







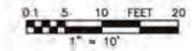




**SURVEY CERTIFICATION**

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS PLAT CONSISTING OF ONE SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN JULY, 2021; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN. THIS SURVEY DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.

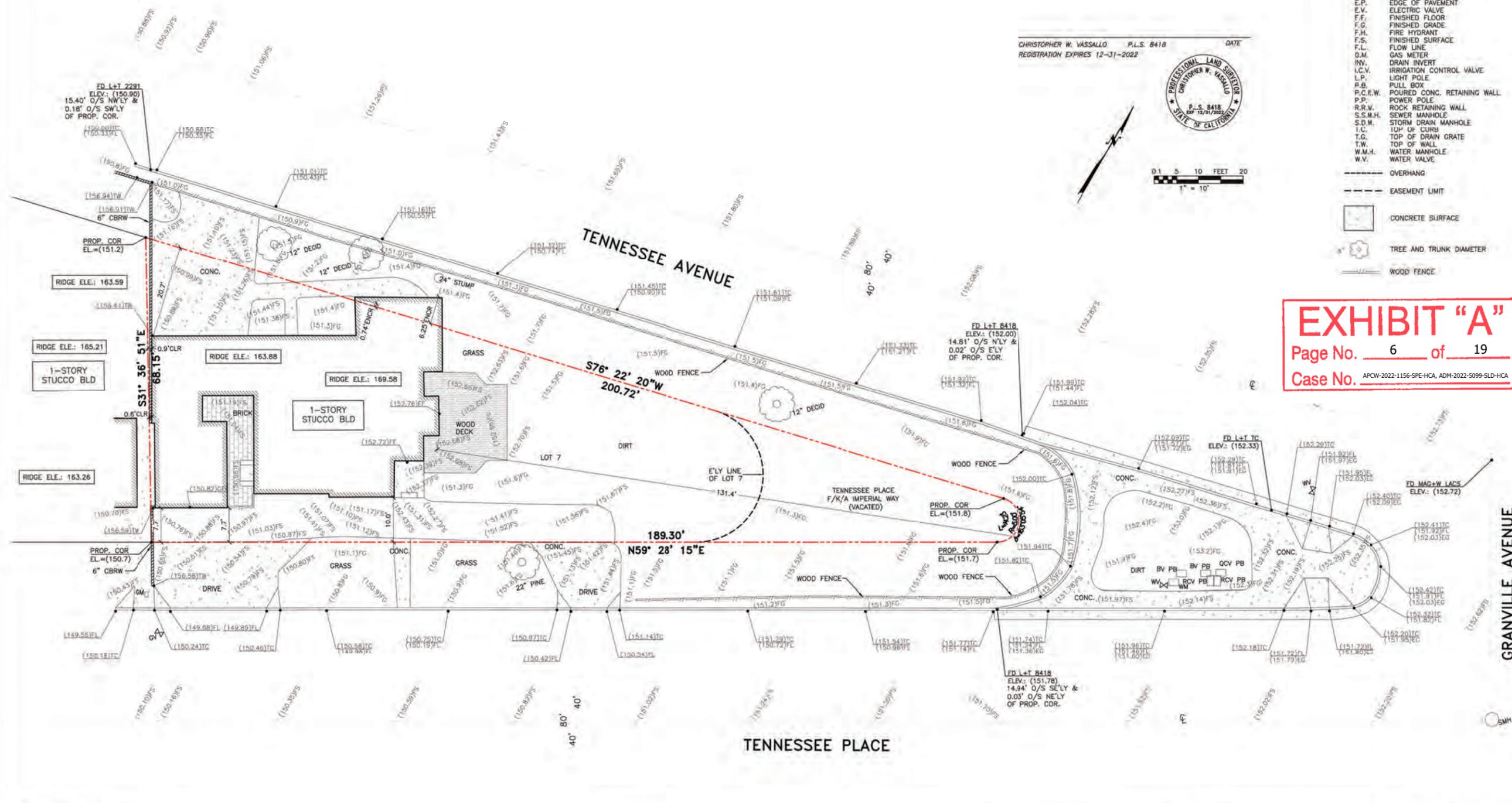
CHRISTOPHER W. VASSALLO P.L.S. 8418 DATE  
REGISTRATION EXPIRES 12-31-2022



**LEGEND**

- A.C. ASPHALT CONCRETE PAVEMENT
  - B.M. BENCH MARK
  - C.B.W. CONCRETE BLOCK WALL
  - C.B.R.W. CONCRETE BLOCK RETAINING WALL
  - CONC. CONCRETE
  - C/O SEWER CLEANOUT
  - D.W.Y. CONC. DRIVEWAY APRON
  - E.G. EDGE OF GUTTER
  - E.M. ELECTRIC METER
  - E.P. EDGE OF PAVEMENT
  - E.V. ELECTRIC VALVE
  - F.F. FINISHED FLOOR
  - F.G. FINISHED GRADE
  - F.H. FIRE HYDRANT
  - F.S. FINISHED SURFACE
  - F.L. FLOW LINE
  - G.M. GAS METER
  - INV. DRAIN INVERT
  - I.C.V. IRRIGATION CONTROL VALVE
  - L.P. LIGHT POLE
  - P.B. PULL BOX
  - P.C.R.W. POURED CONC. RETAINING WALL
  - P.P. POWER POLE
  - R.R.W. ROCK RETAINING WALL
  - S.S.M.H. SEWER MANHOLE
  - S.D.M. STORM DRAIN MANHOLE
  - T.C. 10" OR CURB
  - T.G. TOP OF DRAIN GRATE
  - T.W. TOP OF WALL
  - W.M.H. WATER MANHOLE
  - W.V. WATER VALVE
- 
- OVERHANG
  - EASEMENT LIMIT
  - CONC. SURFACE
  - TREE AND TRUNK DIAMETER
  - WOOD FENCE

**EXHIBIT "A"**  
Page No. 6 of 19  
Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



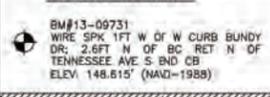
**PLEASE NOTE**

IF THIS DRAWING IS PROVIDED IN AN ELECTRONIC FORMAT (VIA EMAIL OR ON COMPUTER DISC) AS A COURTESY TO OUR CLIENT, THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. IN THE EVENT THE ELECTRONIC FILE IS ALTERED THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. PACIFIC LAND CONSULTANTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY PACIFIC LAND CONSULTANTS, INC.

**UNDERGROUND UTILITIES**

ALL INFORMATION SHOWN HEREON REGARDING UNDERGROUND UTILITIES WAS TAKEN FROM VISIBLE SURFACE EVIDENCE OR SOURCES NOT CONNECTED WITH THIS COMPANY AND WHILE SAID INFORMATION IS BELIEVED CORRECT, NO LIABILITY IS ASSUMED FOR THE ACCURACY OR COMPLETENESS OF SAID DATA.

**BENCHMARK**



**LEGAL DESCRIPTION**

LOT 7 OF TRACT NO. 11968 AND PART OF TENNESSEE PLACE (F/K/A IMPERIAL WAY) VACATED BY THE CITY OF LOS ANGELES, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 226 PAGE 5 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AREA = 7,463.36 SQ.FT. APN# 4259-037-003



PACIFIC LAND CONSULTANTS, INC.  
28441 HIGHRISE RD, SUITE 230  
ROLLING HILLS ESTATES, CA 90274  
(310) 544-8689

DRAWN BY: J.C.M.  
PROJECT SITE: 11835 TENNESSEE PLACE, LOS ANGELES, CA

|                        |
|------------------------|
| FILE NAME: 21075LS.DWG |
| DATE: 8-11-2021        |
| SCALE: 1" = 10'        |
| JOB NO. 21075          |
| SHEET 1 OF 1           |

**NOTES:**

- PROPERTY OWNER SHALL REPAIR OR REPLACE ANY DAMAGED, DEFECTIVE, OFF-GRADE, OR ANY NON-CONFORMING SIDEWALK, DRIVEWAY APPROACH, OR NON-CONFORMING CONDITIONS THAT EXIST IN THE PUBLIC RIGHT OF WAY AND BE CONSIDERED HAZARDOUS BY THE CITY ENGINEER (MUNICIPAL ORDINANCE 9.08.415). THIS WORK WILL REQUIRE A SEPARATE PERMIT THROUGH ENGINEERING DIVISION AND MUST BE OBTAINED BY A LICENSED CONTRACTOR AND COMPLETED PRIOR TO FINAL INSPECTION.
  - PROPERTY OWNER SHALL REPLACE THE PARKWAY WITH DROUGHT TOLERANT PLANTS ACCORDING TO THE CITY'S PARKWAY PLANTING GUIDELINES WHICH CAN BE OBTAINED HERE: <https://www.ci.valerity.org/home/showdocument?id=3573>
  - APPLICANT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH APPLICANT/OWNER, PW INSPECTOR, AND CONTRACTOR PRIOR TO APPROVING PLANS.
- UTILITY NOTES**
- ELECTRIC METER - LOCATED IN BASEMENT TO CONNECT TO NEAREST POWERPOL
  - MAIN SEWER LINE RUNS ALONG ALLEY. LATERAL TO BE CONNECTED FROM PUMP IN BIKE STORAGE TO ALLEY.
- (SEE PAGE A1.22 FOR PRELIMINARY UTILITY PLAN AND ADDITIONAL NOTES)

| UNIT A                 | UNIT B                 | UNIT C                 | UNIT D                 | TOTAL PROJECT               |
|------------------------|------------------------|------------------------|------------------------|-----------------------------|
| GROUND FLOOR: 813 SF   | GROUND FLOOR: 645 SF   | GROUND FLOOR: 702 SF   | GROUND FLOOR: 749 SF   | UNIT A: 2,551 SF            |
| SECOND FLOOR: 1,121 SF | SECOND FLOOR: 949 SF   | SECOND FLOOR: 953 SF   | SECOND FLOOR: 975 SF   | UNIT B: 2,211 SF            |
| THIRD FLOOR: 617 SF    | THIRD FLOOR: 617 SF    | THIRD FLOOR: 623 SF    | THIRD FLOOR: 541 SF    | UNIT C: 2,278 SF            |
|                        |                        |                        |                        | UNIT D: 2,265 SF            |
| <b>TOTAL: 2,551 SF</b> | <b>TOTAL: 2,211 SF</b> | <b>TOTAL: 2,278 SF</b> | <b>TOTAL: 2,265 SF</b> | <b>UNIT TOTAL: 9,305 SF</b> |

| TOTAL PROJECT      |                 |
|--------------------|-----------------|
| UNIT A:            | 2,551 SF        |
| UNIT B:            | 2,211 SF        |
| UNIT C:            | 2,278 SF        |
| UNIT D:            | 2,265 SF        |
| <b>UNIT TOTAL:</b> | <b>9,305 SF</b> |

**ASSEMBLY TYPES**

- WALLS**
- 1 10' CONC. - BACK LAG PER STRUCT. AND SHORING (SEE 1/A6.20 FOR DETAIL)
  - 2 10' CONC. - FRONT LAG PER STRUCT. AND SHORING (SEE 2/A6.20 FOR DETAIL)
  - 3 CONC. PER STRC. (SEE 3/A6.20 FOR DETAIL)
  - 4 CMU PER STRC. (SEE 4/A6.20 FOR DETAIL)
  - 5 2x6 EXTERIOR WALL ASSM. W/ BOARD FORMED CONCRETE VENEER
  - 6 2x6 EXTERIOR WALL ASSM. W/ 1X2 CEDAR STRIPS
  - 7 2x4 INTERIOR WALL ASSM. (SEE 8/A6.20 FOR DETAIL)
  - 8 DOUBLE WALL ASSM. (SEE 9/A6.20 FOR DETAIL) 1-HR
  - 9 CMU PER STRC W/ INTERIOR WALL ASSM. (SEE 10/A6.20 FOR DETAIL) 2-HR

- FLOORS**
- 1 CONC FLOOR PER STRC. W/ WOOD FINISH (SEE 1/A6.40 FOR DETAIL)
  - 2 CONC FLOOR PER STRC. W/ TILE FINISH (SEE 2/A6.40 FOR DETAIL)
  - 3 WOOD JOIST PER STRC. W/ WOOD FINISH (SEE 3/A6.40 FOR DETAIL)
  - 4 WOOD JOIST PER STRC. W/ TILE FINISH (SEE 4/A6.40 FOR DETAIL)
  - 5 WOOD JOIST PER STRC. W/ WOOD DECKING (SEE 5/A6.40 FOR DETAIL)
  - 6 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (SEE 6/A6.40 FOR DETAIL)
  - 7 WOOD JOIST PER STRC. W/ PEDESTAL DECK TILE (SEE 7/A6.40 FOR DETAIL)

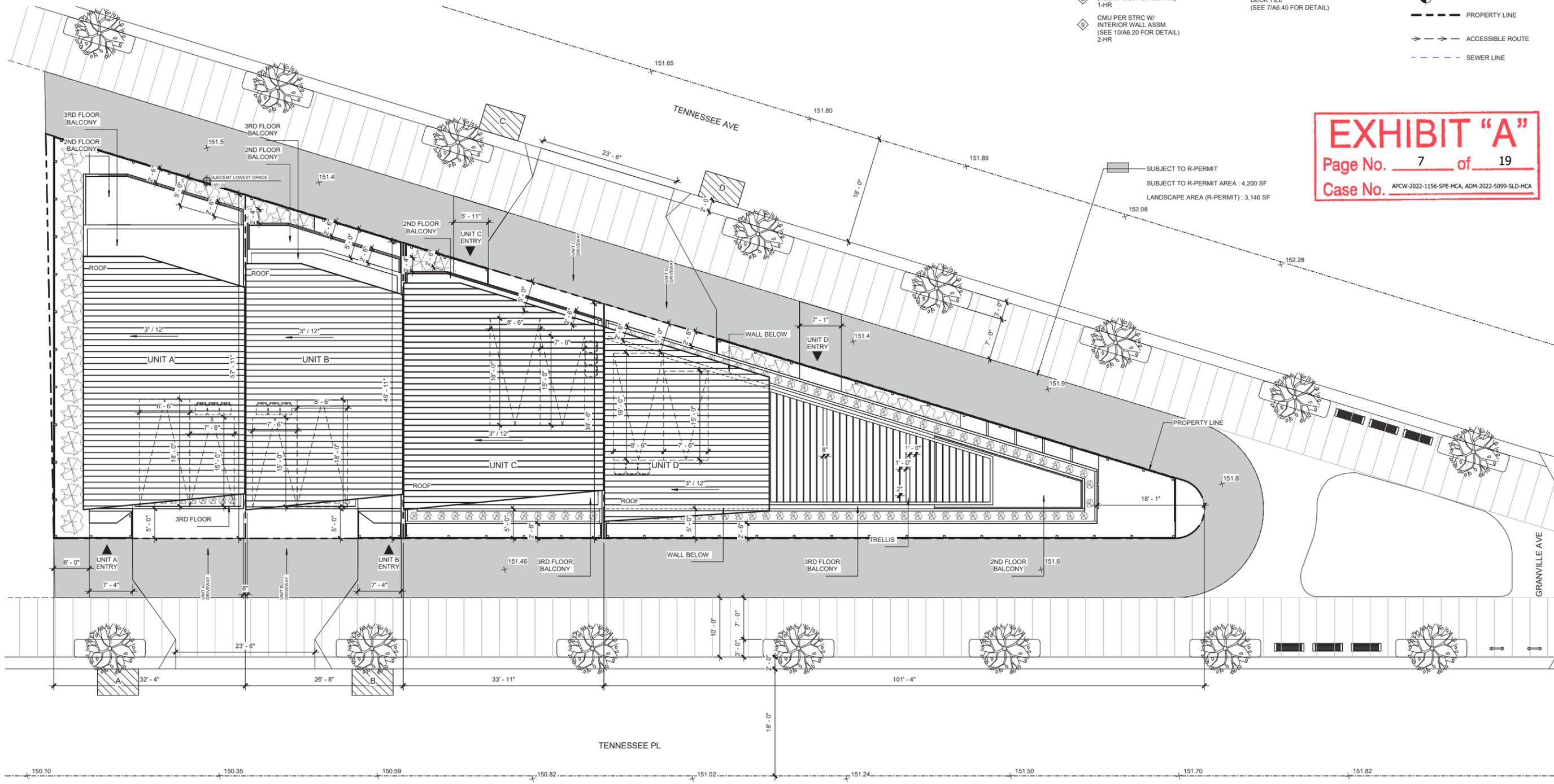
**FLOOR PLAN LEGEND**

- FLOOR TYPE
- 1 HR
- 2 HR
- SMOKE DETECTOR
- CARBON MONOXIDE
- EXHAUST (GENERAL NOTES #2,3)
- WINDOW TAG
- DOOR TAG
- WALL TYPE
- ELEVATION MARKER
- PROPERTY LINE
- ACCESSIBLE ROUTE
- SEWER LINE

**EXHIBIT "A"**

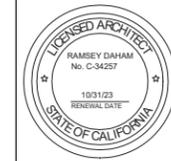
Page No. 7 of 19

Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-STD-HCA



**breakformdesign**

109 eucalyptus drive, el segundo, ca 90245  
[o] 310.322.3700



11835 TENNESSEE PL, LOS ANGELES, CA 90064

**REVISIONS**

| NO. | DESCRIPTION |
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**SITE PLAN**

|                |                           |
|----------------|---------------------------|
| <b>DRAWN</b>   | NH                        |
| <b>CHECKED</b> | PNK                       |
| <b>DATE</b>    | 10/19/2022<br>12:04:03 PM |
| <b>SCALE</b>   | As indicated              |
| <b>JOB #</b>   | 21-A014                   |

SIT PLAN 1

1/8" = 1'-0"

A1.00





| UNIT A                 | UNIT B               | UNIT C               | UNIT D               |
|------------------------|----------------------|----------------------|----------------------|
| GROUND FLOOR: 813 SF   | GROUND FLOOR: 645 SF | GROUND FLOOR: 702 SF | GROUND FLOOR: 749 SF |
| SECOND FLOOR: 1,121 SF | SECOND FLOOR: 949 SF | SECOND FLOOR: 953 SF | SECOND FLOOR: 975 SF |
| THIRD FLOOR: 617 SF    | THIRD FLOOR: 617 SF  | THIRD FLOOR: 623 SF  | THIRD FLOOR: 541 SF  |
| TOTAL: 2,551 SF        | TOTAL: 2,211 SF      | TOTAL: 2,278 SF      | TOTAL: 2,265 SF      |

| TOTAL PROJECT |          |
|---------------|----------|
| UNIT A:       | 2,551 SF |
| UNIT B:       | 2,211 SF |
| UNIT C:       | 2,278 SF |
| UNIT D:       | 2,265 SF |
| UNIT TOTAL:   | 9,305 SF |

**FLOOR PLAN NOTES:**

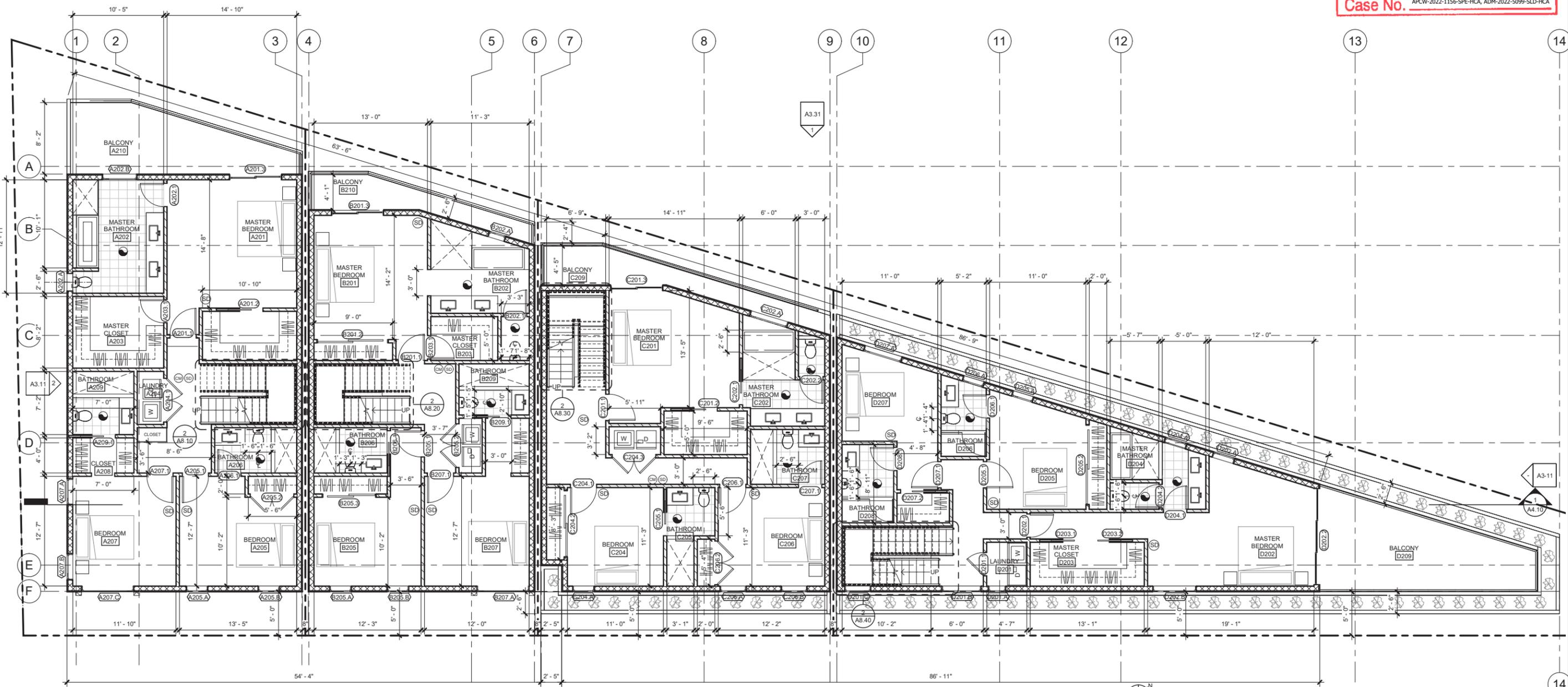
- SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.

| ASSEMBLY TYPES   | FLOORS  | FLOOR PLAN LEGEND   |
|--|---|---|
| <b>WALLS</b><br>① 10" CONC. - BACK LAG PER STRUCT. AND SHORING (SEE 1/A6.40 FOR DETAIL)<br>② 10" CONC. - FRONT LAG PER STRUCT. AND SHORING (SEE 2/A6.20 FOR DETAIL)<br>③ CONC. PER STRC. (SEE 3/A6.20 FOR DETAIL)<br>④ CMU PER STRC. (SEE 4/A6.20 FOR DETAIL)<br>⑤ 2x6 EXTERIOR WALL ASSM. W/ BOARD FORMED CONCRETE VENEER<br>⑥ 2x6 EXTERIOR WALL ASSM. W/ 1X2 CEDAR STRIPS<br>⑦ 2x4 INTERIOR WALL ASSM. (SEE 8/A6.20 FOR DETAIL)<br>⑧ DOUBLE WALL ASSM. (SEE 9/A6.20 FOR DETAIL) 1-HR<br>⑨ CMU PER STRC W/ INTERIOR WALL ASSM. (SEE 10/A6.20 FOR DETAIL) 2-HR | <b>FLOORS</b><br>④ CONC FLOOR PER STRC. W/ WOOD FINISH (SEE 1/A6.40 FOR DETAIL)<br>④ CONC FLOOR PER STRC. W/ TILE FINISH (SEE 2/A6.40 FOR DETAIL)<br>④ WOOD JOIST PER STRC. W/ WOOD FINISH (SEE 3/A6.40 FOR DETAIL)<br>④ WOOD JOIST PER STRC. W/ TILE FINISH (SEE 4/A6.40 FOR DETAIL)<br>④ WOOD JOIST PER STRC. W/ WOOD DECKING (SEE 5/A6.40 FOR DETAIL)<br>④ WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (SEE 6/A6.40 FOR DETAIL)<br>④ WOOD JOIST PER STRC. W/ PEDESTAL DECK TILE (SEE 7/A6.40 FOR DETAIL) | <b>FLOOR PLAN LEGEND</b><br>FLOOR TYPE<br>--- 1 HR<br>--- 2 HR<br>(SD) SMOKE DETECTOR<br>(CM) CARBON MONOXIDE<br>(E) EXHAUST (GENERAL NOTES #2.3)<br>(X) WINDOW TAG<br>(XXX) DOOR TAG<br>(X-X) WALL TYPE<br>(X-X) ELEVATION MARKER<br>--- PROPERTY LINE<br>--- ACCESSIBLE ROUTE<br>--- SEWER LINE |

**EXHIBIT "A"**

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Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



SECOND FLOOR  
3/16" = 1'-0"

1

0 1 2 5 10

**breakformdesign**

109 eucalyptus drive, el segundo, ca 90245  
(o) 310.322.3700



11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

**REVISIONS**

| NO. | DESCRIPTION |
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**2ND FLOOR PLAN**

|         |                           |
|---------|---------------------------|
| DRAWN   | NH                        |
| CHECKED | PNK                       |
| DATE    | 10/19/2022<br>12:04:08 PM |
| SCALE   | As indicated              |
| JOB #   | 21-A014                   |

A2.20



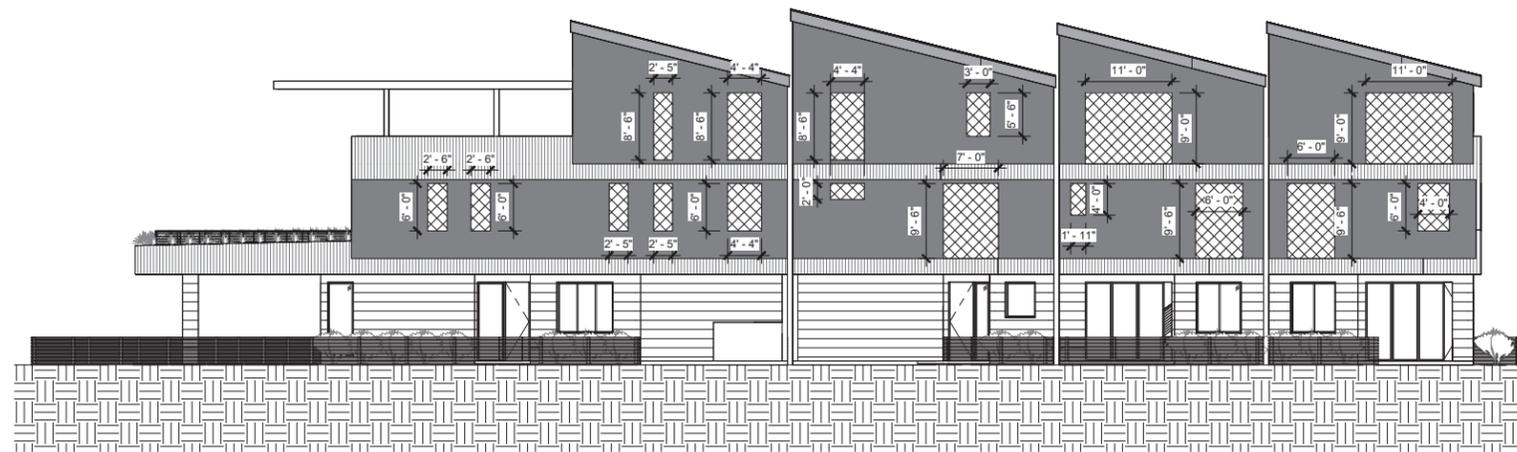






(FLOOR OPENING AREA / WALL AREA = %15 MIN OPENINGS)

| UNIT D                    | UNIT C                    | UNIT B                    | UNIT A                    |
|---------------------------|---------------------------|---------------------------|---------------------------|
| <b>2ND FLOOR</b>          | <b>2ND FLOOR</b>          | <b>2ND FLOOR</b>          | <b>2ND FLOOR</b>          |
| 84 SF / 550 SF = 15% OPEN | 75 SF / 333 SF = 22% OPEN | 99 SF / 260 SF = 34% OPEN | 99 SF / 263 SF = 34% OPEN |
| <b>3RD FLOOR</b>          | <b>3RD FLOOR</b>          | <b>3RD FLOOR</b>          | <b>3RD FLOOR</b>          |
| 57 SF / 362 SF = 16% OPEN | 55 SF / 365 SF = 15% OPEN | 64 SF / 340 SF = 25% OPEN | 81 SF / 344 SF = 25% OPEN |



NORTH ELEVATION OPENING DIAGRAM  
3/32" = 1'-0" 2

**ELEVATION NOTES:**

- EXTERIOR LIGHTING:
1. ALL EXTERIOR LIGHTING FIXTURES SHALL BE ENERGY EFFICIENT
  2. LIGHTING MUST BE ARCHITECTURALLY INTEGRATED.
  3. MUST BE DIRECTED DOWNWARD AND AWAY FROM ADJACENT PROPERTIES
  4. SHALL BE SHIELDED OR RECESSED TO CONFINE GLARE AND REFLECTIONS TO THE SUBJECT SITE.

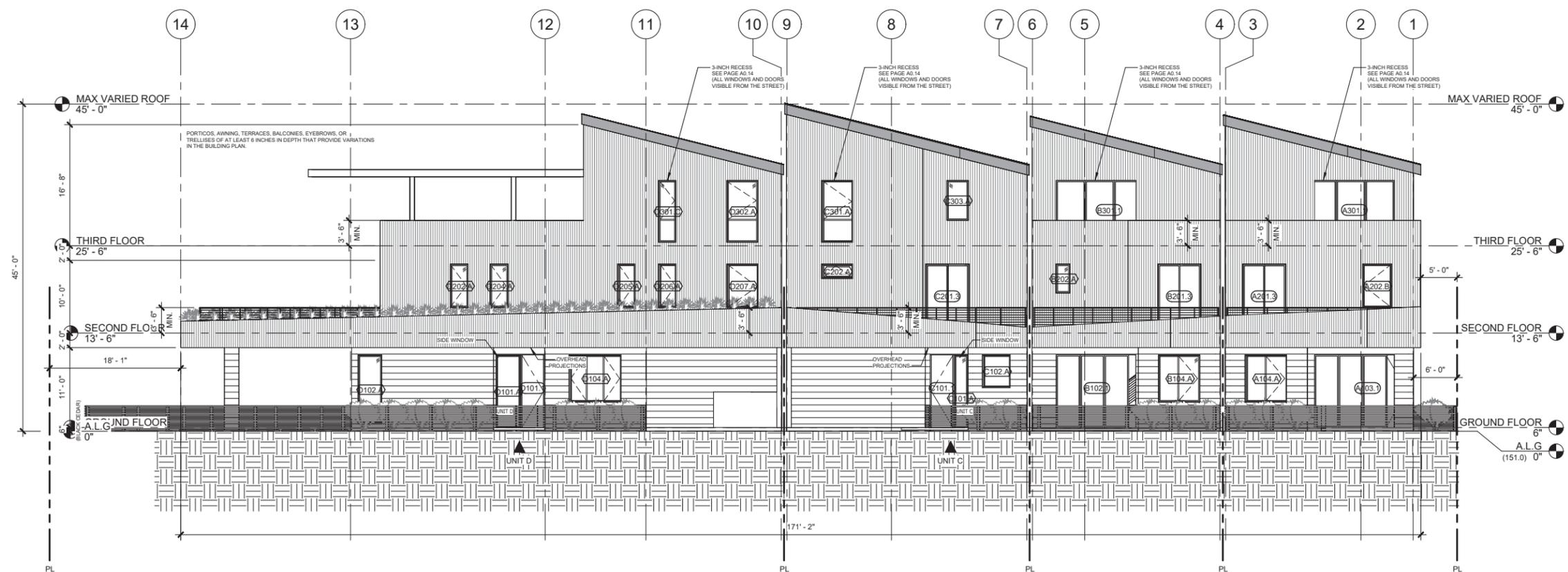
WINDOWS AND DOORS VISIBLE FROM THE STREET SHALL BE RECESSED AT LEAST 2 INCHES FROM THE BUILDING FACADE.  
THIS RECESS SHALL NOT BE ACCOMPLISHED BY THE USE OF PLANT-ON MOLDINGS AROUND THE WINDOW OR DOOR. FLUSH FINISH WINDOW INSTALLATIONS ARE ONLY PERMITTED WHEN A GLASS CURTAIN WALL, SPANDREL GLASS, OR OTHER SIMILAR DESIGN APPROACH IS USED  
SEE PAGE #A0.14

PROJECT USES BOARD FORMED CONCRETE VENEERS, BLACK STAINED CEDAR STRIPS, NATURAL CEDAR, BLACK METAL FLASHING, AND CONCRETE TO MINIMIZE GLARE AND REFLECTED HEAT.

**ELEVATION LEGEND**

|  |  |
|--|--|
|  | BOARD FORMED CONCRETE VENEER                         |
|  | 1X2 CEDAR STRIPS (BLACK STAIN)                       |
|  | NATURAL T&G CEDAR CLEAR A GRADE COLOR SORTED (LIGHT) |
|  | BLACK METAL FLASHING                                 |
|  | CONCRETE   |
|  | PROPERTY LINE (PL)                                   |
|  | 1 HR   |
|  | 2 HR   |
|  | WINDOW TAG   |
|  | DOOR TAG   |
|  | ELEVATION MARKER                                     |

**EXHIBIT "A"**  
Page No. 15 of 19  
Case No. APCW-2022-1156-SPE-HCA, ADM-2022-5099-SLD-HCA



NORTH ELEVATION  
1/8" = 1'-0" 1



**breakformdesign**  
109 eucalyptus drive, el segundo, ca 90245  
(o) 310.322.3700



11835 TENNESSEE  
PL, LOS ANGELES,  
CA 90064

**REVISIONS**

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**NORTH ELEVATION**

|         |                           |
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| DRAWN   | NH                        |
| CHECKED | PNK                       |
| DATE    | 10/19/2022<br>12:04:35 PM |
| SCALE   | As indicated              |
| JOB #   | 21-A014                   |

A3.30







APPENDIX D ENVIRONMENTAL STANDARDS

OVERVIEW

As described in Section 5 of this Specific Plan, these environmental standards are included to implement the Mitigation & Monitoring Program included as part of the Exposition Corridor Transit Neighborhood Plan (Specific Plan) Environmental Impact Report (Case No. ENV-2013-622-EIR; SCH# 2013031038), certified by the City Council on July 3, 2019 (ECTNP EIR). As described in this Appendix D some mitigation measures were implemented through regulations in this Specific Plan. Projects located within the Specific Plan boundaries, regardless of whether it is located within a Specific Plan Subarea or subject to "EC" zones, are required to comply with these environmental standards.

Compliance may be achieved through a covenant, conditions, plan notations, or other means determined reasonably effective by the Director of Planning or the decision-maker.

MITIGATION MEASURES

Aesthetics

- Mitigation Measure (Glare): In accordance with the Urban Design Standards of this Specific Plan: Visible exterior surfaces of the proposed structure, fencing, recreational equipment, or outdoor art installations shall be constructed of materials such as, but not limited to, high-performance end/or non-reflective tinted glass (without mirror-like tints or films), pre-cast concrete, fabricated wall surfaces, composite materials, wood, coated metal, and stone to minimize glare and reflected heat.

Air Quality

- Mitigation Measure (Location of Ventilation Equipment): In accordance with the Urban Design Standards of this Specific Plan: For Projects located

within 500 feet of a freeway and containing Sensitive Land Uses, locate air intakes for ventilation equipment as far from freeway sources as possible.

- Mitigation Measure (Window Operability Adjacent to Freeways): In accordance with the Urban Design Standards of this Specific Plan: Where a property containing a Sensitive Land Use abuts a freeway right-of-way, no operable windows, balconies, or patios are allowed on the side of the building that faces the freeway.
- Mitigation Measure (Landscape Buffer Adjacent to Freeways): In accordance with the Urban Design Standards of this Specific Plan: Projects containing a Sensitive Land Use abutting a freeway right-of-way shall provide a 10-foot-wide densely landscaped buffer from the Project's property line along the freeway.
- Mitigation Measure (Air Quality Best Practices): Projects shall ensure all contractors include the best management practices provided in the bulleted list below in contract specifications:

- Use properly tuned and maintained equipment.
- Use diesel-fueled construction equipment to be retrofitted with after treatment products (e.g., engine catalysts) to the extent they are readily available and feasible.
- Use heavy duty diesel-fueled equipment that uses low NOx diesel fuel to the extent it is readily available and feasible.
- Use construction equipment that uses low polluting fuels (i.e., compressed natural gas, liquid petroleum gas, and unleaded gasoline) to the extent available and feasible.
- Maintain construction equipment in good operating condition to minimize air pollutants.
- Project applicants shall ensure that all construction equipment meets or exceeds equivalent emissions performance to that of U.S. Environmental Protection Agency (USEPA) Tier 4 standards for non-road engines. In the event that Tier 4 engines are not available for any off-road equipment larger than 100 horsepower, that equipment shall be equipped with a Tier 3 engine, or an engine that is equipped with retrofit controls to reduce exhaust emissions of nitrogen oxides and diesel particulate matter to no more than Tier 3 levels unless certified by engine manufacturers or the on-site air quality

construction mitigation manager that the use of such devices is not practical for specific engine types. For purposes of this condition, the use of such devices is "not practical" for the following, as well as other, reasons:

- There is no available retrofit control device that has been verified by either the CARB or USEPA to control the engine in question to Tier 3;
- The construction equipment is intended to be on site for five days or less; or
- Relief may be granted from this requirement if a good faith effort has been made to comply with this requirement and that compliance is not practical.
- The use of a retrofit control device may be terminated immediately, provided that a replacement for the equipment item in question meeting the required controls occurs within ten days of termination of the use, if the equipment would be needed to continue working at this site for more than 15 days after the use of the retrofit control device is terminated, if one of the following conditions exists:
  - The use of the retrofit control device is excessively reducing the normal availability of the construction equipment due to increased down time for maintenance, and/or reduced power output due to an excessive increase in back pressure;
  - The retrofit control device is causing or is reasonably expected to cause engine damage;
  - The retrofit control device is causing or is reasonably expected to cause a substantial risk to workers or the public; or
  - Any other seriously detrimental cause which has the approval of the project manager prior to implementation of the termination.

Construction contractors shall use electricity from power poles rather than temporary gasoline or diesel power generators, as feasible.

Use building materials, paints, sealants, mechanical equipment, and other materials that yield low air pollutants and are nontoxic.

Construction contractors shall utilize super-compliant architectural coatings as defined by the South Coast Air Quality Management District

(Volatile Organic Compound standard of less than ten grams per liter).

Construction contractors shall utilize materials that do not require painting, as feasible.

Construction contractors shall use pre-painted construction materials, as feasible.

Cultural Resources

Mitigation Measure (Archaeology): A qualified archaeologist is required to monitor excavation and grading activities in soils that have not been previously disturbed, to identify, record, and evaluate the significance of any archaeological resources or tribal cultural resources during construction. All cultural resources, including archeological and tribal cultural resources, identified on a site must be assessed and treated in a manner determined appropriate by a qualified archeologist in consultation with the City's Office of Historic Resources. A report shall be prepared according to current professional standards that describes the resource, how it was assessed, and disposition.

Mitigation Measure (Paleontology): A qualified paleontologist is required to monitor excavation and grading activities in soils that have not been previously disturbed. All paleontological resources identified on a project site must be assessed and treated in a manner determined by a qualified paleontologist in consultation with the City's Office of Historic Resources. A report shall be prepared according to current professional standards that describes the resource, how it was assessed, and disposition. Any reports and surveys shall be submitted to the City's Office of Historic Resources and the Natural History Museum of Los Angeles County.

Hydrology and Water Quality

Mitigation Measure (Flood Plains): In accordance with the Urban Design Standards of this Specific Plan: Buildings within a 100-year floodplain shall be designed and constructed a minimum of 1 foot above the 100-year flood water surface elevation to ensure the protection of structures from all flooding events.

Noise and Vibration

Mitigation Measure (Construction Noise and Vibration):

Haul Routes. Construction haul truck and materials delivery traffic shall avoid residential areas whenever feasible. If no alternatives are available, truck traffic shall be routed on streets with the fewest residences.

Construction Staging Areas. The construction contractor shall locate construction staging areas away from Sensitive Land Uses.

Construction Noise Barriers. When construction activities are located within 500 feet of Sensitive Land Uses, noise barriers (e.g., temporary walls or piles of excavated material) shall be constructed between activities and Sensitive Land Uses.

Vibrations. The construction contractor shall manage construction phasing (scheduling demolition, earthmoving, and ground-impacting operations so as not to occur in the same time period), use low-impact construction technologies, and shall avoid the use of vibrating equipment where possible to avoid construction vibration impacts.

Pile Driving Use and Location. Impact pile drivers shall be avoided where possible near Sensitive Land Uses. Drilled piles or the use of a sonic vibratory pile driver are quieter alternatives that shall be utilized where geological conditions permit their use. Noise shrouds shall be used when necessary to reduce noise of pile drilling/driving.

Pile Driving Control Measures: The construction contractor shall utilize alternatives to impact pile drivers, such as sonic pile drivers or caisson drills. If geotechnical limitations require the use of pile driving, control measures shall be used to reduce vibration levels. These measures may include, but are not limited to:

- Predrilled holes;
  - Cast-in-place or auger cast piles;
  - Pile cushioning (i.e., a resilient material placed between the driving hammer and the pile);
  - Jetting (i.e., pumping a mixture of air and water through high-pressure nozzles to erode the soil adjacent to the pile); and
  - Non-displacement piles (i.e., piles that achieve capacity from the end bearing rather than the pile shaft).
- Construction equipment shall be equipped with mufflers that comply with manufacturers' requirements.

The construction contractor shall use on-site electrical sources to power equipment rather than diesel generators where feasible.

Noise Control Measures. For development within NI(EC), HJ(EC), HR(EC), MU(EC), or NMUJ(EC) zones (Subareas 1-10) with a direct line-of-sight to adjacent residential and other Sensitive Land Uses, include the following best management practices printed on plans:

- Industrial activity yards that include the operation of heavy equipment shall be shielded by sound barriers that block line-of-sight to Sensitive Land Uses.
- Mechanical equipment (e.g., HVAC Systems) shall be enclosed with sound buffering materials.
- Truck loading/unloading activity shall be prohibited between the hours of 10 p.m. and 7 a.m. when located within 200 feet of a residential land use.

Utilities and Service Systems - Water Supply

Mitigation Measure (Plumbing):

- Residential shower stalls shall have no more than one showerhead per stall, with a maximum flow rate per City Ordinance.
- Toilets shall have a flush volume no more than 1.0 gallons of water per flush.
- All urinals shall be waterless.
- With the exception of those governed by City Ordinance No. 181480, all faucets shall be limited to a flow of 1.5 gallons per minute.
- Residential clothes washers shall be high-efficiency and have a water factor of 5.0 or less. Commercial clothes washers shall be high-efficiency and have a water factor of 7.5 or less.
- Domestic water heaters shall be located in close proximity to the point(s) of use, and all water heaters should be tankless and on-demand, where possible.
- Cooling towers shall have conductivity controllers or pH conductivity controllers.
- All residential units shall be either individually metered or sub-metered such that each unit is billed individually for its water use.

- All projects that involve the installation of a new internal rough plumbing system shall install a dual plumbing system such that toilets and industrial uses can be served by recycled water, if authorized by applicable law.
- Mitigation Measure (Landscaping and Pools):
  - The project applicant shall provide a landscape irrigation plan that indicates the location and size of each drip outlet, the specification for the weather-based irrigation controller, and the location and specification of the purple pipe that will service the system.
  - All irrigation systems shall be either drip, microspray, or subsurface depending on the type and number of plants the irrigation is servicing.
  - Where rotating sprinklers are needed for landscaping irrigation, they shall use a maximum of 0.5 gallons per minute.
  - Irrigation systems shall have a weather-based controller such that the system does not turn on during a storm event or when the soil has a moisture level sufficient to support the plant species.
  - Irrigation systems shall be designed to meet the water needs of different parts of the landscape (zoned irrigation).
  - Plants with similar water requirements shall be grouped together (hydro-zoning).
  - Where possible, landscaping contouring shall be used to minimize precipitation runoff.
  - All landscaping in the public right-of-way shall be drought tolerant. For landscaping on private property, a minimum of 70% shall be drought-tolerant.
  - All pools shall include a water-saving pool filter.
  - A leak detection system shall be installed on all swimming pools and jacuzzis.
  - Projects shall harvest rainwater and reuse on site where possible.
  - All irrigation systems shall be plumbed with a purple pipe to enable a connection to a recycled or gray water system once it is available.

Note: This list does not include all items currently required by the City per ordinance.

Transportation

- Mitigation Measure (Traffic Calming): In areas where implementation of a Project could result in diversion of traffic to adjacent residential streets, LADOT shall monitor traffic on identified residential streets, upon request submitted through the Council Office, to determine if traffic diversion occurs. If traffic on residential streets is found to be significantly impacted in accordance with current LADOT guidelines, LADOT shall work with the project applicant and neighborhood residents to survey and monitor the residential street segment(s) before and after project occupancy to assess the need for appropriate traffic calming measures. These measures may include, but are not limited to, the following:
  - Traffic circles
  - Speed humps
  - Roadway narrowing effects (e.g. raised medians, traffic chokers etc.)
  - Landscaping features
  - Roadway striping changes
  - Stop signs
- Mitigation Measure (Neighborhood Improvements): In addition to the aforementioned traffic calming measures, neighborhood improvements may be used to offset effects of additional traffic. These may include, but are not limited to, measures such as street trees, sidewalks, landscaping, neighborhood identification features, and pedestrian amenities. It shall be the project applicant's responsibility to implement any approved measures through the Bureau of Engineering's permit process.
- Mitigation Measure (Transportation Improvements): The following mitigations shall be made to the satisfaction of LADOT. Intersection numbers are as identified in the Environmental Impact Report.
  - Centinela Ave. & Exposition Blvd. (Intersection 6). Signalize the intersection.
  - Bundy Dr. & Olympic Blvd. (Intersection 16). Restripe the northbound and southbound approaches. The northbound restriping would add one northbound left-turn lane. This would result in a northbound approach of one right-turn lane, two through lanes, and two left-turn lanes. The southbound restriping

- would add one southbound left-turn lane and change one through lane and the right-turn lane into a shared through/right lane. This would result in a southbound approach of one shared through/right lane, one through lane, and two left-turn lanes.
- Barrington Ave. & Pico Blvd. (Intersection 27). Restripe the existing northbound curb lane to provide one through lane and one right-turn lane. This improvement would require the removal of one on-street parking space.
- Arterial Monitoring Station #70 (Venice Blvd. and Centinela Ave.). Restripe one existing northbound shared through/right-turn lane to provide one through lane and one right-turn lane and restripe one existing shared through/right-turn lane to provide one through lane and one right-turn lane. This improvement would require the removal of four on-street parking spaces.
- Sepulveda Blvd. & Exposition Blvd. (Intersection 43). Restripe the existing eastbound shared left/through/right lane to provide one shared through/left-turn lane and one right-turn lane.
- Sepulveda Blvd. & Palms Blvd. (Intersection 46). Restripe one existing northbound shared through/right-turn lane to provide one through lane and one right-turn lane. This improvement would require the removal of two on-street parking spaces.
- Sepulveda Blvd. & Palms Blvd. (Intersection 46). Restripe one existing northbound shared through/right-turn lane to provide one through lane and one right-turn lane. This improvement would require the removal of two on-street parking spaces.
- Military Ave. & National Blvd. (Intersection 47). Restripe one existing southbound shared through/right-turn lane to provide one shared through/left-turn lane and one right-turn lane. This improvement would require the removal of four on-street parking spaces.
- Overland Ave. & National Blvd. / I-10 Westbound On- and Off-Ramp (Intersection 53). Restripe the existing eastbound shared through/left-turn lane to a shared left-/through/right-turn lane.
- La Cienega Blvd. & Venice Blvd. (Intersection 76). Remove the median to provide a second westbound left-turn lane.
- Sepulveda Blvd. & Venice Blvd. (Intersection 84). Remove the medians on Venice Blvd. and restripe both the eastbound and westbound approaches to add one left-turn lane to each approach.
- Stewart St. & Olympic Blvd. (Intersection 3). Modify the existing signal phasing to change eastbound left-turn signal phasing from permitted to protected

and change westbound left-turn signal phasing from protected/permitted to protected.

- Barrington Ave. & Mississippi Ave. (Intersection 25). Restripe the existing eastbound shared left/through/right lane to provide one shared through/left-turn lane and one right-turn lane. This improvement would require the removal of two on-street parking spaces.
- Arterial Monitoring Station #70 (Venice Blvd. and Centinela Ave.). Restripe one existing northbound shared through/right-turn lane to provide one through lane and one right-turn lane and restripe one existing shared through/right-turn lane to provide one through lane and one right-turn lane. This improvement would require the removal of four on-street parking spaces on Venice Blvd. and the relocation of the bus stop on Centinela Ave. from the south side to the north side of the intersection.

REGULATORY COMPLIANCE

In addition to the Mitigation Measures described above, projects shall adhere to any applicable Regulatory Compliance Measures required by law, including those listed below. Applicants are responsible for identifying and complying with all applicable regulations during construction and operation of their project. Applicable Regulatory Compliance Measures shall be printed on plans and included within contract specifications or agreements with contractors and subcontractors, as applicable. Please note that requirements are determined on a case-by-case basis, and these are an example of the most often required Regulatory Compliance Measures.

Air Quality

- Regulatory Compliance Measure (Idling): In accordance with Sections 2485 in Title 13 of the California Code of Regulations, the idling of all diesel fueled commercial vehicles (weighing over 10,000 pounds) during construction shall be limited to five minutes at any location.

Cultural Resources

- Regulatory Compliance Measure (Archaeological): If archaeological resources or tribal resources are discovered during excavation, grading, or construction activities, (in either a previously disturbed or undisturbed

Noise and Vibration

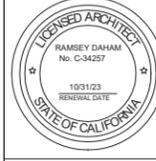
Regulatory Compliance Measure (Parking Structure Floor and Ramp Treatment): In accordance with the Urban Design Standards of this Specific Plan: Parking structures located within 200 feet of any Residential Use shall be constructed with a solid wall abutting the residences and utilize textured surfaces on garage floors and ramps to minimize tire squeal.

Utilities and Service Systems - Water Supply

Regulatory Compliance Measure (Landscape): The Project shall comply with Ordinance No. 170378 (Water Management Ordinance), which imposes numerous water conservation measures in landscape installation, and maintenance (e.g., use drip irrigation and soaker hoses in lieu of sprinklers to reduce the amount of water lost to evaporation and overspray, set automatic sprinkler systems to irrigate during the early morning or evening hours to minimize water loss due to evaporation, and water less in the cooler months and during the rainy season).

Transportation

- Regulatory Compliance Measure (West Los Angeles Transportation Fee): Prior to issuance of a Building Permit, the applicant shall pay a transportation impact fee to the City, based on the requirements of the West Los Angeles Transportation Improvement and Mitigation Specific Plan (WLA TIMP). This requirement applies only to Projects falling within the boundaries of WLA TIMP.
- Regulatory Compliance Measure (Worksite Traffic Control Plan): Projects that require a worksite traffic control plan per current LADOT guidelines shall submit to LADOT for review and approval a plan that mitigates the impact of traffic disruption and ensures the safety of all users of the affected roadway. The plan shall address construction duration and activities and include measures, such as operating a temporary traffic signal, using flagmen adjacent to construction activities, or providing a dedicated pedestrian walkway, as appropriate.



11835 TENNESSEE PL, LOS ANGELES, CA 90064

Table with 2 columns: REVISIONS, and empty rows for revision tracking.

ETNP-Appendix-D

Table with 2 columns: Field Name and Value. Fields include DRAWN, CHECKED, DATE, SCALE, and JOB #.