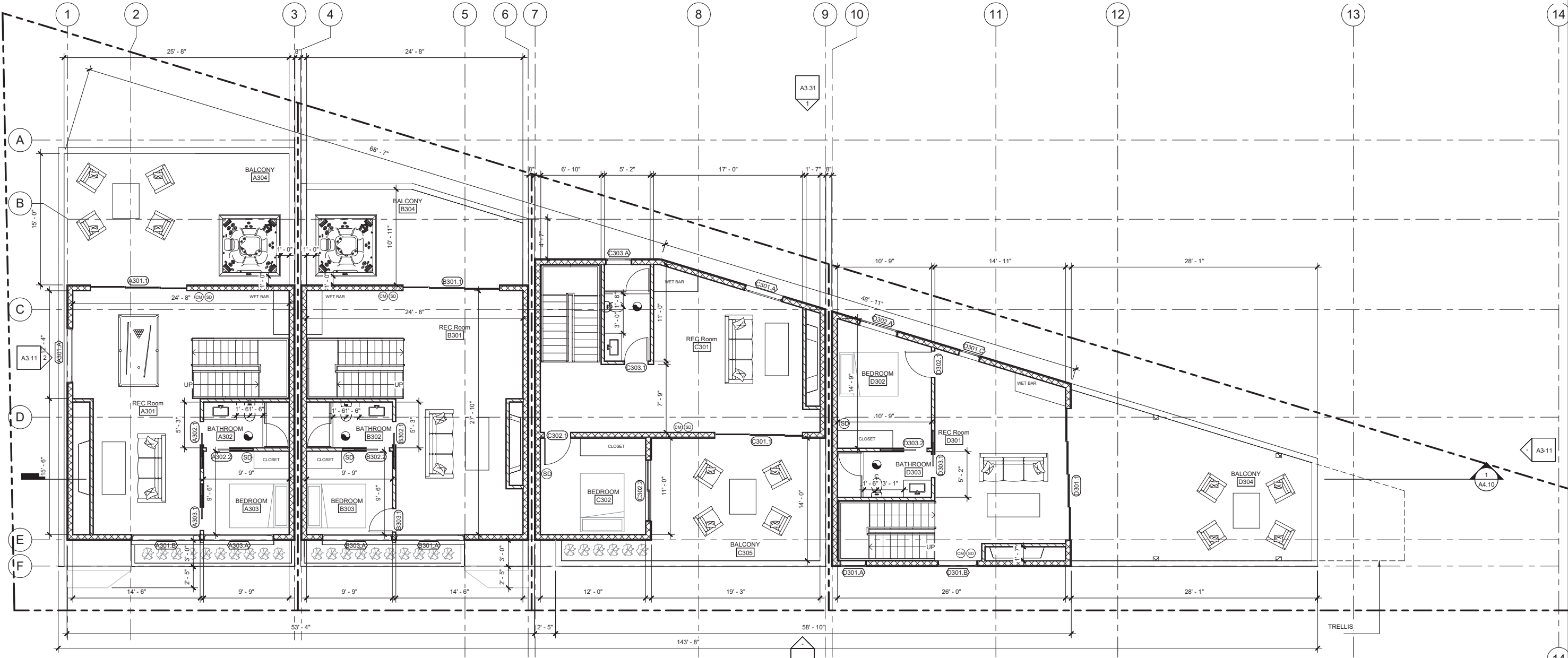
FLOOR PLAN LEGEND

- FLOOR TYPE
- 1 HR
- 2 HR
- SD SMOKE DETECTOR
- CM CARBON MONOXIDE
- EXHAUST (GENERAL NOTES #2,3)
- X WINDOW TAG
- XXX DOOR TAG
- WALL TYPE
- X-X" ELEVATION MARKER
- PROPERTY LINE
- ACCESSIBLE ROUTE
- SEWER LINE

EXHIBIT "A"

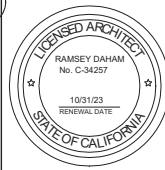
Page No. 11 of 19

Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



breakformdesign

109 eucalyptus drive, al segundo, ca 90245  
[o] 310.322.3700



11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

REVISIONS

3RD FLOOR PLAN

DRAWN	NH
CHECKED	PNK
DATE	10/19/2022 12:04:08 PM
SCALE	As indicated
JOB #	21-A014

A2.30

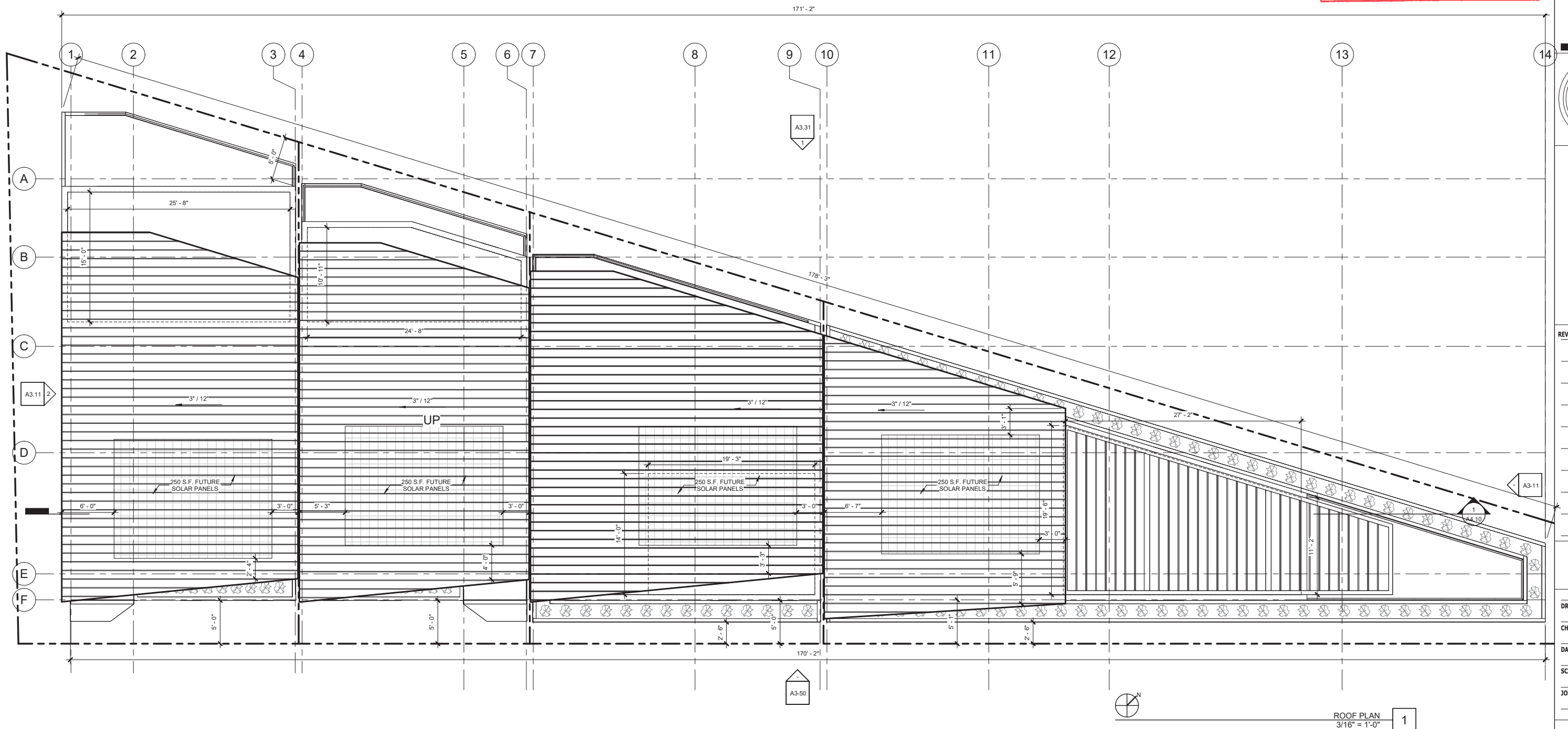
**Case No.** APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA

---

[o] 310.322.3700

[illegible]

A2.40



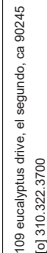
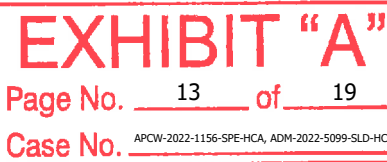


135 SF / 348 SF = 38% OPEN

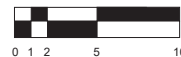


PROJECT USES BOARD FORMED CONCRETE VENEERS, BLACK STAINED CEDAR STRIPS, NATURAL CEDAR, BLACK METAL FLASHING, AND CONCRETE TO MINIMIZE GLARE AND REFLECTED HEAT.

ELEVATION MARKER



A3.10



(FLOOR OPENING AREA / WALL AREA = %15 MIN OPENINGS)

UNIT A

2ND FLOOR

90 SF / 260 SF = 34% OPEN

3RD FLOOR

87 SF / 344 SF = 25% OPEN

UNIT B

2ND FLOOR

90 SF / 260 SF = 34% OPEN

3RD FLOOR

87 SF / 340 SF = 25% OPEN

UNIT C

2ND FLOOR

90 SF / 462 SF = 19% OPEN

3RD FLOOR

51 SF / 332 SF = 15% OPEN

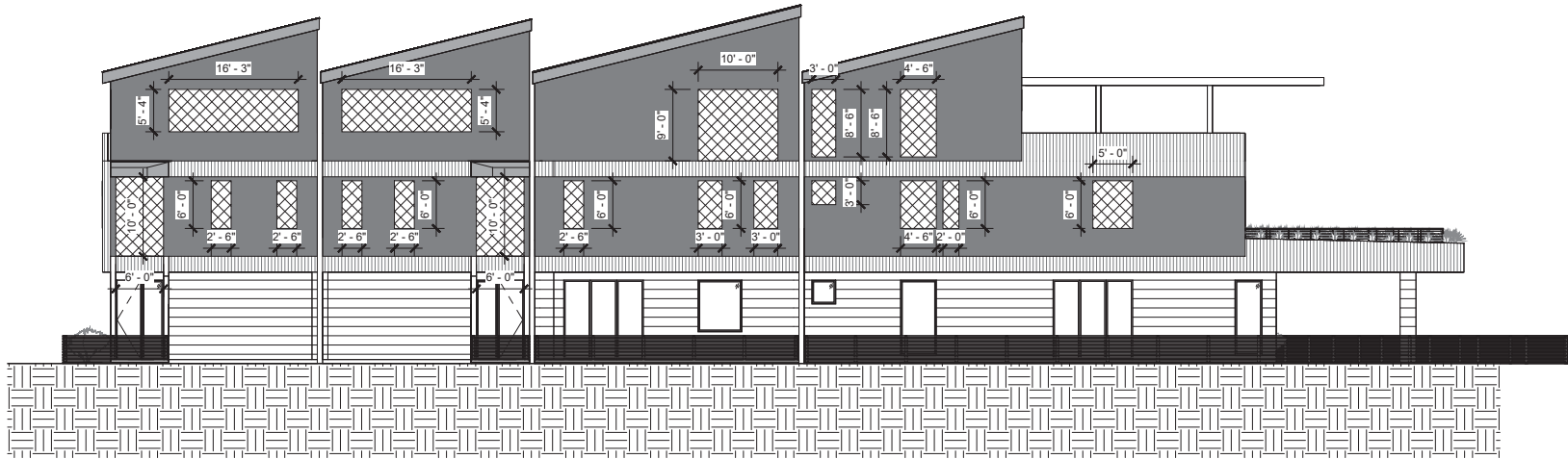
UNIT D

2ND FLOOR

78 SF / 530 SF = 15% OPEN

3RD FLOOR

63 SF / 362 SF = 17% OPEN



SOUTH ELEVATION OPENING DIAGRAM  
3/32" = 1'-0"

2

ELEVATION NOTES:

EXTERIOR LIGHTING:

1. ALL EXTERIOR LIGHTING FIXTURES SHALL BE ENERGY EFFICIENT
2. LIGHTING MUST BE ARCHITECTURALLY INTEGRATED.
3. MUST BE DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES
4. SHALL BE SHIELDED OR RECESSED TO CONFINE GLARE AND REFLECTIONS TO THE SUBJECT SITE.

WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE.  
THIS RECESS SHALL NOT BE ACCOMPLISHED BY THE USE OF PLANT-ON MOLDINGS AROUND THE WINDOW OR DOOR. FLUSH FINISH WINDOW INSTALLATIONS ARE ONLY PERMITTED WHEN A GLASS CURTAIN WALL, SPANDREL GLASS, OR OTHER SIMILAR DESIGN APPROACH IS USED  
SEE PAGE #A0.14

PROJECT USES BOARD FORMED CONCRETE VENEERS, BLACK STAINED CEDAR STRIPS, NATURAL CEDAR, BLACK METAL FLASHING, AND CONCRETE TO MINIMIZE GLARE AND REFLECTED HEAT.



ELEVATION LEGEND

BOARD FORMED  
CONCRETE VENEER



1X2 CEDAR STRIPS  
(BLACK STAIN)



NATURAL T&G CEDAR  
CLEAR A GRADE COLOR SORTED  
(LIGHT)



BLACK METAL FLASHING



CONCRETE



PROPERTY LINE (PL)



1 HR



2 HR



WINDOW TAG



DOOR TAG

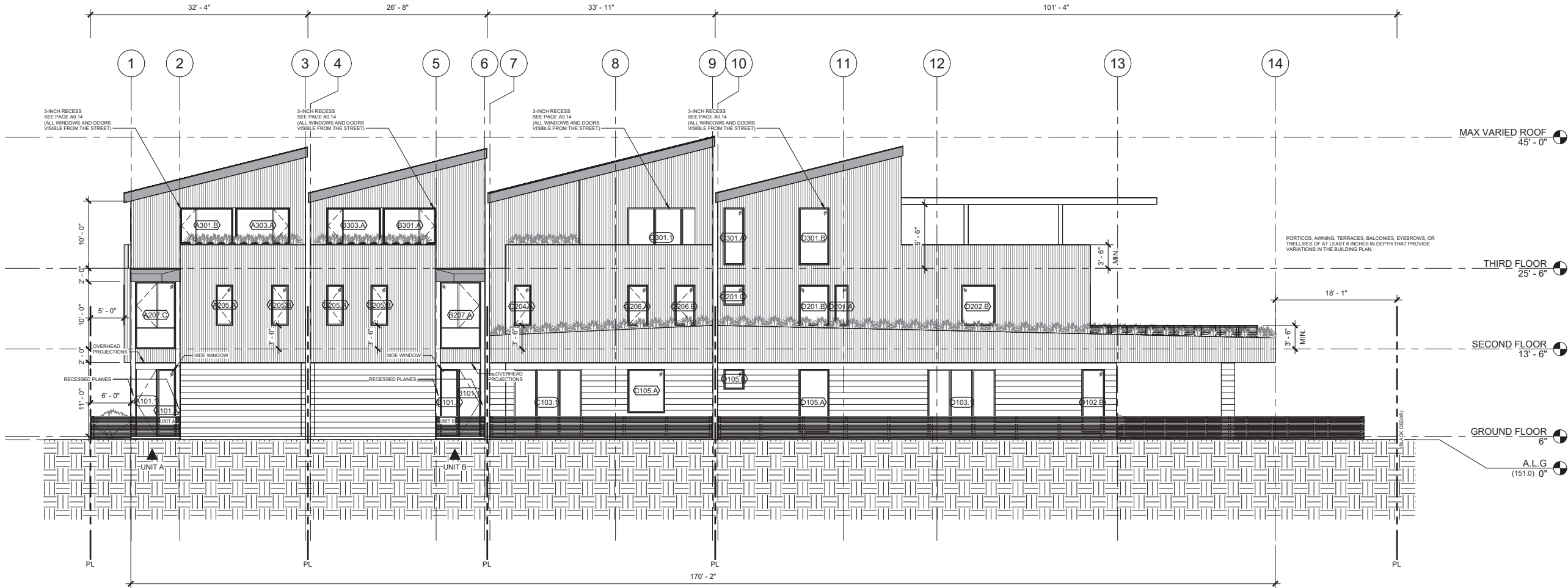


ELEVATION MARKER

EXHIBIT "A"

Page No. 14 of 19

Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



SOUTH ELEVATION  
1/8" = 1'-0"

1



breakformdesign



11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

REVISIONS


SOUTH  
ELEVATION

DRAWN NH

CHECKED PNK

DATE 10/19/2022

12:04:31 PM

SCALE As indicated












JOB # 21-A014

A3.20



UNIT D	UNIT C	UNIT B	UNIT A
<p><u>2ND FLOOR</u></p> <p>84 SF / 550 SF = 15% OPEN</p> <p><u>3RD FLOOR</u></p> <p>57 SF / 362 SF = 16% OPEN</p>	<p><u>2ND FLOOR</u></p> <p>75 SF / 333 SF = 22% OPEN</p> <p><u>3RD FLOOR</u></p> <p>55 SF / 365 SF = 15% OPEN</p>	<p><u>2ND FLOOR</u></p> <p>99 SF / 260 SF = 34% OPEN</p> <p><u>3RD FLOOR</u></p> <p>64 SF / 340 SF = 25% OPEN</p>	<p><u>2ND FLOOR</u></p> <p>99 SF / 263 SF = 34% OPEN</p> <p><u>3RD FLOOR</u></p> <p>81 SF / 344 SF = 25% OPEN</p>

2

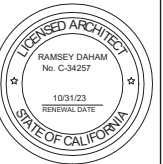
	<b><u>ELEVATION LEGEND</u></b>
	BOARD FORMED CONCRETE VENEER
	1X2 CEDAR STRIPS (BLACK STAIN)
	NATURAL T&G CEDAR CLEAR A GRADE COLOR SORTED (LIGHT)
	BLACK METAL FLASHING
	CONCRETE
	PROPERTY LINE (PL)
	1 HR
	2 HR
	WINDOW TAG
	DOOR TAG
	ELEVATION MARKER

**EXHIBIT "A"**  
Page No. 15 of 19  
Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



---

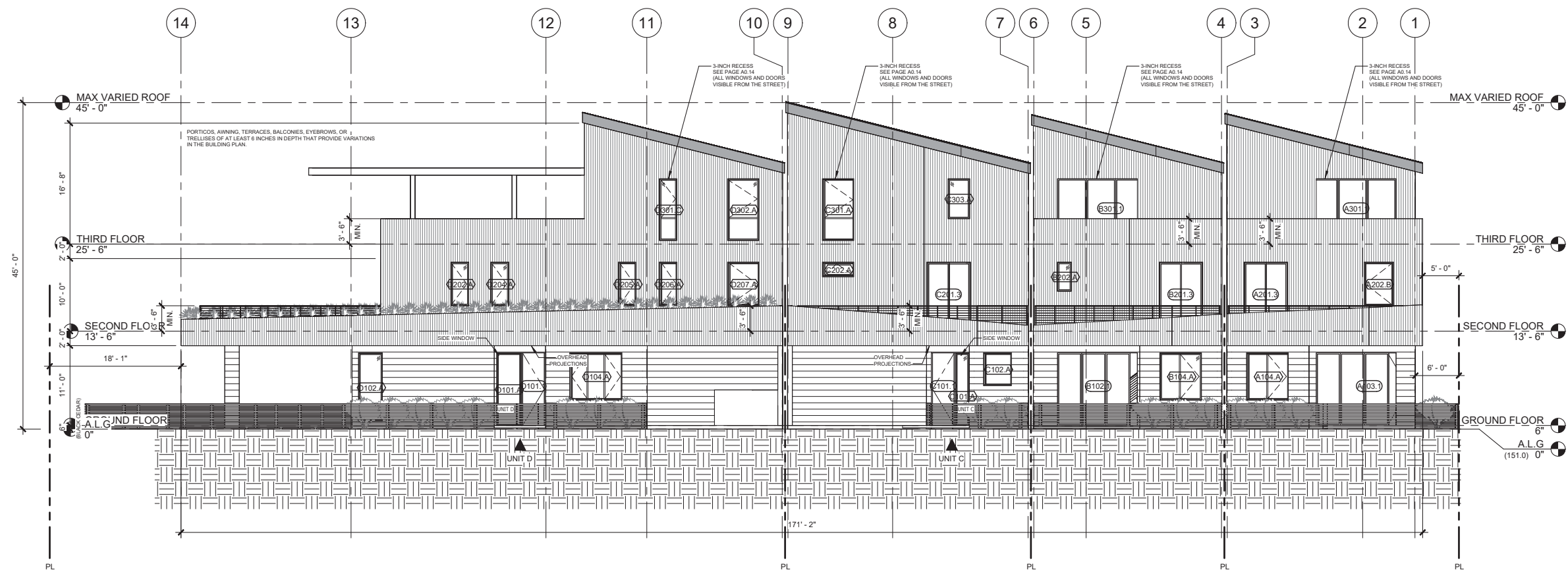
[o] 310.322.3700



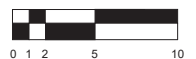
11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

[illegible]

A3.30



NORTH ELEVATION  
1/8" = 1'-0"



### SECTION LEGEND

— — — — 1 HR

--- 2 HR



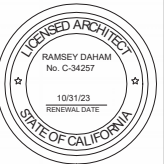
ELEVATION MARKER

— — — — PROPERTY LINE

## EXHIBIT "A"

Page No. 16 of 19

**Case No.** APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

## REVISIONS

## SECTIONS

**DRAWN**    NH

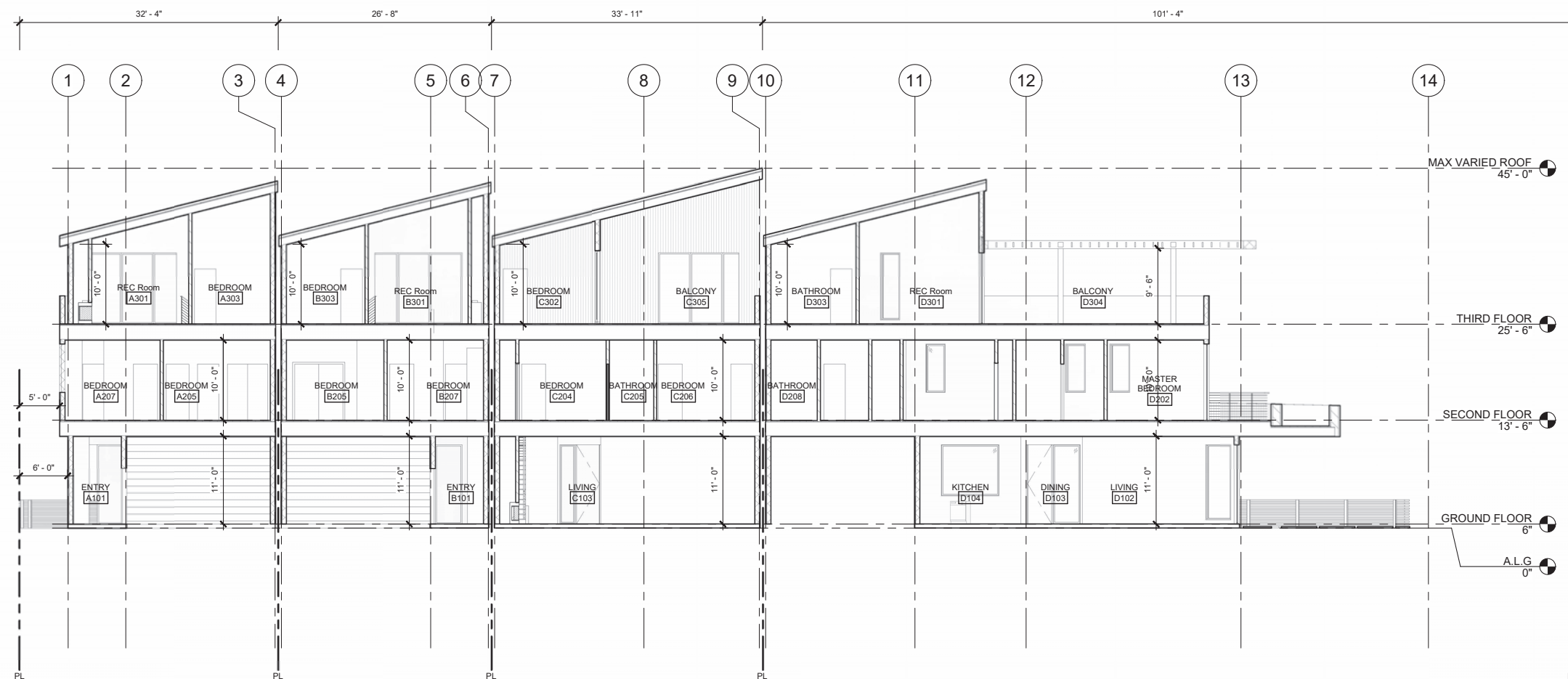
**CHECKED** PNK

DATE 10/19/2022  
12:04:41 PM

**SCALE** As indicated

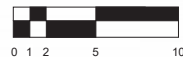
**JOB #** 21-A014

A4.10

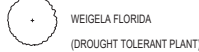


SECTION G  
1/8" = 1'-0"

1





 DICHONDRA ARGENTEA

CERCIS SILIQUASTRUM

1

L1.10

# breakform design

109 eucalyptus drive, el segundo, ca 90245  
[o] 310.322.3700

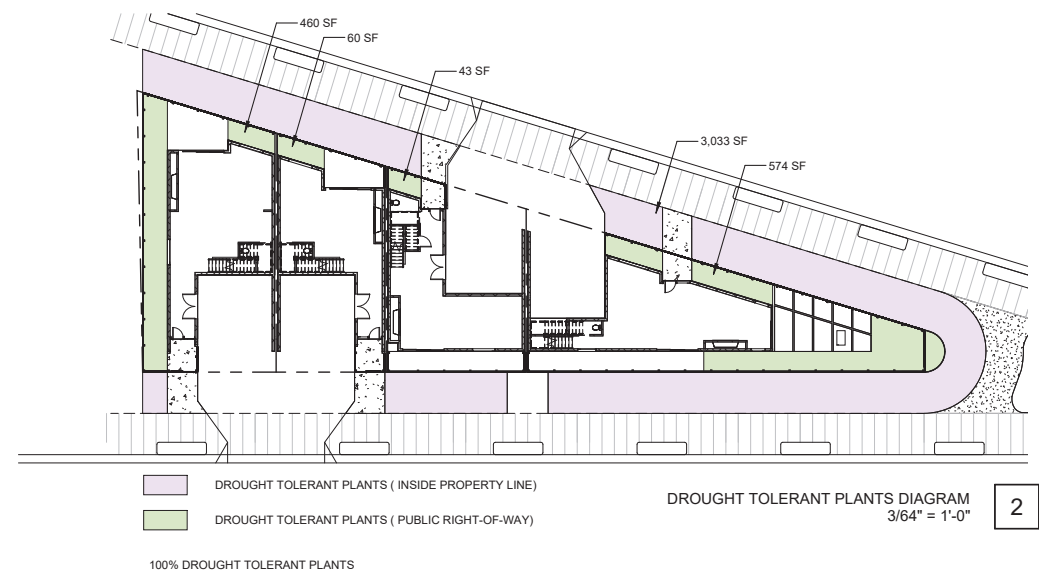
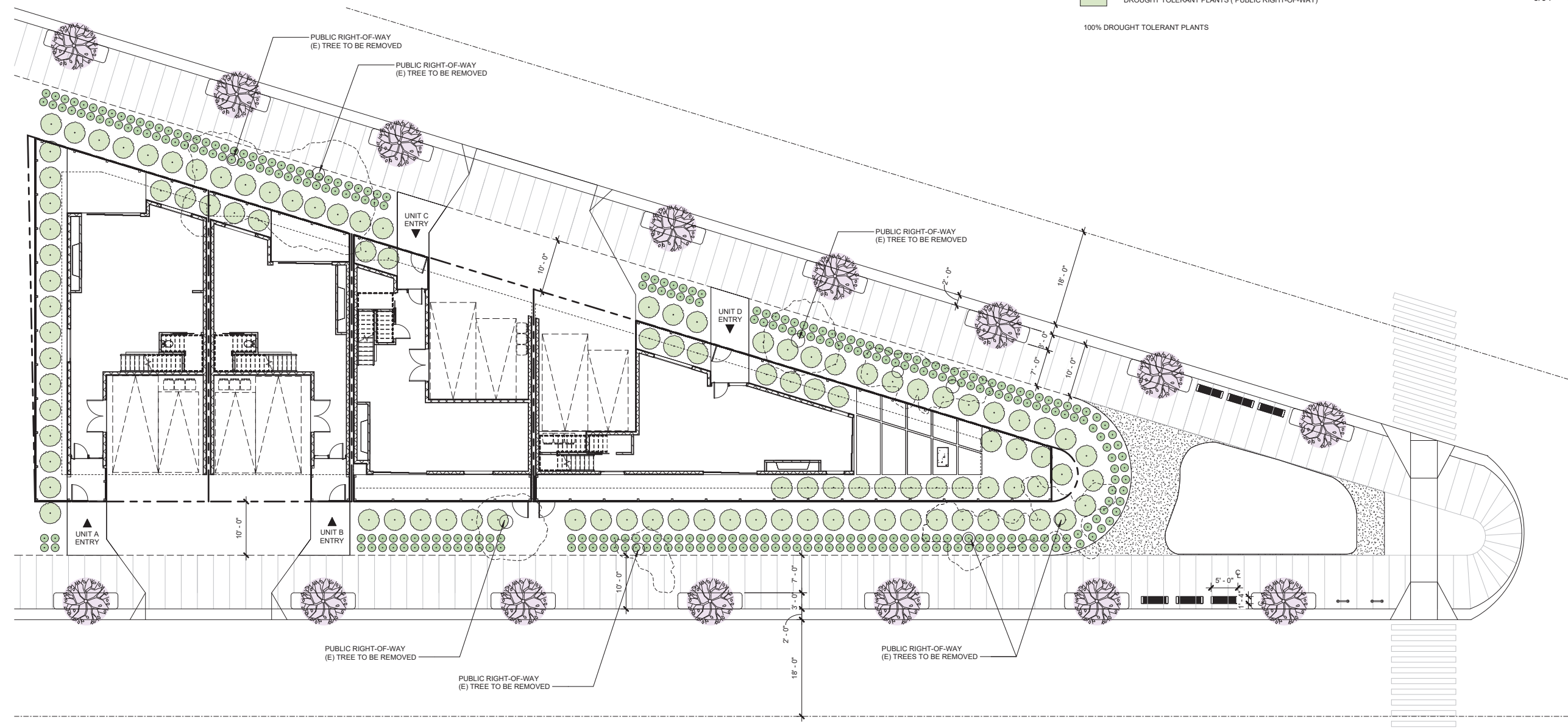


11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

[illegible]LANDSCAPE  
PLAN

---

L1.10



# EXHIBIT "A"

Page No. 18 of 19  
Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA

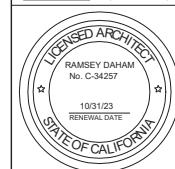
LANDSCAPE PLAN  
1" = 10'-0"

1

L1.20

# breakform design

109 eucalyptus drive, el segundo, ca 90245  
[o] 310.322.3700



11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

## REVISIONS

LANDSCAPE  
PLAN

DRAWN NH

CHECKED PNK

DATE 10/19/2022  
12:04:48 PM

**SCALE** As indicated

**JOB #** 21-A014

L1.20



