



DEPARTMENT OF CITY PLANNING RECOMMENDATION REPORT

South Valley Area Planning Commission

Date: August 22, 2024
Time: After 4:30 p.m.
Place: Marvin Braude San Fernando Valley
Constituent Service Center
6262 Van Nuys Boulevard, 1st Floor
Van Nuys, CA 91401

Public Hearing: May 28, 2024
Appeal Status: Appealable to City Council if denied
Expiration Date: August 26, 2024
Multiple Approval: Yes

Case No.: APCSV-2023-4402-ZC-HCA
CEQA No.: ENV-2023-4403-CE
Incidental Cases: N/A
Related Cases: AA-2023-4401-PMLA-HCA
Council No.: 4 – Raman
Plan Area: Reseda – West Van Nuys
Specific Plan: N/A
Certified NC: Encino
GPLU: Low Residential
Zone: RA-1-RIO

Applicant: David Danil
Representative: Ben Ansari

PROJECT LOCATION: 17820 West Erwin Street

PROPOSED PROJECT: The addition of 2,173 square feet to an existing approximately 1,366 square foot single-family dwelling for a total of 3,539 square feet and the construction, use and maintenance of a new 3,539 single-family dwelling on a 20,994 (gross) square foot lot in the RA-1-RIO Zone (with a requested Zone Change to R1-1-RIO). Each dwelling will be 24 feet 9 inches in height and will be constructed with an attached two-car garage. There are 12 existing trees on the subject site, including two protected California Black Walnut trees. The project proposes to remove the two protected California Black Walnut trees and one significant, non-native tree for a total of three tree removals. No grading is proposed as part of the project.

REQUESTED ACTIONS:

1. Pursuant to California Environmental Quality Act (CEQA) Guidelines, Article 19, Section 15301, Class 1, Section 15303, Class 3, and Section 15332, Class 32, find that the project is Exempt from CEQA, and that there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.
2. Pursuant to Chapter 1 of the Los Angeles Municipal Code Section 12.32 F, a Zone Change from RA-1-RIO to (T)R1-1-RIO across the entire site.

RECOMMENDED ACTIONS:

1. **FIND**, based on the whole of the administrative record, the Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines, Article 19, Section 15301, Class 1, Section 15303, Class 3, and Section 15332, Class 32, and there is no substantial evidence

demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies;

2. **APPROVE AND RECOMMEND** that the City Council adopt a Zone Change from RA-1-RIO to (T)R1-1-RIO over the entire site; and
3. **ADOPT** the attached Findings.

VINCENT P. BERTONI, AICP
Director of Planning

Blake Lamb

Blake Lamb
Principal City Planner

Claudia Rodriguez

Claudia Rodriguez
Senior City Planner

Laura Frazin-Steele

Laura Frazin-Steele
City Planner

Courtney Yellen

Courtney Yellen
Planning Assistant

BL:CR:LFS:CY

ADVICE TO PUBLIC: *The exact time this report will be considered during the meeting is uncertain since there may be several other items on the agenda. Written communications may be mailed to the *Commission Secretariat, Room 272, City Hall, 200 North Spring Street, Los Angeles, CA 90012* (Phone No. 213-978-1300). While all written communications are given to the Commission for consideration, the initial packets are sent to the week prior to the Commission's meeting date. If you challenge these agenda items in court, you may be limited to raising only those issues you or someone else raised at the public hearing agendized herein, or in written correspondence on these matters delivered to this agency at or prior to the public hearing. As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability, and upon request, will provide reasonable accommodation to ensure equal access to these programs, services and activities. Sign language interpreters, assistive listening devices, or other auxiliary aids and/or other services may be provided upon request. To ensure availability of services, please make your request not later than three working days (72 hours) prior to the meeting you wish to attend. Due to difficulties in securing Sign Language Interpreters, five or more business days' notice is strongly recommended. For additional information, please contact the Commission Secretariat at (213) 978-1300.

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PROJECT ANALYSIS

Project Summary

The proposed project is the addition of 2,173 square feet to an existing approximately 1,366 square foot single-family dwelling for a total of 3,539 square feet and the construction, use and maintenance of a new 3,539 single-family dwelling on a 20,994 (gross) square foot lot in the RA-1-RIO Zone. Each dwelling will be 24 feet 9 inches in height, and will be constructed with an attached two-car garage. There are 12 existing trees on the subject site, including two protected California Black Walnut trees. The project proposes to remove the two protected California Black Walnut trees and one significant, non-native tree for a total of three tree removals. No grading is proposed as part of the project.

To accommodate the requested density, the applicant is requesting a Zone Change from RA-1-RIO to (T)R1-1-RIO across the entire site. Further, the applicant requested to subdivide the 20,994 square foot lot into two lots under incidental Case No. AA-2023-4401-PMLA-HCA.

As shown in **Figure 1**, the site is currently improved with a one-story, 1,366 square foot single family residence developed in 1953. The applicant is proposing an addition of 2,173 square feet to the existing 1,366 square foot dwelling on Parcel B and the construction, use and maintenance of a 3,539 square foot single family dwelling on Parcel A for a total of two approximately 3,539 square foot residential structures.

There are 12 trees on the subject site, including two protected California Black Walnut trees. A Protected Tree Report dated July 27, 2023 was prepared by Arsen Margossian, Bardez Landscape Services, Inc., and is attached to the subject case file. The Protected Tree Report identifies the removal of two California Black Walnut trees in fair health at the southerly portion of the subject site. The report recommends the planting of eight 48-inch box protected tree species to replace the California Black Walnut trees at a 4:1 basis as regulated pursuant to the Protected Tree Ordinance (Ordinance No. 186,873). The Protected Tree Report additionally identifies the removal of one non-protected tree due to the construction of the new driveway on Parcel B to achieve the proposed project.

In order to achieve the proposed project, the applicant is requesting a Zone Change from RA-1-RIO to (T)R1-1-RIO across the entire site pursuant to Chapter 1 of the Los Angeles Municipal Code Section 12.32 F. The project was approved for the subdivision of the approximately 20,994 (gross) square foot lot into two parcels (Parcel A and Parcel B) by the Deputy Advisory Agency under incidental Case No. AA-2023-4401-PMLA-HCA on July 16, 2024 (**see Exhibit J**).

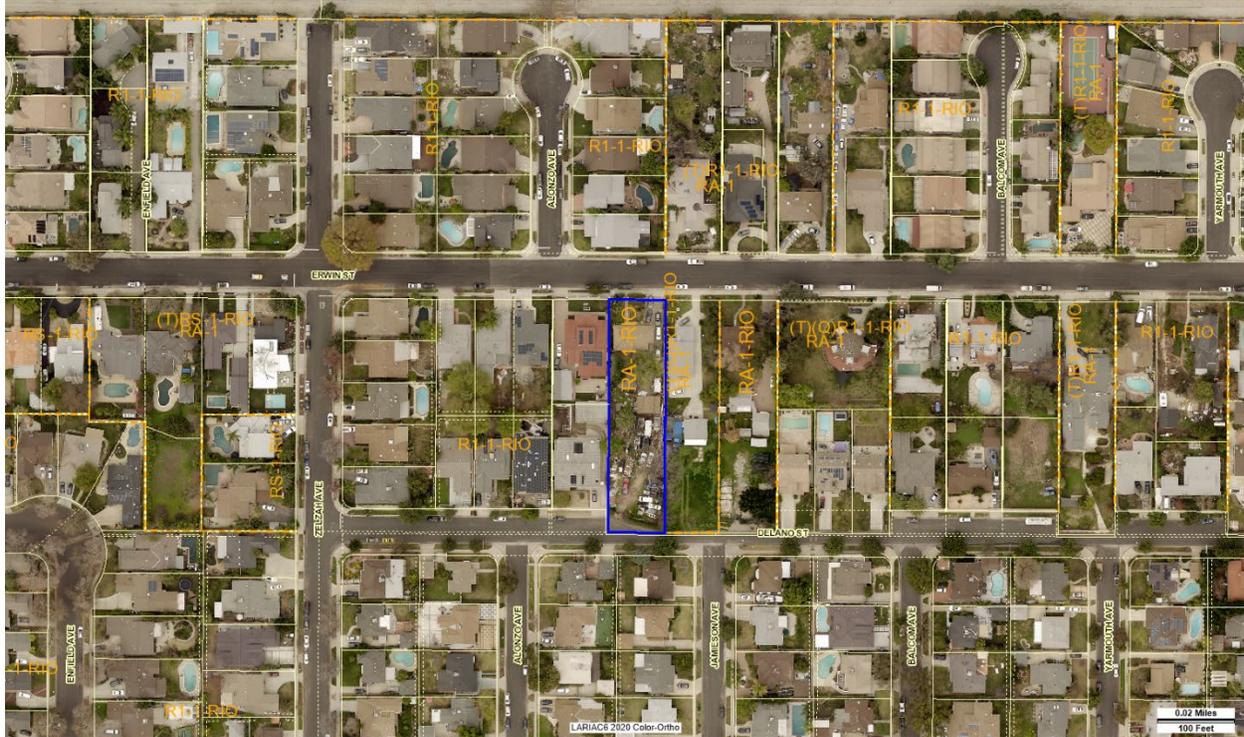


Figure 1. Subject Site

Background

Subject Property:

The subject site is a level, regular-shaped, through lot consisting of 20,994 gross square feet of lot area. The site is located within the Reseda – West Van Nuys Community Plan area. The subject site is not located within a specific plan or any other geographic overlay area.

As shown in **Figure 2**, the lot is zoned RA-1-RIO with a land use designation of Low Residential by the Reseda – West Van Nuys Community Plan. The Low Residential land use designation corresponds to the RE9, RS, R1, RU, RD6, and RD5 Zones. Pursuant to Chapter 1, LAMC Section 12.07 C.4, the RA-1 Zone requires a minimum lot area of 17,500 square feet per dwelling unit and is more restrictive than the R1-1 Zone, which requires a minimum lot area of 5,000 square feet per dwelling unit pursuant to Chapter 1, LAMC Section 12.08 C.4. The project site has approximately 20,994 (gross) square feet of lot area, which would permit a maximum of one dwelling unit (one unit/per 17,500 square feet) under the current RA-1 Zone. The R1-1 Zone would permit the requested density (i.e., one single-family dwelling unit on each parcel) if sufficient lot area is available after Code required dedications and improvements are made and would be consistent with the land use designation and General Plan.

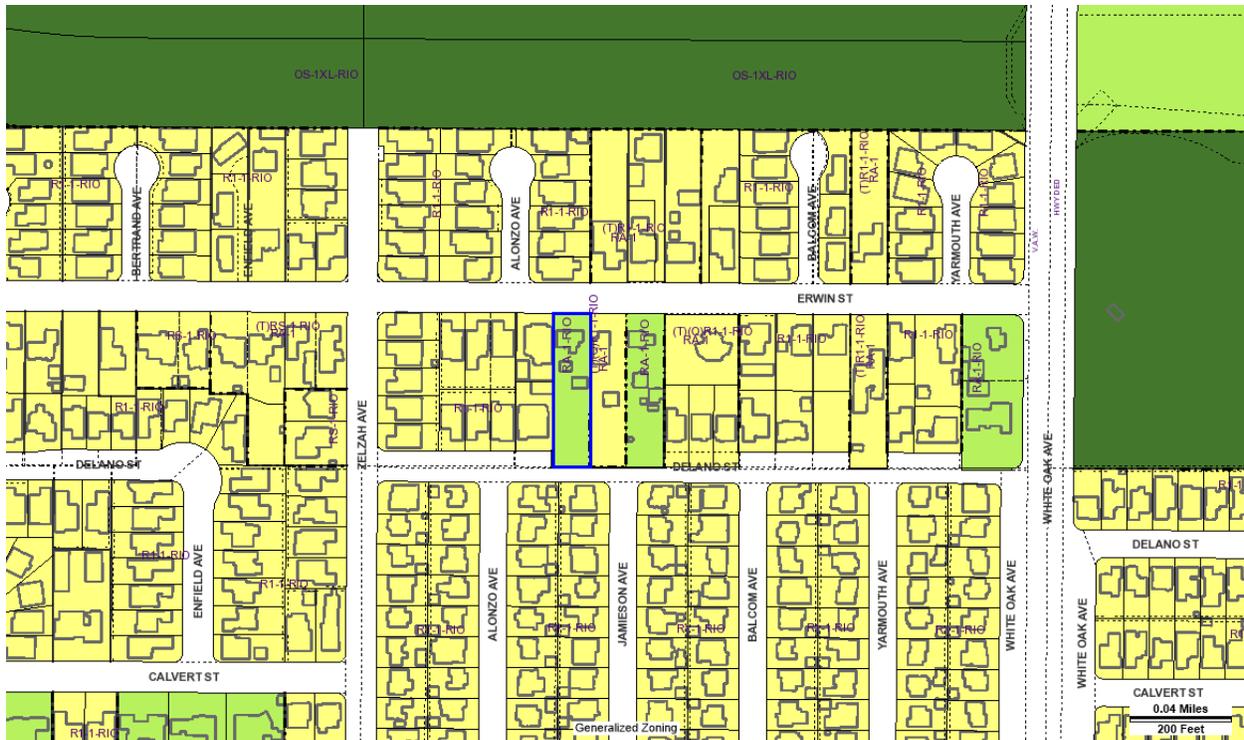


Figure 2. ZIMAS Map

There are 12 trees on the subject site, including two protected California Black Walnut trees. A Protected Tree Report dated July 27, 2023 was prepared by Arsen Margossian, Consulting Arborist Bardez Landscape Services, Inc., and is attached to the subject case file. The Protected Tree Report identifies the removal of the two protected California Black Walnut trees in fair health at the southerly portion of the subject site and one significant, non-protected tree located at the most northerly portion of the subject site for a total of three proposed tree removals.

In conformance with the Los Angeles Mobility Plan 2035, the applicant is required to provide a 30-foot wide strip of land to be dedicated along Delano Street adjoining the subdivision to complete a 30-foot wide half right-of-way dedication in accordance with Local Street standards. Due to the location of the California Black Walnuts within the 30-foot wide dedication, the two native, protected trees are proposed for removal and are required to be replaced with a minimum 48-inch box at a 4:1 ratio in conformance with the Protected Tree Ordinance for a total of eight protected trees on site. According to the Protected Tree Report, the lot provides ample space to plant the amount of required replacement trees; however, the report is based on the current lot area prior to dedications and improvements as conditioned under incidental Case No. AA-2023-4401-PMLA-HCA. As conditioned under Case No. AA-2023-4401-PMLA-HCA, the applicant shall be allowed to plant replacement trees on either proposed Parcel A or proposed Parcel B. Conversely, the applicant may spread out the replacement trees between Parcels A and B. This will ensure that adequate room is available for the replacement tree roots once dedication and improvements are made in accordance with the Los Angeles Mobility Plan 2035. No street tree or protected tree may be removed without prior approval of the Board of Public Works/Urban Forestry (BPW) under LAMC Sections 62.161 - 62.171.

The project site is located within a geographic area designated as ZI-2438 – Equine Keeping in the City of Los Angeles. ZI-2438 regulates distances between habitable rooms and horse keeping uses. No horse keeping was observed at the subject site or on neighboring properties. Additionally, the site is located within the River Implementation Overlay District (ZI-2358) as the project site lies less than a mile from the Los Angeles River. ZI-2358 regulates development within

the River Implementation Overlay District (RIO) and will be subject to the review of Building and Safety to determine whether the project is subject to the RIO. If the project is subject to the RIO, additional requirements may be imposed during the Plan Check process to include additional native or drought-tolerant landscaping and to screen any exterior equipment from view. The applicant will also need to disclose site and building mounted lighting on final plans.

The subject site is located within an Airport Hazard Horizontal Surface Area, which is generally defined as a horizontal plane 150 feet above the established airport elevation. The maximum height of the structures proposed herein is 24 feet 9 inches, which will not create airport hazards. ZIMAS designates the subject site as an Urban Agriculture Incentive Zone, however, no agricultural uses are proposed herein. The project site is located within 11 km (approximately 7 miles) from the Northridge Fault but is not located within the Alquist-Priolo Fault Zone.

According to ZIMAS records, the site is not located within a designated hillside area or within the BOE Special Grading Area. The site is not located within a high fire hazard severity zone, flood zone, landslide, methane, or tsunami inundation zone. The site is not located within the Santa Monica Mountains Zone. Prior to the issuance of any permits, the project would be required to be reviewed and approved by the Department of Building and Safety and the Fire Department. The site is not identified as having hazardous waste or past remediation. The site is within Flood Zone Type C, which denotes areas of minimal flooding. The site is not subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas, coastal high-hazard and flood-related erosion hazard areas).

Surrounding Land Uses

The surrounding area is a developed urban area of single-family residential uses. The properties to the north are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. The properties located to the east and south are zoned R1-1 and designated Low Residential. The properties located to the west of the subject site are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. One property located two properties west of the subject site is zoned RA-1 and designated as Low Residential. The area is developed solely of one and two-story single-family residential dwellings. All of the surrounding sites along Delano Street have been improved with a curb, gutter, and concrete sidewalk with the exception of the sites located directly east of the site.

Street Designations and General Circulation

Erwin Street, a designated Collector Street, has a designated right-of-way width of 66 feet and a designated roadway width of 40 feet. Erwin Street is improved with a curb, gutter, and sidewalk along the length of the block.

Delano Street, a designated Local Street – Standard, has a designated right-of-way width of 60 feet and a designated roadway width of 36 feet. Delano Street is not improved on the north side of the street at the subject site. However, Delano Street is improved on the north side of the street with a curb, gutter, and sidewalk west of the subject site to Zelzah Avenue. Delano Street is partially improved with a curb, gutter, and sidewalk on the north side of the street to the east to White Oak Avenue. The south side of Delano Street is fully improved.

Relevant Cases

ON-SITE:

Case No. AA-2023-4401-PMLA-HCA: On July 16, 2024, the project was approved by the Deputy Advisory Agency for the subdivision of an approximately 20,994 (gross) square foot lot into two

parcels (Parcel A and Parcel B) as shown on the map stamp-dated November 6, 2023 in accordance with Chapter 1, LAMC Sections 17.51 and 17.53.

Ordinance No. 183,144: On August 20, 2014, Ordinance 183,144 went into effect amending Sections 12.04 of the Los Angeles Municipal Code to establish the River Improvement Overlay (RIO) District and amend the zoning map accordingly pursuant to Case No. CPC-2007-3036-RIO.

Ordinance No. 183,145: On August 20, 2014, Ordinance 183,145 went into effect amending Sections 12.03, 12.04, 12.32 and 13.17 of the Los Angeles Municipal Code in order to authorize the establishment of the River Improvement Overlay (RIO) Districts and River Design Guidelines for designated areas adjacent to City's waterways.

Certificate of Occupancy No. 1962VN11585: On May 14, 1963, a Certificate of Occupancy was issued for the conversion of an existing garage to living area within a one-story dwelling.

Certificate of Occupancy No. 1962VN11586: On December 5, 1962, a Certificate of Occupancy was issued for a one-story garage, accessory to an existing dwelling.

Certificate of Occupancy No. 1955VN95516: On April 20, 1955, a Certificate of Occupancy was issued for the addition of a one-story patio and service porch to an existing single family dwelling with attached garage.

Certificate of Occupancy No. 1953VN50947: On August 24, 1953, a Certificate of Occupancy was issued for a one-story single family dwelling and attached garage.

OFF-SITE:

Case No. AA-2018-3321-PMLA: On June 11, 2018, an application was submitted to subdivide one existing lot into two lots with an existing single family dwelling to remain on Parcel A and for the construction, use and maintenance of a single family dwelling on Parcel B. The applicant requested to withdraw the application and the case was terminated on February 20, 2019, located at 18000 West Erwin Street.

Case No. APCSV-2006-4499-ZC-ZAA: On September 27, 2007, the South Valley Area Planning Commission approved a Zone Change from RA-1 to (T)(Q)R1-1, approved and recommended City Council to adopt Mitigated Negative Declaration No. ENV-2006-4500-MND, and dismissed a Zoning Administrator's Adjustment located at 17759, 17765 and 17771 West Delano Street.

Case No. AA-2004-6968-PMLA-1A: On October 3, 2005, the South Valley Area Planning Commission denied the appeal and sustained the Determination of the Deputy Advisory Agency dated May 25, 2005 to allow the subdivision of one existing lot into a maximum of two lots for single-family development and adopted the Mitigated Negative Declaration ENV-2004-6969-MND, located at 17810 West Erwin Street.

Case No. APCSV-2004-7041-ZC-ZAA: On July 14, 2005, the South Valley Area Planning Commission approved a Zone Change, incident to Parcel Map No. AA-2004-6968-PMLA, from RA-1 to (T)(Q)R1-1 and dismissed a Zoning Administrator's Adjustment.

Reports Received

Reports were received from the Bureau of Engineering dated February 7, 2024; Department of Building and Safety (Grading Division) dated November 13, 2023; Department of Building and Safety (Zoning Division) dated November 16, 2023; Department of Transportation dated November 8, 2023; Fire Department dated December 1, 2023; Department of Water and Power

dated December 29, 2023; Bureau of Street Lighting dated October 31, 2023; Bureau of Sanitation dated April 18, 2024; Recreation and Parks dated November 20, 2023; and Urban Forestry Division dated November 20, 2023 (see “**Exhibit H**”). All of the conditions included in the agency reports are incorporated herein as “T” Conditions.

Height

Pursuant to Chapter 1 of LAMC Section 12.21.1 A, a maximum height of 33 feet is allowed in the requested R1 Zone. Both single family dwellings are proposed at a maximum height of 24 feet and 9 inches, as shown on “**Exhibit A**”.

Density

The applicant is requesting a Zone Change from RA-1-RIO to (T)R1-1-RIO, which would permit the requested density (i.e., one single-family dwelling unit per 5,000 square feet of lot area) if sufficient lot area is available after Code required dedications and improvements are made. The applicant’s parcel map stamp dated November 6, 2023 does not show Code required dedications and improvements which are conditioned herein. Plans reviewed by LADBS, stamp-dated March 15, 2024, do however illustrate dedications and improvements with the resulting net lot area for each parcel. As shown on “**Exhibit A**”, Parcel A proposes a net lot area of 8,188 square feet and Parcel B proposes a net lot area of 10,497 square feet which would comply with minimum density requirements pursuant to Chapter 1 of LAMC Section 12.08 C.4.

Yards/Setbacks

Pursuant to Chapter 1 of LAMC Section 12.08 C and shown on “**Exhibit A**”, the proposed single family dwellings will provide the required setbacks as summarized below:

Setback	Maximum Required Setback	Parcel A	Parcel B
Front Yard (prevailing)	19.83 feet (Parcel A) 18.63 feet (Parcel B)	20 feet	20 feet
Rear Yard	15 feet	52 feet and 6 inches	85 feet and 6 inches
Side Yard (East)	6 feet	15 feet	15 feet
Side Yard (West)	6 feet	6 feet	6 feet

Parking and Access

Pursuant to Chapter 1 of LAMC Section 12.21 A.4, one standard parking stall and one compact parking stall is required per dwelling unit. As shown on “**Exhibit A**”, the project proposes to provide one standard and one compact parking stall per each dwelling lot for a total of four parking stalls.

Vehicular access to the proposed project will be provided via two driveways, one driveway along Erwin Street to access Parcel B and one driveway along Delano Street to access Parcel A.

Processes and Procedures Ordinance No. 187,712

At the time this case was filed, the procedures of Chapter 1 of the Municipal Code were in effect until January 22, 2023. Therefore, this application is being processed under Chapter 1. For applications filed after January 23, 2023, the processes for reviewing planning applications and requests are outlined under Article 13 (Administration) of Chapter 1A pursuant to the Processes and Procedures Ordinance No. 187,712.

Measure JJJ – Affordability

Under Measure JJJ and LAMC Section 11.5.11, any request for a Zone Change involving 10 or more residential units is required to meet specific affordability requirements. The applicant is proposing a maximum of two residential dwelling units, and therefore is not subject to Measure JJJ.

Landscaping

The applicant will be required to provide landscaping in conformance with the Landscape Ordinance and is conditioned herein.

Environmental

The project was analyzed under Categorical Exemption No. ENV-2023-4402-CE (“Categorical Exemption”) and the justifications attached to this report as **Exhibit F**. Incidental Case No. AA-2023-4401-PMLA-HCA was analyzed under CEQA Guidelines, Article 19, Section 15315, Class 32 (division of land). The requested Zone Change and increased density on the subject site was analyzed under Section 15301, Class 1 (existing facilities) and Section 15303, Class 3 (new construction or conversion of small structures). The project was found to have no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

CEQA Guidelines, Section 15332, Class 32, consists of projects characterized as in-fill development meeting the following five conditions: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services. These conditions were analyzed and are met for the subdivision of land under Incidental Case No. AA-2023-4401-PMLA-HCA.

CEQA Guidelines, Section 15301, Class 1, applies to the operation, repair, maintenance, permitting, leasing, licensing or minor alteration of existing private structures involving negligible or no expansion of use. A Class 1 exemption may be used for an addition to an existing structure provided that the addition will not result in an increase of more than 10,000 square feet if the project is in a location where all public services and facilities are available to allow for maximum development permissible under the General Plan and the area is not environmentally sensitive. The proposed project is the addition of 2,173 square feet to an existing approximately 1,366 square foot single-family dwelling for a total of 3,539 square feet and the construction, use and maintenance of a new 3,539 single-family dwelling. This increase is less than 10,000 square feet. Further, as discussed herein, the site is located in a fully developed urbanized area where public services and facilities are in place. The subject site is not located in an area that is environmentally sensitive.

CEQA Guidelines, Section 15303, Class 3, applies to the construction and location of a limited number of new, small facilities or structures and the conversion of existing small structures from one use to another where only minor modifications are made to the exterior of the structure. Examples of this exemption include the addition of a second dwelling unit on a residentially zoned lot. The proposed project is adding 2,173 square feet to an existing approximately 1,366 square foot single-family dwelling and constructing a new 3,539 single-family dwelling.

The City has further considered whether the proposed Zone Change action is subject to any of the six exceptions (Location, Cumulative Impacts, Unusual Circumstances, State Scenic Highway, Hazardous Waste, and Historical Resource) set forth in State CEQA Guidelines Section 15300.2, that would prohibit the use of any categorical exemption.

The subject site is approximately 0.5 acres of previously developed infill site located in an urbanized area of the City and is located within the Reseda – West Van Nuys Community Plan. The Community Plan designates the site with a Low Residential land use designation. The land use designation lists the RE9, RS, R1, RU, RD6, and RD5 Zones as the corresponding zones. The subject site is currently zoned RA-1-RIO, which is more restrictive than the range of zones associated with the Low Residential land use designation. The request for a Zone Change to permit the subdivision of one lot into two for single family residential uses is a common form of infill development type used Citywide and the proposed project presents no unusual circumstances because the surrounding area is heavily developed with single-family residential uses. The properties to the north are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. The properties located to the east and south are zoned R1-1 and designated Low Residential. The properties located to the west of the subject site are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. One property located two properties west of the subject site is zoned RA-1 and designated as Low Residential. The area is developed solely of one and two-story single-family residential dwellings.

Pursuant to Chapter 1, LAMC Section 12.07 C.4, the RA-1 Zone requires a minimum lot area of 17,500 square feet per dwelling unit and is more restrictive than the R1-1 Zone, which requires a minimum lot area of 5,000 square feet per dwelling unit pursuant to Chapter 1, LAMC Section 12.08 C.4. The project site has approximately 20,994 (gross) square feet of lot area, which would permit a maximum of one dwelling unit (one unit/per 17,500 square feet) under the current RA-1 Zone. The R1-1 Zone would permit the requested density (i.e., one single-family dwelling unit on each parcel) if sufficient lot area is available after Code required dedications and improvements are made and would be consistent with the land use designation and General Plan. Therefore, the requested Zone Change demonstrates compliance with Chapter 1 of LAMC Section 12.08 C.4 and is consistent with the applicable General Plan.

The project site is located within a geographic area designated as ZI-2438 – Equine Keeping in the City of Los Angeles. ZI-2438 regulates distances between habitable rooms and horse keeping uses. No horse keeping was observed at the subject site or on neighboring properties. Additionally, the site is located within the River Implementation Overlay District (ZI-2358) as the project site lies less than a mile from the Los Angeles River. ZI-2358 regulates development within the River Implementation Overlay District (RIO) and will be subject to the review of Building and Safety to determine whether the project is subject to the RIO. The subject site is located within an Airport Hazard Horizontal Surface Area, which is generally defined as a horizontal plane 150 feet above the established airport elevation. The maximum height of the structures proposed herein is 24 feet 9 inches, which will not create airport hazards. ZIMAS designates the subject site as an Urban Agriculture Incentive Zone; however, no agricultural uses are proposed herein. The project site is located within 11 km (approximately 7 miles) from the Northridge Fault, but is not located within the Alquist-Priolo Fault Zone. The site is not located within a designated hillside area or within the BOE Special Grading Area. The site is not located within a high fire hazard severity zone, flood zone, landslide, methane, or tsunami inundation zone. The site is not located within the Santa Monica Mountains Zone. Prior to the issuance of any permits, the project would be required to be reviewed and approved by the Department of Building and Safety and the Fire Department. The site is not identified as having hazardous waste or past remediation. The site is within Flood Zone Type C, which denotes areas of minimal flooding. The site is not subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas,

coastal high-hazard and flood-related erosion hazard areas). Furthermore, the subject site is not located along a State Scenic Highway nor is it identified as a historic resource by local or state agencies and has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, or the Los Angeles Historic-Cultural Monuments Register, and/or any local register according to the City's HistoricPlacesLA website.

There are 12 trees on the subject site, including two protected California Black Walnut trees. A Protected Tree Report dated July 27, 2023 was prepared by Arsen Margossian, Consulting Arborist Bardez Landscape Services, Inc., and is attached to the subject case file. The Protected Tree Report identifies the removal of two protected California Black Walnut trees in fair health at the southerly portion of the subject site and one significant, non-protected tree located at the most northerly portion of the subject site for a total of three proposed tree removals. In conformance with the Los Angeles Mobility Plan 2035, the applicant is required to provide a 30-foot wide strip of land to be dedicated along Delano Street adjoining the subdivision to complete a 30-foot wide half right-of-way dedication in accordance with Local Street standards. Due to the location of the two protected California Black Walnuts on the southerly portion of the project site and within the 30-foot wide dedication, the two native, protected trees are proposed for removal and are required to be replaced with a minimum 48-inch box at a 4:1 ratio in conformance with the Protected Tree Ordinance for a total of eight protected trees on site. According to the Protected Tree Report, the lot provides ample space to plant the amount of required replacement trees; however, the report is based on the current lot area. As conditioned, the applicant shall be allowed to plant the nine replacement trees on either proposed Parcel A or proposed Parcel B. Conversely, the applicant may spread out the replacement trees between Parcels A and B. This will ensure that adequate room is available for the replacement tree roots once dedication and improvements are made in accordance with the Los Angeles Mobility Plan 2035. No street tree or protected tree may be removed without prior approval of the Board of Public Works/Urban Forestry (BPW) under LAMC Sections 62.161 - 62.171.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles noise, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT for preparing a transportation study. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

Public Hearing and Summary

Joint Deputy Advisory Agency and Hearing Officer Hearing

A joint Public Hearing was held virtually on May 28, 2024, at 10:30 a.m., and was conducted by Department of City Planning Staff as the Hearing Officer for the South Valley Area Planning Commission and the Deputy Advisory Agency for Case Nos. APCSV-2023-4402-ZC-HCA and AA-2023-4401-PMLA-HCA. The applicant team attended the hearing and included the applicant/owner, David Danil, Ohel, LLC, and representative, Ben Ansari, Complete Package Drafting. Also in attendance were representatives from City Departments of Engineering, Transportation, Recreation and Parks, and Street Lighting. The hearing was conducted as follows:

- City Planning staff summarized the proposed project location, zoning, description, and entitlements requested.

The applicant team confirmed that the information provided by City Planning Staff was accurate. The applicant confirmed their review of the draft Staff Report for Case No. AA-2023-4401-PMLA-HCA and agreed to comply with all conditions therein. The project team did not ask for any revisions to the current staff recommendation.

- A neighbor, Robert Lockerby, residing across the subject site on Delano Street, did not provide a comment; however, they did ask the questions listed below:
 - There is a barn currently on the existing site and what will happen with the critters/feral cats?
 - Is there a way a curb can be constructed on the Delano side for additional parking?
- Robert Lockerby's comments and questions were responded to by the applicant as follows:
 - Dedication and improvements as conditioned and required by Bureau of Engineering will be provided. The project will also be providing the Code required minimum parking on both sites to provide ample parking.

The Deputy Advisory Agency disclosed their inclination to approve the project as conditioned in the Draft Staff Report. At the conclusion of the Public Hearing, Planning staff stated that a decision for the Zone Change would be made at a future date to be determined by the South Valley Area Planning Commission.

Conclusion

After a review of the materials, testimony submitted, and attached findings, Planning staff recommends approval of the requested Zone Change as conditioned herein. Granting approval of the requested Zone Change from RA-1-RIO to (T)R1-1-RIO is consistent with the adjacent zoning pattern and will allow the subdivision of an existing lot into two lots to allow for the development of two 3,539 square foot single family dwellings on each parcel. The addition of these two residential dwellings will contribute toward the Citywide goal of providing much needed housing. Additionally, the project site is located within the Reseda – West Van Nuys Community Plan, which designates the site with a Low Residential land use designation. The land use designation lists the RE9, RS, R1, RU, RD6, and RD5 Zone as the corresponding zones. The project site is currently zoned RA-1-RIO, which is more restrictive than the range of zones associated with the Low Residential land use designation. The density, height, and floor area of the proposed residential development is compatible with the surrounding area, land use designation, and maximizes the use of the 20,994 square foot site.

CONDITIONS FOR EFFECTUATING (T) TENTATIVE CLASSIFICATION REMOVAL

Pursuant to Section 12.32 G of the Municipal Code, the (T) Tentative Classification shall be removed by the recordation of a final parcel or tract map or by posting of guarantees through the B-permit process of the City Engineer to secure the following without expense to the City of Los Angeles, with copies of any approval or guarantees provided to the Department of City Planning for attachment to the subject planning case file.

1. **Dedication and Improvements.** The applicant shall make dedications and improvements as follows:

Dedications:

- a. **Erwin Street.** A 3-foot wide strip of land be dedicated to complete a 33-foot wide half right-of-way dedication in accordance with Collector Street standards of the LA Mobility Plan.
- b. **Delano Street.** A 30-foot wide strip of land be dedicated to complete a 30-foot wide half right-of-way dedication in accordance with Local Street standards of the LA Mobility Plan.

Improvements:

- c. **Erwin Street.** Remove the existing sidewalk and construct a new 5-foot wide concrete sidewalk and provide landscaping along the parkway, including any necessary removal and reconstruction of the existing improvement satisfactory to the City Engineer.
 - d. **Delano Street.** Improve Delano Street being dedicated and adjoining the subdivision by the construction of the following:
 - i. An integral concrete curb and gutter, and a 5-foot wide concrete sidewalk and landscaping of the parkway.
 - ii. Suitable surfacing to join the existing pavements and to complete an 18-foot wide half roadway.
 - iii. Any necessary removal and reconstruction of the existing improvements.
 - iv. The necessary transitions to join the existing improvements.
 - v. Trees exist within the dedication area. Denial of their removal may impact the ability to widen the roadway as required. Should Bureau of Street Services, Urban Forestry Division (UFD) object to the removal of the trees within the dedication area, then the required roadway widening as stated above may be revised to allow for the preservation of the existing trees, satisfactory to UFD and the City Engineer.
2. **Sewers/Storm Drains.** The applicant shall make a request to the Valley District Office of the Bureau of Engineering to determine the capacity of existing sewers in this area. The

applicant may be required to obtain necessary clearances or permits from the Bureau of Sanitation.

3. **Traffic and Access.**

- a. A minimum 20-foot reservoir space is required between any security gate or parking space and the property line, or to the satisfaction of Department of Transportation.
- b. A width of 18 feet at the driveway apron curb cut is required for all two-way driveways, or to the satisfaction of the Department of Transportation.
- c. A parking area and driveway plan should be submitted to the Citywide Planning Coordination Section of the Department of Transportation for approval prior to submittal of building permit plans for plan check by the Department of Building and Safety. Transportation approvals are conducted at 6262 Van Nuys Blvd., Room 320, Van Nuys, CA 91401.
- d. The subdivision report fee and condition clearance fee be paid to the Department of Transportation as required per Ordinance No. 183270 and LAMC Section 19.15 prior to recordation of the final map. Note: The applicant may be required to comply with any other applicable fees per this new ordinance.

4. **Street Lighting.** Construct one new street light on Erwin Street and one on Delano Street to the satisfaction of the Bureau of Street Lighting.

Notes:

The quantity of street lights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) by LADOT or 2) by other legal instrument excluding the Bureau of Engineering condition S-3 (i), requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.

5. **Fire.** Submit plot plans for Fire Department approval and review prior to issuance of a building permit and Certificate of Occupancy.

6. **Cable Infrastructure.** Making any necessary arrangements with the appropriate cable television franchise holder to assure that cable television facilities will be installed in City rights-of-way in the same manner as is required of other facilities, pursuant to Municipal Code Section 17.05 N, to the satisfaction of the Information Technology Agency.

7. **Street Trees.**

- a. Project shall preserve all healthy mature street trees whenever possible. All feasible alternatives in project design shall be considered and implemented to retain healthy mature street trees. A permit required for the removal of any street tree and shall be replaced 2:1 as approved by the Board of Public Works and Urban Forestry Division.
- b. Plant street trees at all feasible planting locations within dedicated streets as directed and required by the Bureau of Street Services, Urban Forestry Division. All tree plantings shall be installed to current tree planting standards when the City

has previously paid for tree plantings. The subdivider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction for tree planting direction and instructions.

Note: Removal of street trees requires approval from the Board of Public Works. All projects must have environmental (CEQA) documents that appropriately address any removal and replacement of street trees. Contact Urban Forestry Division at: (213) 847-3077 for tree removal permit information.

Notice: Certificates of Occupancy for the subject property will not be issued by the City until the construction of all the public improvements (streets, sewers, storm drains, etc.), as required herein, are completed to the satisfaction of the City Engineer.

CONDITIONS OF APPROVAL

Development Conditions

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped “**Exhibit A**” (dated March 15, 2024) and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Valley Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the LAMC or the project conditions.
2. **Use.** The project is approved for a maximum of two residential dwelling units. One unit shall be located on proposed Parcel A, and the second unit shall be located on proposed Parcel B. The maximum residential density allowed on each site is subject to the review and approval of LADBS pursuant to Chapter 1, LAMC Section 12.08. The floor area of each residential dwelling unit may not exceed 3,539 square feet as shown on “**Exhibit A.**”
3. **Height.** The project is approved for a maximum height of 24 feet 9 inches.
4. **Landscape Plan.** Prior to obtaining any grading or building permits, landscape plans shall be submitted to show the size and location of all plants. The landscape plan shall indicate landscape points for the Project as required by LAMC 12.40 and Landscape Ordinance Guidelines “O”. All open areas not used for buildings, driveways, parking areas, recreational facilities or walks shall be landscaped, including an automatic irrigation system, and maintained in accordance with a final landscape plan prepared by a licensed landscape architect or licensed architect, and submitted for approval to the Department of City Planning. The final landscape plan and shall incorporate any modifications required as a result of this grant.

New trees planted within the public right-of-way shall be spaced not more than an average of 30 feet on center, unless otherwise permitted by the Urban Forestry Division, Bureau of Public Works.

5. **Tree Replacement and Protection.** A total of nine replacement trees should be provided as follows:
 - a. Eight 48-inch box protected native trees shall be planted to replace the two protected California Black Walnut trees to be removed for a 4:1 ratio.
 - b. One significant 24-inch box replacement tree shall be planted to replace the one significant tree to be removed for a 1:1 ratio.

The applicant shall be allowed to plant the nine replacement trees on either proposed Parcel A or proposed Parcel B. Conversely, the applicant may spread out the replacement trees between Parcels A and B.

6. **Parking.** Provide a minimum of 2 covered off-street parking spaces per dwelling unit pursuant to LAMC Section 12.21 A.4. No deviations from parking are requested or approved herein.

7. **Solar-ready Buildings.** The project shall comply with the Los Angeles Municipal Green Building Code, Section 99.05.211, to the satisfaction of the Department of Building and Safety.
8. **Stormwater and Irrigation.** The project shall implement on-site stormwater infiltration as feasible based on the site soils conditions, the geotechnical recommendations, and the City of Los Angeles Department of Building and Safety Guidelines for Storm Water Infiltration. If on-site infiltration is deemed infeasible, the project shall analyze the potential for stormwater capture and reuse for irrigation purposes based on the City Low Impact Development (LID) guidelines.
9. **Solar and Electric Generator.** Generators used during the construction process shall be electric or solar powered. Solar generator and electric generator equipment shall be located as far away from sensitive uses as feasible. Where power poles are available, electricity from power poles and/or solar-powered generators rather than temporary diesel or gasoline generators shall be used during construction.

Administrative Conditions

10. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review or approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning for placement in the subject file.
11. **LAMC Requirements.** All other use, height and area regulations of the Municipal Code and all other applicable government/regulatory agencies shall be strictly complied with in the development and use of the property, except as such regulations are herein specifically varied or required.
12. **Code Compliance.** The area, height and use regulations of the zone classification of the subject property shall be complied with, except where conditions herein are more restrictive.
13. **Covenant.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Department of City Planning for attachment to the subject case file.
14. **Definition.** Any agencies, public officials or legislation referenced in these conditions shall mean those agencies, public officials, legislation or their successors, designees or amendment to any legislation.
15. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning and any designated agency, or the agency's successor and in accordance with any stated laws or regulations, or any amendments thereto.

16. **Building Plans.** Page 1 of the grant and all the conditions of approval shall be printed on the building plans submitted to the Department of City Planning and Department of Building and Safety.
17. **Project Plan Modifications.** Any corrections and/or modifications to the Project plans made subsequent to this grant that are deemed necessary by the Department of Building and Safety, Housing Department, or other Agency for Code compliance, and which involve a change in site plan, floor area, parking, building height, yards or setbacks, building separations, or lot coverage, shall require a referral of the revised plans back to the Department of City Planning for additional review and final sign-off prior to the issuance of any building permit in connection with said plans. This process may require additional review and/or action by the appropriate decision-making authority, including the Director of Planning, City Planning Commission, Area Planning Commission, or Board.
18. **INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.**

The applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in

the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Action includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

FINDINGS

General Plan/Charter Findings

1. **General Plan Land Use Designation.**

The Los Angeles General Plan sets forth goals, objectives and programs that guide both Citywide and community specific land use policies. The General Plan is comprised of seven State-mandated elements, including, Land Use, Transportation, Circulation (Mobility Plan 2035), Noise, Safety, Housing and Conservation. The Framework Element of the General Plan is a guide for communities to implement growth and development policies by providing a comprehensive long-range view of the City as a whole. The City's Land Use Element is divided into 35 community plans that establish parameters for land use decisions within those sub-areas of the City.

The subject site is located within the Reseda – West Van Nuys Community Plan as updated and adopted by City Council on November 17, 1999. The Community Plan designates the subject site for Low Residential with corresponding zones of RE9, RS, R1, RU, RD6, and RD5. The subject site is currently zoned RA-1-RIO, which is more restrictive than the range of zones associated with the Low Residential land use designation. The applicant's request to change the zone to R1-1-RIO is consistent with the Low Residential General Plan designation. Additionally, the subject site is not located within a geographic specific plan of overlay.

The project site has approximately 20,994 (gross) square feet of lot area, which would permit a maximum of one dwelling unit (one unit/per 17,500 square feet) pursuant to Chapter 1, LAMC Section 12.07 C.4. The applicant is requesting a Zone Change from RA-1-RIO to (T)R1-1-RIO, which would permit the requested density (i.e., one single-family dwelling unit on each parcel with a minimum area of 5,000 square feet per dwelling unit pursuant to Chapter 1, LAMC Section 12.08 C.4) if sufficient lot area is available after Code required dedications and improvements are made as conditioned herein and under incidental Case No. AA-2023-4401-PMLA-HCA.

The proposed project would be comprised of two 3,539 square foot single family residences, 24 feet 9 inches in height, on each proposed Parcel (Parcel A and Parcel B). Pursuant to Chapter 1 of LAMC Section 12.08 C, the R1 Zone would allow one unit per 5,000 square feet of lot area, or in this instance, two single family dwelling units if approved. As shown on "**Exhibit A**", the project involves an addition of 2,173 square feet to an existing approximately 1,366 square foot single-family residence on Parcel B and the construction, use, and maintenance of a new 3,539 square foot single family dwelling on Parcel A for a total of two approximately 3,539 square foot single family residences.

Pursuant to Chapter 1 of LAMC Section 12.21.1 A, a maximum height of 33 feet is allowed in the requested R1 Zone. As proposed, both single family dwellings propose a maximum height of 24 feet and 9 inches, as shown on "**Exhibit A**". As conditioned herein, the project will not exceed the proposed 24 feet 9 inches in height shown on "**Exhibit A**".

The applicant has met or exceeded setback and yard requirements. Pursuant to Chapter 1 of LAMC Section 12.08 C and shown on "**Exhibit A**", the proposed single family dwellings will provide the required setbacks as summarized below:

Setback	Minimum Required Setback	Parcel A	Parcel B
Front Yard (prevailing)	19.83 feet (Parcel A) 18.63 feet (Parcel B)	20 feet	20 feet
Rear Yard	15 feet	52 feet and 6 inches	85 feet and 6 inches
Side Yard (East)	6 feet	15 feet	15 feet
Side Yard (West)	6 feet	6 feet	6 feet

Pursuant to Chapter 1 of LAMC Section 12.21 A.4, one standard parking stall and one compact parking stall is required per dwelling unit. As shown on “**Exhibit A**”, the project proposes to provide the one standard and one compact parking stall per each dwelling lot for a total of four parking stalls. Vehicular access to the proposed project will be provided via two driveways, one driveway along Erwin Street to access Parcel B and one driveway along Delano Street to access Parcel A.

There are 12 trees on the subject site, including two protected California Black Walnut trees. A Protected Tree Report dated July 27, 2023 was prepared by Arsen Margossian, Bardez Landscape Services, Inc., and is attached to the subject case file. The Protected Tree Report identifies the removal of two California Black Walnut trees in fair health at the southerly portion of the subject site. In conformance with the Los Angeles Mobility Plan 2035, the applicant is required to provide a 30-foot wide strip of land to be dedicated along Delano Street adjoining the subdivision to complete a 30-foot wide half right-of-way dedication in accordance with Local Street standards. Due to the location of the two protected California Black Walnuts on the southerly portion of the project site and within the 30-foot wide dedication, the two native, protected trees are proposed for removal. The report recommends the planting of eight 48-inch box protected tree species to replace the California Black Walnut trees at a 4:1 basis. The Protected Tree Report additionally identifies the removal of one non-protected tree due to the construction of the new driveway to achieve the proposed project. As conditioned herein, the proposed project will require approval of a Protected Tree Report by the Department of Urban Forestry for the removal of any street tree or protected tree, as well as minimum tree replacement such as a 24-inch box at a 1:1 ratio for significant, non-protected trees, and 48-inch box protected tree species at a 4:1 basis for protected trees.

At the time this case was filed, the procedures of Chapter 1 of the Municipal Code were in effect until January 22, 2023. Therefore, this application is being processed under Chapter 1. For applications filed after January 23, 2023, the processes for reviewing planning applications and requests are outlined under Article 13 (Administration) of Chapter 1A.

2. **Charter Section 556 Findings: That the Zone Change is in substantial conformance with the purposes, intent, and provisions of the General Plan.**

Framework Element

The Framework Element sets forth a Citywide comprehensive long-range growth strategy and defines Citywide policies regarding such issues as land use, housing, urban form, neighborhood design, open space, economic development, transportation, infrastructure, and public services. The recommended Zone Change from RA-1-RIO to (T)R1-1-RIO conforms to the following objectives and policies of the Framework Element as follows:

Objective 3.5: Ensure that the character and scale of stable single-family residential neighborhoods is maintained, allowing for infill development provided that it is compatible with and maintains the scale and character of existing development.

Policy 3.5.2: Require that new development in single-family neighborhoods maintains its predominant and distinguishing characteristics such as property setbacks and building scale.

The project is designated Low Residential by the Reseda – West Van Nuys Community Plan and is zoned RA-1-RIO. The applicant's zone change request is consistent with the current General Plan land use designation. The existing RA Zone does not correspond to the Low Residential land use designation, but the requested R1-1 Zone does correspond to the land use designation. The proposed project would be comprised of two 3,539 square foot single family residences, 24 feet 9 inches in height. Pursuant to Chapter 1 of LAMC Section 12.08 C, the R1 Zone allows one unit per 5,000 square feet of lot area, or in this instance, a maximum density of two units if approved.

Furthermore, the Citywide General Plan Framework Element states:

Policy 4.3: Conserve scale and character of residential neighborhoods.

The surrounding area is a developed urban area of single-family residential uses. The properties to the north are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. The properties located to the east and south are zoned R1-1 and designated Low Residential. The properties located to the west of the subject site are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. One property located two properties west of the subject site is zoned RA-1 and designated as Low Residential. The area is developed solely of one and two-story single-family residential dwellings. All of the surrounding sites along Delano Street have been improved with a curb, gutter, and concrete sidewalk with the exception of the sites located directly east of the site. As proposed, the two 3,539 square foot single family residences, 24 feet 9 inches in height allows the site to provide additional dwelling units in a manner which ensures that the character and scale of the existing single-family residential neighborhood is maintained while allowing for infill development that is compatible with the surrounding area.

Housing Element

The 2013-2021 Housing Element of the General Plan is the City's blueprint for meeting housing and growth challenges. According to the Housing Element, there is a "crisis" of housing in the City. In Los Angeles, there is a need for more housing units, and a need for a broader array of housing types to meet evolving household types and sizes at different price points. The Housing Element includes the following objectives and policies relevant to the instant request:

Goal 1: A City where housing results in an ample supply of housing...

Objective 1.1: Forecast and plan for existing and projected housing needs over time with the intention of furthering Citywide Housing Priorities.

Goal 2: A City that preserves and enhances the quality of housing and provides greater housing stability...

The proposed project involves the addition to an existing single family dwelling unit and the construction, use, and maintenance of an additional single family dwelling unit in an existing single family residential neighborhood. The project provides benefits to the City's housing needs while carefully preserving the character and integrity of the existing neighborhood.

According to Chapter 1, Housing Element 2021-2029, nearly half of citywide population growth since 2010 has been in the Valley. By preserving housing and creating additional units, the project directly contributes to the City's housing inventory, addressing the growing demand for housing in a rapidly increasing populated area. The introduction of these units offers more choices for residents, accommodating different household sizes and living arrangements and helps meet the varied housing preferences and needs within the surrounding community.

Mobility Element 2035

Chapter 2 of the Mobility Plan 2035 incorporates the Complete Streets Design Guide with a specific street classification according to the Bureau of Engineering Standard Plan for Street Dimensions.

In conformance with the Los Angeles Mobility Plan 2035, the applicant is required to provide a 30-foot wide strip of land to be dedicated along Delano Street adjoining the subdivision to complete a 30-foot wide half right-of-way dedication in accordance with Local Street standards. The applicant is also required to provide a 3-foot wide strip of land to be dedicated to complete a 33-foot wide half right-of-way dedication in accordance with Collector Street standards of the LA Mobility Plan. In addition to dedications, the applicant is required to provide improvements to both Erwin and Delano Street with new five foot wide concrete sidewalks and landscaping of the parkway. The dedications and improvements described above are incorporated and conditioned herein. By requiring such dedications and improvements, the request will allow for the development of more complete streets in the area promoting safer circulation within the subject area and allow for pedestrian-friendly sidewalks.

The surrounding area is largely improved with sidewalks, landscaped parkways and complete widened streets. The dedications and improvements conditioned herein will further connect to the existing improvements, specifically with the adjacent lots to the west along Delano Street further promoting connectivity and safe, walkable neighborhoods.

General Plan/Community Plan

The Reseda – West Van Nuys Community Plan Map includes the following footnote No. 5:

Each Plan category permits all indicated corresponding zones as well as those zones referenced in the Los Angeles Municipal Code (LAMC) as permitted by such zones unless further restricted by adopted Specific Plans, specific conditions and/or limitations of project approval, Plan footnotes or other Plan map or text notations. Zone established in the LAMC subsequent to the adoption of the Plan shall not be deemed as corresponding to any particular Plan category unless the Plan is amended to so indicate. It is the intent of the Plan that the entitlements granted shall be one of the zone designations within the corresponding zones shown on the Plan, unless accompanied by a concurrent Plan Amendment.

The project is designated Low Residential by the Reseda – West Van Nuys Community Plan and is zoned RA-1-RIO. The applicant's zone change request is consistent with the current General Plan land use designation. The existing RA Zone is more restrictive than the range of zones corresponding to the Low Residential land use designation, but the requested R1-1 Zone corresponds to the land use designation. The proposed project would be comprised of two 3,539 square foot single family residences, 24 feet 9 inches in height. Pursuant to Chapter 1 of LAMC Section 12.08 C, the R1 Zone allows one unit per 5,000 square feet of lot area, or in this instance, a maximum density of two units if approved.

The Community Plan text includes the following relevant land use goals, objectives, policies and programs:

Objective 1-1: To provide for the preservation of existing housing and for the development of new housing to meet the diverse economic and physical needs of the existing residents and projected population of the Plan area...

Policy 1-1.2: Protect existing single family residential neighborhood from new, out of scale development.

Objective 1-2: To preserve and enhance the varied and distinct residential character and integrity of existing single and multi-family neighborhoods.

Policy 1-2.2: Consider factors such as neighborhood character and identity, compatibility of land uses, impact on livability, impacts on services and public facilities, and impacts on traffic levels when changes in residential densities are proposed.

As previously mentioned, the surrounding area is a developed urban area of one to two-story single-family residential uses. All of the surrounding sites along Delano Street have been improved with a curb, gutter, and concrete sidewalk with the exception of the sites located directly east of the site. As proposed, the two 3,539 square foot single family residences, 24 feet 9 inches in height, allows the site to provide additional dwelling units in a manner which ensures that the character and scale of the existing single-family residential neighborhood is maintained while allowing for infill development that is compatible with the surrounding area. With dedications and improvements conditioned herein, the proposed development will not only be enhancing the single family nature of the surrounding area but also ensuring Delano and Erwin Street are dedicated and improved in accordance with the standards of the Los Angeles Mobility Plan 2035 promoting safer circulation and connectivity of pedestrian-friendly sidewalks that will with the surrounding improvements.

3. **Charter Section 558 Findings: That the action is in substantial conformance with the purposes, intent and provisions of the General Plan.**

The Planning Commission shall hold a public hearing and make a report and recommendation to the Council regarding the relation of the proposed Zone Change to the General Plan and whether adoption of the proposed Zone Change will be in conformity with public necessity, convenience, general welfare and good zoning practice.

Entitlement Findings

The proposed Zone Change and T Conditions are consistent with Section 558 of the City Charter and Chapter 1 of LAMC Section 12.32 and will be in conformance with public necessity, convenience, general welfare, and good zoning practice as described below.

4. **Zone Change, Chapter 1 of LAMC Section 12.32. F - That the zone change is in harmony with the objectives of the General Plan and is in conformity with the public necessity, convenience, general welfare, and good zoning practice.**

Public Necessity

The Zone Change from RA-1-RIO to (T)R1-1-RIO is conditioned to be in substantial conformance with the plans and materials submitted by the applicant (see “**Exhibit A**”) and reviewed and stamped by LADBS Plan Check on March 15, 2024. As proposed, the two 3,539 square foot single family residences, 24 feet 9 inches in height, allows the site to provide additional dwelling units in a manner which ensures that the character and scale of the existing single-family residential neighborhood is maintained while allowing for infill development that is compatible with the surrounding area. As previously mentioned, the Housing Element documents a housing “crisis” within the City. The requested Zone Change to (T)R1-1-RIO is consistent with the Community Plan land use designation of Low Residential. The subject site is currently zoned RA-1-RIO, which is more restrictive than the range of zones associated with the Low Residential land use designation. The project site has approximately 20,994 (gross) square feet of lot area, which would permit a maximum of one dwelling unit (one unit/per 17,500 square feet). The project allows the site to secure an appropriate development in harmony with the objectives of the General Plan, by allowing for a zone which is consistent with the General Plan.

Convenience

The surrounding area is solely comprised of one to two-story single family residences. The closest public transit is found approximately 0.5 miles southeast of the subject site at the Metro 237 bus along White Oak Avenue and Delano Street. Further, the subject site is in close proximity to the Sepulveda Basin Recreation Area (less than 1 mile to the east) .

General Welfare

(T) Conditions are imposed herein to require dedications and improvements along the subject site’s public right-of-way. Dedications include a 30-foot wide strip of land to be dedicated along Delano Street adjoining the subdivision to complete a 30-foot wide half right-of-way dedication in accordance with Local Street standards. The applicant is also required to provide a 3-foot wide strip of land be dedicated to complete a 33-foot wide half right-of-way dedication in accordance with Collector Street standards of the LA Mobility Plan. In addition to dedications, the applicant is required to provide improvements to both Erwin and Delano Street with new five foot wide concrete sidewalks and landscaping of the parkway. By requiring such dedications and improvements, the request will allow for the development of more complete streets in the area promoting safer circulation within the subject area and allow for pedestrian-friendly sidewalks.

Additional conditions have been imposed herein to maintain compatibility with the surrounding residential neighborhood and to promote climate resilience and sustainability such as landscaping, tree replacement, and solar-ready buildings.

Good Zoning Practices

The requested Zone Change to (T)R1-1-RIO is consistent with the land use designation and is therefore an appropriate zone for the site. In light of facing an unprecedented housing crisis, the requested zone change from RA-1-RIO to (T)R1-1-RIO will permit an additional single-family dwelling otherwise prohibited by the density limitations of the RA-1 Zone; thus, adding an additional dwelling unit to the market supply in order to meet market demands. Lastly the zone will be consistent with adjacent parcels which are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 to the north, south east and west.

The Zone Change is in harmony with Framework and Housing Element by providing additional dwelling units in a manner which ensures that the character and scale of the existing single-family residential neighborhood is maintained while allowing for infill development that is compatible with the surrounding area. The proposed project is in harmony with the LA Mobility Plan 2035 by requiring dedications and improvements, the request will allow for the development of more complete streets in the area promoting safer circulation within the subject area and allow for pedestrian-friendly sidewalks. Finally, the proposed project meets the objectives of the Reseda – West Van Nuys Community Plan by preserving an existing single family neighborhood with in-scale development. Therefore, the proposed zone change is conditioned as deemed necessary and will secure an existing and appropriate development in harmony with the objectives of the General Plan and is in conformance with public necessity, general welfare, convenience, and good zoning practice.

5. **T Condition Finding: *Public necessity, convenience and general welfare require that provision be made for the orderly arrangement of the property concerned into lots and/or that provision be made for adequate streets, drainage facilities, grading, sewers, utilities, park and recreational facilities; and/or that provision be made for payments of fees in lieu of dedications and/or that provision be made for other dedications; and/or that provision be made for improvements; all in order that the property concerned and the area within which it is located may be properly developed in accordance with the different and additional uses to be permitted within the zone to which the property is proposed for change.***

The current action, as recommended, has been made contingent upon compliance with “T” conditions of approval imposed herein for the proposed project. Such T Conditions are necessary to ensure that any identified dedications, improvements, and actions are undertaken to meet the public’s needs, convenience, and general welfare served by the actions required. These T Conditions ensure future street dedication, street improvements, street lighting and fire safety and access. The installation of street trees in the public right-of-way will be reviewed and approved by the Bureau of Engineering and Bureau of Street Trees, Urban Forestry Division.

Additionally, the project will be further reviewed as appropriate by the Department of Building and Safety, Bureau of Engineering, and Bureau of Sanitation for any other necessary conditions relating to construction and/or infrastructure improvements. These actions and improvements will provide the necessary infrastructure to serve the proposed community at this site and provide for the public necessity, convenience, and general welfare.

CEQA Findings

6. **CEQA.** Pursuant to State CEQA Guidelines and City Guidelines and based on the whole of the administrative record, the Project has been granted a Categorical Exemption under ENV-2023-4403-CE and has found to be exempt from CEQA pursuant to CEQA Guidelines, Section 15301, Class 1, Section 15303, Class 3. Incidental Case No. AA-2023-4402-PMLA-HCA was found to be exempt from CEQA under Section 15332, Class 32. There is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

The records upon which this decision is based are with Valley Project Planning, Department of City Planning, 6262 Van Nuys Boulevard, Room 430, Los Angeles, CA 91401.

PUBLIC HEARING AND COMMUNICATIONS

A joint Public Hearing was held virtually on May 28, 2024, at 10:30 a.m., and was conducted by Department of City Planning Staff as the Hearing Officer for the South Valley Area Planning Commission and Deputy Advisory Agency for Case Nos. APCSV-2023-4402-ZC-HCA and AA-2023-4401-PMLA-HCA. The applicant team attended the hearing and included the applicant/owner, David Danil, Ohel, LLC, and representative, Ben Ansari, Complete Package Drafting. Also in attendance were representatives from City Departments of Engineering, Transportation, Recreation and Parks, and Street Lighting. The hearing was conducted as follows:

- City Planning staff summarized the proposed project location, zoning, description, and entitlements requested.
- The applicant team confirmed that the information provided by City Planning Staff was accurate and thorough and had no further information to provide. The applicant agreed with all conditions in the Draft Staff Report for Case No. AA-2023-4401-PMLA-HCA and did not request any revisions.
- A neighbor, Robert Lockerby, residing across the subject site on Delano Street, did not provide a comment however they did ask the questions listed below:
 - There is a barn currently on the existing site and am wondering what will happen with the critters/feral cats?
 - Is there a way a curb can be constructed on the Delano side for additional parking?
- Robert Lockerby's comments and questions were responded to as follows:
 - The applicant team responded that they will provide dedication and improvements as conditioned and required by Bureau of Engineering and will also be providing the code required minimum parking on both sites to provide ample parking.

The City Departments of Engineering, Transportation, Recreation and Parks, and Street Lighting did not modify their recommendations. Additionally, the project team did not ask for any revisions to the current staff recommendation.

At the conclusion of the Public Hearing, the Deputy Advisory Agency disclosed their inclination to approve the project as conditioned in the Draft Staff Report. Planning staff stated that a decision for the Zone Change would be made at a future date to be determined by the South Valley Area Planning Commission.

EXHIBIT A

PROJECT PLANS

March 15, 2024

SCOPE OF WORK

- [N] PROPOSED 2-STORY SINGLE FAMILY DWELLING (3,539 SQ.FT)

OWNER

- OHEL, LLC

TERMS AND CONDITIONS

NOTICE TO THE CONTRACTOR, BUILDER, INSTALLER, SUB-CONTRACTOR, AND/OR OWNER-BUILDER: BY USING THESE DRAWINGS, YOU AGREE TO:

- CONDUCT YOUR OWN INDEPENDENT PROPERTY SURVEY AND/OR EXACT MEASUREMENTS OF ALL INTERIOR AND EXTERIOR PORTIONS OF THE PROPERTY.
- INDEPENDENTLY VERIFY ALL EXISTING DIMENSIONS AND/OR CONDITIONS BEFORE THE PLAN CHECK. BEFORE THE START OF THE CONSTRUCTION, AND DURING THE CONSTRUCTION, COMPLETE PACKAGE DRAFTING IS NOT RESPONSIBLE FOR YOUR INDEPENDENT FAILURE TO VERIFY ALL EXISTING DIMENSIONS AND/OR CONDITIONS.
- ASSUMPTIONS MIGHT HAVE BEEN MADE, YOU MUST VERIFY AND NOTIFY COMPLETE PACKAGE DRAFTING IF CHANGES ARE NECESSARY.
- CHANGES MIGHT BE NECESSARY DURING THE CONSTRUCTION. SUCH CHANGES MAY NOT BE INCLUDED IN YOUR CONTRACT WITH COMPLETE PACKAGE DRAFTING.
- ANY CHANGES AFTER THE PERMIT ISSUANCE, REGARDLESS OF REASONS AND/OR CAUSATION, MAY RESULT IN FEES AND/OR CHARGES ON AN HOURLY BASIS.
- THE OWNER AND/OR PROJECT OWNER IS/ARE RESPONSIBLE TO COMPENSATE COMPLETE PACKAGE DRAFTING FOR ANY TIME SPENT AFTER THE PERMIT IS ISSUED REGARDLESS OF REASONS AND/OR CAUSATIONS, EVEN IF A CONTRACTOR SAYS IT'S A MISTAKE OR IT'S WRONG.
- A CONTRACTOR OR SUB-CONTRACTOR, REGARDLESS OF LICENSE STATUS AND YEARS OF EXPERIENCE, IS NOT QUALIFIED TO DECIDE WHAT IS CORRECT OR WRONG ON THESE DRAWINGS.
- NO GUARANTEE OR INSURANCE HAS BEEN PROMISED WHATSOEVER BY THE DRAFTER TO THE OWNER, PROJECT OWNER AND/OR ANY CONTRACTOR.
- CREATOR(S) OF THE PLANS DO NOT OWE OR HAVE ANY OUTSTANDING COMMITMENTS POST PERMIT ISSUANCE.
- ELECTRONIC FILES, INCLUDING BUT NOT LIMITED TO CAD FILES, WILL NOT BE SHARED. THEY WILL REMAIN THE WORK PRODUCT OF DRAFTER.
- THE PDF OF THE PLANS WILL BE EMAILED ONLY ONCE AFTER THEY'RE APPROVED BY THE BUILDING DEPARTMENT OR COMPLETION OF THE PROJECT FOR FREE. THERE WILL BE A FEE FOR PROVIDING ADDITIONAL COPIES OF ANY PLANS AFTER THAT.
- ALL FUTURE WORK WILL DEPEND ON AVAILABILITY. COMPLETE PACKAGE DRAFTING RESERVES THE RIGHT TO REFUSE FUTURE WORK TO ANY CUSTOMER.
- RUSHED REQUESTS MAY OR MAY NOT BE FULFILLED REGARDLESS OF WILLINGNESS TO COMPENSATE.
- ALL QUESTIONS AND REQUESTS FOR INFORMATION (RFI) MUST BE SUBMITTED PRIOR TO CONSTRUCTION TAKE-OFF. A FEE MAY BE REQUIRED FOR ANSWERING QUESTIONS AND PROVIDING INFORMATION REGARDLESS OF THE REASON AND/OR CAUSATION OF THE QUESTION AND/OR REQUESTS.

NOTES FOR PLANNING

REQUESTED ENTITLEMENTS

- AUTHORIZING CODE SECTION LAMC SECTION 17.50 AUTHORIZES PARCEL MAP ACTIONS.
- ACTION REQUESTED, NARRATIVE: THIS PROJECT AIMS TO SUBDIVIDE THE LOT INTO TWO SEPARATE LOTS.
- AUTHORIZING CODE SECTION: LAMC SECTION 12.32-F AUTHORIZES ZONE CHANGE ACTIONS.
- ACTION REQUESTED, NARRATIVE: THIS PROJECT AIMS TO CHANGE THE ZONE FROM RA TO R1. EACH LOT AREA AFTER SUBDIVISION WILL BE UNDER 17,500 SQ.FT WHICH IS THE MINIMUM FOR RA. SO WE HAVE TO CHANGE THE ZONE FROM RA TO R1

SHEET INDEX

NUMBER	NAME
A0.0	COVER SHEET
A0.1	SITE PLAN
A0.2	AREA ANALYSIS
A0.3	PREVAILING SETBACK CALCULATION
A1	PROPOSED FLOOR PLAN - SFD A
A2	ELEVATIONS - SFD A
A3	ELEVATIONS - SFD A
A4	SECTIONS - SFD A
A5	ROOF PLAN - SFD A
A6.0	ISOMETRIC VIEWS
A6.1	ISOMETRIC VIEWS
A6.2	ISOMETRIC VIEWS
GRC-0	GREEN BUILDING CODES
GRC-1	GREEN BUILDING CODES
LID0	LID COMPLIANCE
LID1	LID COMPLIANCE
N1	NOTES
N2	GENERAL DETAILS - USE AS APPLICABLE
N3	DETAILS
N4	DETAILS
T24.0	TITLE 24
T24.1	TITLE 24

PROJECT ADDRESS

MAIN 17820 W ERWIN ST, ENCINO, CA 91316

COMPLETE PACKAGE DRAFTING
CPdrafting.com
 22815 Ventura Blvd. #227
 Woodland Hills, CA 91364
 Tell: (818) 493-1121
 Info@CPdrafting.com

LEGAL DESCRIPTION AS OF 06/01/2023

SITE ADDRESS 17820 W ERWIN ST
ZIP CODE 91316
PIN NUMBER 177B129 92
LOT / PARCEL AREA (CALCULATED) 21,782.2 (sq ft)
THOMAS BROTHERS GRID PAGE 531 - GRID A7
ASSESSOR PARCEL NO. (APN) 2123025011
TRACT TR 5947
MAP REFERENCE M B 63-96/97
BLOCK None
LOT FR 113
ARB (LOT CUT REFERENCE) None
MAP SHEET 177B129

PLANNING AND ZONING AS OF 06/01/2023

SPECIAL NOTES None
ZONING RA-1-RIO
ZONING INFORMATION (ZI) ZI-2358 RIVER IMPLEMENTATION OVERLAY DISTRICT (RIO)
ZONING INFORMATION (ZI) ZI-2462 MODIFICATIONS TO SF ZONES AND SF ZONE HILLSIDE AREA REGULATIONS
ZONING INFORMATION (ZI) ZI-2438 EQUINE KEEPING IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE Low Residential
GENERAL PLAN NOTE(S) Yes
HILLSIDE AREA (ZONING CODE) No
SPECIFIC PLAN AREA None
SUBAREA None
SPECIAL LAND USE / ZONING None
HISTORIC PRESERVATION REVIEW No

NOTES

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE (70) (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1210.2.3, 2406.4.5, R307.2, R308.4)
- WATER HEATER MUST BE STRAPPED TO WALL. (507.3 & LAPC)
- SPRINKLER SYSTEM MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION.
- A FIRE ALARM (VISUAL AND AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION. (LAMC 57.122)
- CARBON MONOXIDE ALARM IS REQUIRED PER (420.6, R315)

AREA PER LOT

	LOT TOWARD ERWIN ST	LOT TOWARD DELANO ST
TOTAL SQUARE FOOTAGE OF THE EXISTING DEVELOPMENT	1,366	0
SQUARE FOOTAGE TO BE DEMOLISHED	0	0
SQUARE FOOTAGE TO BE BUILT	2,173	3,539
NET NEW SQUARE FOOTAGE	3,539	3,539
TOTAL GROSS SQUARE FOOTAGE	3,539	3,539
TOTAL	7,078 SQ.FT	

EXHIBIT "A"
 Page No. 1 of 19
 Case No. APCSV-2023-4402-ZC-HCA



AREA TABLE

AREA TABLE		
PROPOSED 2-STORY DWELLING	3,539	SF
PROPOSED HEIGHT	24'-9"	
PROPOSED PARKING SPACES	2	
TOTAL LOT SIZE	18,685	SF
AREA OF PARCEL A	8,188	SF
MAX. ALLOWABLE AREA (45%)	3,684.6	SF

ASSESSOR AS OF 06/01/2023

BUILDING 1
YEAR BUILT 1953
BUILDING CLASS D55A
NUMBER OF UNITS 1
NUMBER OF BEDROOMS 2
NUMBER OF BATHROOMS 2
BUILDING SQUARE FOOTAGE 1,366.0 (sq ft)

VICINITY MAP (N.T.S)



APPLICABLE CODES

- 2023 CALIFORNIA BUILDING CODE.
- 2023 CALIFORNIA ELECTRICAL CODE.
- 2023 CALIFORNIA MECHANICAL CODE.
- 2023 CALIFORNIA PLUMBING CODE.
- 2023 CALIFORNIA GREEN BUILDING CODE.
- 2023 CALIFORNIA ENERGY CODE.
- 2023 LA MUNICIPAL CODE

ALL PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY
EQUINE KEEPING CHECKLIST FORM

No building permit shall be issued for any building creating new habitable space on a lot located in whole or in part within an Equine Keeping "K" District and/or any lot zoned RA, RE20, RE40, A1, or A2 without completing this form. This form shall be completed and submitted during plan check. For more information on the process, refer to the flowchart.

Address: _____

PCIS: _____

Please read the following two (2) questions carefully and answer either YES or NO:

- (1) Is there any equine keeping on any of the adjacent properties?
 (i.e. an equine, animal keeping enclosure, barn, equine license) NO YES
- (2) Is there any equine keeping on your property?
 (i.e. an equine, animal keeping enclosure, barn, equine license) NO YES

If the answer to either of the above questions is "yes", you will need to provide a dimensioned site plan that is to-scale and which shows the location of the equine keeping structure and/or enclosure on your lot and any of the adjacent properties and indicate the distances between your proposed habitable room additions, new single family dwelling unit, Accessory Living Quarters or Servant Quarters and such structures and/or enclosures. The information on the site plan shall be verified by LADBS inspection before construction can commence.

Please call (888)LA4BUILD or (888)524-2845, for Equinekeeping pre-construction inspection to verify the accuracy of the provided information before starting any construction.

For information on the setback requirements from an equine keeping structure and/or enclosure, please see LADBS Information Bulletin No. P/ZC 2002-018.

http://ladbs.org/LADBSWeb/LADBS_Forms/InformationBulletins/IB-P-ZC2014-018EquineKeeping.pdf

Any incorrect information may lead to the revocation of the corresponding permits.

Property owner or the authorized agent's name: _____

Property owner or the authorized agent's signature: _____

Date: ____/____/____ September 2, 2014

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 CPdrafting.com
 22815 Ventura Blvd. #227
 Woodland Hills, CA 91364
 Tell: (818) 493-1121
 Info@CPdrafting.com



PROJECT
 17820 W ERWIN ST -
 PROPERTY ADDRESS
 17820 W ERWIN ST,
 ENCINO, CA 91316

SHEET NAME
 COVER SHEET
 SCALE

SCALE
 DATE
MARS 12 - 2024
 SHEET TITLE
COVER SHEET

A0.0

LEGEND

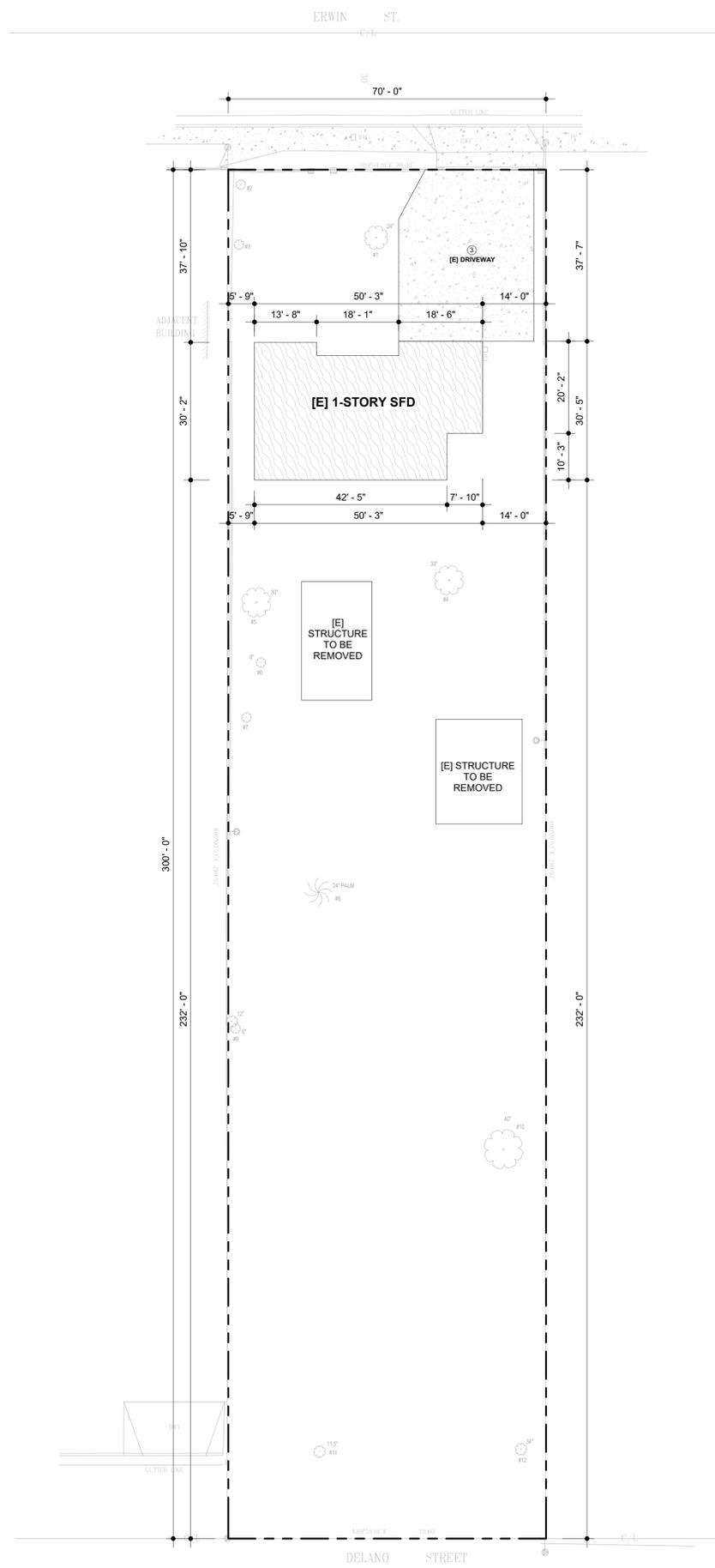
- ① PROPOSED 2-STORY SINGLE FAMILY DWELLING
- ② BUILDING ENTRANCE
- ③ DRIVEWAY
- [E] 1-STORY SINGLE FAMILY DWELLING TO BE REMODELED
- PROPOSED SUBDIVISION LOT LINE
- RIGHT-OF-WAY DEDICATION

NOTES

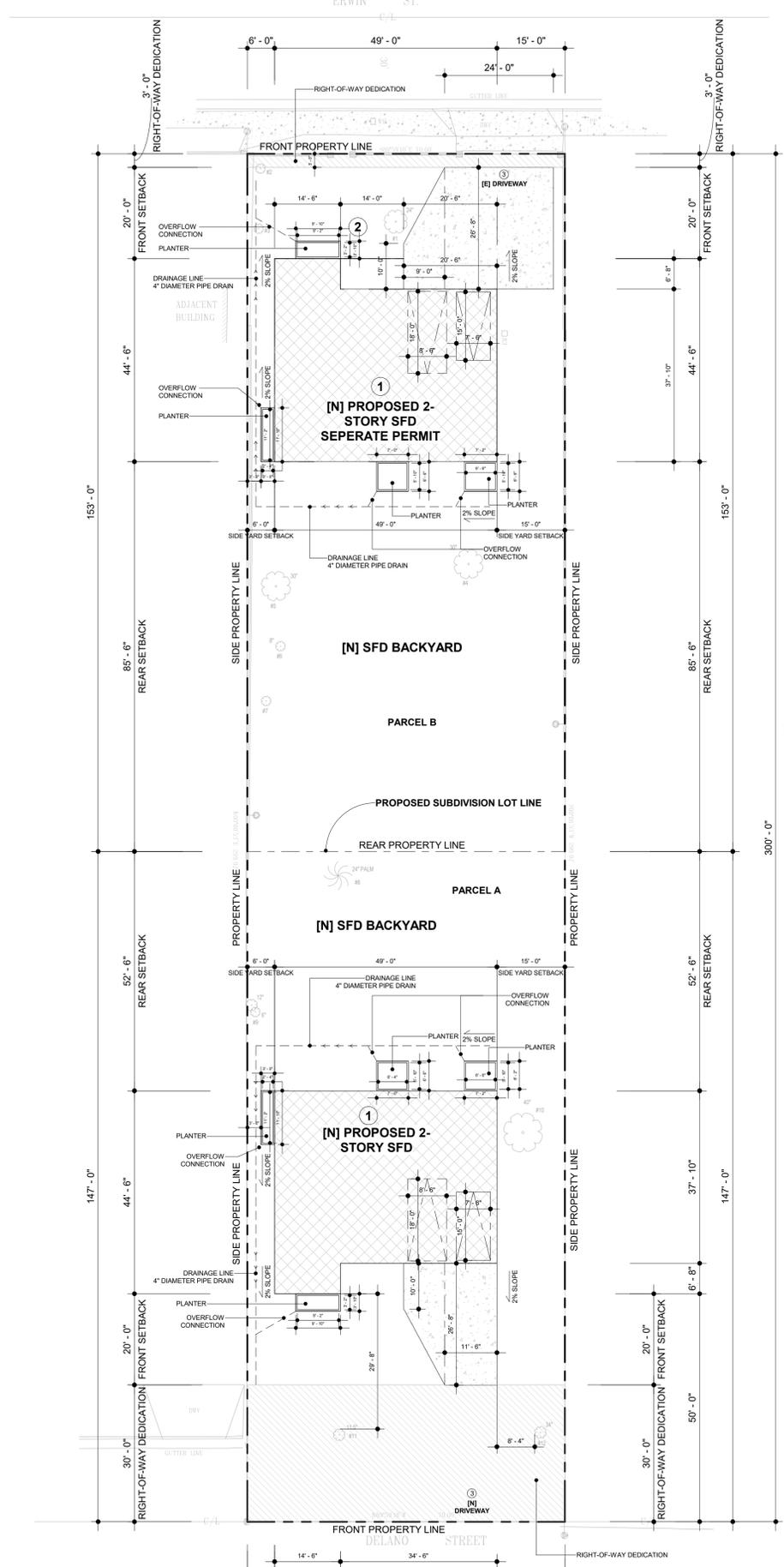
1. EQUIPMENT, ANY EXTERIOR EQUIPMENT (ELECTRICAL TRANSFORMERS, MECHANICAL UNITS, WATER METERS) MUST BE SCREENED FROM PUBLIC VIEW.

AREA TABLE

LOT SIZE	18,685	SF
PARCEL "A"	8,188	SF
PARCEL "B"	10,497	SF



① EXISTING SITE PLAN
1/16" = 1'-0"



② PROPOSED SITE PLAN
1/16" = 1'-0"




 CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: Daniel Yip
 DATE: 03/15/2024
 APPLICATION #: 24010-10000-00781

EXHIBIT "A"
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 Case No. APCSV-2023-4402-ZC-HCA


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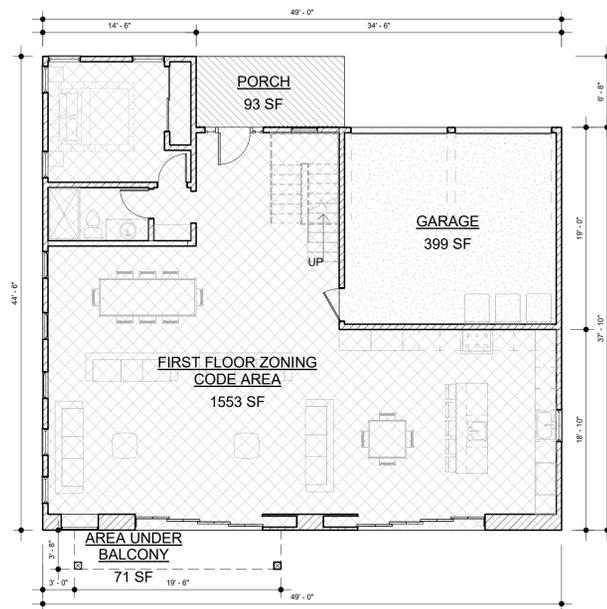
PROJECT
 17820 W ERWIN ST.
 PROPERTY ADDRESS
 17820 W ERWIN ST.
 ENCINO, CA 91316

SHEET NAME
 SHEET NAME
 SITE PLAN
 SCALE
 1/16" = 1'-0"

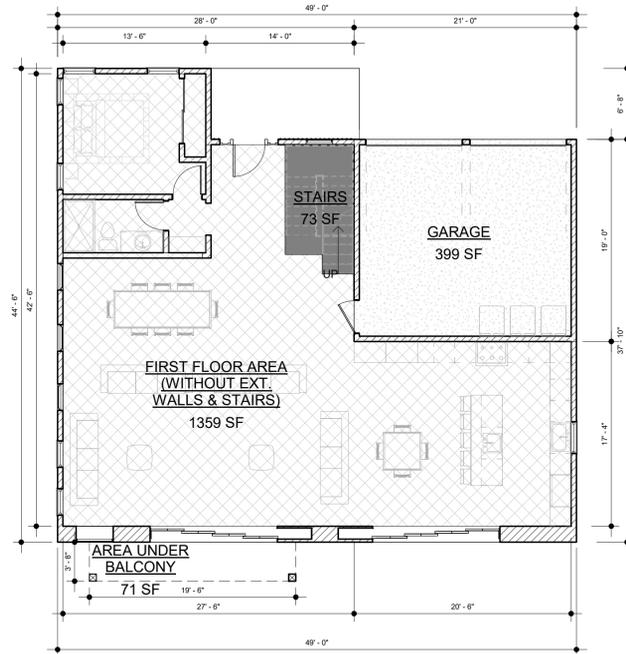
SCALE
 1/16" = 1'-0"
 DATE
 MARS 12 - 2024
 SHEET TITLE
 SITE PLAN

A0.1

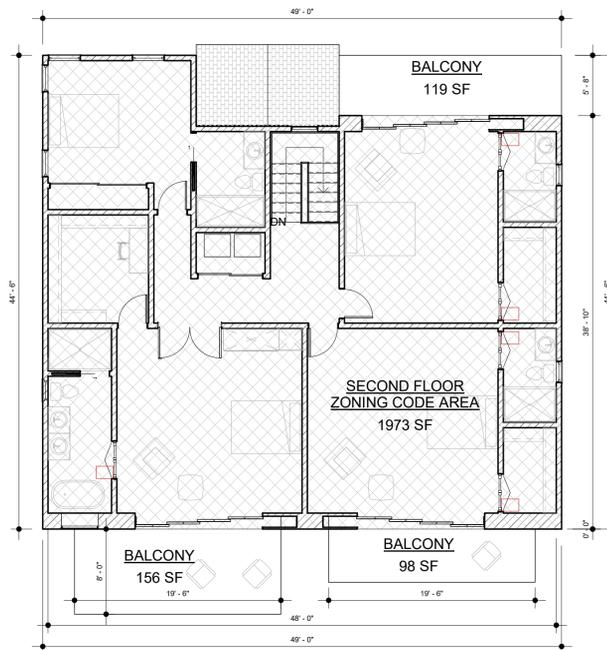
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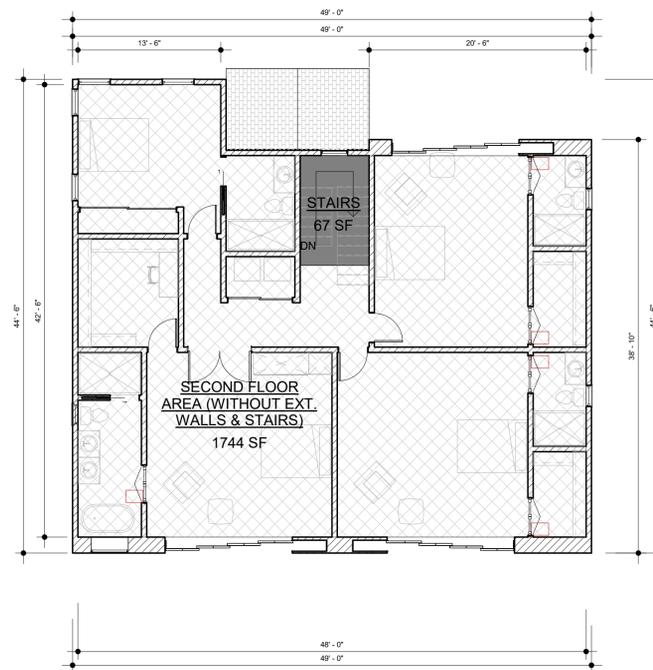
1 FIRST FLOOR - BUILDING CODE AREA
1/8" = 1'-0"



3 FIRST FLOOR - RFA
1/8" = 1'-0"



2 SECOND FLOOR - BUILDING CODE AREA
1/8" = 1'-0"



4 SECOND FLOOR - RFA
1/8" = 1'-0"

BUILDING CODE FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,553
FRONT PORCH	93
AREA UNDER THE BALCONY	71
GARAGE	399
SECOND FLOOR	1,973
TOTAL BUILDING CODE AREA	4,089

RESIDENTIAL FLOOR AREA AND SCHOOL FEE	
LEVEL	SF
FIRST FLOOR	1,359
FRONT PORCH	93
AREA UNDER THE BALCONY	71
STAIRS AT FIRST FLOOR	73
SECOND FLOOR	1,744
GARAGE (-200 SF EXEMPTION)	199
TOTAL RFA & SCHOOL FEE AREA	3,539

U OCCUPANCY FLOOR AREA	
LEVEL	SF
GARAGE	399
TOTAL	399

R3 OCCUPANCY FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,596
SECOND FLOOR	1,943
TOTAL	3,539



EXHIBIT "A"
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PROJECT
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PROPERTY ADDRESS
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ENCINO, CA 91316

SHEET NAME
SHEET NAME
AREA ANALYSIS
SCALE
1/8" = 1'-0"

SCALE
1/8" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
AREA ANALYSIS

A0.2

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KEY MAP



PREVAILING SETBACK CALCULATION :

NUMBER OF LOTS: 17

PREVAILING SETBACK: 19.83 FT

TOTAL NO OF LOTS ENTERED: 17

TOTAL FRONTAGE ENTERED: 1120.54 FT

40% FROM TOTAL FRONTAGE ENTERED: 448.22 FT

NO OF LOTS USED IN THE CALCULATION: 12

SETBACK RANGE USED: 19.00 FT - 20.50 FT

TOTAL FRONTAGE USED IN THE CALCULATION: 730.73 FT

Add Lot

Enter the Lot Information after adding rows:

Lot	Frontage (ft)	Setback (ft)	
1	99.41	30.5	x
2	92.2	19.3	x
3	52.98	20.2	x
4	72.6	2.5	x
5	72.6	0	x
6	72.6	20	x
7	72.6	20	x
8	48.4	20.4	x
9	48.4	19.8	x
10	48.4	20	x
11	75	19	x
12	70	19.2	x
13	70	68.2	x
14	75.2	72.8	x
15	50	19.8	x
16	50	20.5	x
17	50.15	19.7	x

Clear

Calculate

View Calculation Details

Results

Number of lots: **17**

Prevailing Setback: **19.83 ft**

Calculation

Total no of lots entered: **17**

Total frontage entered: **1120.54 ft**

40% from total frontage entered: **448.22 ft**

No of lots used in the calculation: **12**

Setback range used: **19.00 ft - 20.50 ft**

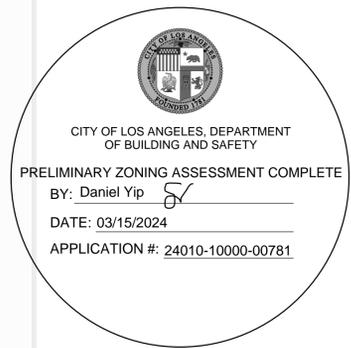
Total frontage used in the calculation: **730.73 ft**

Lots Used

Lot	Frontage (ft)	Setback (ft)
2	92.20	19.30
3	52.98	20.20
6	72.60	20.00
7	72.60	20.00
8	48.40	20.40
9	48.40	19.80
10	48.40	20.00
11	75.00	19.00
12	70.00	19.20
15	50.00	19.80
16	50.00	20.50
17	50.15	19.70

EXHIBIT "A"

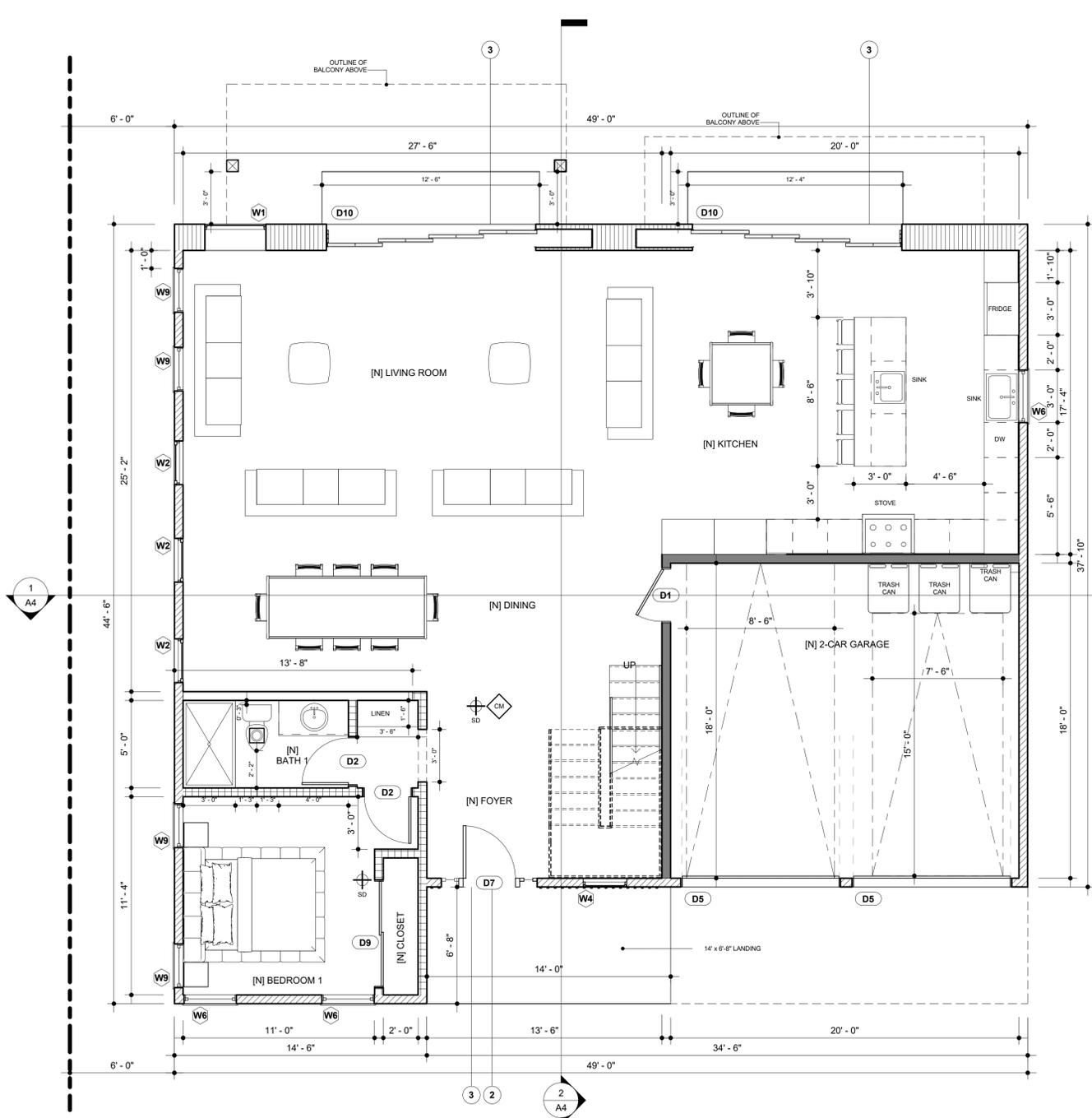
Page No. 4 of 19
Case No. APCSV-2023-4402-ZC-HCA



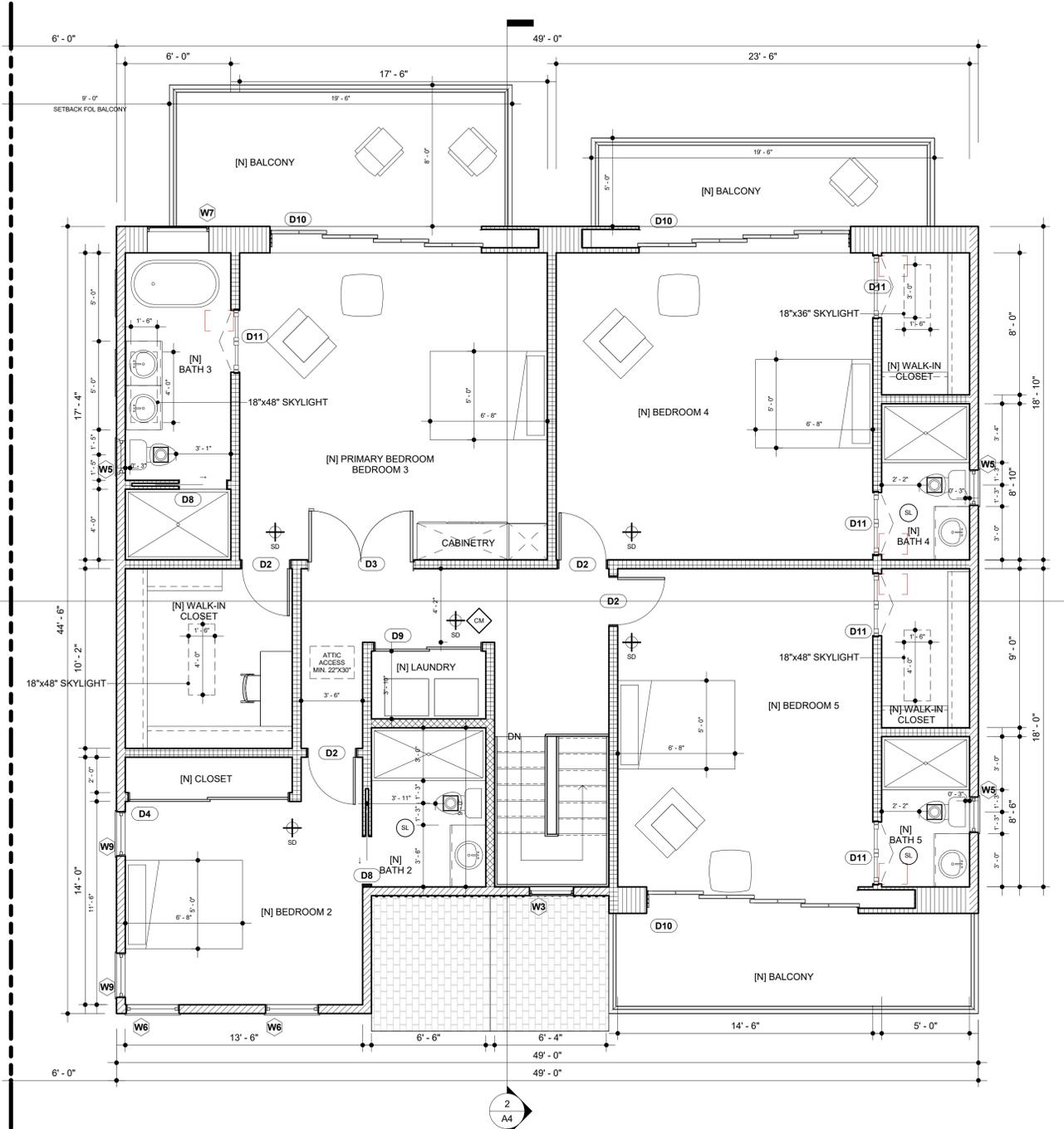
Setback Range Used (ft)	No Lots Used	Lots Designation	Frontages Used (ft)	Total Frontage (ft)	Setbacks Used (ft)	Total Setback (ft)
19.00 - 20.50	12	2, 3, 6, 7, 8, 9, 10, 11, 12, 15, 16, 17	92.20, 52.98, 72.60, 72.60, 48.40, 48.40, 48.40, 75.00, 70.00, 50.00, 50.00, 50.15	730.73	19.30, 20.20, 20.00, 20.00, 20.40, 19.80, 20.00, 19.00, 19.20, 19.80, 20.50, 19.70	237.90



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1 PROPOSED FIRST FLOOR PLAN - SFD A
1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN - SFD A
1/4" = 1'-0"



LEGEND

- HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
 - CARBON MONOXIDE - HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
 - SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3
 - MECHANICAL VENT, 7 1/2 CFM AIR CHANGE PER PERSON, ENERGY STAR, EXHAUST FANS COMPLY WITH THE FOLLOWING:
 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 3. MIN. 50 CFM.
-
- 2x4 EXISTING MODIFIED WALL
 - 2x6 NEW EXTERIOR WALL
 - 2x6 NEW PLUMBING WALL
 - 1-HR FIRE RATED & S0 STO SOUNDPROOFING WALL PER LABDS P/B/C 2020-069 ON SHEET N4.
 - NEW OVERSIZED WALL FOR BIFOLD DOORS
 - 2x4 NEW INTERIOR WALL

WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	TYPE	TEMPERED	NOTES
W1	3'-6"	6'-6"	FIXED		
W2	2'-6"	7'-0"	TRIPLE HUNG		
W3	2'-6"	6'-0"	FIXED		
W4	2'-6"	2'-6"	FIXED		
W5	2'-0"	4'-0"	HUNG	YES	
W6	3'-0"	5'-0"	HUNG	YES	
W7	3'-6"	4'-0"	FIXED		
W9	2'-6"	5'-0"	HUNG		

- EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENING WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):
- A. MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMAWDMACSA 101/1.5.2/A40.
 - B. MINIMUM 20-MIN FIRE-RESISTANCE-RATED.
 - C. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	NOTES
D1	3'-0"	7'-0"	SWINGING	
D2	2'-8"	7'-0"	SWINGING	
D3	6'-0"	7'-0"	SWINGING	
D4	9'-0"	7'-0"	SLIDING	
D5	9'-0"	7'-0"	ROLLING	
D7	3'-0"	8'-0"	SWINGING	
D8	2'-8"	7'-0"	SLIDING	
D9	6'-0"	7'-0"	SLIDING	
D10	12'-0"	8'-0"	SLIDING	
D11	3'-6"	7'-0"	FOLD	

- EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):
- A. EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
 - B. SOLID CORE WOOD COMPLYING WITH THE FOLLOWING:
 - STILES AND RAILS MINIMUM 1-3/8 INCHES THICK.
 - RAISED PANELS MINIMUM 1-1/4 INCHES THICK.
 - EXCEPTION: EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8 INCHES THICK.
 - C. MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 262.
 - D. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

KEY NOTES:

1. THE INTERIOR WALLS CAN BE 2x4 STUDS.
2. THE ENTRY DOOR NEEDS TO BE RECESSED BY 3".
3. EXTERIOR SIDE OF THE DOOR SHALL NOT EXCEED 1.5 INCHES IF IT SWINGS OVER A LANDING OR 7.67 INCHES IF IT DOES NOT SWING OVER A LANDING.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANDER WILL HAVE THE SAME FLOOR PLAN BUT DIFFERENT ORIENTATION (SEE DEPARTMENT PLAN), AND IT WILL ORIGINALLY EXISTING WALL TO REMAIN.
 PRELIMINARY ZONING ASSESSMENT BY: Daniel Yip
 DATE: 03/15/2024
 APPLICATION #: 24010-10000-0000

EXHIBIT "A"
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 Case No. APCSV-2023-4402-ZC-HCA

FIRE PROTECTION NOTES

- A. SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING ROOM, ON THE CEILING OR WALL, IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ON STORY (907.2.11.1, R314.3).
- B. THE POWER SOURCE FOR SMOKE DETECTORS SHALL BE AS FOLLOWS:
 - IN NEW CONSTRUCTION SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK UP (907.2.11.1, R314.4).
 - IN EXISTING SFD, SMOKE DETECTORS MAY BE BATTERY OPERATED (907.2.11.1, R314.4).
- C. CARBON MONOXIDE ALARM IS REQUIRED PER SECTION 420.4, R316).
- D. SPRINKLER SYSTEM SHALL BE REQUIRED FOR ADU IF THE EXISTING DWELING HAS DIFFERENT ORIENTATION AND DEPARTMENT SPRINKLER SYSTEM.
- E. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLICATIONS ARE INSTALLED AND DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH GARAGE DWELLING UNITS SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF DWELLING UNIT INCLUDING BASEMENTS (R316).
- F. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE (R303.9).
- G. DOORS
 - DOORS AND ENCLOSURE FOR HOT TUB, BATHUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING) THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE.
 - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR WITHIN 6' OF STANDING SURFACE
 - IN WALL ENCLOSING STAIRWAY LANDING.
 - GUARD AND HANDRAILS.



PROJECT
 17820 W ERWIN ST.
 17820 W ERWIN ST.,
 ENCINO, CA 91316

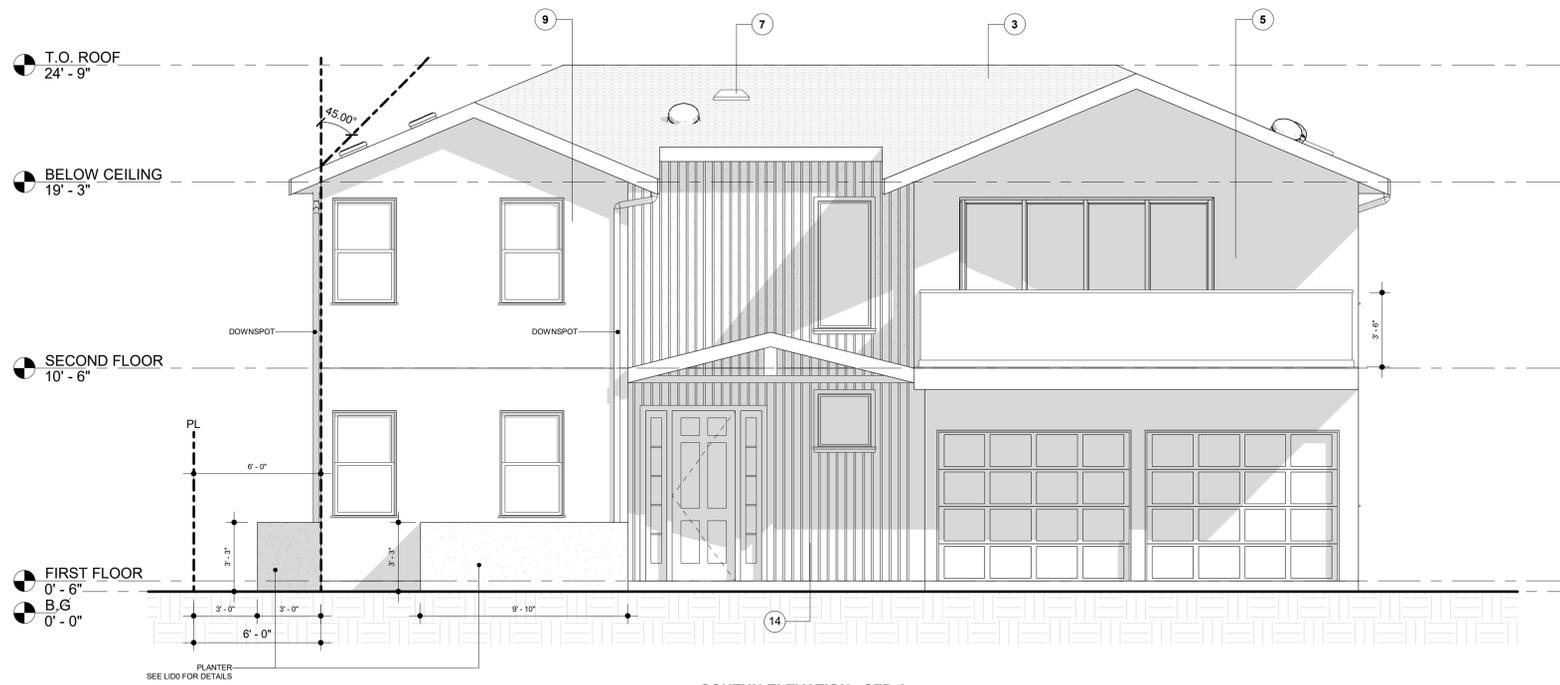
SHEET NAME
 SHEET NAME
 PROPOSED FLOOR PLAN - SFD A

SCALE
 1/4" = 1'-0"

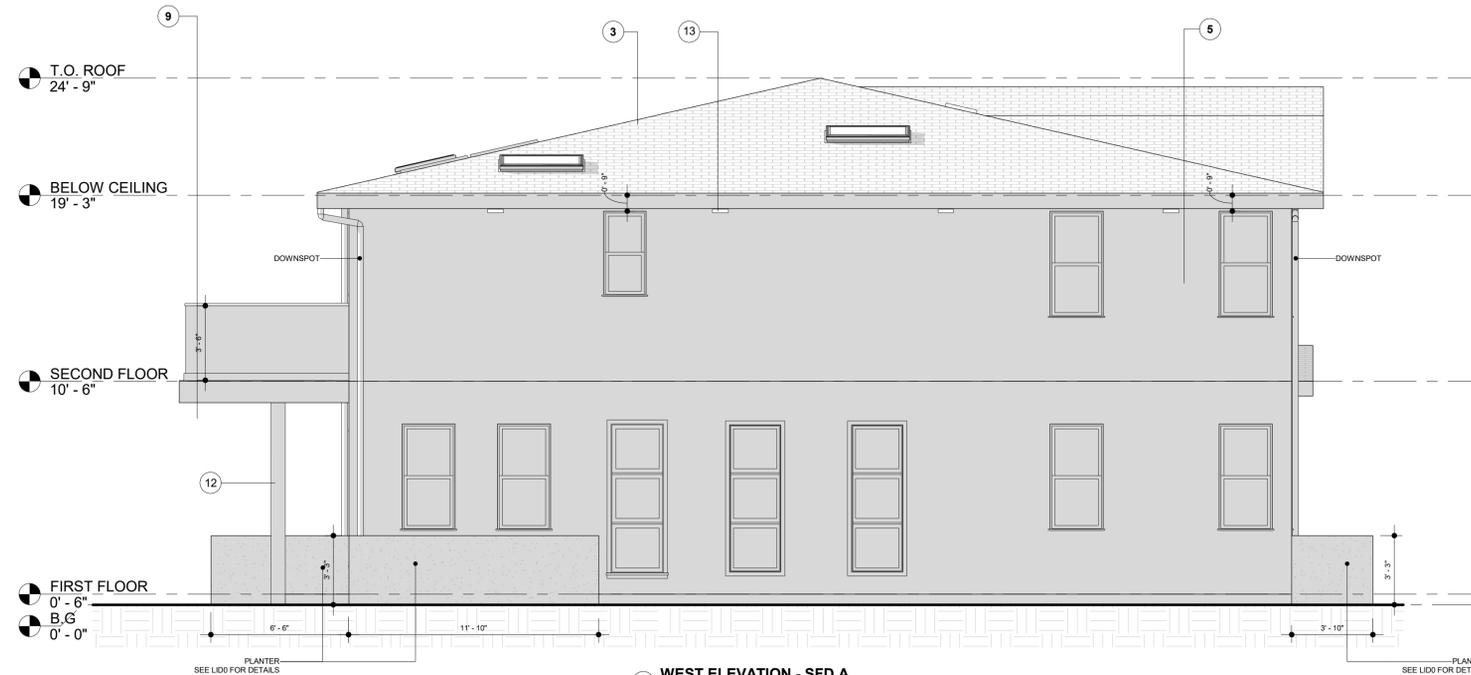
SCALE
 1/4" = 1'-0"

SCALE
 1/4" = 1'-0"
 DATE
 MARS 12 - 2024
 SHEET TITLE
 PROPOSED FLOOR PLAN - SFD A
A1

ALL PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.



1 SOUTH ELEVATION - SFD A
1/4" = 1'-0"



2 WEST ELEVATION - SFD A
1/4" = 1'-0"

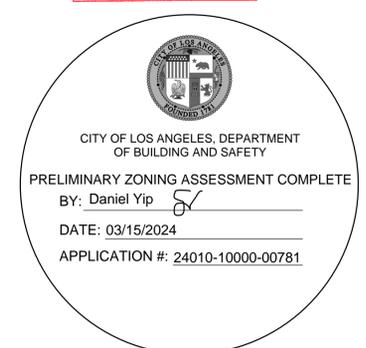
SECTION NOTES & ELEVATION

1. WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS
2. CEILING INSULATION: R-30 PER TITLE 24.
3. ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD -. COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.
ROOF INSULATION: R-19 PER TITLE 24.
4. FLOOR JOIST PER STRUCTURAL PLAN.
INSULATION: R-30 PER TITLE 24.
5. EXTERIOR WALL/PLUMBING WALL: 2x6 STUD WALL.
6. INTERIOR WALL: 2x4 STUD WALL.
7. ATTIC VENT.
8. EXISTING / NEW FOUNDATION.
9. 7/8" NON-REFLECTIVE ARTMESIA EARTH TONE COLOR, 2 LAYERS OF GRADE D (ASTM E2556, TYPE1) PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH (2510.6, R703.7.3) OR MARBLE STONE LOOK WALL TILE (6 SQ. FT./CASE), BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
10. THE HEIGHT BETWEEN FLOOR AND CEILING ON ALL FLOORS MUST BE EQUAL.
11. BUILDER TO COUNT FOR STACK UP TOLERANCE, SOFFIT, AND DROP CEILINGS AND SUBMIT SHOP DRAWINGS TO OWNER OR DESIGNER.
12. POST PER STRUCTURAL PLAN.
13. EXTERIOR LIGHTING, NO POINTING TO OUTSIDE.
14. FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN).

EXHIBIT "A"
Page No. 6 of 19
Case No. APCS-2023-4402-ZC-HCA



COMPLETE PACKAGE DRAFTING
CPdrafting.com
22815 Ventura Blvd. #227
Woodland Hills, CA 91364
Tel: (818) 493-1121
info@CPdrafting.com

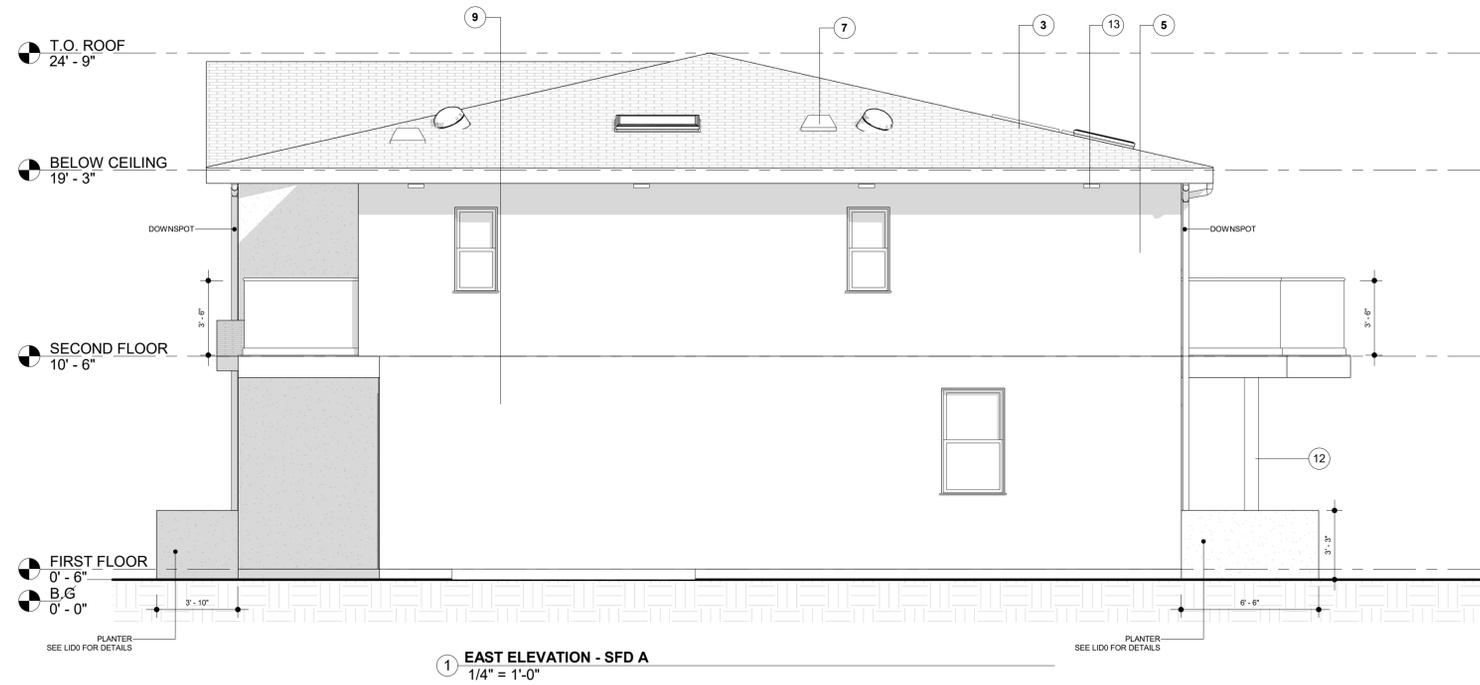


PROJECT
PROJECT ADDRESS
17820 W ERWIN ST.
PROPERTY ADDRESS
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ENCINO, CA 91316

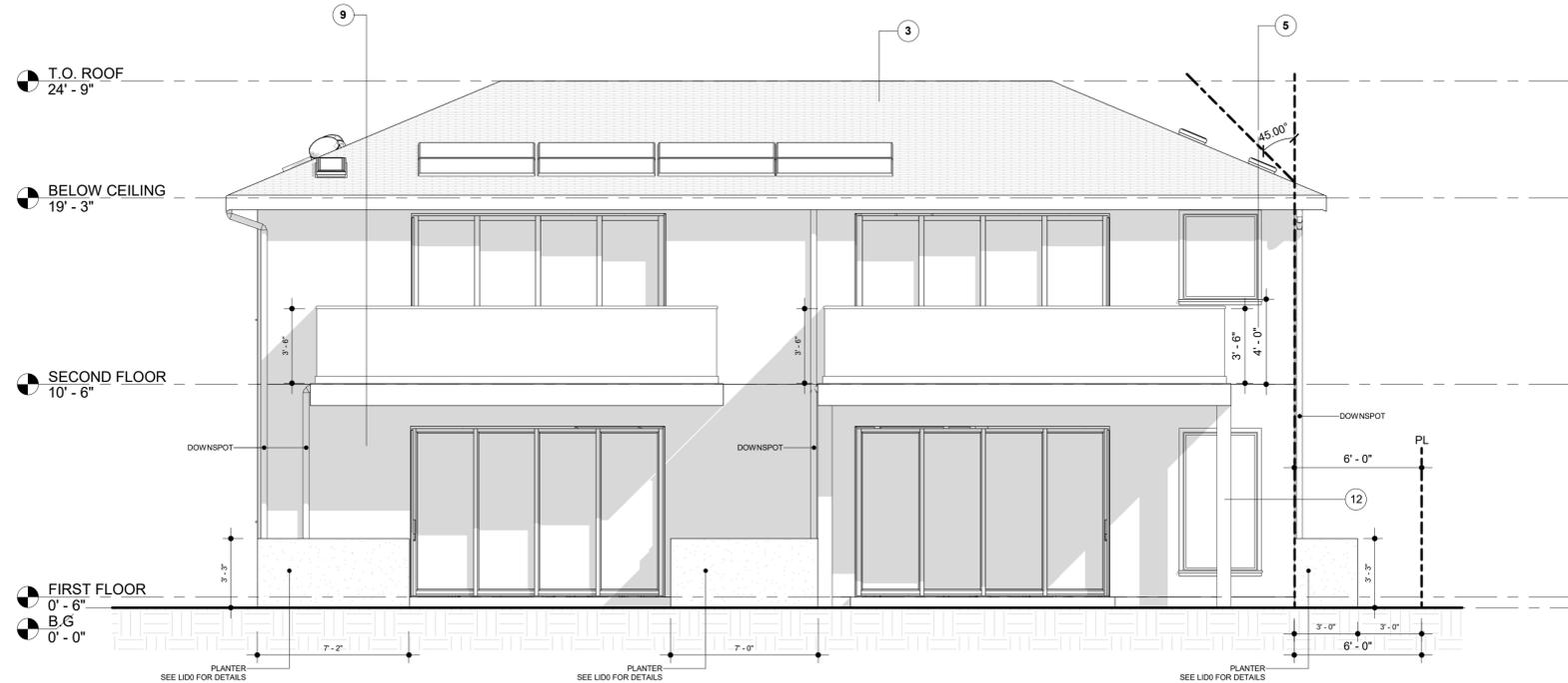
SHEET NAME
SHEET NAME
ELEVATIONS - SFD A
SCALE
1/4" = 1'-0"

SCALE
1/4" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
ELEVATIONS -
SFD A

A2



1 EAST ELEVATION - SFD A
1/4" = 1'-0"



2 NORTH ELEVATION - SFD A
1/4" = 1'-0"

SECTION NOTES & ELEVATION

1. WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS
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13. EXTERIOR LIGHTING, NO POINTING TO OUTSIDE.
14. FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

NOTES FOR PLANNING:

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EXHIBIT "A"
Page No. 7 of 19
Case No. APCS-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: Daniel Yip *DY*
DATE: 03/15/2024
APPLICATION #: 24010-10000-00781



COMPLETE PACKAGE DRAFTING
CPdrafting.com
22815 Ventura Blvd. #227
Woodland Hills, CA 91364
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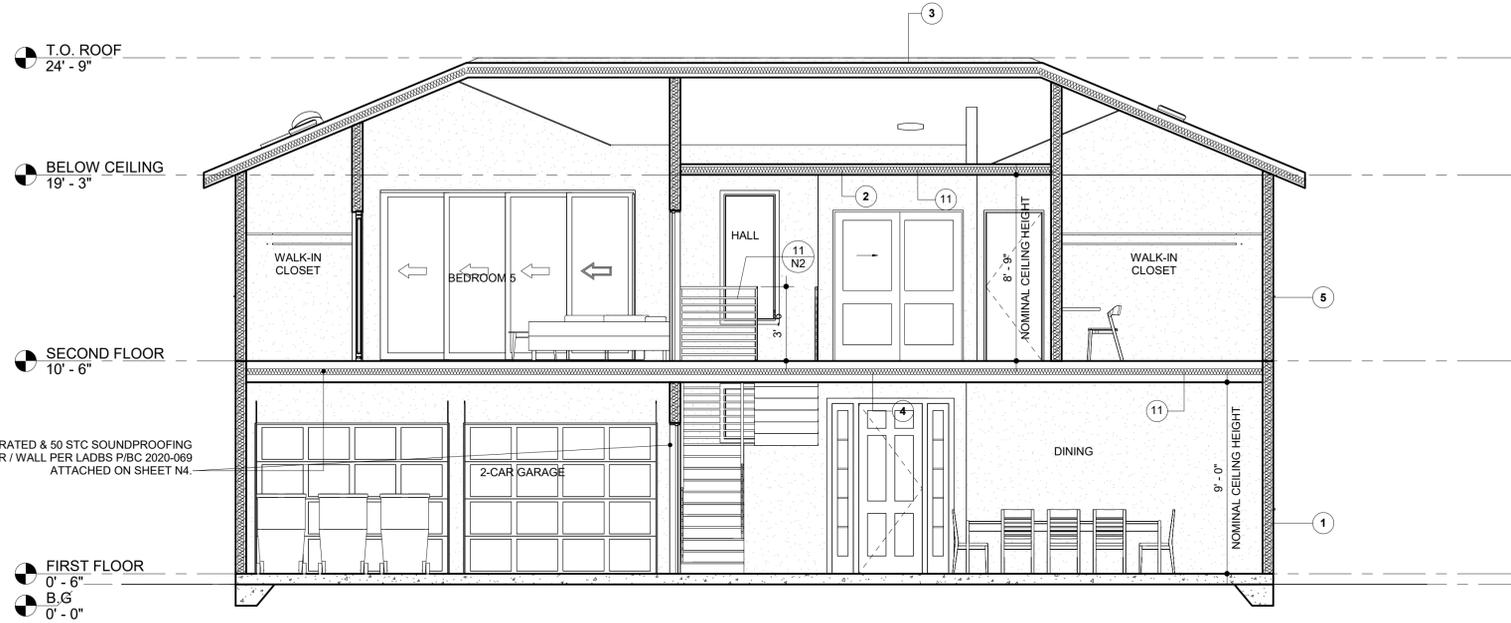


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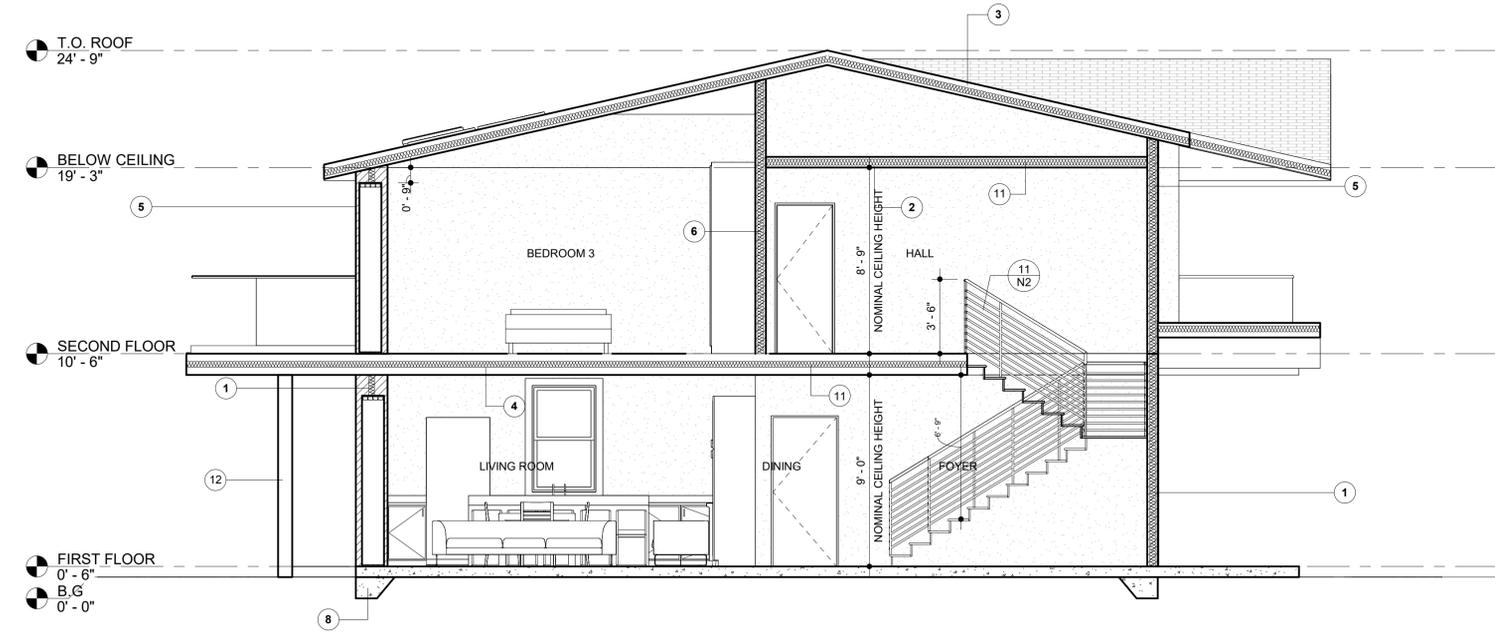
SHEET NAME
ELEVATIONS - SFD A
SCALE
1/4" = 1'-0"

SCALE
1/4" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
ELEVATIONS - SFD A

A3



1 SECTION A - SFD A
 1/4" = 1'-0"



2 SECTION B - SFD A
 1/4" = 1'-0"

EXHIBIT "A"
 Page No. 8 of 19
 Case No. APCSV-2023-4402-ZC-HCA



SECTION NOTES & ELEVATION

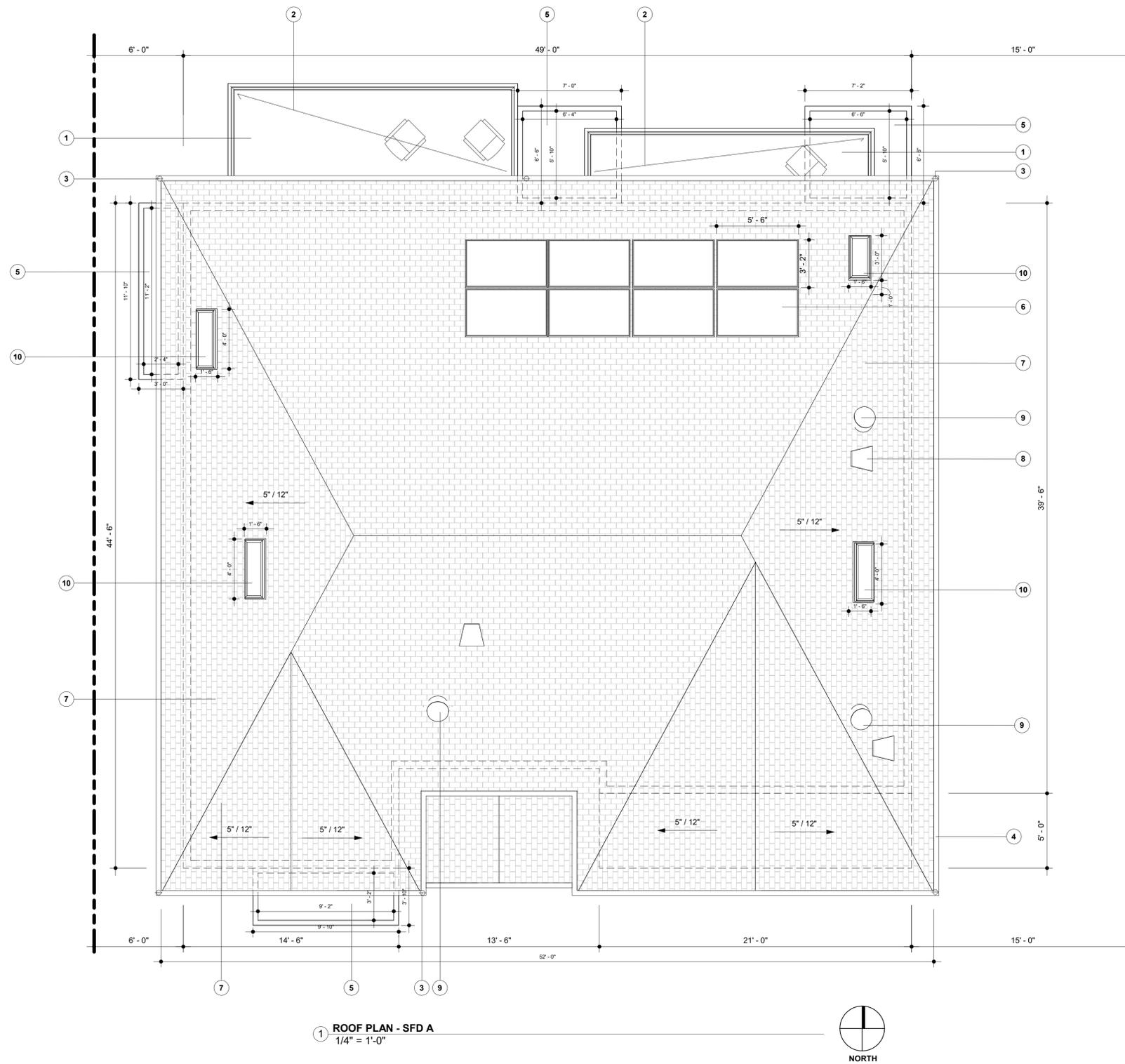
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6. INTERIOR WALL: 2x4 STUD WALL.
7. ATTIC VENT.
8. EXISTING / NEW FOUNDATION.
9. 7/8" NON-REFLECTIVE ARTMESIA EARTH TONE COLOR, 2 LAYERS OF GRADE D (ASTM E2556, TYPE1) PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH [2510.6, R703.7.3]. OR MARBLE STONE LOOK WALL TILE (6 SQ. FT./CASE), BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
10. THE HEIGHT BETWEEN FLOOR AND CELLING ON ALL FLOORS MUST BE EQUAL.
11. BUILDER TO COUNT FOR STACK UP TOLERANCE, SOFFIT, AND DROP CEILINGS AND SUBMIT SHOP DRAWINGS TO OWNER OR DESIGNER.
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14. FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR, BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN).

NOTES

1. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
2. OTHER PENETRATIONS OF GARAGE/DWELLING CEILING AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).
3. THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)
4. MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)
5. IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
6. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)



1 ROOF PLAN - SFD A
1/4" = 1'-0"

EXHIBIT "A"
Page No. 9 of 19
Case No. APCSV-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: Daniel Yip
DATE: 03/15/2024
APPLICATION #: 24010-10000-00781

ROOF NOTES

- PROPERTY LINE
- ⊕ GUTTER DOWNSPOUT WITH SCREEN

DESCRIPTION	QUANTITY	UNIT
2ND FLOOR ROOF	2,303	SF
1ST FLOOR ROOF	69	SF
TOTAL ROOF	2,372	SF

ATTIC VENT CALCULATION:

ATTIC AREA OVER HALLWAY & BATH 2 : 280.7 SQ.FT.
280.7 / 150 = 1.87 SQ.FT. REQUIRED

ATTIC AREA OVER BATH 4 : 45 SQ.FT.
45 / 150 = 0.3 SQ.FT. REQUIRED

ATTIC AREA OVER BATH 5 : 50 SQ.FT.
50 / 150 = 0.33 SQ.FT. REQUIRED

PROVIDED: 3 x 2.2 = 6.6 SQ.FT.
PROVIDED > REQUIRED

SEE SHEET A2 & A3 FOR VENTS SIZES AND LOCATIONS.

SOLAR PANEL CALCULATION:

3.07 KW REQUIRED PER TITLE 24
(3.07 x 1000) / 430 = 7.13 MIN. NUMBER OF SOLAR PANEL REQUIRED

PROVIDED: 8
PROVIDED > REQUIRED

SEE SOLAR PANEL SPEC. SHEET ON SHEET N3.

NOTES

1. APPLY WATERPROOFING. SEE ATTACHED ESR-1757 ON SHEET N3.
2. SLOPE : 1/4" PER EACH FEET WITH DRAINAGE ROUTED ALL THE WAY DOWN TO THE GROUND LEVEL / PLANTER.
3. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR ROOF SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
4. INNER DRAINS, SCUPPERS, OR SIPHONIC ROOF DRAIN IS REQUIRED PRIOR FOR DOWNSPOT.
5. PLANTER PER DETAILS ON SHEET L1D0.
6. SOLAR PANEL PER ATTACHED SPEC. SHEET ON SHEET N3.
7. ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD - TO MATCH EXISTING. COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.
8. HALF DOME VENT, MIN. 2.2 SQ.FT NET VENT AREA. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR VENT. DESIGNER OR OWNER APPROVAL IS REQUIRED.
9. SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3.
10. SKYLIGHT. ESR-4108 ATTACHED ON SHEET N3.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN).



PROJECT
PROJECT NAME
17820 W ERWIN ST.
PROPERTY ADDRESS
17820 W ERWIN ST,
ENCINO, CA 91316

SHEET NAME
SHEET NAME
ROOF PLAN - SFD A
SCALE
1/4" = 1'-0"

SCALE
1/4" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
ROOF PLAN -
SFD A

A5

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SCOPE OF WORK

- MAJOR REMODELING AND ADDITION ON THE FIRST FLOOR, ADDING A SECOND LEVEL (3,539 SQ.FT)

OWNER

- OHEL, LLC

TERMS AND CONDITIONS

NOTICE TO THE CONTRACTOR, BUILDER, INSTALLER, SUB-CONTRACTOR, AND/OR OWNER-BUILDER: BY USING THESE DRAWINGS, YOU AGREE TO:

- CONDUCT YOUR OWN INDEPENDENT PROPERTY SURVEY AND/OR EXACT MEASUREMENTS OF ALL INTERIOR AND EXTERIOR PORTIONS OF THE PROPERTY.
- INDEPENDENTLY VERIFY ALL EXISTING DIMENSIONS AND/OR CONDITIONS BEFORE THE PLAN CHECK, BEFORE THE START OF THE CONSTRUCTION, AND DURING THE CONSTRUCTION. COMPLETE PACKAGE DRAFTING IS NOT RESPONSIBLE FOR YOUR INDEPENDENT FAILURE TO VERIFY ALL EXISTING DIMENSIONS AND/OR CONDITIONS.
- ASSUMPTIONS MIGHT HAVE BEEN MADE, YOU MUST VERIFY AND NOTIFY COMPLETE PACKAGE DRAFTING IF CHANGES ARE NECESSARY.
- CHANGES MIGHT BE NECESSARY DURING THE CONSTRUCTION. SUCH CHANGES MAY NOT BE INCLUDED IN YOUR CONTRACT WITH COMPLETE PACKAGE DRAFTING.
- ANY CHANGES AFTER THE PERMIT ISSUANCE, REGARDLESS OF REASONS AND/OR CAUSATION, MAY RESULT IN FEES AND/OR CHARGES ON AN HOURLY BASIS.
- THE OWNER AND/OR PROJECT OWNER IS/ARE RESPONSIBLE TO COMPENSATE COMPLETE PACKAGE DRAFTING FOR ANY TIME SPENT AFTER THE PERMIT IS ISSUED REGARDLESS OF REASONS AND/OR CAUSATIONS, EVEN IF A CONTRACTOR SAYS IT'S A MISTAKE OR IT'S WRONG.
- A CONTRACTOR OR SUB-CONTRACTOR, REGARDLESS OF LICENSE STATUS AND YEARS OF EXPERIENCE, IS NOT QUALIFIED TO DECIDE WHAT IS CORRECT OR WRONG ON THESE DRAWINGS.
- NO GUARANTEE OR INSURANCE HAS BEEN PROMISED WHATSOEVER BY THE DRAFTER TO THE OWNER, PROJECT OWNER AND/OR ANY CONTRACTOR.
- CREATOR(S) OF THE PLANS DO NOT OWE OR HAVE ANY OUTSTANDING COMMITMENTS POST PERMIT ISSUANCE.
- ELECTRONIC FILES, INCLUDING BUT NOT LIMITED TO CAD FILES, WILL NOT BE SHARED. THEY WILL REMAIN THE WORK PRODUCT OF DRAFTER.
- THE PDF OF THE PLANS WILL BE EMAILED ONLY ONCE AFTER THEY'RE APPROVED BY THE BUILDING DEPARTMENT OR COMPLETION OF THE PROJECT FOR FREE. THERE WILL BE A FEE FOR PROVIDING ADDITIONAL COPIES OF ANY PLANS AFTER THAT.
- ALL FUTURE WORK WILL DEPEND ON AVAILABILITY. COMPLETE PACKAGE DRAFTING RESERVES THE RIGHT TO REFUSE FUTURE WORK TO ANY CUSTOMER.
- RUSHED REQUESTS MAY OR MAY NOT BE FULFILLED REGARDLESS OF WILLINGNESS TO COMPENSATE.
- ALL QUESTIONS AND REQUESTS FOR INFORMATION (RFI) MUST BE SUBMITTED PRIOR TO CONSTRUCTION TAKE-OFF. A FEE MAY BE REQUIRED FOR ANSWERING QUESTIONS AND PROVIDING INFORMATION REGARDLESS OF THE REASON AND/OR CAUSATION OF THE QUESTION AND/OR REQUESTS.

NOTES FOR PLANNING

REQUESTED ENTITLEMENTS

- AUTHORIZING CODE SECTION LAMC SECTION 17.50 AUTHORIZES PARCEL MAP ACTIONS.
- ACTION REQUESTED, NARRATIVE: THIS PROJECT AIMS TO SUBDIVIDE THE LOT INTO TWO SEPARATE LOTS.
- AUTHORIZING CODE SECTION: LAMC SECTION 12.32-F AUTHORIZES ZONE CHANGE ACTIONS.
- ACTION REQUESTED, NARRATIVE: THIS PROJECT AIMS TO CHANGE THE ZONE FROM RA TO R1. EACH LOT AREA AFTER SUBDIVISION WILL BE UNDER 17,500 SQ.FT WHICH IS THE MINIMUM FOR RA. SO WE HAVE TO CHANGE THE ZONE FROM RA TO R1

SHEET INDEX

NUMBER	NAME
A0.0	COVER SHEET
A0.1	SITE PLAN
A0.2	AREA ANALYSIS
A0.3	PREVAILING SETBACK CALCULATION
B1.0	EXISTING FLOOR PLAN
B1.1	PROPOSED FLOOR PLAN - SFD B
B2	ELEVATIONS - SFD B
B3	ELEVATIONS - SFD B
B4	SECTIONS - SFD B
B5	ROOF PLAN - SFD B
B6.0	ISOMETRIC VIEWS
B6.1	ISOMETRIC VIEWS
B6.2	ISOMETRIC VIEWS
GRC-0	GREEN BUILDING CODES
GRC-1	GREEN BUILDING CODES
LID0	LID COMPLIANCE
LID1	LID COMPLIANCE
N1	NOTES
N2	GENERAL DETAILS - USE AS APPLICABLE
N3	DETAILS
N4	DETAILS
T24.0	TITLE 24
T24.1	TITLE 24

PROJECT ADDRESS

MAIN 17820 W ERWIN ST, ENCINO, CA 91316

COMPLETE PACKAGE DRAFTING
CPdrafting.com
 22815 Ventura Blvd. #227
 Woodland Hills, CA 91364
 Tell: (818) 493-1121
 Info@CPdrafting.com

LEGAL DESCRIPTION AS OF 06/01/2023

SITE ADDRESS 17820 W ERWIN ST
ZIP CODE 91316
PIN NUMBER 177B129 92
LOT / PARCEL AREA (CALCULATED) 21,782.2 (sq ft)
THOMAS BROTHERS GRID PAGE 531 - GRID A7
ASSESSOR PARCEL NO. (APN) 2123025011
TRACT TR 5947
MAP REFERENCE M B 63-96/97
BLOCK None
LOT FR 113
ARB (LOT CUT REFERENCE) None
MAP SHEET 177B129

PLANNING AND ZONING AS OF 06/01/2023

SPECIAL NOTES None
ZONING RA-1-RIO
ZONING INFORMATION (ZI) ZI-2358 RIVER IMPLEMENTATION OVERLAY DISTRICT (RIO)
ZONING INFORMATION (ZI) ZI-2462 MODIFICATIONS TO SF ZONES AND SF ZONE HILLSIDE AREA REGULATIONS
ZONING INFORMATION (ZI) ZI-2438 EQUINE KEEPING IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE Low Residential
GENERAL PLAN NOTE(S) Yes
HILLSIDE AREA (ZONING CODE) No
SPECIFIC PLAN AREA None
SUBAREA None
SPECIAL LAND USE / ZONING None
HISTORIC PRESERVATION REVIEW No

NOTES

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE (70) (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1210.2.3, 2406.4.5, R307.2, R308.4)
- WATER HEATER MUST BE STRAPPED TO WALL. (507.3 & LAPC)
- SPRINKLER SYSTEM MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION.
- A FIRE ALARM (VISUAL AND AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION. (LAMC 57.122)
- CARBON MONOXIDE ALARM IS REQUIRED PER (420.6, R315)

AREA PER LOT

	LOT TOWARD ERWIN ST	LOT TOWARD DELANO ST
TOTAL SQUARE FOOTAGE OF THE EXISTING DEVELOPMENT	1,366	0
SQUARE FOOTAGE TO BE DEMOLISHED	0	0
SQUARE FOOTAGE TO BE BUILT	2,173	3,539
NET NEW SQUARE FOOTAGE	3,539	3,539
TOTAL GROSS SQUARE FOOTAGE	3,539	3,539
TOTAL	7,078 SQ.FT	

- SFD B = SFD FACING ERWIN ST
- SFD A = SFD FACING DELANO ST
- SHEETS "B" ARE FOR SFD B (SFD FACING ERWIN ST)
- SHEETS "A" ARE FOR SFD A (SFD FACING DELANO ST)

AREA TABLE

EXISTING RFA PER ASSESSOR TO BE REMODELED	1,366	SF
[N] 2-STORY ADDITION	1,974	SF
[N] GARAGE (-200 EXEMPT)	199	SF
PROPOSED 2-STORY DWELLING	3,539	SF
PROPOSED HEIGHT	24'-9"	
PROPOSED PARKING SPACES	2	
TOTAL LOT SIZE	18,685	SF
AREA OF PARCEL B	10,497	SF
MAX. ALLOWABLE AREA (45%)	4,723.65	SF

SEE SHEET A0.2 FOR AREA ANALYSIS

ASSESSOR AS OF 06/01/2023

BUILDING	1
YEAR BUILT	1953
BUILDING CLASS	D55A
NUMBER OF UNITS	1
NUMBER OF BEDROOMS	2
NUMBER OF BATHROOMS	2
BUILDING SQUARE FOOTAGE	1,366.0 (sq ft)

VICINITY MAP (N.T.S)



APPLICABLE CODES

- 2023 CALIFORNIA BUILDING CODE.
- 2023 CALIFORNIA ELECTRICAL CODE.
- 2023 CALIFORNIA MECHANICAL CODE.
- 2023 CALIFORNIA PLUMBING CODE.
- 2023 CALIFORNIA GREEN BUILDING CODE.
- 2023 CALIFORNIA ENERGY CODE.
- 2023 LA MUNICIPAL CODE

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY

EQUINE KEEPING CHECKLIST FORM

No building permit shall be issued for any building creating new habitable space on a lot located in whole or in part within an Equine Keeping "K" District and/or any lot zoned RA, RE20, RE40, A1, or A2 without completing this form. This form shall be completed and submitted during plan check. For more information on the process, refer to the flowchart.

Address: _____

PCIS: _____

Please read the following two (2) questions carefully and answer either YES or NO:

(1) Is there any equine keeping on any of the adjacent properties?
 (i.e. an equine, animal keeping enclosure, barn, equine license) NO YES

(2) Is there any equine keeping on your property?
 (i.e. an equine, animal keeping enclosure, barn, equine license) NO YES

If the answer to either of the above questions is "yes", you will need to provide a dimensioned site plan that is to-scale and which shows the location of the equine keeping structure and/or enclosure on your lot and any of the adjacent properties and indicate the distances between your proposed habitable room additions, new single family dwelling unit, Accessory Living Quarters or Servant Quarters and such structures and/or enclosures. The information on the site plan shall be verified by LADBS inspection before construction can commence.

Please call (888)LA4BUILD or (888)524-2845, for Equinekeeping pre-construction inspection to verify the accuracy of the provided information before starting any construction.

For information on the setback requirements from an equine keeping structure and/or enclosure, please see LADBS Information Bulletin No. P/ZC 2002-018.
http://ladbs.org/LADBSWeb/LADBS_Forms/InformationBulletins/IB-P-ZC2014-018EquineKeeping.pdf

Any incorrect information may lead to the revocation of the corresponding permits.

Property owner or the authorized agent's name: _____

Property owner or the authorized agent's signature: _____

Date: ____/____/____

September 2, 2014

COMPLETE PACKAGE DRAFTING
 CPdrafting.com
 22815 Ventura Blvd. #227
 Woodland Hills, CA 91364
 Tell: (818) 493-1121
 Info@CPdrafting.com

PROJECT
 17820 W ERWIN ST -
 PROPERTY ADDRESS
 17820 W ERWIN ST,
 ENCINO, CA 91316

SHEET NAME
 COVER SHEET
 SCALE

SCALE
 DATE
 MARS 12 - 2024
 SHEET TITLE
 COVER SHEET
A0.0

ALL PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.

LEGEND

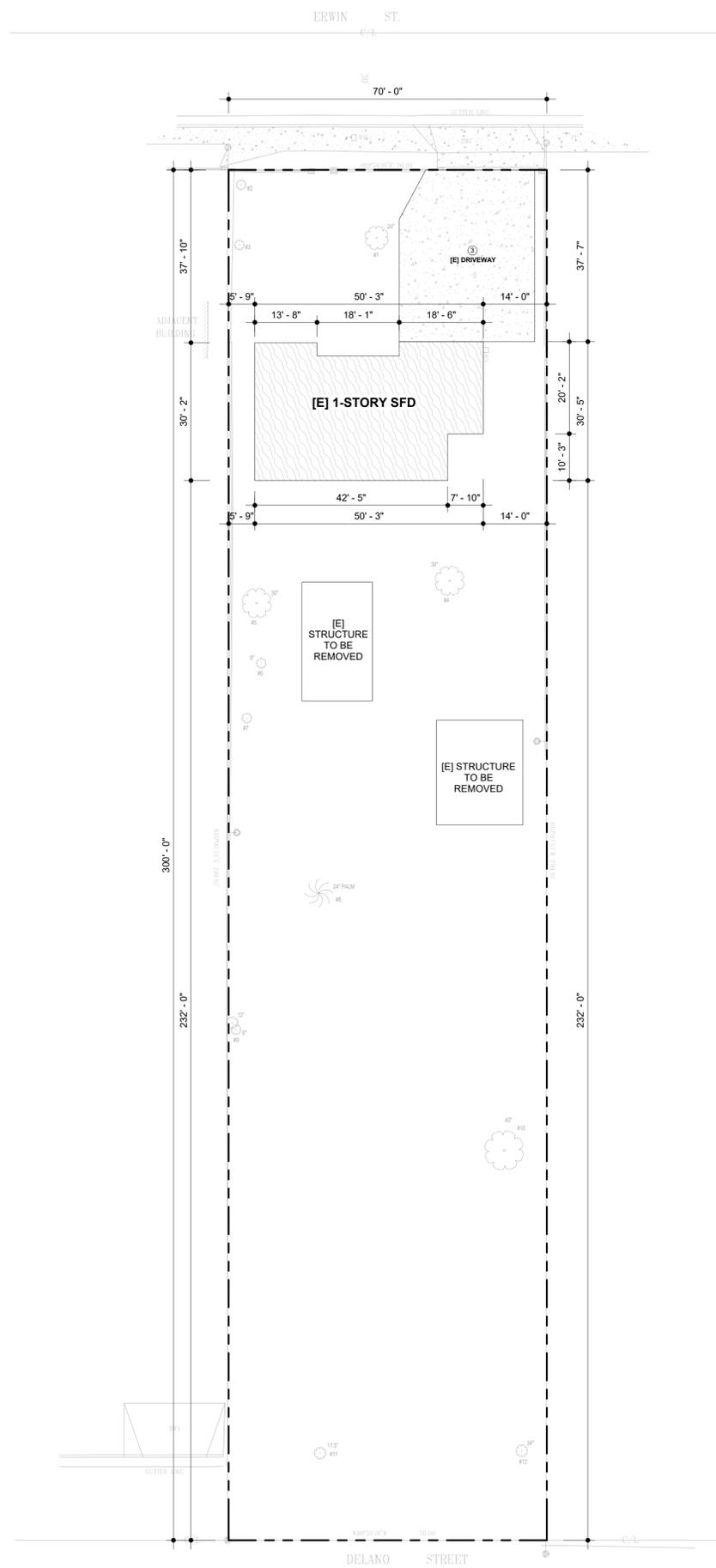
- ① PROPOSED 2-STORY SINGLE FAMILY DWELLING
- ② BUILDING ENTRANCE
- ③ DRIVEWAY
- [E] 1-STORY SINGLE FAMILY DWELLING TO BE REMODELED
- PROPOSED SUBDIVISION LOT LINE
- RIGHT-OF-WAY DEDICATION

NOTES

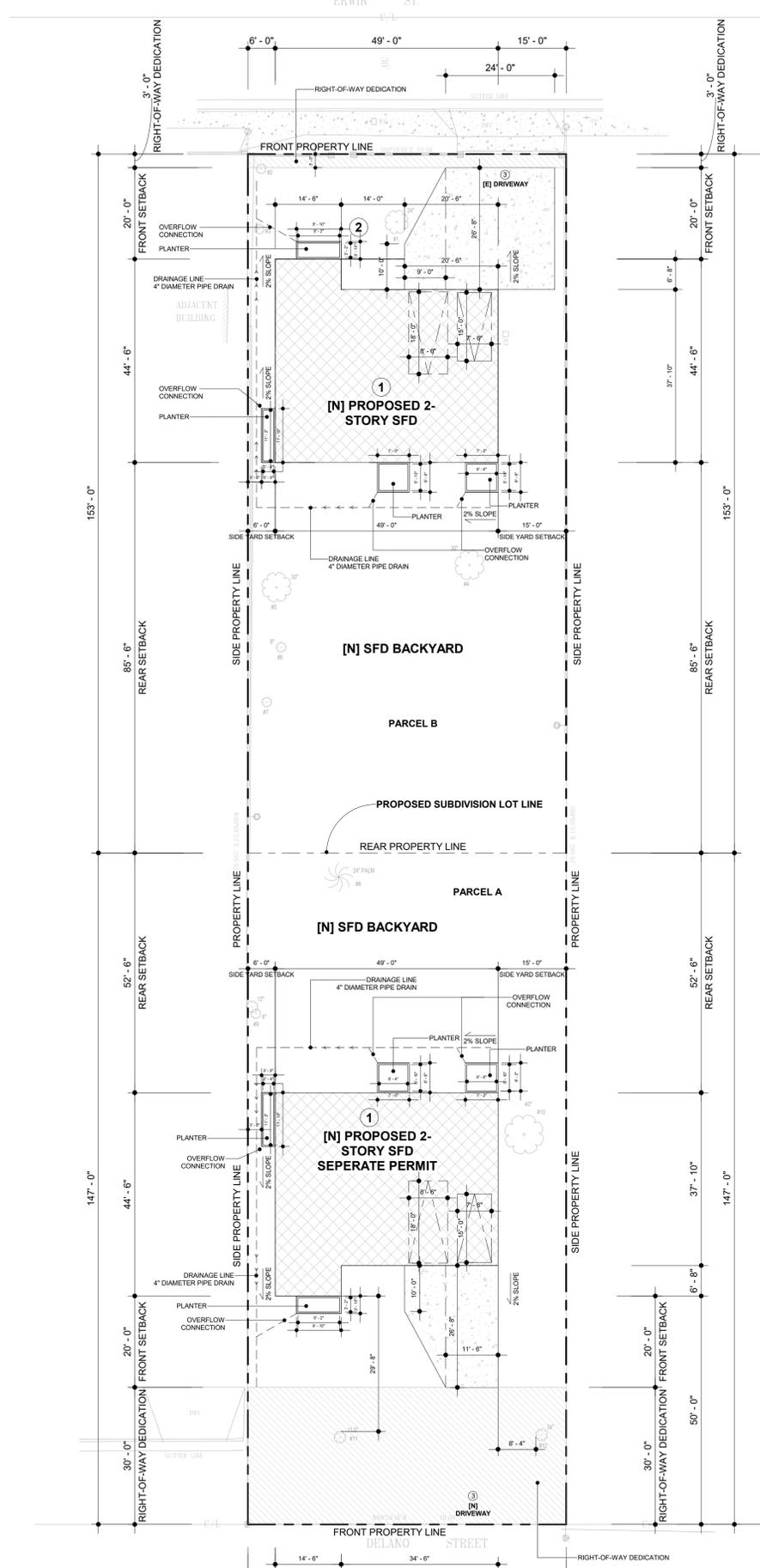
1. EQUIPMENT, ANY EXTERIOR EQUIPMENT (ELECTRICAL TRANSFORMERS, MECHANICAL UNITS, WATER METERS) MUST BE SCREENED FROM PUBLIC VIEW.

AREA TABLE

LOT SIZE	18,685	SF
PARCEL "A"	8,188	SF
PARCEL "B"	10,497	SF



① EXISTING SITE PLAN
1/16" = 1'-0"



② PROPOSED SITE PLAN
1/16" = 1'-0"



EXHIBIT "A"
Page No. 11 of 19
Case No. APCSV-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: Daniel Yip
 DATE: 03/15/2024
 APPLICATION #: 23016-10000-28628

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PROJECT
 17820 W ERWIN ST.
 PROPERTY ADDRESS
 17820 W ERWIN ST.
 ENCINO, CA 91316

SHEET NAME
 SHEET NAME
 SITE PLAN
 SCALE
 1/16" = 1'-0"

SCALE
 1/16" = 1'-0"

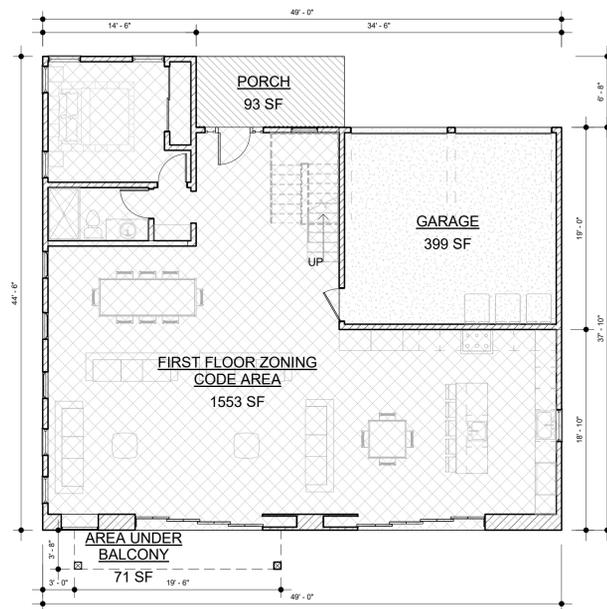
DATE
 MARS 12 - 2024

SHEET TITLE
 SITE PLAN

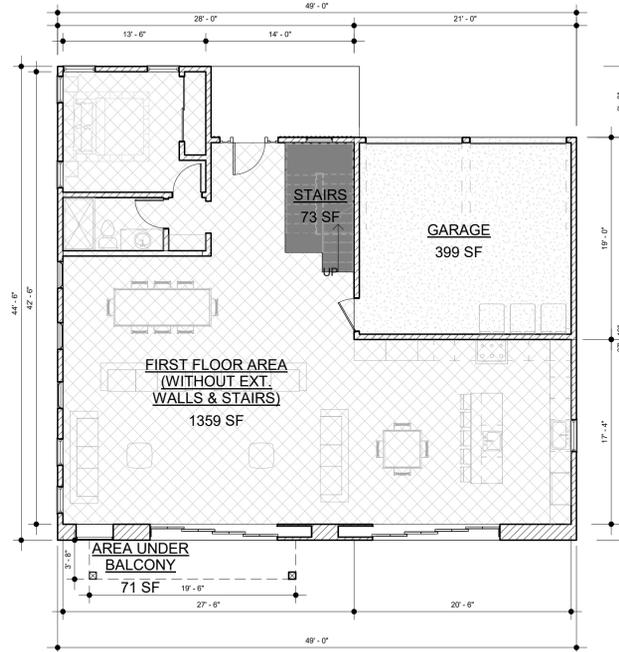
SCALE
 1/16" = 1'-0"

A0.1

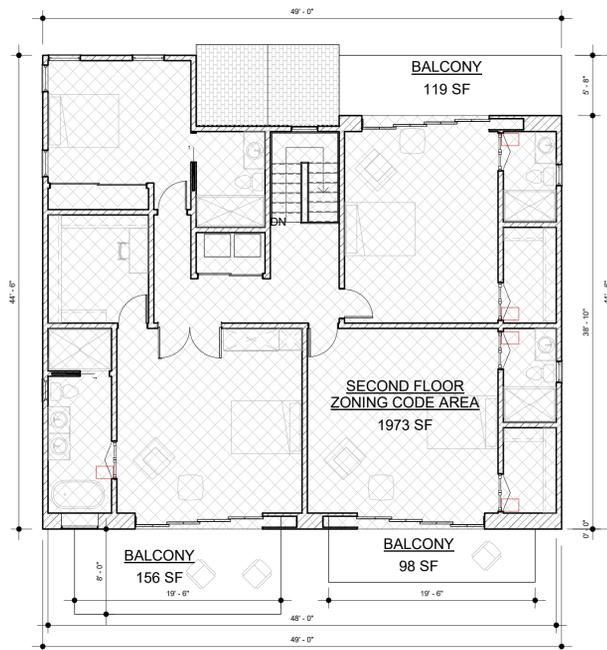
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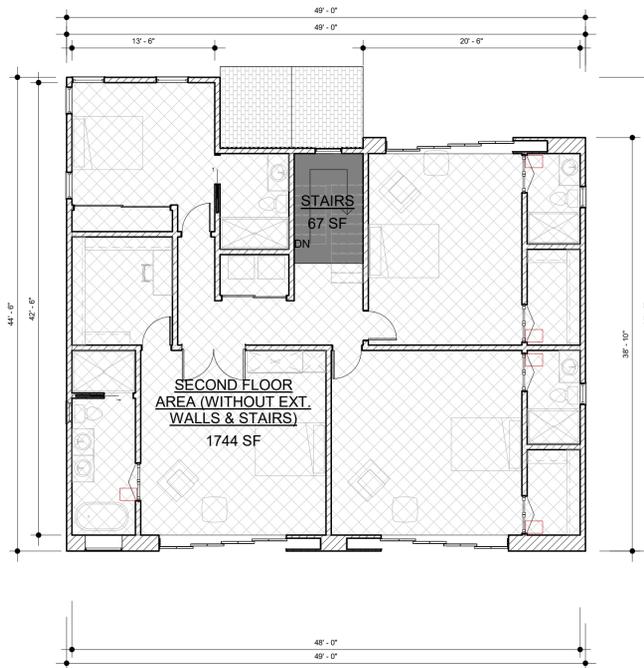
1 FIRST FLOOR - BUILDING CODE AREA
1/8" = 1'-0"



3 FIRST FLOOR - RFA
1/8" = 1'-0"



2 SECOND FLOOR - BUILDING CODE AREA
1/8" = 1'-0"



4 SECOND FLOOR - RFA
1/8" = 1'-0"

BUILDING CODE FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,553
FRONT PORCH	93
AREA UNDER THE BALCONY	71
GARAGE	399
SECOND FLOOR	1,973
TOTAL BUILDING CODE AREA	4,089

RESIDENTIAL FLOOR AREA AND SCHOOL FEE	
LEVEL	SF
FIRST FLOOR	1,359
FRONT PORCH	93
AREA UNDER THE BALCONY	71
STAIRS AT FIRST FLOOR	73
SECOND FLOOR	1,744
GARAGE (-200 SF EXEMPTION)	199
TOTAL RFA & SCHOOL FEE AREA	3,539

U OCCUPANCY FLOOR AREA	
LEVEL	SF
GARAGE	399
TOTAL	399

R3 OCCUPANCY FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,596
SECOND FLOOR	1,943
TOTAL	3,539

EXHIBIT "A"
Page No. 12 of 19
Case No. APCS-2023-4402-ZC-HCA



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Tel: (818) 493-1121
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PROJECT
17820 W ERWIN ST.
PROPERTY ADDRESS
17820 W ERWIN ST.
ENCINO, CA 91316

SHEET NAME
AREA ANALYSIS
SCALE
1/8" = 1'-0"

SCALE
1/8" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
AREA ANALYSIS

A0.2

ALL PLANS ARE DIAGNOSTIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.

KEY MAP

LOT 1
FRONTAGE = 100.59 FT
FRONT SETBACK = 26.6 FT

LOT 2
FRONTAGE = 92.2 FT
FRONT SETBACK = 19.5 FT

LOT 3
FRONTAGE = 52.98 FT
FRONT SETBACK = 16.9 FT

LOT 4
FRONTAGE = 72.6 FT
FRONT SETBACK = 69.2 FT

LOT 5
FRONTAGE = 72.6 FT
FRONT SETBACK = 19.8 FT

LOT 6
FRONTAGE = 72.6 FT
FRONT SETBACK = 21 FT

LOT 7
FRONTAGE = 72.6 FT
FRONT SETBACK = 18.9 FT

LOT 8
FRONTAGE = 145.2 FT
FRONT SETBACK = 31.3 FT

LOT 9
FRONTAGE = 75 FT
FRONT SETBACK = 33.4 FT

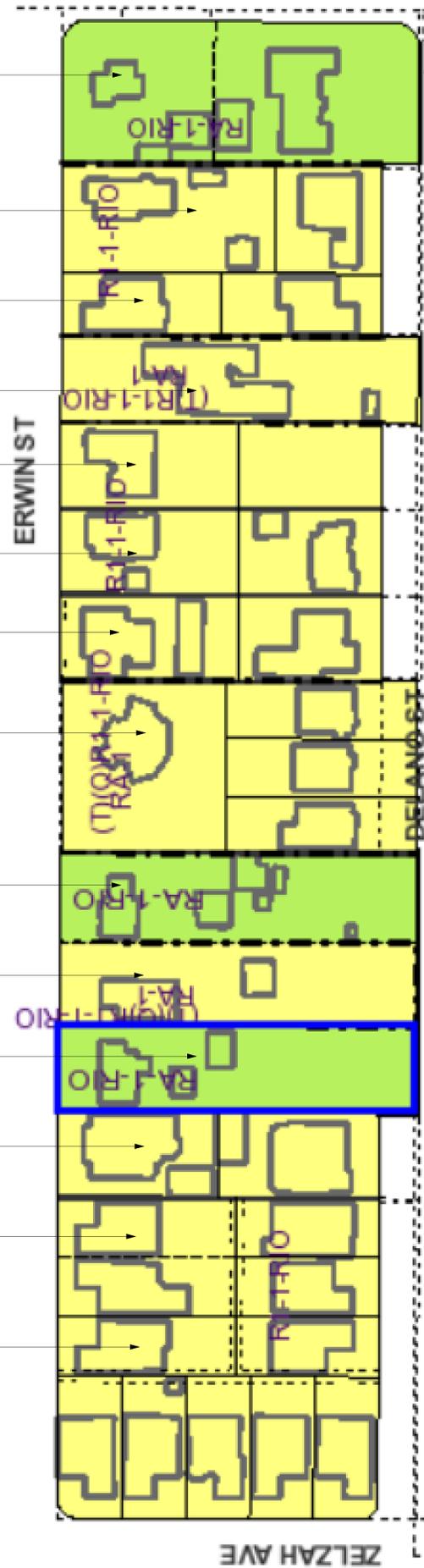
LOT 10
FRONTAGE = 70.2 FT
FRONT SETBACK = 35 FT

LOT 11
FRONTAGE = 70 FT
FRONT SETBACK = 37.9 FT

LOT 12
FRONTAGE = 75.2 FT
FRONT SETBACK = 20.9 FT

LOT 13
FRONTAGE = 100 FT
FRONT SETBACK = 15.7 FT

LOT 14
FRONTAGE = 50.15 FT
FRONT SETBACK = 16.3 FT



PREVAILING SETBACK CALCULATION :

NUMBER OF LOTS: 14

PREVAILING SETBACK: 18.63 FT

TOTAL NO OF LOTS ENTERED: 14

TOTAL FRONTAGE ENTERED: 1121.92 FT

40% FROM TOTAL FRONTAGE ENTERED: 448.77 FT

NO OF LOTS USED IN THE CALCULATION: 8

SETBACK RANGE USED: 15.70 FT - 21.00 FT

TOTAL FRONTAGE USED IN THE CALCULATION: 588.33 FT

Add Lot

Enter the Lot Information after adding rows:

Lot	Frontage (ft)	Setback (ft)
1	100.59	26.6 x
2	92.2	19.5 x
3	52.98	16.9 x
4	72.6	69.2 x
5	72.6	19.8 x
6	72.6	21 x
7	72.6	18.9 x
8	145.2	31.3 x
9	75	33.4 x
10	70.2	35 x
11	70	37.9 x
12	75.2	20.9 x
13	100	15.7 x
14	50.15	16.3 x

Clear

Calculate

View Calculation Details

Results

Number of lots: **14**

Prevailing Setback: **18.63 ft**

Calculation

Total no of lots entered: **14**

Total frontage entered: **1121.92 ft**

40% from total frontage entered: **448.77 ft**

No of lots used in the calculation: **8**

Setback range used: **15.70 ft - 21.00 ft**

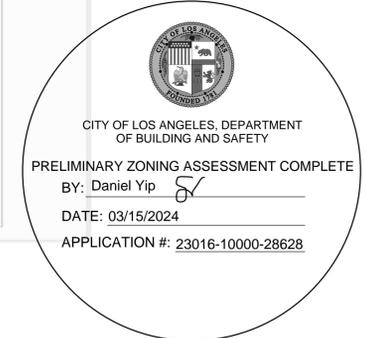
Total frontage used in the calculation: **588.33 ft**

Lots Used

Lot	Frontage (ft)	Setback (ft)
2	92.20	19.50
3	52.98	16.90
5	72.60	19.80
6	72.60	21.00
7	72.60	18.90
12	75.20	20.90
13	100.00	15.70
14	50.15	16.30

EXHIBIT "A"

Page No. 13 of 19
Case No. APCS-2023-402-ZC-HCA



Calculation Details

Setback Range Used (ft)	No Lots Used	Lots Designation	Frontages Used (ft)	Total Frontage (ft)	Setbacks Used (ft)	Total Setback (ft)
15.70 - 21.00	8	2, 3, 5, 6, 7, 12, 13, 14	92.20, 52.98, 72.60, 72.60, 72.60, 75.20, 100.00, 50.15	588.33	19.50, 16.90, 19.80, 21.00, 18.90, 20.90, 15.70, 16.30	149.00



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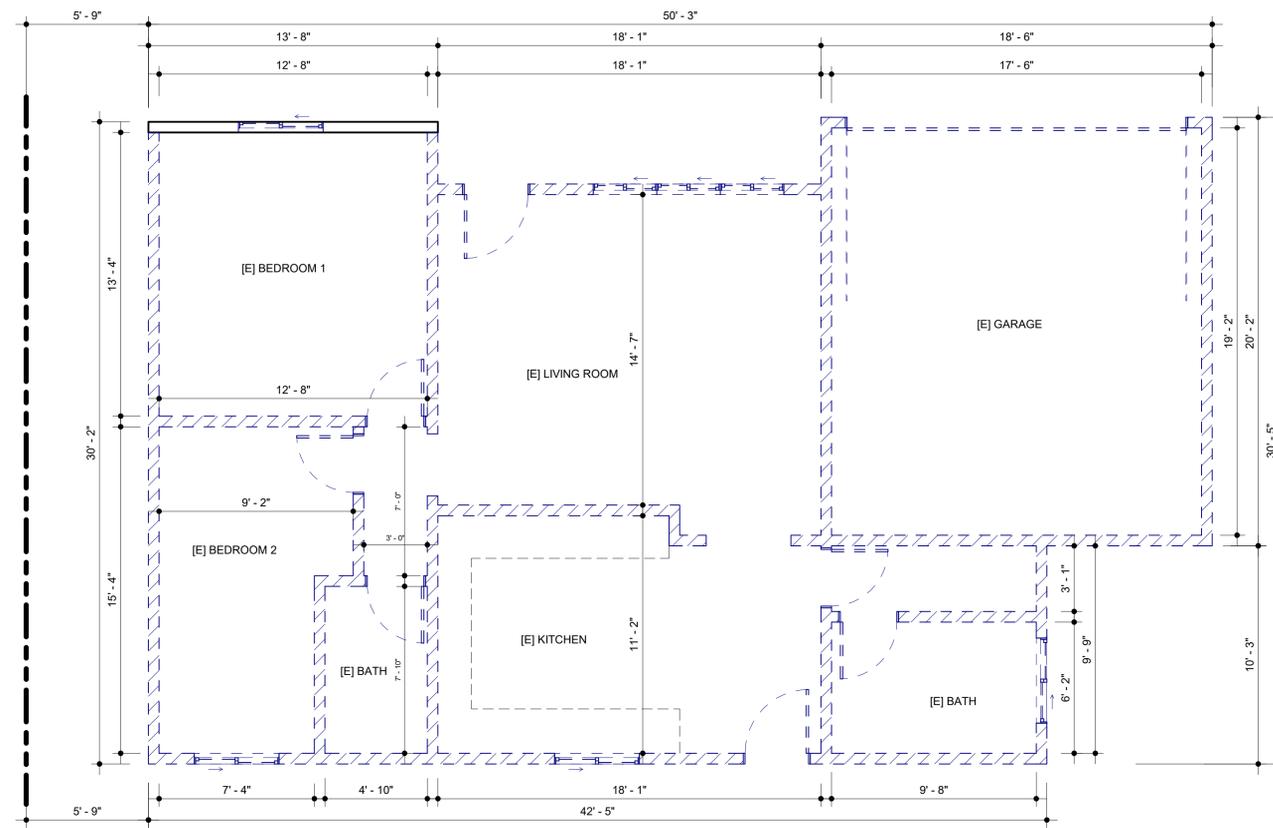
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PROJECT
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 PROPERTY ADDRESS
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 ENCINO, CA 91316

SHEET NAME
 EXISTING FLOOR PLAN
 SCALE
 1/4" = 1'-0"

BUILDER MUST KEEP ONE WALL IN ORDER TO QUALIFY FOR REMODELING / ADDITION



1 EXISTING FLOOR PLAN
 1/4" = 1'-0"



LEGEND

- EXISTING WALL TO BE MODIFIED
- EXISTING WALL TO BE REMOVED

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST IS VACANT AND THERE'S NO EXISTING FLOOR PLAN FOR IT.

EXHIBIT "A"
 Page No. 14 of 19
 Case No. APCS-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 By: Daniel Yip *DY*
 DATE: 03/15/2024
 APPLICATION #: 23016-10000-28628

SCALE
 1/4" = 1'-0"
 DATE
 MARS 12 - 2024
 SHEET TITLE
 EXISTING FLOOR PLAN

B1.0

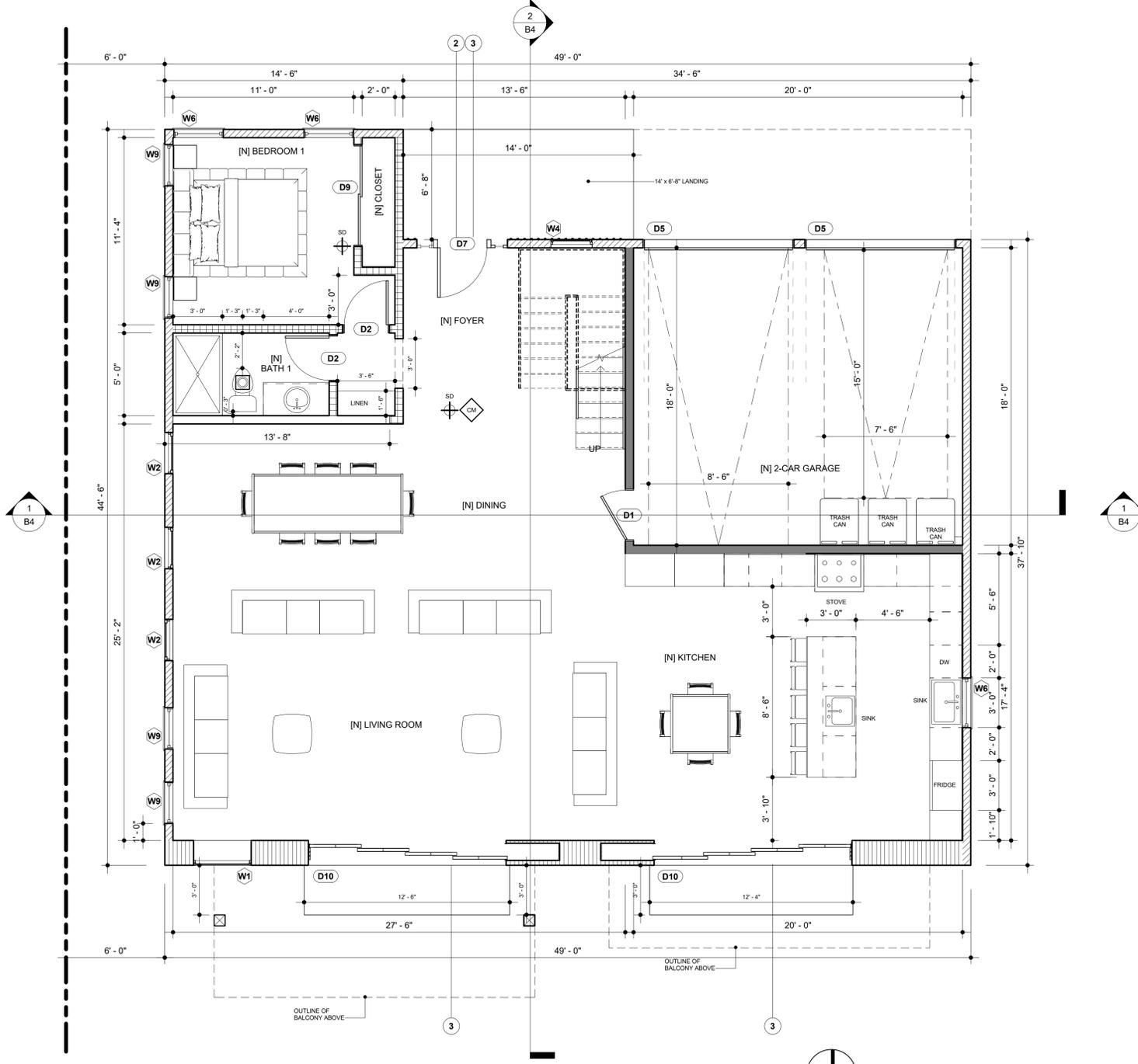


PROJECT
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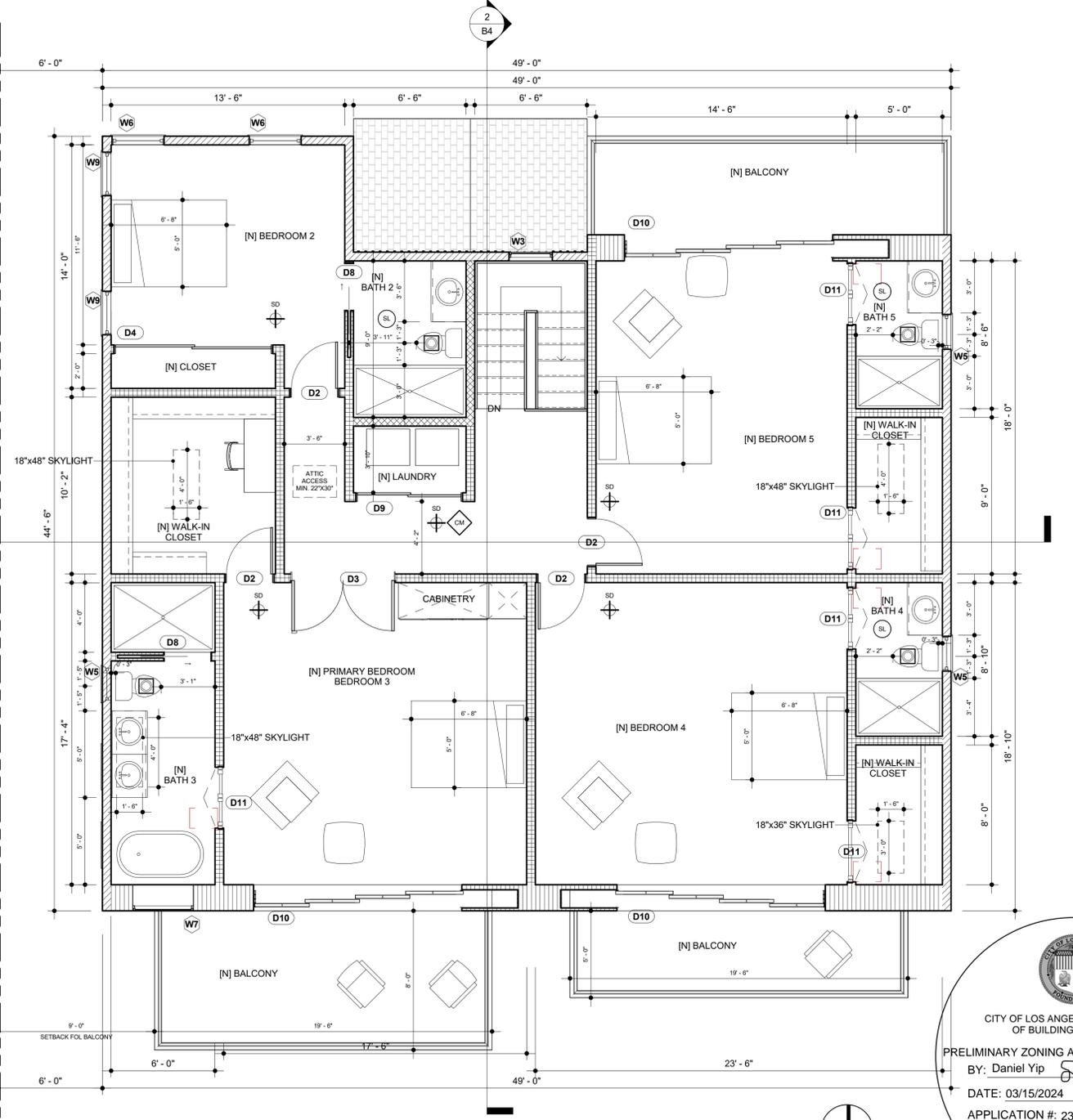
SHEET NAME
 PROPOSED FLOOR PLAN - SFD B
 SCALE
 1/4" = 1'-0"



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 By: Daniel Yip
 DATE: 03/15/2024
 APPLICATION #: 23016-10000-28628



1 PROPOSED FIRST FLOOR PLAN - SFD B
 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN - SFD B
 1/4" = 1'-0"

LEGEND

- HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
- CARBON MONOXIDE - HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
- SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3
- MECHANICAL VENT. 7/2 CFM AIR CHANGE PER PERSON, ENERGY STAR. EXHAUST FANS COMPLY WITH THE FOLLOWING:
 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 3. MIN. 50 CFM.
- 2x4 EXISTING MODIFIED WALL
- 2x6 NEW EXTERIOR WALL
- 2x6 NEW PLUMBING WALL
- 1-HR FIRE RATED & 50 STC SOUNDPROOFING WALL PER LADBS P/BC 2020-069 ON SHEET N4. 2x6 STUD
- NEW OVERSIZED WALL FOR BIFOLD DOORS
- 2x4 NEW INTERIOR WALL

WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	TYPE	TEMPERED	NOTES
W1	3'-6"	6'-6"	FIXED		
W2	2'-6"	7'-0"	TRIPLE HUNG		
W3	2'-6"	6'-0"	FIXED		
W4	2'-6"	2'-6"	FIXED		
W5	2'-0"	4'-0"	HUNG	YES	
W6	3'-0"	5'-0"	HUNG		
W7	3'-6"	4'-0"	FIXED	YES	
W9	2'-6"	5'-0"	HUNG		

- EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENING WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):
- A. MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMAWDMACSA 101/1.5.2/4.0.
 - B. MINIMUM 20-MIN FIRE-RESISTANCE-RATED.
 - C. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	NOTES
D1	3'-0"	7'-0"	SWINGING	
D2	2'-8"	7'-0"	SWINGING	
D3	6'-0"	7'-0"	SWINGING	
D4	9'-0"	7'-0"	SLIDING	
D5	9'-0"	7'-0"	ROLLING	
D7	3'-0"	8'-0"	SWINGING	
D8	2'-8"	7'-0"	SLIDING	
D9	6'-0"	7'-0"	SLIDING	
D10	12'-0"	8'-0"	FOLD	
D11	3'-6"	7'-0"	FOLD	

- EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):
- A. EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
 - B. SOLID CORE WOOD COMPLYING WITH THE FOLLOWING:
 - STILES AND RAILS MINIMUM 1-3/8 INCHES THICK.
 - RAISED PANELS MINIMUM 1-1/4 INCHES THICK.
 - EXCEPTION: EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8 INCHES THICK.
 - C. MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 262.
 - D. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

KEY NOTES:

1. THE INTERIOR WALLS CAN BE 2x4 STUDS.
2. THE ENTRY DOOR NEEDS TO BE RECESSED BY 3".
3. EXTERIOR SIDE OF THE DOOR SHALL NOT EXCEED 1.5 INCHES IF IT SWINGS OVER A LANDING OR 7.57 INCHES IF IT DOES NOT SWING OVER A LANDING.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL HAVE THE SAME FLOOR PLAN BUT DIFFERENT DIRECTION (SEE THE SITE PLAN), AND IT WILL NOT HAVE THE EXISTING WALL TO REMAIN.

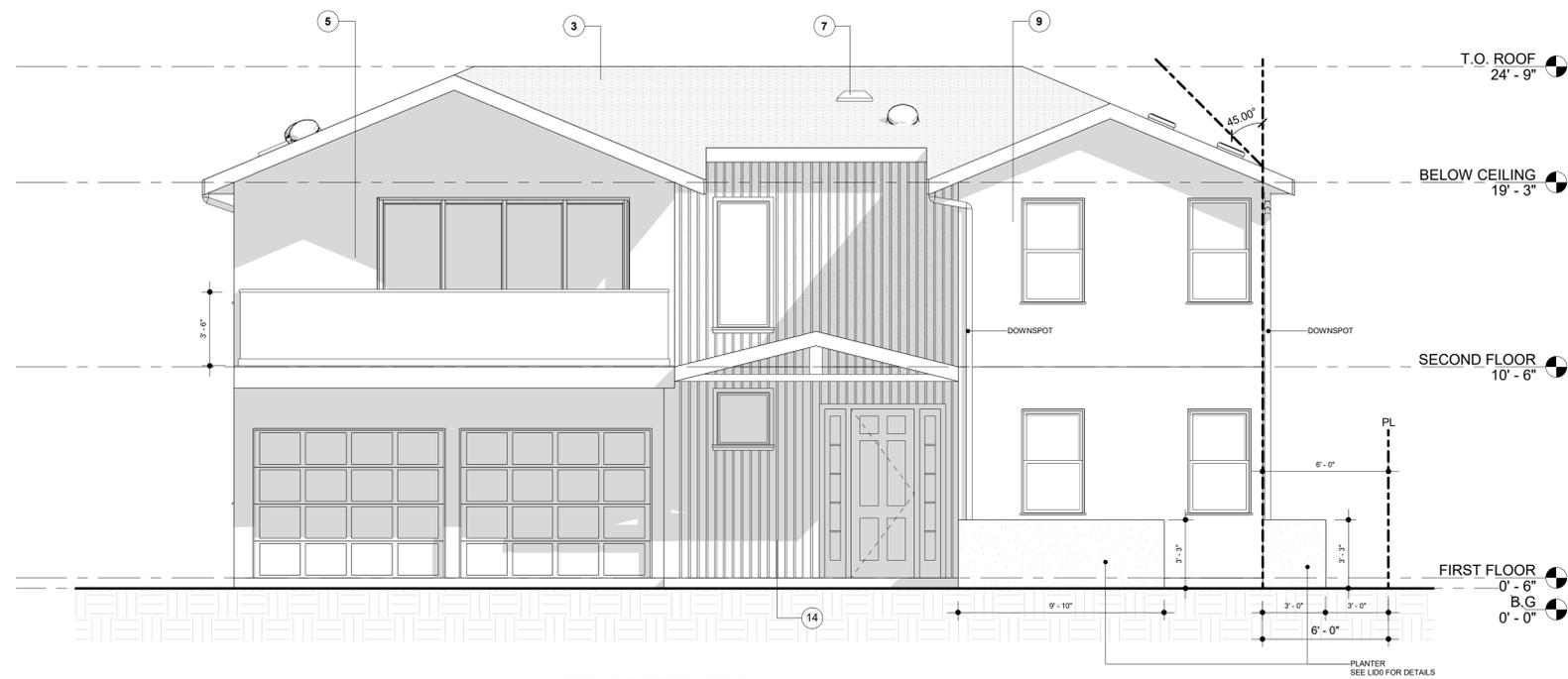
FIRE PROTECTION NOTES

- A. SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING ROOM, ON THE CEILING OR WALL IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY (907.2.11.1, R314.3).
- B. THE POWER SOURCE FOR SMOKE DETECTORS SHALL BE AS FOLLOWS:
 - IN NEW CONSTRUCTION SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK UP (907.2.11.1, R314.4).
 - IN EXISTING SFD, SMOKE DETECTORS MAY BE BATTERY OPERATED (907.2.11.1, R314.4).
- C. CARBON MONOXIDE ALARM IS REQUIRED PER SECTION 420.4, R316).
- D. SPRINKLER SYSTEM SHALL BE REQUIRED FOR ADU IF THE EXISTING DWELING HAS A SPRINKLER SYSTEM.
- E. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLICATIONS ARE INSTALLED AND DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SERIATE DWELLING UNITS SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF DWELLING UNIT INCLUDING BASEMENTS (R316).
- F. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 60 °F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE (R303.9).
- G. DOORS:
 - DOORS AND ENCLOSURE FOR HOT TUB, BATHUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING) THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE.
 - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR WITHIN 6' OF STANDING SURFACE.
 - IN WALL ENCLOSING STAIRWAY LANDING.
 - GUARD AND HANDRAILS.

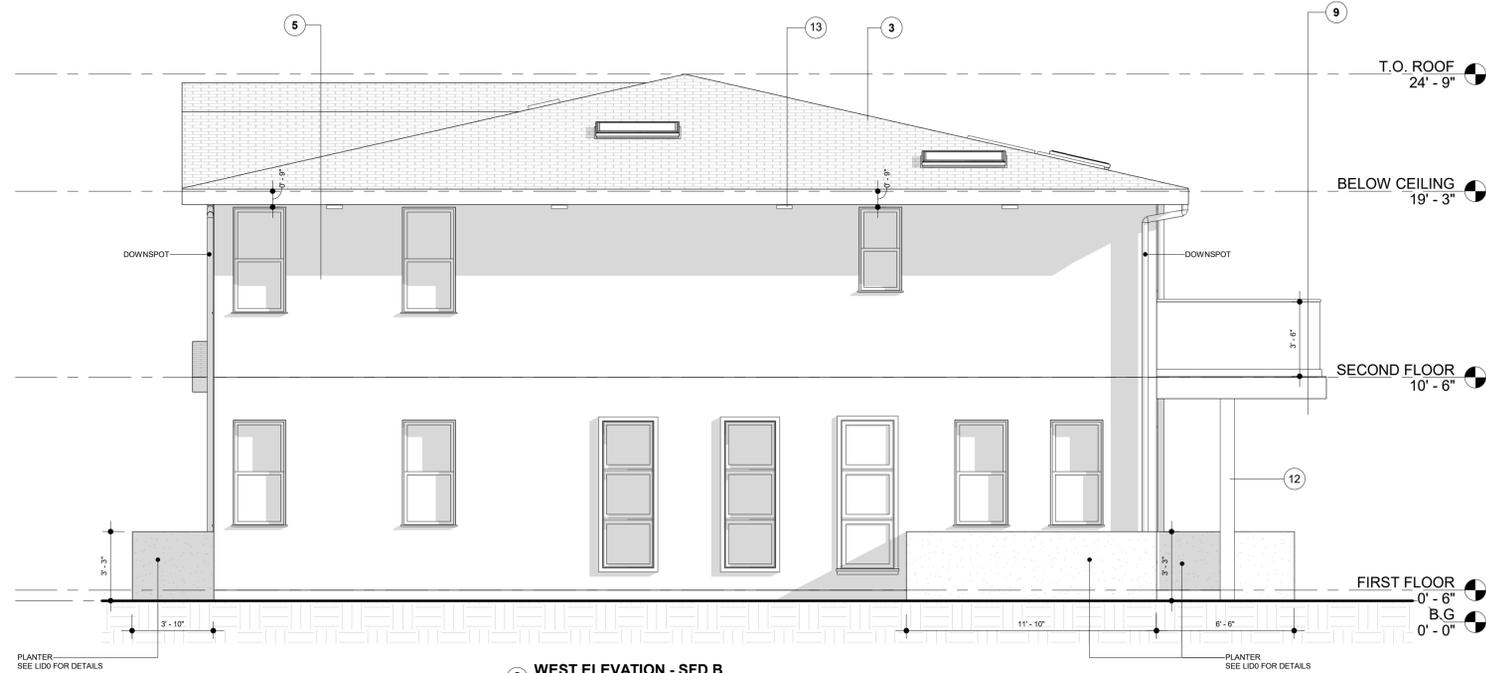
EXHIBIT "A"
 Page No. 15 of 19
 Case No. APCSV-2023-4402-ZC-HCA

SCALE
 1/4" = 1'-0"
 DATE
 MARS 12 - 2024
 SHEET TITLE
 PROPOSED FLOOR PLAN - SFD B
B1.1

ALL PLANS ARE DIAGNOSTIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SHD DATA.



1 NORTH ELEVATION - SFD B
1/4" = 1'-0"



2 WEST ELEVATION - SFD B
1/4" = 1'-0"

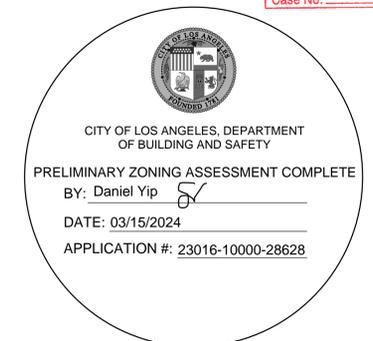
SECTION NOTES & ELEVATION

1. WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS.
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS
2. CEILING INSULATION: R-30 PER TITLE 24.
3. ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD - COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.
ROOF INSULATION: R-19 PER TITLE 24.
4. FLOOR JOIST PER STRUCTURAL PLAN.
INSULATION: R-30 PER TITLE 24.
5. EXTERIOR WALL/PLUMBING WALL: 2x6 STUD WALL.
6. INTERIOR WALL: 2x4 STUD WALL.
7. ATTIC VENT.
8. EXISTING / NEW FOUNDATION.
9. 7/8" NON-REFLECTIVE ARTMESIA EARTH TONE COLOR, 2 LAYERS OF GRADE D (ASTM E2556, TYPE1) PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH (2510.6, R703.7.3)
OR MARBLE STONE LOOK WALL TILE (6 SQ. FT./CASE), BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP.
DESIGNER OR OWNER APPROVAL IS REQUIRED.
10. THE HEIGHT BETWEEN FLOOR AND CEILING ON ALL FLOORS MUST BE EQUAL.
11. BUILDER TO COUNT FOR STACK UP TOLERANCE, SOFFIT, AND DROP CEILINGS AND SUBMIT SHOP DRAWINGS TO OWNER OR DESIGNER.
12. POST PER STRUCTURAL PLAN.
13. EXTERIOR LIGHTING, NO POINTING TO OUTSIDE.
14. FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN).

EXHIBIT "A"
Page No. 16 of 19
Case No. APCSV-2023-4402-ZC-HCA



COMPLETE PACKAGE DRAFTING
CPdrafting.com
22815 Ventura Blvd. #227
Woodland Hills, CA 91364
Tel: (818) 493-1121
info@CPdrafting.com

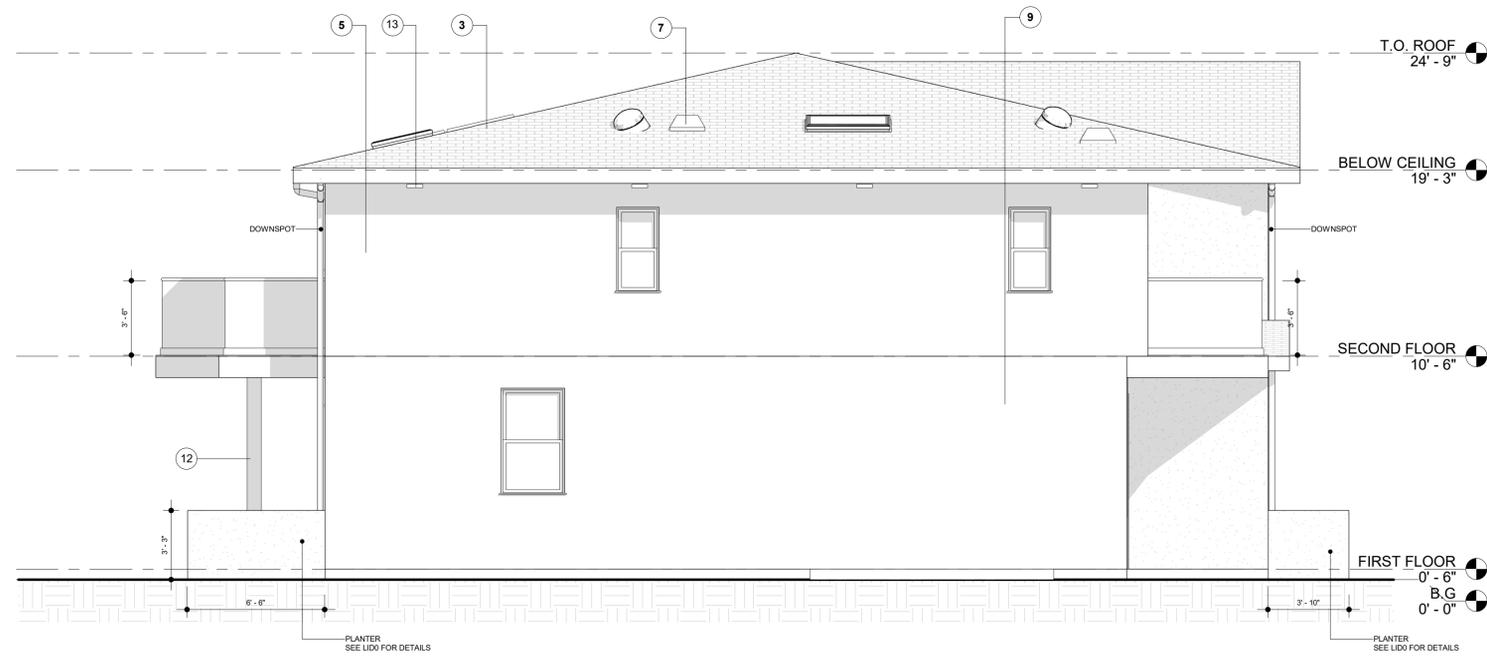


PROJECT
PROJECT NAME
17820 W ERWIN ST.
PROPERTY ADDRESS
17820 W ERWIN ST.
ENCINO, CA 91316

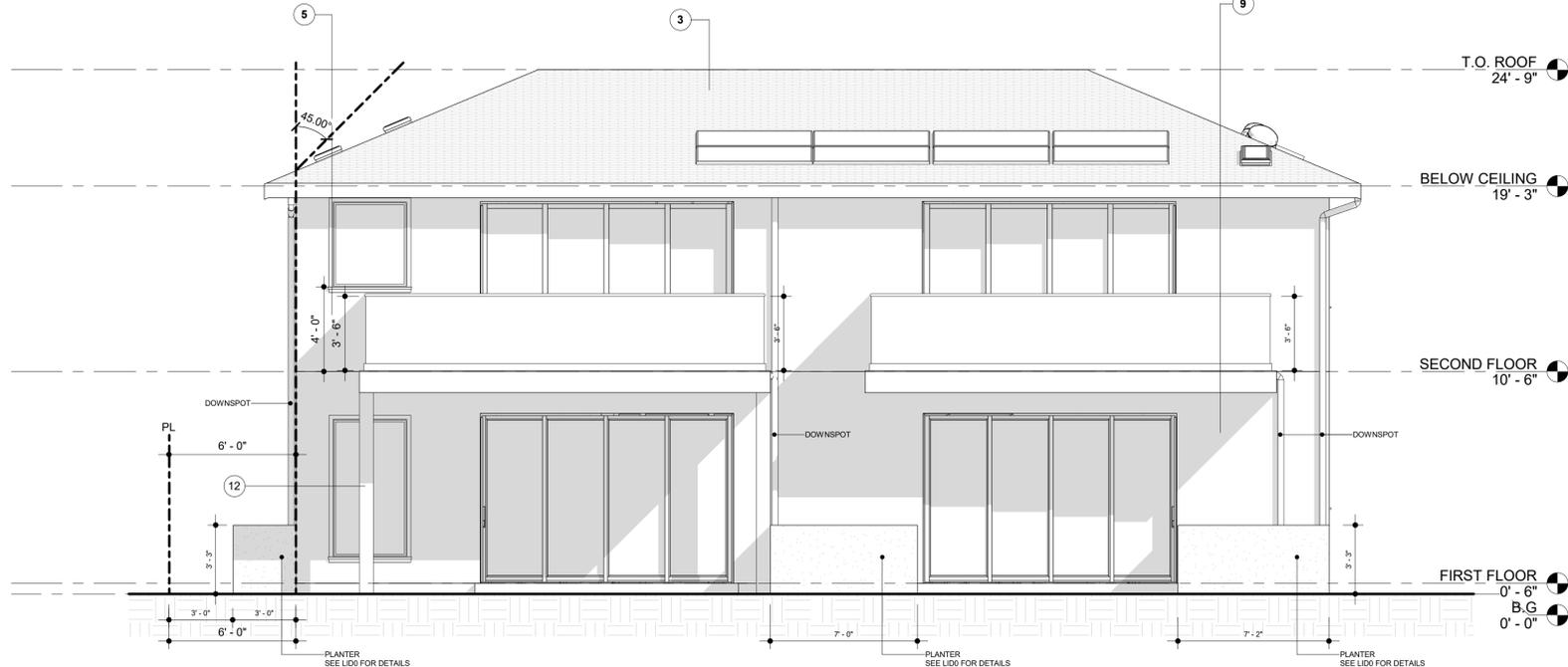
SHEET NAME
SHEET NAME
ELEVATIONS - SFD B
SCALE
1/4" = 1'-0"

SCALE
1/4" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
ELEVATIONS -
SFD B

B2



1 EAST ELEVATION - SFD B
1/4" = 1'-0"



2 SOUTH ELEVATION - SFD B
1/4" = 1'-0"

SECTION NOTES & ELEVATION

1. WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS
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EXHIBIT "A"
Page No. 17 of 19
Case No. APCSV-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: Daniel Yip
DATE: 03/15/2024
APPLICATION #: 23016-10000-28628

COMPLETE PACKAGE DRAFTING
CPdrafting.com
22815 Ventura Blvd. #227
Woodland Hills, CA 91364
Tel: (818) 493-1121
info@CPdrafting.com



PROJECT
17820 W ERWIN ST.
PROPERTY ADDRESS
17820 W ERWIN ST.
ENCINO, CA 91316

SHEET NAME
ELEVATIONS - SFD B
SCALE
1/4" = 1'-0"

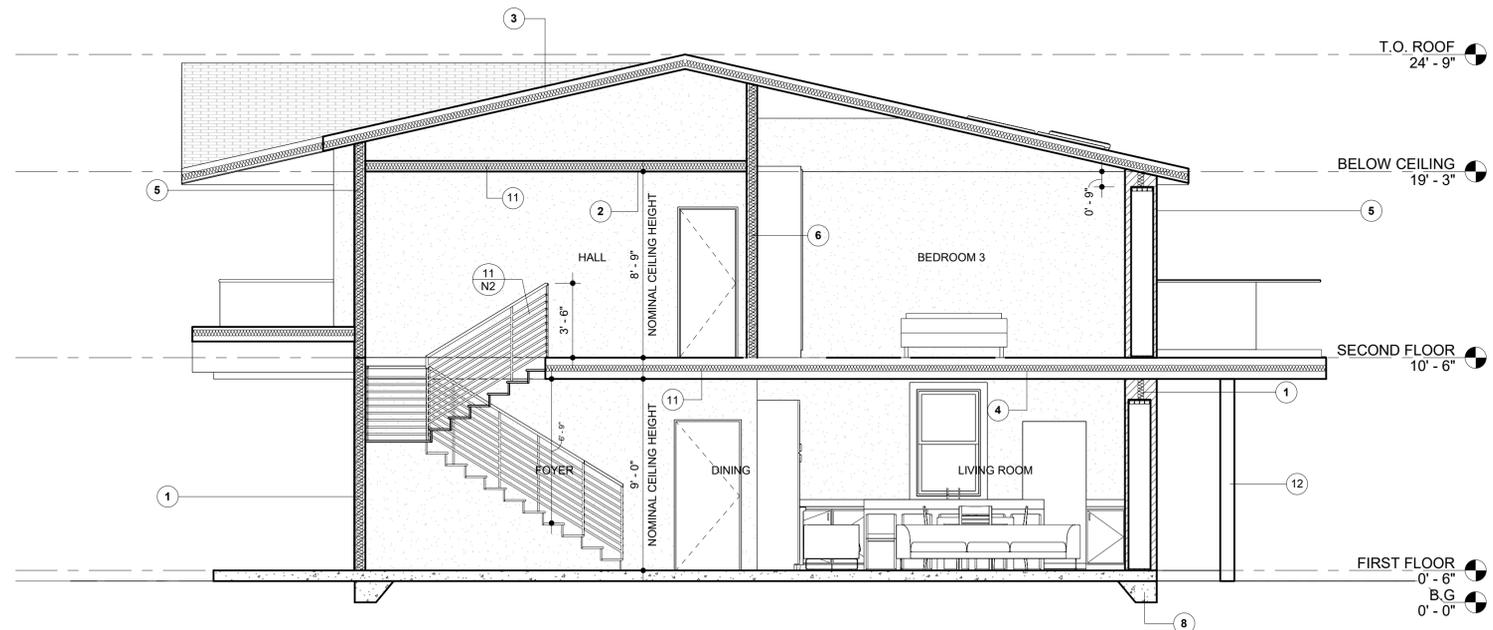
SCALE
1/4" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
ELEVATIONS - SFD B

B3

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1 SECTION A - SFD B
1/4" = 1'-0"



2 SECTION B - SFD B
1/4" = 1'-0"

EXHIBIT "A"
Page No. 18 of 19
Case No. APCSV-2023-4402-ZC-HCA



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: Daniel Yip
DATE: 03/15/2024
APPLICATION #: 23016-10000-28628

SECTION NOTES & ELEVATION

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- EXISTING / NEW FOUNDATION.
- 7/8" NON-REFLECTIVE ARTMESIA EARTH TONE COLOR, 2 LAYERS OF GRADE D (ASTM E2556, TYPE1) PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH [2510.6, R703.7.3] OR MARBLE STONE LOOK WALL TILE (6 SQ. FT./CASE), BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
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- FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR, BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

NOTES FOR PLANNING:

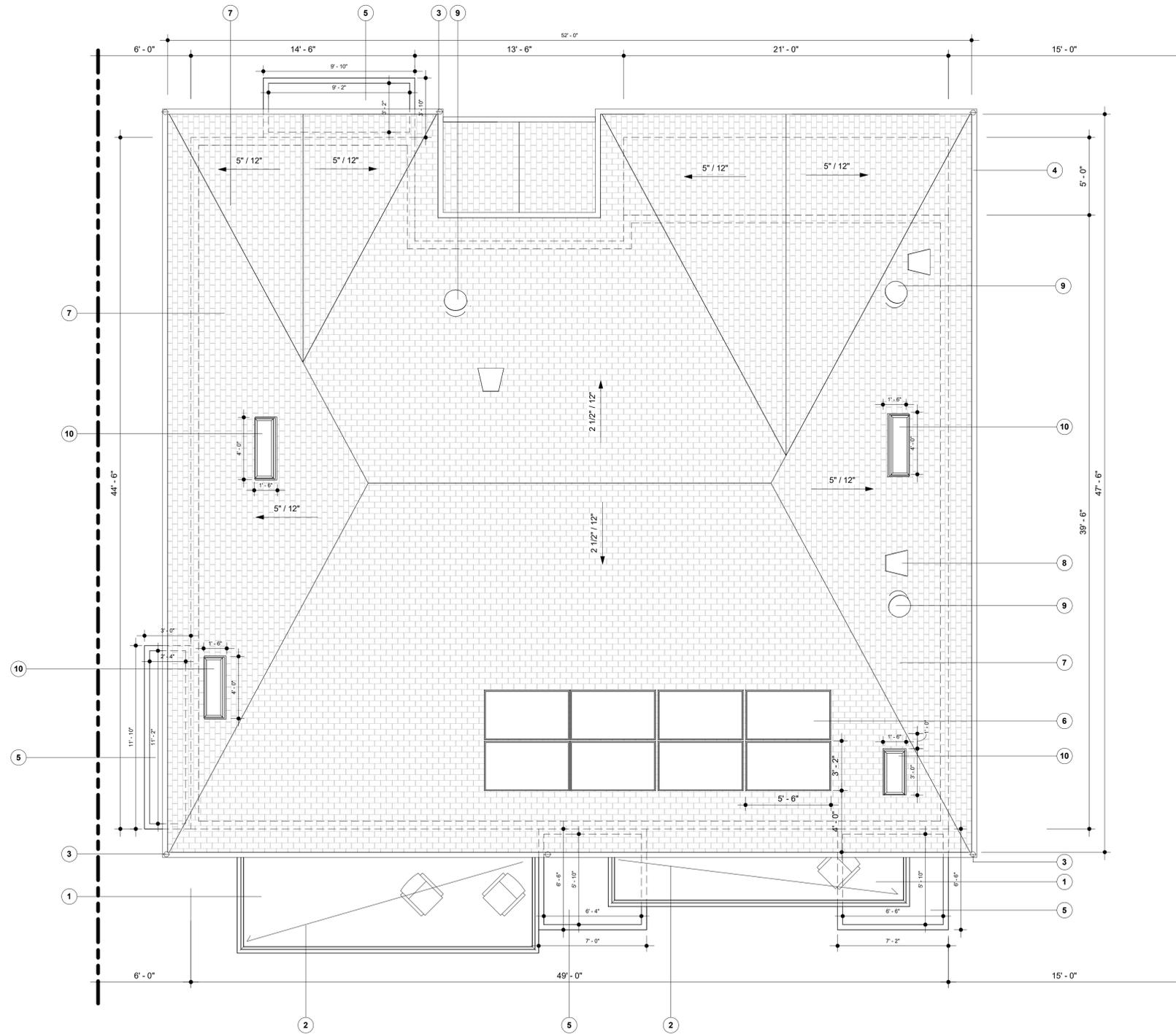
- THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN).

NOTES

- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
- OTHER PENETRATIONS OF GARAGE/DWELLING CEILING AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).
- THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)
- MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)



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1 ROOF PLAN - SFD B
1/4" = 1'-0"



ROOF NOTES

- PROPERTY LINE
- GUTTER DOWNSPOUT WITH SCREEN

DESCRIPTION	QUANTITY	UNIT
2ND FLOOR ROOF	2,303	SF
1ST FLOOR ROOF	69	SF
TOTAL ROOF	2,372	SF

ATTIC VENT CALCULATION:

ATTIC AREA OVER HALLWAY & BATH 2 : 280.7 SQ.FT.
280.7 / 150 = 1.87 SQ.FT. REQUIRED

ATTIC AREA OVER BATH 4 : 45 SQ.FT.
45 / 150 = 0.3 SQ.FT. REQUIRED

ATTIC AREA OVER BATH 5 : 50 SQ.FT.
50 / 150 = 0.33 SQ.FT. REQUIRED

PROVIDED: 3 x 2.2 = 6.6 SQ.FT.

PROVIDED > REQUIRED

SEE SHEET A2 & A3 FOR VENTS SIZES AND LOCATIONS.

SOLAR PANEL CALCULATION:

3.07 KW REQUIRED PER TITLE 24
(3.07 x 1000) / 430 = 7.13 MIN. NUMBER OF SOLAR PANEL REQUIRED

PROVIDED: 8

PROVIDED > REQUIRED

SEE SOLAR PANEL SPEC. SHEET ON SHEET N3.

NOTES

1. APPLY WATERPROOFING. SEE ATTACHED ESR-1757 ON SHEET N3.
2. SLOPE : 1/4" PER EACH FEET WITH DRAINAGE ROUTED ALL THE WAY DOWN TO THE GROUND LEVEL / PLANTER.
3. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR ROOF SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
4. INNER DRAINS, SCUPPERS, OR SIPHONIC ROOF DRAIN IS REQUIRED PRIOR FOR DOWNSPOT.
5. PLANTER PER DETAILS ON SHEET L1D0.
6. SOLAR PANEL PER ATTACHED SPEC. SHEET ON SHEET N3.
7. ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD - TO MATCH EXISTING. COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.
8. HALF DOME VENT. MIN. 2.2 SQ.FT NET VENT AREA. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR VENT. DESIGNER OR OWNER APPROVAL IS REQUIRED.
9. SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3.
10. SKYLIGHT. ESR-4108 ATTACHED ON SHEET N3.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN).

EXHIBIT "A"
Page No. 19 of 19
Case No. APCS-2023-4402-ZC-HCA


 CITY OF LOS ANGELES, DEPARTMENT
 OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: Daniel Yip 
 DATE: 03/15/2024
 APPLICATION # : 23016-10000-28628



PROJECT
 17820 W ERWIN ST.
 17820 W ERWIN ST.
 ENCINO, CA 91316

SHEET NAME
 SHEET NAME
 ROOF PLAN - SFD B
 SCALE
 1/4" = 1'-0"

SCALE
 1/4" = 1'-0"
 DATE
 MARS 12 - 2024
 SHEET TITLE
 ROOF PLAN -
 SFD B

B5

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EXHIBIT B
VICINITY MAP



17820 Erwin St

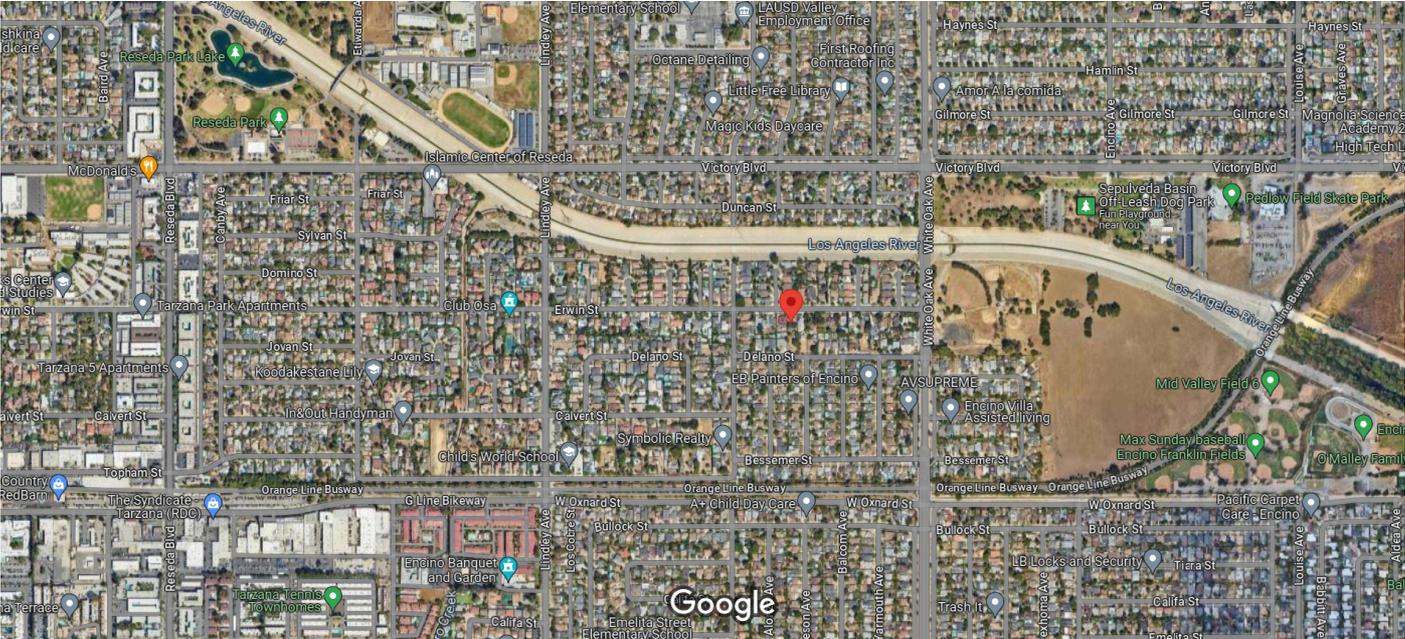
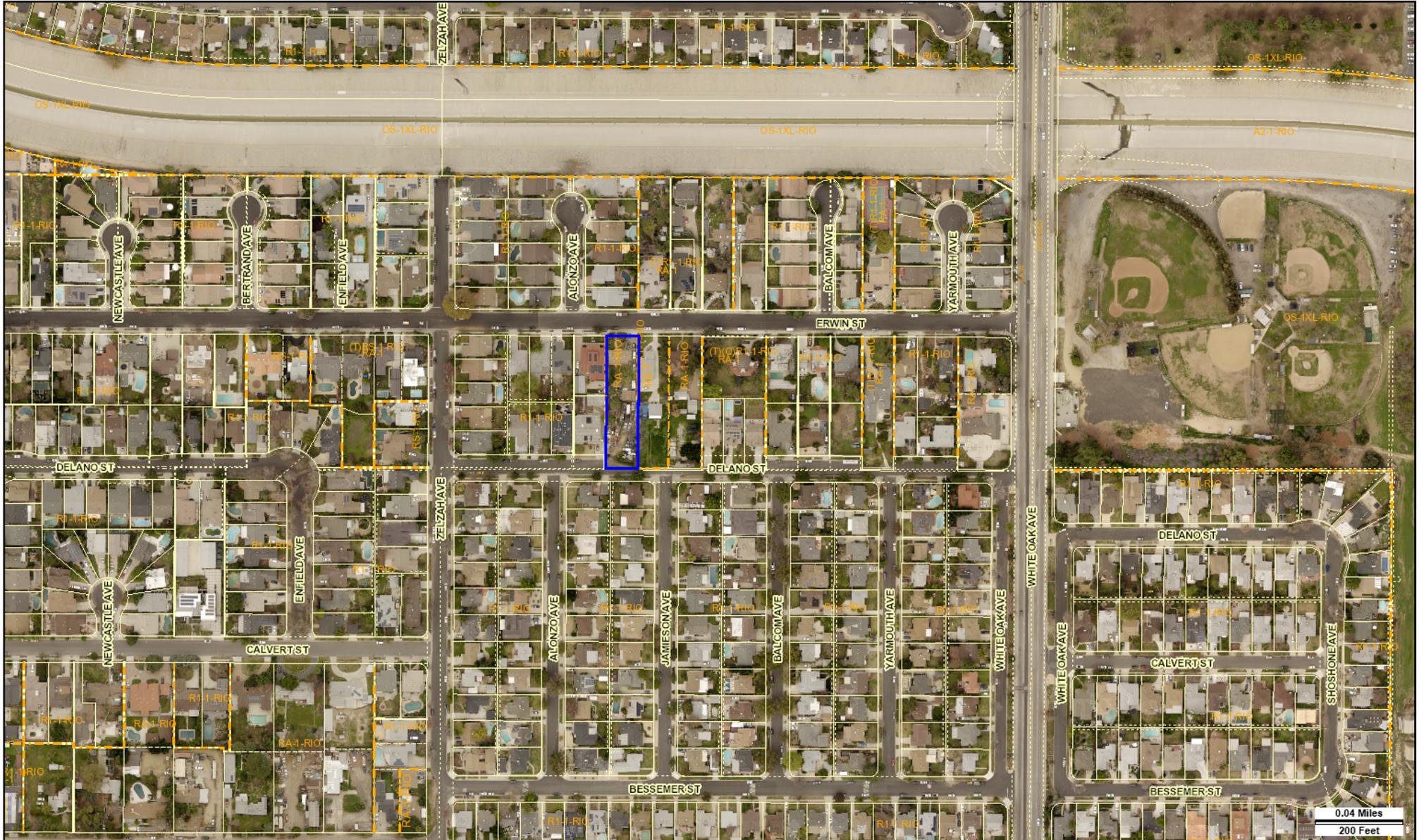


EXHIBIT C
AERIAL PHOTO



Address: 17820 W ERWIN ST

APN: 2123025011

PIN #: 177B129 92

Tract: TR 5947

Block: None

Lot: FR 113

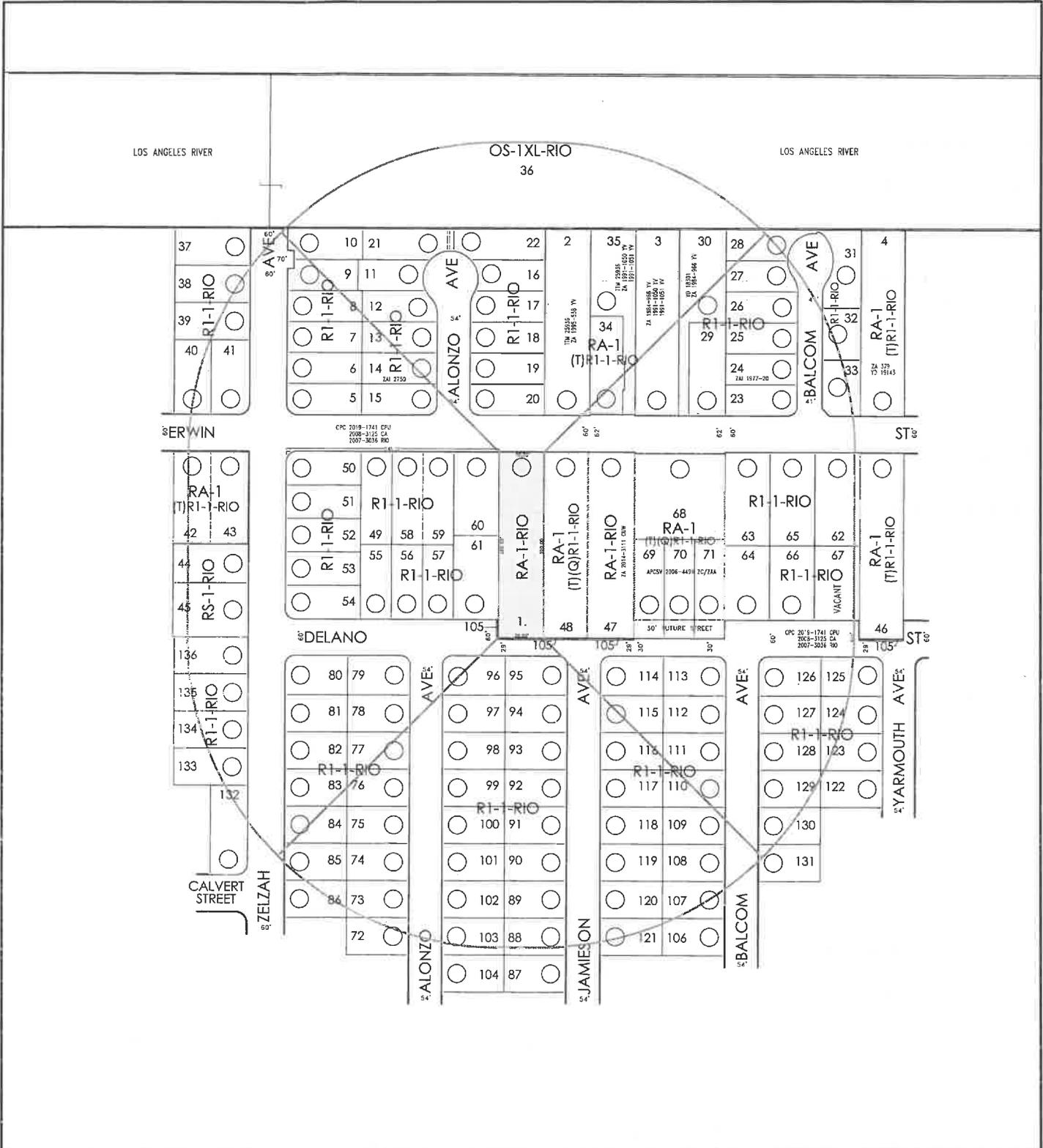
Arb: None

Zoning: RA-1-RIO

General Plan: Low Residential



EXHIBIT D
RADIUS MAP



PARCEL MAP



planning
entitlements+
expediting

Ane Consulting, Inc.
3646 Long Beach Blvd Space #103
Long Beach, California 90807-6023
tel: (562) 252-3318
hello@aneconsult.com

www.aneconsult.com

THOMAS BROTHERS

PAGE: 531 GRID: A7

LEGAL DESCRIPTION:

LOT: POR. 113

TRACT: 5947
MB. 63-96-97

CONTACT: CP DRAFTING

CD: 4

CT: 1329

PA: RESEDA, W. VAN NUYS

USES: FIELD

CASE:

SCALE: 1" = 100'

D.M: 1778129

NET AC: .48+

PHONE: (818) 493-1121

DATE: 07.03.2023
Update: _____

Job No: 3623022



we make it happen

EXHIBIT E

ZIMAS MAP AND PARCEL PROFILE REPORT



City of Los Angeles Department of City Planning

6/14/2024 PARCEL PROFILE REPORT

PROPERTY ADDRESSES

17820 W ERWIN ST

ZIP CODES

91316

RECENT ACTIVITY

AA-2023-4401-PMLA-HCA

CASE NUMBERS

APCSV-2023-4402-ZC-HCA

CPC-2019-1741-CPU

CPC-2008-3125-CA

CPC-2007-3036-RIO

CPC-19XX-21773

CPC-1964-16913

CPC-11708

ORD-183145

ORD-183144

ORD-119865

ENV-2023-4403-CE

ENV-2019-1743-EIR

ENV-2008-3103-CE

ENV-2007-3037-ND

Address/Legal Information

PIN Number	177B129 92
Lot/Parcel Area (Calculated)	21,782.2 (sq ft)
Thomas Brothers Grid	PAGE 531 - GRID A7
Assessor Parcel No. (APN)	2123025011
Tract	TR 5947
Map Reference	M B 63-96/97
Block	None
Lot	FR 113
Arb (Lot Cut Reference)	None
Map Sheet	177B129

Jurisdictional Information

Community Plan Area	Reseda - West Van Nuys
Area Planning Commission	South Valley
Neighborhood Council	Encino
Council District	CD 4 - Nithya Raman
Census Tract #	1329.00
LADBS District Office	Van Nuys

Permitting and Zoning Compliance Information

Administrative Review	None
-----------------------	------

Planning and Zoning Information

Special Notes	None
Zoning	RA-1-RIO
Zoning Information (ZI)	ZI-2462 Modifications to SF Zones and SF Zone Hillside Area Regulations ZI-2438 Equine Keeping in the City of Los Angeles ZI-2358 River Implementation Overlay District (RIO)
General Plan Land Use	Low Residential
General Plan Note(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	None
Subarea	None
Special Land Use / Zoning	None
Historic Preservation Review	No
Historic Preservation Overlay Zone	None
Other Historic Designations	None
Mills Act Contract	None
CDO: Community Design Overlay	None
CPIO: Community Plan Imp. Overlay	None
Subarea	None
CUGU: Clean Up-Green Up	None
HCR: Hillside Construction Regulation	No
NSO: Neighborhood Stabilization Overlay	No
POD: Pedestrian Oriented Districts	None
RBP: Restaurant Beverage Program Eligible Area	None
RFA: Residential Floor Area District	None
RIO: River Implementation Overlay	Yes

This report is subject to the terms and conditions as set forth on the website. For more details, please refer to the terms and conditions at zimas.lacity.org
 (*) - APN Area is provided "as is" from the Los Angeles County's Public Works, Flood Control, Benefit Assessment.

SN: Sign District	No
AB 2334: Very Low VMT	Yes
AB 2097: Reduced Parking Areas	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Affordable Housing Linkage Fee	
Residential Market Area	Medium
Non-Residential Market Area	Medium
Transit Oriented Communities (TOC)	Not Eligible
ED 1 Eligibility	Not Eligible
RPA: Redevelopment Project Area	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

Assessor Information

Assessor Parcel No. (APN)	2123025011
Ownership (Assessor)	
Owner1	OHEL LLC
Address	5176 NESTLE AVE TARZANA CA 91356
Ownership (Bureau of Engineering, Land Records)	
Owner	BENEDETTI, ITALO & MARY I.
Address	17820 ERWIN ST RESEDA CA 91335
APN Area (Co. Public Works)*	0.482 (ac)
Use Code	0100 - Residential - Single Family Residence
Assessed Land Val.	\$330,350
Assessed Improvement Val.	\$267,240
Last Owner Change	05/23/2023
Last Sale Amount	\$1,310,013
Tax Rate Area	16
Deed Ref No. (City Clerk)	None
Building 1	
Year Built	1953
Building Class	D55A
Number of Units	1
Number of Bedrooms	2
Number of Bathrooms	2
Building Square Footage	1,366.0 (sq ft)
Building 2	No data for building 2
Building 3	No data for building 3
Building 4	No data for building 4
Building 5	No data for building 5
Rent Stabilization Ordinance (RSO)	No [APN: 2123025011]

Additional Information

Airport Hazard	150' Height Limit Above Elevation 790
Coastal Zone	None
Farmland	Urban and Built-up Land
Urban Agriculture Incentive Zone	YES
Very High Fire Hazard Severity Zone	No
Fire District No. 1	No
Flood Zone	Outside Flood Zone
Watercourse	No

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Hazardous Waste / Border Zone Properties	No
Methane Hazard Site	None
High Wind Velocity Areas	No
Special Grading Area (BOE Basic Grid Map A-13372)	No
Wells	None
Environmental	
Santa Monica Mountains Zone	No
Biological Resource Potential	None
Mountain Lion Potential	None
Seismic Hazards	
Active Fault Near-Source Zone	
Nearest Fault (Distance in km)	11.4885216
Nearest Fault (Name)	Northridge
Region	Los Angeles Blind Thrusts
Fault Type	B
Slip Rate (mm/year)	1.50000000
Slip Geometry	Reverse
Slip Type	Poorly Constrained
Down Dip Width (km)	22.00000000
Rupture Top	5.00000000
Rupture Bottom	20.00000000
Dip Angle (degrees)	42.00000000
Maximum Magnitude	7.00000000
Alquist-Priolo Fault Zone	No
Landslide	No
Liquefaction	Yes
Preliminary Fault Rupture Study Area	No
Tsunami Hazard Area	No
Economic Development Areas	
Business Improvement District	None
Hubzone	Not Qualified
Jobs and Economic Development Incentive Zone (JEDI)	None
Opportunity Zone	No
Promise Zone	None
State Enterprise Zone	None
Housing	
Direct all Inquiries to	Los Angeles Housing Department
Telephone	(866) 557-7368
Website	https://housing.lacity.org
Rent Stabilization Ordinance (RSO)	No [APN: 2123025011]
Ellis Act Property	No
AB 1482: Tenant Protection Act	See Notes
Assessor Parcel No. (APN)	2123025011
Address	17820 ERWIN ST
Year Built	1953
Use Code	0100 - Residential - Single Family Residence
Notes	The property is subject to AB 1482 if the owner is a corporation, limited liability company with a corporate member, or real estate trust. Does not apply to owner-occupied duplexes & government-subsidized housing.
Housing Crisis Act Replacement Review	Yes
Housing Element Sites	
HE Replacement Required	N/A
SB 166 Units	N/A
Housing Use within Prior 5 Years	Yes

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Public Safety

Police Information

Bureau	Valley
Division / Station	West Valley
Reporting District	1034

Fire Information

Bureau	Valley
Battalion	10
District / Fire Station	100
Red Flag Restricted Parking	No

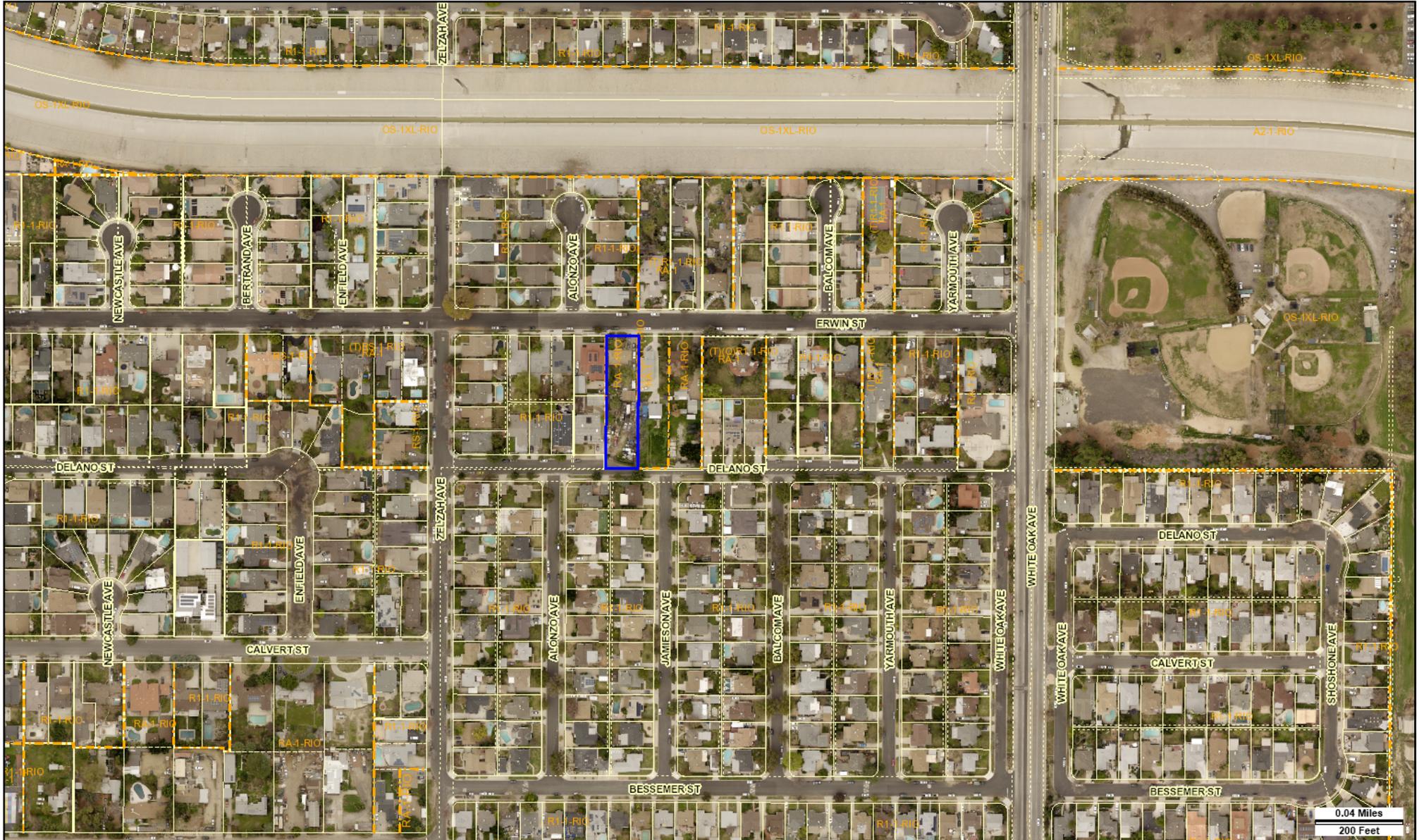
CASE SUMMARIES

Note: Information for case summaries is retrieved from the Planning Department's Plan Case Tracking System (PCTS) database.

Case Number:	APCSV-2023-4402-ZC-HCA
Required Action(s):	ZC-ZONE CHANGE HCA-HOUSING CRISIS ACT
Project Descriptions(s):	PER LAMC CODE SECTION 17.50 AUTHORIZES PARCEL MAP SUBDIVISION. TO ALLOW SUBDIVIDING THE LOT INTO TWO SEPARATE LOTS. PER LAMC CODE SECTION 12.32.F, A ZONE CHANGE TO ALLOW CHANGING THE ZONE FROM RA TO R1 FOR BOTH LOTS.
Case Number:	CPC-2019-1741-CPU
Required Action(s):	CPU-COMMUNITY PLAN UPDATE
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	CPC-2008-3125-CA
Required Action(s):	CA-CODE AMENDMENT
Project Descriptions(s):	THE ADDITION OF A RIVER IMPROVEMENT OVERLAY (RIO) DISTRICT AS SECTION 13.12 OF THE L.A.M.C. IN RESPONSE TO THE LOS ANGELES RIVER REVITALIZATION MASTER PLAN (LARRMP) THAT WAS ADOPTED IN MAY 2007. THIS SUPPLEMENTAL USE DISTRICT WOULD ESTABLISH STANDARDS FOR NEW DEVELOPMENT ALONG WATERWAYS
Case Number:	CPC-2007-3036-RIO
Required Action(s):	RIO-RIVER IMPROVEMENT OVERLAY DISTRICT
Project Descriptions(s):	THE ESTABLISHMENT OF AN ORDINANCE THAT FACILITATES DEVELOPMENT WITHIN THE LA-RIO BOUNDARIES TO ENHANCE THE WATERSHED, URBAN DESIGN AND MOBILITY OF THE AREA. THESE BOUNDARIES ARE ADJACENT TO, NOT INSIDE, THE LOS ANGELES RIVER ON LAND ALREADY ZONED FOR DEVELOPMENT.
Case Number:	CPC-19XX-21773
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	CPC-1964-16913
Required Action(s):	Data Not Available
Project Descriptions(s):	
Case Number:	ENV-2023-4403-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	PER LAMC CODE SECTION 17.50 AUTHORIZES PARCEL MAP SUBDIVISION. TO ALLOW SUBDIVIDING THE LOT INTO TWO SEPARATE LOTS. PER LAMC CODE SECTION 12.32.F, A ZONE CHANGE TO ALLOW CHANGING THE ZONE FROM RA TO R1 FOR BOTH LOTS.
Case Number:	ENV-2019-1743-EIR
Required Action(s):	EIR-ENVIRONMENTAL IMPACT REPORT
Project Descriptions(s):	COMMUNITY PLAN UPDATE
Case Number:	ENV-2008-3103-CE
Required Action(s):	CE-CATEGORICAL EXEMPTION
Project Descriptions(s):	THE ADDITION OF A RIVER IMPROVEMENT OVERLAY (RIO) DISTRICT AS SECTION 13.12 OF THE L.A.M.C. IN RESPONSE TO THE LOS ANGELES RIVER REVITALIZATION MASTER PLAN (LARRMP) THAT WAS ADOPTED IN MAY 2007. THIS SUPPLEMENTAL USE DISTRICT WOULD ESTABLISH STANDARDS FOR NEW DEVELOPMENT ALONG WATERWAYS
Case Number:	ENV-2007-3037-ND
Required Action(s):	ND-NEGATIVE DECLARATION
Project Descriptions(s):	THE ESTABLISHMENT OF AN ORDINANCE THAT FACILITATES DEVELOPMENT WITHIN THE LA-RIO BOUNDARIES TO ENHANCE THE WATERSHED, URBAN DESIGN AND MOBILITY OF THE AREA. THESE BOUNDARIES ARE ADJACENT TO, NOT INSIDE, THE LOS ANGELES RIVER ON LAND ALREADY ZONED FOR DEVELOPMENT.

DATA NOT AVAILABLE

CPC-11708
ORD-183145
ORD-183144
ORD-119865



Address: 17820 W ERWIN ST

APN: 2123025011

PIN #: 177B129 92

Tract: TR 5947

Block: None

Lot: FR 113

Arb: None

Zoning: RA-1-RIO

General Plan: Low Residential



LEGEND

GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF

GENERAL PLAN LAND USE

LAND USE

RESIDENTIAL

-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

COMMERCIAL

-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

FRAMEWORK

COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial

INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial

PARKING

-  Parking Buffer

PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site

LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

OPEN SPACE / PUBLIC FACILITIES

-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

INDUSTRIAL

-  Limited Industrial
-  Light Industrial

CIRCULATION

STREET

-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off- Ramp
-  Railroad
-  Scenic Freeway Highway

MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor

POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	HW House of Worship	 Public Golf Course (Proposed)
 Bridge	e Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
HW Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	MWD MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	P Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	RPD Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
DMV DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
DWP DWP	 Police Training site	 Skill Center
 DWP Pumping Station	PO Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	C Private College	 Steam Plant
 Fire Supply & Maintenance	E Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	JH Private Junior High School	UTL Utility Yard
 Helistop	PS Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	SH Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	SF Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	

SCHOOLS/PARKS WITH 500 FT. BUFFER

 Existing School/Park Site	 Planned School/Park Site	 Inside 500 Ft. Buffer
 Aquatic Facilities	 Other Facilities	 Opportunity School
 Beaches	 Park / Recreation Centers	 Charter School
 Child Care Centers	 Parks	 Elementary School
 Dog Parks	 Performing / Visual Arts Centers	 Span School
 Golf Course	 Recreation Centers	 Special Education School
 Historic Sites	 Senior Citizen Centers	 High School
 Horticulture/Gardens		 Middle School
 Skate Parks		 Early Education Center

COASTAL ZONE

 Coastal Commission Permit Area
 Dual Permit Jurisdiction Area
 Single Permit Jurisdiction Area
 Not in Coastal Zone

TRANSIT ORIENTED COMMUNITIES (TOC)

 Tier 1	 Tier 3
 Tier 2	 Tier 4

Note: TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

WAIVER OF DEDICATION OR IMPROVEMENT

 Public Work Approval (PWA)
 Waiver of Dedication or Improvement (WDI)

OTHER SYMBOLS

 Lot Line	 Airport Hazard Zone	 Flood Zone
 Tract Line	 Census Tract	 Hazardous Waste
 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells - Active
 Building Outlines 2020	 Tract Map	 Wells - Inactive
 Building Outlines 2017	 Parcel Map	

EXHIBIT F

ENVIRONMENTAL CLEARANCE – ENV-2023-4403-CE

COUNTY CLERK'S USE

CITY OF LOS ANGELES
OFFICE OF THE CITY CLERK
200 NORTH SPRING STREET, ROOM 395
LOS ANGELES, CALIFORNIA 90012

CALIFORNIA ENVIRONMENTAL QUALITY ACT
NOTICE OF EXEMPTION
(PRC Section 21152; CEQA Guidelines Section 15062)

Pursuant to Public Resources Code § 21152(b) and CEQA Guidelines § 15062, the notice should be posted with the County Clerk by mailing the form and posting fee payment to the following address: Los Angeles County Clerk/Recorder, Environmental Notices, P.O. Box 1208, Norwalk, CA 90650. Pursuant to Public Resources Code § 21167 (d), the posting of this notice starts a 35-day statute of limitations on court challenges to reliance on an exemption for the project. Failure to file this notice as provided above, results in the statute of limitations being extended to 180 days.

PARENT CASE NUMBER(S) / REQUESTED ENTITLEMENTS
AA-2023-4401-PMLA-HCA; APCSV-2023-4402-ZC-HCA

LEAD CITY AGENCY
City of Los Angeles (Department of City Planning)

CASE NUMBER
ENV-2023-4403-CE

PROJECT TITLE
17820 West Erwin Street

COUNCIL DISTRICT
4 - Raman

PROJECT LOCATION (Street Address and Cross Streets and/or Attached Map)
17820 West Erwin Street

Map attached.

PROJECT DESCRIPTION:
The project is for the subdivision of one existing lot into two lots on a site that totals 20,994 (gross) square feet. The applicant is proposing to add 2,173 square feet to the existing 1,366 square foot structure on Parcel B and the construction, use and maintenance of a 3,539 square foot single family dwelling on Parcel A for a total of two approximately 3,539 square foot residential structures, 24 feet 9 inches in height on each parcel. As proposed, each 3,539 square foot structure will be constructed with an attached two-car garage. There are 12 existing trees on the subject site, including two protected California Black Walnut trees. The project proposes to remove two protected California Black Walnut trees and one significant, non-native tree. To achieve the proposed project, the applicant is requesting a Zone Change from RA-1-RIO to R1-1-RIO.

Additional page(s) attached.

NAME OF APPLICANT / OWNER:
David Danil

CONTACT PERSON (If different from Applicant/Owner above)
Ben Ansari

(AREA CODE) TELEPHONE NUMBER | EXT.
(818) 493-1121

EXEMPT STATUS: (Check all boxes, and include all exemptions, that apply and provide relevant citations.)

STATE CEQA STATUTE & GUIDELINES

- STATUTORY EXEMPTION(S)
Public Resources Code Section(s) _____
- CATEGORICAL EXEMPTION(S) (State CEQA Guidelines Sec. 15301-15333 / Class 1-Class 33)
CEQA Guideline Section(s) / Class(es) **Section 15301, Class 1, Section 15303, Class 3, and Section 15332, Class 32**
- OTHER BASIS FOR EXEMPTION (E.g., CEQA Guidelines Section 15061(b)(3) or (b)(4) or Section 15378(b))

JUSTIFICATION FOR PROJECT EXEMPTION:
 None of the exceptions in CEQA Guidelines Section 15300.2 to the categorical exemption(s) apply to the Project.
 The project is identified in one or more of the list of activities in the City of Los Angeles CEQA Guidelines as cited in the justification.

Additional page(s) attached

IF FILED BY APPLICANT, ATTACH CERTIFIED DOCUMENT ISSUED BY THE CITY PLANNING DEPARTMENT STATING THAT THE DEPARTMENT HAS FOUND THE PROJECT TO BE EXEMPT.
If different from the applicant, the identity of the person undertaking the project.

CITY STAFF USE ONLY:

CITY STAFF NAME AND SIGNATURE
Courtney Yellen *Laura Frazin Steele* for Courtney Yellen

STAFF TITLE
Planning Assistant

ENTITLEMENTS APPROVED
Parcel Map and Zone Change

Project Location: 17820 West Erwin Street
Case No. ENV-2023-4403-CE
Parent Case No(s). AA-2023-4401-PMLA-HCA; APCSV-2023-4402-ZC-HCA

Project Description

The project is for the subdivision of one existing lot into two lots on a site that totals 20,994 (gross) square feet. The subject site is currently developed with an approximately 1,366 square foot single-family residence developed in 1953. As shown on the applicant's preliminary parcel map stamp dated November 6, 2023, the applicant is proposing an addition to the existing structure on Parcel B and the construction, use, and maintenance of a single family dwelling on Parcel A. No square footage is provided for the proposed addition and construction of the single-family dwelling on the preliminary parcel map. However, the applicant submitted plans stamped by LADBS Plan Check on March 15, 2024, that shows the applicant is proposing to add 2,173 square feet to the existing 1,366 square foot structure on Parcel B. The stamped plans also show the construction, use and maintenance of a 3,539 square foot single family dwelling on Parcel A for a total of two approximately 3,539 square foot residential structures, 24 feet 9 inches in height on each parcel. As proposed, each 3,539 square foot structure will be constructed with an attached two-car garage. There are 12 existing trees on the subject site, including two protected California Black Walnut trees. The project proposes to remove two protected California Black Walnut trees and one significant, non-native tree. No grading is proposed as part of the project.

To achieve the proposed project, the applicant is requesting a Zone Change from RA-1-RIO to R1-1-RIO.

Notice of Exemption

The City of Los Angeles determined based on the whole of the administrative record, that the Zone Change entitlements is exempt from CEQA pursuant to CEQA Guidelines Section 15301, Class 1, Section 15303, Class 3. The subdivision of land entitlement is exempt for CEQA pursuant to CEQA Guidelines, Section 15332, Class 32. For both entitlements, there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies. Specifically, the project was found to be exempt based on the following:

- CEQA Guidelines, Section 15301, Class 1, applies to the operation, repair, maintenance, permitting, leasing, licensing or minor alteration of existing private structures involving negligible or no expansion of use. A Class 1 exemption may be used for an addition to an existing structure provided that the addition will not result in an increase of more than 10,000 square feet if the project is in a location where all public services and facilities are available to allow for maximum development permissible under the General Plan and the area is not environmentally sensitive. The proposed project is the addition of 2,173 square feet to an existing approximately 1,366 square foot single-family dwelling for a total of 3,539 square feet and the construction, use and maintenance of a new 3,539 single-family dwelling. This increase is less than 10,000 square feet. Further, as discussed herein, the site is located in a fully developed urbanized area where public services and facilities are in place. The subject site is not located in an area that is environmentally sensitive.
- CEQA Guidelines, Section 15303, Class 3, applies to the construction and location of a limited number of new, small facilities or structures and the conversion of existing small structures from one use to another where only minor modifications are made to the exterior of the structure. Examples of this exemption include the addition of a second dwelling unit on a residentially zoned lot. The proposed project is adding 2,173 square feet to an existing approximately 1,366 square foot single-family dwelling and constructing a new 3,539 single-family dwelling.

- CEQA Guidelines, Section 15332, Class 32, consists of projects characterized as in-fill development meeting the following five conditions: (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project site has no value as habitat for endangered, rare or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services. These conditions are met as follows for the small lot subdivision project pursuant to Incidental Case No. AA-2023-4401-PMLA-HCA:
 - (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations.

The Land Use Element of the General Plan consists of the 35 Community Plans within the City of Los Angeles. The Community Plans establish goals, objectives, and policies for future developments at a neighborhood level. Additionally, through the Land Use Map, the Community Plan designates parcels with a land use designation and zone. The Land Use Element is further implemented through the Los Angeles Municipal Code (LAMC). The zoning regulations contained within the LAMC regulates, but is not limited to, the maximum permitted density, height, parking, and the subdivision of land.

The subdivision of land is regulated pursuant to Article 7 of Chapter 1 of the LAMC. Pursuant to Chapter 1 of LAMC Section 17.50, parcel maps are to be designed in conformance with the parcel map regulations to ensure compliance with the various elements of the General Plan, including the Zoning Code. Additionally, the maps are to be designed in conformance with the Street Standards established pursuant to Chapter 1 of LAMC Section 17.05 B. The project site is located within the Reseda – West Van Nuys Community Plan, which designates the site with a Low Residential land use designation. The land use designation lists the RE9, RS, R1, RU, RD6, and RD5 Zone as the corresponding zones. The Project Site is currently zoned RA-1-RIO, which is more restrictive than the range of zones associated with the Low Residential land use designation.

The project site has approximately 20,994 (gross) square feet of lot area, which would permit a maximum of one dwelling unit (one unit/per 17,500 square feet). Under incidental Case No. APCSV-2023-4402-ZC-HCA, the applicant is requesting a Zone Change from RA-1-RIO to R1-1-RIO, which would permit the requested density (i.e., one single-family dwelling unit on each parcel) if sufficient lot area is available after Code required dedications and improvements are made. The applicant's parcel map stamp dated November 6, 2023 does not show Code required dedications and improvements which are conditioned herein.

Pursuant to Chapter 1 of LAMC Section 17.51 A, a preliminary parcel map is not required to be prepared by a licensed land surveyor or registered civil engineer, but is required to contain information regarding the boundaries of the project site, as well as the abutting public rights-of-way, hillside contours for hillside properties, location of existing buildings, existing and proposed dedication, and improvements of the tract map. Parcel Map No. AA-2023-4401-PMLA-HCA was prepared by Licensed Land Surveyor Cyrus Azarmy, License No. 9404. The parcel map indicates the parcel map number, notes, legal description, contact information for the owner, applicant, and engineer, as well as other pertinent information as required by Chapter 1 of LAMC Section 17.51 A. Therefore, the proposed map demonstrates compliance with Chapter

1 of LAMC Sections 17.05 C, 17.06 B, and is consistent with the applicable General Plan.

- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

The subject site is wholly within the City of Los Angeles, on a site that is approximately 0.5 acres, and is substantially surrounded by urban uses. The surrounding area is a developed urban area of single-family residential uses. The properties to the north are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. The properties located to the east and south are zoned R1-1 and designated Low Residential. The properties located to the west of the subject site are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. One property located two properties west of the subject site is zoned RA-1 and designated as Low Residential. The area is developed solely of one and two-story single-family residential dwellings. As such, the site is less than 5 acres and is surrounded by urban uses.

- (c) The project site has no value as habitat for endangered, rare or threatened species.

The project site is located within an established, fully developed, residential neighborhood. There are 12 trees on the subject site, including two protected California Black Walnut trees. A Protected Tree Report dated July 27, 2023 was prepared by Arsen Margossian, Consulting Arborist Bardez Landscape Services, Inc., and is attached to the subject case file. The Protected Tree Report identifies the removal of two protected California Black Walnut trees in fair health at the southerly portion of the subject site and one significant, non-protected tree located at the most northerly portion of the subject site for a total of three proposed tree removals. In conformance with the Los Angeles Mobility Plan 2035, the applicant is required to provide a 30-foot wide strip of land to be dedicated along Delano Street adjoining the subdivision to complete a 30-foot wide half right-of-way dedication in accordance with Local Street standards. Due to the location of the two protected California Black Walnuts on the southerly portion of the project site and within the 30-foot wide dedication, the two native, protected trees are proposed for removal and are required to be replaced with a minimum 48-inch box at a 4:1 ratio in conformance with the Protected Tree Ordinance for a total of eight protected trees on site. According to the Protected Tree Report, the lot provides ample space to plant the amount of required replacement trees; however, the report is based on the current lot area. As conditioned, the applicant shall be allowed to plant the nine replacement trees on either proposed Parcel A or proposed Parcel B. Conversely, the applicant may spread out the replacement trees between Parcels A and B. This will ensure that adequate room is available for the replacement tree roots once dedication and improvements are made in accordance with the Los Angeles Mobility Plan 2035. No street tree or protected tree may be removed without prior approval of the Board of Public Works/Urban Forestry (BPW) under LAMC Sections 62.161 - 62.171. At the time of preparation of this CE, no approvals have been given for any tree removals onsite. Additionally, the project is located on a site that has been previously disturbed and is surrounded by a dense single family residential neighborhood. Therefore, the project site has no value as habitat for endangered, rare or threatened species.

- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

The project will be subject to Regulatory Compliance Measures (RCMs), which require

compliance with the City of Los Angeles noise, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, the project does not exceed the threshold criteria established by LADOT for preparing a transportation study. Interim thresholds were developed by DCP staff based on CalEEMod model runs relying on reasonable assumptions, consulting with AQMD staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established SCAQMD construction and operational thresholds.

These RCMs will ensure there are no significant impacts related to traffic, air quality, noise, and water quality.

- (e) The site can be adequately served by all required utilities and public services.

The project site will be adequately served by all public utilities and services given that the construction will be on a site which has been previously developed and is consistent with the General Plan. Therefore, the project meets all of the Criteria for the Class 32.

CEQA SECTION 15300.2: EXCEPTIONS TO THE USE OF CATEGORICAL EXEMPTIONS

The City has further considered whether the proposed project is subject to any of the six exceptions (listed as a-f) set forth in State CEQA Guidelines Section 15300.2, that would prohibit the use of any categorical exemption. None of the exceptions are triggered by the Zone Change for the reasons discussed as follows:

- A. **Location.** *Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located. A project that is ordinarily insignificant in its effect on the environment may in a particularly sensitive environment be significant. Therefore, these classes may not be utilized where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.*

Based on a review of the data reported on the Department of City Planning's ZIMAS and Department of Building Safety's NavigateLA for the subject property, the site is located within 11 km (approximately 7 miles) from the Northridge Fault, but is not located within the Alquist-Priolo Fault Zone. The site is not located within a designated hillside area or within the BOE Special Grading Area. The site is not located within a high fire hazard severity zone, flood zone, landslide, methane, or tsunami inundation zone. The site is not located within the Santa Monica Mountains Zone. The site is not identified as having hazardous waste or past remediation. The site is within Flood Zone Type C, which denotes areas of minimal flooding. The site is not subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas, coastal high-hazard and flood-related erosion hazard areas).

While the subject site is located within an Airport Hazard Horizontal Surface Area, which is generally defined as a horizontal plane 150 feet above the established airport elevation. The maximum height of the structures proposed herein is 24 feet 9 inches, which will not create airport hazards. Additionally, specific Regulatory Compliance Measures (RCMs) in the City of Los Angeles control height limits and regulate the use of the land within the airport hazard areas surrounding the Van Nuys and Los Angeles International Airports, as outlined in Section 12.50 of the Los Angeles Municipal Code. ZIMAS designates the subject site as an Urban Agriculture Incentive Zone; however, no agricultural uses are proposed herein. The subject site is also located in a

Liquefaction area however no grading is proposed herein. Prior to the issuance of any permits, the project would be required to be reviewed and approved by the Department of Building and Safety and the Fire Department.

Therefore, the project will not have a significant effect due to location.

- B. Cumulative Impacts.** *The exception applies when, although a particular project may not have a significant impact, the impact of successive projects, of the same type, in the same place, over time is significant.*

Based on a review of databases including the City of Los Angeles Department of City Planning ZIMAS for nearby case approvals (<http://zimas.lacity.org/>), the Los Angeles Department of Building and Safety (LADBS) for recently issued permits, and Navigate LA for other entitlements requested on property in the surrounding area, there are no active projects in the vicinity, and as such, the cumulative impact of successive projects of the same type in the same place, over time, would not be significant.

- C. Unusual Circumstances.** *This exception applies when, although the project may otherwise be exempt, there is a reasonable possibility that the project will have a significant effect due to unusual circumstances.*

Subdivision projects, of similar size, is a common form of infill development type citywide and this proposed project presents no unusual circumstances because the surrounding area is developed heavily with single family residential uses. The proposed height and two-story construction are not unusual for the vicinity of subject site and are similar in scope to other existing Low Residential uses as the surrounding residences vary from one to two stories in height. The project site is located within a geographic area designated as ZI-2438 – Equine Keeping in the City of Los Angeles. ZI-2438 regulates distances between habitable rooms and horse keeping uses. No horse keeping was observed at the subject site or on neighboring properties. Additionally, the site is located with the River Implementation Overlay District (ZI-2358) as the project site lies less than a mile from the Los Angeles River. ZI-2358 regulates development within the River Implementation Overlay District (RIO) and will be subject to the review of Building and Safety to determine whether the project is subject to the RIO. The subject site is located within an Airport Hazard Horizontal Surface Area, which is generally defined as a horizontal plane 150 feet above the established airport elevation. The maximum height of the structures proposed herein is 24 feet 9 inches, which will not create airport hazards. ZIMAS designates the subject site as an Urban Agriculture Incentive Zone; however, no agricultural uses are proposed herein. The project site is located within 11 km (approximately 7 miles) from the Northridge Fault, but is not located within the Alquist-Priolo Fault Zone. The site is not located within a designated hillside area or within the BOE Special Grading Area. The site is not located within a high fire hazard severity zone, flood zone, landslide, methane, or tsunami inundation zone. The site is not located within the Santa Monica Mountains Zone. Prior to the issuance of any permits, the project would be required to be reviewed and approved by the Department of Building and Safety and the Fire Department. The site is not identified as having hazardous waste or past remediation. The site is within Flood Zone Type C, which denotes areas of minimal flooding. The site is not subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas, coastal high-hazard and flood-related erosion hazard areas).

Therefore, the project will not have a significant effect due to unusual circumstances.

- D. State Scenic Highway.** *This exception applies when, although the project may otherwise be exempt, there may be damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

Based on a review of the California Scenic Highway Mapping System (http://www.dot.ca.gov/hq/LandArch/16_livability/scenic_highways/), the subject site is not located along a State Scenic Highway, nor are there any designated State Scenic Highways located near the project site. Based on this, the proposed project will not result in damage to scenic resources including trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway, and this exception does not apply.

- E. Hazardous Waste.** *Projects located on a site or facility listed pursuant to California Government Code 65962.5.*

Based on a review of the California Department of Toxic Substances Control "Envirostor Database" (<http://www.envirostor.dtsc.ca.gov/public/>), no known hazardous waste sites are located on or proximate to the project site. In addition, there is no evidence of historic or current use, or disposal of hazardous or toxic materials at this location. Based on this, the project will not result in a significant effect due hazardous waste and this exception does not apply.

- F. Historical Resource.** *Projects that may cause a substantial adverse change in the significance of a historical resource.*

The project site has not been identified as a historic resource by local or state agencies, and the project site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, or the Los Angeles Historic-Cultural Monuments Register, and/or any local register according to the City's HistoricPlacesLA website. The project will not cause a substantial adverse change in the significance of a historical resource.

In conclusion, since the project meets all of the requirements of the categorical exemption set forth at CEQA Guidelines, Sections 15301, 15303, and 15332 and none of the applicable exceptions to the use of the exemption under Section 15300.2 apply to the project, it is appropriate to determine this project is categorically exempt from the requirements of CEQA.

EXHIBIT G

PROTECTED TREE REPORT

Bardez Landscape Services, Inc.

**Prepared by Arsen Margossian, MS, Consulting Arborist (ISA Certified
Arborist # WE-7233A)**

July 27, 2023

**PROTECTED TREE REPORT
FOR
RESIDENTIAL LOT SPLIT**

AT

**17820 WEST ERWIN STREET
LOS ANGELES, CA 91316**

(APN:2123-025-011)

Prepared for:

**Mr. David Danil
OHEL LLC
818 692 5022
daviddanil@hotmail.com**

UFD RECOMMENDS SHIFTING
THE SFD BACK SO THAT THE
TWO P.T. CAN BE PRESERVED

**REVIEWED
BY**

 8/30/23
Bryan Ramirez, St. Tree Superintendent
Urban Forestry Division
Reviewing Tree Report Only
Review of report does not
indicate UFD approval for
any tree removal

July 27, 2023

Prepared by:

**Arsen Margossian, MS, Consulting Arborist
Bardez Landscape Services, Inc.**
International Society of Arboriculture (ISA) Certified Arborist # WE-7233A
Member, American Society of Consulting Arborists (ASCA)
ASCA Academy Graduate (2007)
ISA Tree Risk Assessment Qualified (CTRA 2012, TRAQ)
California Licensed Pest Control Adviser #071429
California Licensed Forestry Pesticide Applicator #121525
3512 Rosemary Avenue
Glendale, CA 91208
818 669 6469
arsenm@pacbell.net

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SUMMARY

I was contacted by Mr. David Danil, from **OHEL, LLC**, to prepare a Protected Tree Report (PTR), and assess the impact of a lot split and development project on the on-site trees.

As observed, there are two native Southern California black walnut trees and other non-native trees on the lot, and according to the prepared design, both native trees are in conflict and must be removed.

Mitigation trees can be planted on site.

INTRODUCTION

Background

Mr. David Danil, on behalf of OHEL, LLC, requested that I prepare a Protected Tree Report (PTR), because it has been planned to completely remodel and add area to the existing single-family dwelling, split the lot to two smaller ones, and build a new two-story single-family dwelling on the vacant side.

And because of the presence of native trees on site, he requested that I evaluate the subject trees, assess the possible impact of the construction to them and if they could be retained, give my professional opinion for their preservation.

After discussing my fees, I was retained to examine the trees and write a report of my findings.

Assignment

I agreed to perform the following:

- Survey the property for City of Los Angeles native trees and shrubs.
- Inspect and evaluate the indigenous trees and shrubs on site and on the abutting properties, in close proximity of the property lines.
- Submit a written report of my observations and findings.
- Make appropriate recommendations if needed, based on my findings.

Limits of the Assignment

This report and the observations included herein are based on my visit to the site on June 15, 2023.

For this Protected Tree Report, the inspection and evaluation of the trees were limited to visual examination of accessible items, without dissection or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees or property in question may not arise in the future. One of the Southern California Black Walnut trees is confined behind wood-fenced area, and because I did not have access to that area, the trunk size measurements for that tree are best estimates.

Purpose and Use of the Report

The purpose of this report is to assess the condition and impact of the existing native trees from the proposed lot splitting and subsequent development project. This report is intended for the exclusive use of Mr. David Danil, **OHEL, LLC**, and their representatives. Upon submission, this report will become their property and its use will be at their discretion.

OBSERVATIONS

General Site Observations

The residential property is located at 17820 W. Erwin St., in the Encino neighborhood of City of Los Angeles, County of Los Angeles, California, 91316. The Assessor's Parcel Number (APN) is: **2123-025-011**. It is in RA-1-RIO zoning area and it is Lot FR 113 of Tract TR 5947.

The nearest cross-streets are Alonso Ave. and Yarmouth Ave., and the nearby major road is White Oak Ave. Easiest access to the area is from the Ventura (101) Freeway, off from White Oak Ave. exit.

The lot is on an almost flat land, on the south side of the street. The total lot area is 20,994 sq. ft., and the existing 1953-built dwelling has 1,366 sq. ft. building area. It is being proposed to completely remodel and add to the existing structure, which will have 3,482 sq. ft on a lot of 10,497 sq. ft. The other lot will have the same area, and a two-story single-family dwelling will be built on it. Square footage area has not yet been finalized.

I took several photographs of the lot and the trees (**Appendix II**), took measurements of the trees, and used the architect's and surveyor's site plans to identify the trees.

Tree Evaluation.

As specified by Section 17.02 of City of Los Angeles Ordinance No. 186873, Protected Tree is "Any of the following Southern California indigenous species, which measures four inches or more cumulative diameter, four and one-half feet above the ground level at the base of the tree (also identified as **DBH**, diameter at breast height): a) Indigenous Oak tree excluding the Scrub Oak, b) Southern California Black Walnut, c) Western Sycamore and d) California Bay, and Protected Shrub is Mexican Elderberry and Toyon.

According to this Ordinance, there are only two Southern California black walnut (*Juglans californica* var. *californica*) trees on the south side of the property. They most probably are volunteers, since historic Google Street Views show them as juvenile trees in areas where people could not have planted them for any benefit. There are no native shrubs on site. And along the property lines, there are no visible native trees or shrubs on the abutting properties, along the property lines. There are no street trees, on both Erwin St. on the north side, and Delano St. on the south side. There are other non-native trees throughout the property. All these trees are included in the Tree Inventory (**Appendix I**.)

I installed numbered tags #1310 and #1311 on the two native trees. I used a ladder to reach one of the stems of Tree #1311 and nail the tag on it.

I used a Lufkin diameter tape to measure the DBH of the trees to which I had access. Tree height was estimated. **Canopy** spread and other dimensions were measured with a DEWALT measuring tape. Canopy spread of only the two native trees is drawn to scale on the Site Plan (**Appendix III**).

Tree #1310

This is a mature Southern California black walnut (*Juglans californica* var. *californica*) tree, located at the far south side of the property.

It has a single north-leaning trunk, with a DBH of 11.5 inches.

At six feet over grade, the trunk divides to six main **scaffold branches**, each heading into different direction.

The tree has almost evenly-spread **crown**, with branches reaching distances of 10 to 15 feet away from the trunk base. The overall longest canopy spread is of 30 feet, in the east-west directions.

The tree has minimal **deadwood** in the crown, and no **dieback** of branches is noticed, a common disease symptom seen often throughout Southern California. No **decay cavities** also are present on the tree.

The height of the crown is about 18 feet. Crown density is acceptable, and **foliage** looks healthy, with no signs of disease.

The overall **vigor** of this tree is good, and on a 0 to 5 scale (0 being dead and 5 being excellent), the **condition rating** for this tree is 4 (Good).

This tree is very close to the proposed new house; substantial crown reduction will be needed and roots will be severed from the excavation for the house foundations; therefore, it should be removed.

Tree #1311

This is the second Southern California black walnut (*Juglans californica* var. *californica*) tree, located toward the far southeast side of the property. The lower section of the tree is hidden from view behind a wood fence, and one assumes it is located on the abutting property. But as surveyed, the tree is completely on this property, and the wood fence is misplaced.

Looking at the lower section of the tree, one can observe that the main trunk of the tree starts dividing at about two feet over grade.

I counted some eight stems, and estimated their DBH to be respectively 2", 4", 4", 4.5", 6.5", 7", 7.5" and 8". A cumulative estimated DBH of 43.5".

The height of the crown is also about 18 feet. This tree has branches that extend up to 20 feet from the trunk base.

The longest canopy spread is of 35 feet, in the north-south directions.

This tree will be prone to lose some stems and main branches if not maintained, because of excessive end-weight and distance of the lever arms.

Foliage looks healthy and there are no signs of disease on this tree too.

The overall vigor of this tree is average, and on a 0 to 5 scale (0 being dead and 5 being excellent), the condition rating for this tree is 3 (Average).

This tree is within the footprint of the proposed driveway; therefore, it should be removed.

Non-Protected Trees

As indicated, other than the two Southern California black walnut trees, there are other ten non-native trees, and only one of them is in conflict and must be removed. The remaining trees can all be retained. The characteristics of the trees are included in the Tree Inventory.

CONSTRUCTION IMPACT

As discussed above, the two native Southern California black walnut trees will have to be removed because of:

1/ Tree #1310 is too close to the proposed new dwelling, and substantial crown reduction and **root plate** removal.

2/ Tree #1311 is located within the footprint of the designed driveway. If the driveway was to be designed on the other, the same would have been applied to the other tree.

MITIGATION FOR THE REMOVED TREES

For the removal of Trees #1310 and #1311, in accordance with the replacement ratio approved by the City of Los Angeles Tree Ordinance, a 4:1 ratio will apply for the removal of these two trees. Therefore, eight replacement trees, preferably 24-inch box size, should be planted on site. There is ample area on site to locate the eight trees.

CONCLUSION

This proposed lot split project, as designed, will not be possible without the removal of the two native Southern California black walnut trees, because of their location. There is plenty of space to plant the eight mitigation trees, to have a viable future on site.

The Urban Forestry Division of the Public Works Department of City of Los Angeles will review this report and it could have additional guidelines for the mitigation of the removed trees.

TREE INVENTORY

17820 W. ERWIN ST., LOS ANGELES, CA 91316 APN: 2123-025-011								
ARSEN MARGOSSIAN, MS								
ISA CONSULTING ARBORIST (WE-7233A), CA DPR PEST CONTROL ADVISOR (71429)								
818 669 6469 , ARSENM@PACBELL.NET								
JULY 27, 2023								
TREE #	SPECIES	COMMON NAME	DIAMETER (DBH)	HEIGHT	SPREAD	CONDITION RATING	IMPACT	STATUS
1	MELALEUCA SPP.	PAPERBARK	21"	25'	25'	3	DAMAGE TO ROOTS FROM NEW DRIVEWAY	REMOVE
2	STRELITZIA NICOLAI	GIANT BIRD OF PARADISE	THREE 10-FT CLEAR TRUNKS	N/A	N/A	3	N/A	RETAIN
3	STRELITZIA NICOLAI	GIANT BIRD OF PARADISE	FOUR 8-FT CLEAR TRUNKS	N/A	N/A	3	N/A	RETAIN
4	MORUS SPP.	MULBERRY	32"	20'	35'	3	N/A	RETAIN
5	PINUS PINEA	ITALIAN STONE PINE	28"	35'	25'	3	N/A	RETAIN
6	MALUS SPP.	APPLE	6" (2X3")	16'	15'	2	N/A	RETAIN
7	PRUNUS SPP.	PLUM	9" (2X2.5" & 4")	12'	20'	2	N/A	RETAIN
8	PHOENIX CANARIENSIS	CANARY ISLAND PALM	16 FT CLEAR TRUNK	N/A	N/A	3	N/A	RETAIN
9	FRAXINUS UHDEI	EVERGREEN ASH	28" (7", 8" & 13")	35'	30'	3	N/A	RETAIN
10	ALANTHUS ALTISSIMA	TREE-OF-HEAVEN	60" (12", 22" & 26")	40'	50'	4	N/A	RETAIN
1310	JUGLANS CALIFORNICA VAR. CALIFORNICA	SOUTHERN CALIFORNIA BLACK WALNUT	11.5"	18'	30'	4	VERY CLOSE TO HOUSE, CROWN REDUCTION AND DAMAGE TO ROOTS FROM HOUSE FOUNDATION	REMOVE
1311	JUGLANS CALIFORNICA VAR. CALIFORNICA	SOUTHERN CALIFORNIA BLACK WALNUT	43.5" (2", 4", 4", 4.5", 6.5", 7", 7.5" & 8") ESTIMATE	18'	35'	3	WITHIN NEW DRIVEWAY FOOTPRINT	REMOVE
TREE CONDITION: 0=DEAD, 1=POOR, 2=FAIR, 3=AVERAGE, 4=GOOD, 5=EXCELLENT								

Appendix II

PHOTOGRAPHS



Google aerial view (2023) of the property.



View of the property front seen from the north side.
(This and the following photographs were taken on June 15, 2023.)



Trees #1310 (right side) and #1311 (left side) seen from the north side.



Tree #1310.



Tree #1311.



View of the lower section of Tree #1311.

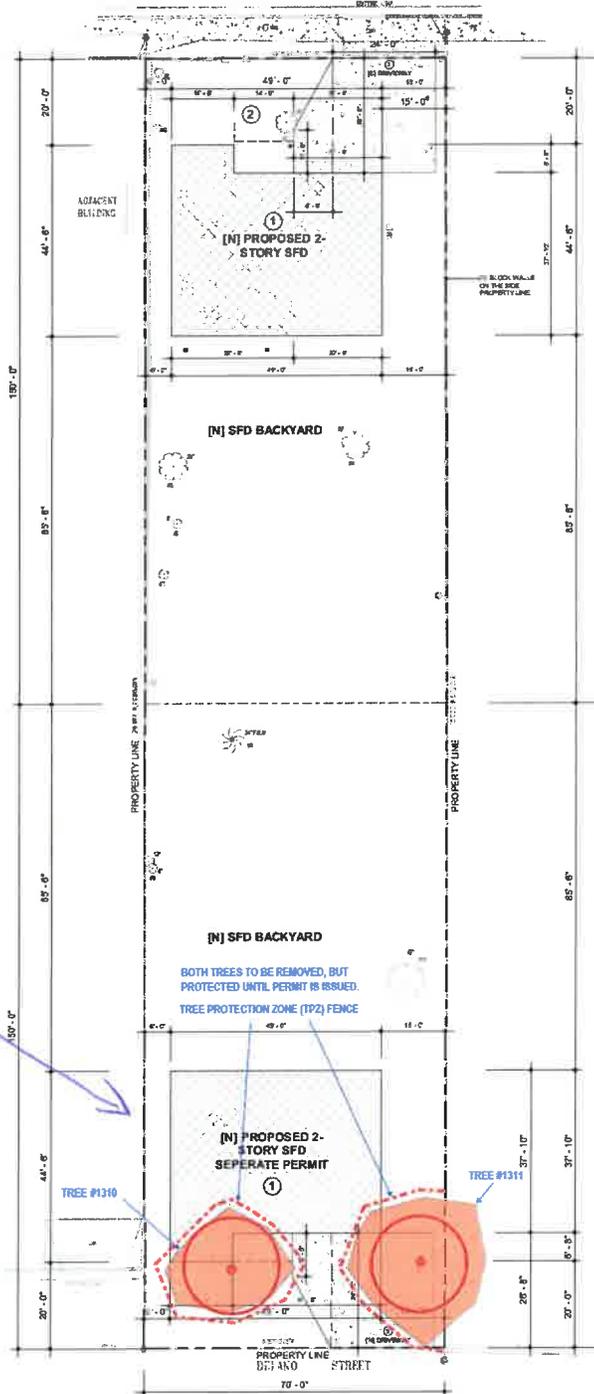
Appendix III SITE PLAN (See Attached Architectural Plan.)

UFD RECOMMENDS SHIFTING THE SFD BACK SO THAT THE TWO P.T. CAN BE PRESERVED

REVIEWED BY

[Signature]
8/30/23

Bryan Ramirez, Sr. Tree Superintendent
Urban Forestry Division
Reviewing Tree Report Only
Review of report does not indicate UFD approval for any tree removal



Glossary

Canopy	The aboveground portion of a tree, including the outer layer of leaves.
Cavity	An open wound or hollow within a tree, associated usually with decay.
Condition Rating	The condition of a tree expressed as percentage of ideal for that species.
Crown	Parts of the tree above the trunk that includes the leaves and branches.
Deadwood	Dead branches remaining attached within the canopy of the tree.
Decay	The process by which sound wood is decomposed by the action of wood-destroying fungi and other microorganisms, resulting in softening, progressive loss of strength and weight, and often changes in texture and color.
Diameter at Breast Height (DBH)	Basic measure of tree girth usually at 4.5 feet above ground level.
Dieback	Condition in which the ends of the branches are dying.
Foliage	The leaves in the canopy of the tree.
Root Plate	That part of the root system (excluding the small outermost roots) needed to keep a tree windfirm.
Scaffold Branch	The permanent or structural branches of a tree.
Vigor	Overall health of a tree; the capacity to grow and resist physiological stress.

Assumptions and Limiting Conditions

This arborist report and any values expressed herein represent my personal opinion and my fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

The information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection.

I certify that I have no personal interest in or bias with respect to the subject matter of this report. I have inspected the subject trees, and to my knowledge and belief, all statements and information in this report are true and correct.

This arborist report was performed entirely at ground level. The inspection and evaluation of the trees were limited to visual examination of accessible items without dissection, probing or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the trees or property in question may not arise in the future.

Certification of Performance

I, Arsen Margossian, certify:

- That I have personally inspected the trees and/or property referred to in the report, and have stated my findings accurately. The extent of the evaluation is stated in the attached report and the Limits of Assignment;
- That I have no current or prospective interest in the vegetation on the property that is the subject of this report and have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and facts;
- That my analysis, opinions and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices;
- That no one provided significant professional assistance to me, except as indicated within the report;
- That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party nor upon the results of the assignment, the attainment of stipulated results, or the occurrence of any subsequent events.

I am an ISA Certified Arborist (#WE-7233A), I hold ISA Tree Risk Assessment Qualification (TRAQ), I am California Licensed Pest Control Advisor (#71429) and California Licensed Forestry Pesticide Applicator (#121525). I also am a 2007 graduate of ASCA Academy.

I further certify that I am a member in good standing of the American Society of Consulting Arborists (ASCA), International Society of Arboriculture (ISA) and California Association of Pest Control Advisers (CAPCA).

Signed: 

Date: July 27, 2023.

Copies of Licenses



The International Society of Arboriculture

Hereby Announces That

Arsen Margossian

Has Earned the Credential

ISA Certified Arborist®

By successfully meeting ISA Certified Arborist certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

Caitlyn Polkham
Caitlyn Polkham
CFO & Executive Director

5 March 2005

30 June 2026

WF-7213 A

Issue Date

Expiration Date

Certification Number



The International Society of Arboriculture

Hereby Announces That

Arsen Margossian

Has Earned the Credential

ISA Tree Risk Assessment Qualification®

By successfully meeting ISA Tree Risk Assessment Qualification certification requirements through demonstrated attainment of relevant competencies as supported by the ISA Credentialing Council

Caitlyn Polkham
Caitlyn Polkham
CFO & Executive Director

1 February 2013

31 December 2026

Issue Date

Expiration Date



dpr DEPARTMENT OF PESTICIDE REGULATION
LICENSING/CERTIFICATION PROGRAM

PCA
AGRICULTURAL PEST CONTROL ADVISER LICENSE

LICENSE #: **71429** EXPIRES: **12/31/2023**
Categories: AB Issued: **1/1/2022**

ARSEN MARGOSSIAN
3512 ROSEMARY AVE
GLENDALE, CA 91208



This License must be shown to any representative of the Director or Commissioner upon request.

dpr DEPARTMENT OF PESTICIDE REGULATION
LICENSING/CERTIFICATION PROGRAM

QAL
QUALIFIED APPLICATOR LICENSE

LICENSE #: **121525** EXPIRES: **12/31/2023**
Categories: BCEFN Issued: **1/1/2022**

ARSEN MARGOSSIAN
3512 ROSEMARY AVE
GLENDALE, CA 91208



This License must be shown to any representative of the Director or Commissioner upon request.

LEGEND	PROPOSED ACTIVE SINGLE FAMILY DWELLING	MAJOR REWORKING AND EXTENSION OF EXISTING STRUCTURE	OWNER	TERMS AND CONDITIONS
	BUILDING ENHANCEMENT			NOTICE TO THE CONTRACTOR, BUILDER, ARCHITECT, SUB-CONTRACTOR, ADJACENT OWNER, OWNER, AND/OR ADJACENT PROPERTY OWNER, YOU AGREE TO:
	DRIVEWAY			1. CONDUCT YOUR OWN INDEPENDENT VERIFICATION OF THE EXISTING CONDITIONS OF THE PROPERTY.

SHEET INDEX	NO. SHEET	DESCRIPTION
1	1	PROPOSED 2-STORY SFD PLAN
2	2	PROPOSED 2-STORY SFD PLAN
3	3	PROPOSED 2-STORY SFD PLAN
4	4	PROPOSED 2-STORY SFD PLAN
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PROJECT ADDRESS	17820 W ERWIN ST, BLDG. 04 518 S
OWNER	COMPLETE PACKAGE DRAFTING CPdrafting.com 22615 Ventura Blvd #227 Woodland Hills, CA 91364 Tel: (818) 493-1121 info@cpdrafting.com
LEGAL DESCRIPTION	AS OF RECORD 17820 W ERWIN ST 17820 S1 17820 S2 17820 S3 17820 S4 17820 S5 17820 S6 17820 S7 17820 S8 17820 S9 17820 S10 17820 S11 17820 S12 17820 S13 17820 S14 17820 S15 17820 S16 17820 S17 17820 S18 17820 S19 17820 S20 17820 S21 17820 S22 17820 S23 17820 S24 17820 S25 17820 S26 17820 S27 17820 S28 17820 S29 17820 S30 17820 S31 17820 S32 17820 S33 17820 S34 17820 S35 17820 S36 17820 S37 17820 S38 17820 S39 17820 S40 17820 S41 17820 S42 17820 S43 17820 S44 17820 S45 17820 S46 17820 S47 17820 S48 17820 S49 17820 S50 17820 S51 17820 S52 17820 S53 17820 S54 17820 S55 17820 S56 17820 S57 17820 S58 17820 S59 17820 S60 17820 S61 17820 S62 17820 S63 17820 S64 17820 S65 17820 S66 17820 S67 17820 S68 17820 S69 17820 S70 17820 S71 17820 S72 17820 S73 17820 S74 17820 S75 17820 S76 17820 S77 17820 S78 17820 S79 17820 S80 17820 S81 17820 S82 17820 S83 17820 S84 17820 S85 17820 S86 17820 S87 17820 S88 17820 S89 17820 S90 17820 S91 17820 S92 17820 S93 17820 S94 17820 S95 17820 S96 17820 S97 17820 S98 17820 S99 17820 S100

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EXHIBIT H
AGENCY REPORTS



Courtney Yellen <courtney.yellen@lacity.org>

AA-2023-4401-PMLA-HCA, 17820 W. Erwin Street LADBS-Grading Report

2 messages

CASEY JENSEN <casey.jensen@lacity.org>
To: Planning Valley Projects <planning.valleyprojects@lacity.org>

Mon, Nov 13, 2023 at 12:53 PM

11/13/2023

Planning,

The Grading Division of the Department of Building and Safety has reviewed the subject Preliminary Parcel Map LA No. AA-2023-4401-PMLA-HCA located at 17820 W. Erwin Street and it appears that geology/soils reports are not required prior to planning approval of the Parcel Map as the property is located outside of a City of Los Angeles Hillside Area; is **exempt** or located outside of a State of California **liquefaction**, earthquake induced landslide, or fault-rupture hazard zone; and, does not require any grading or construction of an engineered retaining structure to remove potential geologic hazards.

Per Sec. 17.56 of the Los Angeles Municipal Code, each approved Parcel Map recorded with the County Recorder shall contain the following statement; "The approval of this Parcel Map shall not be construed as having been based upon geological investigation such as will authorize the issuance of building permits on the subject property. Such permits will be issued only at such time as the Department of Building and Safety has received such topographic maps and geological reports as it deems necessary to justify the issuance of such building permits."

The applicant shall, "Comply with any requirements with the Department of Building and Safety, Grading Division for recordation of the final map and issuance of any permit."

If you have any questions, or need additional information, please let me know.
Thank you,
Casey

[\(213\) 482-0490](tel:(213)482-0490)

Casey Lee Jensen, PG, CEG
Engineering Geologist Associate III
Los Angeles Department of Building and Safety
Grading Division, Mail Stop 115
[221 N. Figueroa Street, 12th Floor, Suite 1200](https://www.lacity.org/planning/221-n-figueroa-street)
Los Angeles, CA 90012

*Please note, My regular day off is every other Friday.

Courtney Yellen <courtney.yellen@lacity.org>
To: CASEY JENSEN <casey.jensen@lacity.org>
Cc: Planning Valley Projects <planning.valleyprojects@lacity.org>

Mon, Nov 13, 2023 at 12:56 PM

Hello,

Received with thanks.

Best,

--



Courtney Yellen

Pronouns: She, Hers, Her

Planning Assistant

Los Angeles City Planning

6262 Van Nuys Blvd., Room 430

Van Nuys, CA 91401

T: (818) 374-5059 | [Planning4LA.org](https://planning4LA.org)



NOTE: RDO IS ALTERNATE FRIDAYS**

[Quoted text hidden]

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

DATE: November 16, 2023

TO: Blake Lamb, Deputy Advisory Agency
6262 Van Nuys Blvd, 4TH Floor
Department of City Planning

FROM: Helen Nguyen, Subdivision Review
Minye Pak, Zoning Engineer
201 N. Figueroa Street, Room 1030
Department of Building and Safety

SUBJECT: **PARCEL MAP NO. AA-2023-4401 – PMLA – HCA**
17820 W Erwin St

The Department of Building and Safety Zoning Section has reviewed the above Subdivision Map, date stamped on November 06, 2023 by the Department of City Planning. The site is designated as being in the **RA-1-RIO** Zone. A clearance letter will be issued stating that no Building or Zoning Code violations exist relating to the subdivision on the subject site once the following items have been satisfied.

- a. Revise the map to show the location of existing detached garage under permit 1962VN11586 and setback dimensions of the garage to the proposed property line for the proposed Parcel B.
- b. Provide building plans to show compliance with current Los Angeles City Residential Code concerning exterior wall/opening protection and exit requirements with respect to the new property lines for the existing garage in the proposed Parcel B.
 - i. Provide 1-hr fire-resistance exterior walls if fire separation distance is: Less than 5' [T-R302.1(1)]. [T-R302.1(2)]
 - ii. Openings are not allowed within 3' fire separation distance. [T-R302.1(1) & T-R302.1(2)]
 - iii. Maximum 25% opening area is allowed when the fire separation distance is between 3' and 5' for building without automatic sprinkler. (T-302.1(1)).
 - iv. All noncompliance issues shall be corrected, required permits shall be obtained, and the final work inspected prior to a clearance letter being issued.
- c. Provide minimum lot area (17,500 square feet) requirement of the RA-1 zone for the proposed Parcels per LAMC 12.07 C.4. Revise the Map to

show compliance with the above requirement or obtain approval from the Department of City Planning.

- d. Provide a copy of APC case APCS-2023-4402-ZC-HCA. Show compliance with all the conditions/requirements of the APC case as applicable.
- e. Obtain Zone Change to change the zone to the Proposed R1 Zone prior to obtaining Zoning clearance.
- f. For any proposed building with a permit issued prior to obtaining a Zoning clearance for this lot split, show that it complies with the Residential Floor Area per current Zoning Code requirements within the new lot or obtain City Planning approval to waive such Zoning requirements.
- g. Show all street dedications as required by Bureau of Engineering and provide net lot area after all dedications. "Area" requirements shall be re-checked as per net lot area after street dedications. Front requirement shall be required to comply with current code as measured from new property lines after dedications.

Notes:

This property is located in ZI-2438 Equine Keeping Area.

This property is located in ZI-2358 River Implementation Overlay District (RIO).

This property is located in a Liquefaction Zone.

Any proposed structures or uses on the site have not been checked for and shall comply with Building and Zoning Code requirements. Plan check will be required before any construction, occupancy or change of use.

An appointment is required for the issuance of a clearance letter from the Department of Building and Safety. The applicant is asked to contact Helen Nguyen at (213) 482-0427 or helen.nguyen@lacity.org to schedule an appointment.

cc: planning.valleyprojects@lacity.org

CITY OF LOS ANGELES
INTER-DEPARTMENTAL MEMORANDUM

17820 W Erwin St
LADOT Project ID No. 56370

Date: November 8, 2023

To: Deputy Advisory Agency
Department of City Planning

From: Miguel Crisostomo, Transportation Engineering Associate I
Department of Transportation

Subject: **Parcel Map No. AA-2023-4401-PMLA**

Reference is made to your request for review of this case regarding potential traffic access problems. Based upon this review, it is recommended that:

1. A minimum 20-foot reservoir space is required between any security gate or parking space and the property line, or to the satisfaction of LADOT.
2. A two-way driveway width of W=18 feet is required for all driveways, or to the satisfaction of LADOT.
3. A parking area and driveway plan should be submitted to the Citywide Planning Coordination Section of the Los Angeles Department of Transportation for approval prior to submittal of building permit plans for plan check by the Department of Building and Safety. Transportation approvals are conducted at 6262 Van Nuys Blvd., Room 320, Van Nuys, CA 91401.
4. The report fee and condition clearance fee be paid to the Los Angeles Department of Transportation as required per Ordinance No. 183270 and LAMC Section 19.15 prior to recordation of the final map. Note: The applicant may be required to comply with any other applicable fees per this new ordinance.

If you have any questions, you may contact me at Miguel.crisostomo@lacity.org or 818-374-4699.

December 29, 2023

Mr. Vincent Bertoni
Department of City Planning
200 North Spring Street, Room 721
Los Angeles, California 90012

Dear Mr. Bertoni:

Subject: Parcel Map No. 2023-4401
17820 Erwin Street

This is in reply to your letter dated November 14, 2023. This parcel can be supplied with water from the municipal system subject to the Los Angeles Department of Water and Power's (LADWP) Water System Rules and requirements set forth in the enclosed report.

Upon compliance with these conditions and requirements, LADWP's Water Services Organization (WSO) will forward the necessary clearances to the Bureau of Engineering (BOE) after we receive the final parcel map.

Questions regarding WSO clearance should be directed to LADWP, Water Distribution Engineering, P.O. Box 51111, Room 1425, Los Angeles, California 90051-5700 or (213) 367-1250.

Sincerely,



Steven Kuo, P.E.
Engineer of East/West Valley District
Water Distribution Engineering

LP:rp

Enclosure

c: Bureau of Engineering (2)
Land Developing and Mapping Division
District Engineer
Map No. 178-129

Mr. David Danil/Ohel, LLC
Los Angeles City Fire Department
Water Service Representative

ITEMS CHECKED APPLY TO THIS SUBDIVISION

DEVELOPER SHALL COMPLETE THE FOLLOWING FINANCIAL AND ENGINEERING ARRANGEMENTS AS CONDITIONS OF MAP CLEARANCE:

LAFD-related Requirements

- 1. New hydrants shall be installed.
PER LAFD INSPECTOR CRAIG'S REVIEW ON 12/1/2023, NO PUBLIC FIRE HYDRANTS ARE REQUIRED. _____
- 2. Existing hydrant tops shall be changed. _____
- 3. New water mains shall be installed to serve new hydrants. _____

DWP-WS Requirements

- 4. Acreage supply charges shall be paid. _____
- 5. Water main charges shall be paid. **X**
- 6. Existing facilities shall be relocated or abandoned. _____
- 7. Street improvement/sewer/storm drain/water plans shall be submitted.
EMAIL PLANS TO DWPWS.WESTVALLEY@LADWP.COM **X**
- 8. Covenant and Maintenance Agreement for Small Lot Subdivision Map or Map with Land Locked Lots (see Item 19 below) _____
- 9. Dedicate Water Easement to LADWP (see Item 20 below) _____
- 10. Abandonment of Easements: Remove easement abandonment note from the title sheet of the tract map. Delineate and call out existing easement to be quitclaimed per separate instrument. Submit quitclaim application and start process with Real Estate. (See Item 21 below). _____

DEVELOPER SHALL COMPLETE THE FOLLOWING FINANCIAL AND ENGINEERING ARRANGEMENTS AS CONDITIONS OF SERVICE (BUT NOT CONDITIONS OF MAP CLEARANCE):

- 11. New water mains shall be installed.
THE EXISTING 6-INCH WATER MAINS ON ERWIN ST AND DELANO ST ARE SUFFICIENT TO MEET EXISTING FIRE FLOW REQUIREMENTS. AN ADDITIONAL HYDRAULIC ANALYSIS MAY NEED TO BE CONDUCTED BASED ON THE DOMESTIC AND/OR FIRE PROTECTION REQUIREMENTS FOR THE ENTIRE SUBDIVISION TO DETERMINE IF A MAINLINE UPSIZE IS REQUIRED. _____
- 12. New services & meters shall be installed. **X**

Recorder's office and sent back to LADWP. The recorded CMA is required for LADWP to provide subdivision map clearance and water service.

If there is no space available for LADWP to install the proposed water services within the public right of way, the services may need to be installed in private property and LADWP will require an easement to be dedicated on the final, recorded map.

20. Grant of Easements

- New LADWP easements may be granted through the subdivision map process
 - Standard Dedication Language on Title Sheet
 - Delineated and called out easement for each sheet affected
(# FEET WIDE EASEMENT TO THE CITY OF LOS ANGELES FOR WATERLINE RIGHT-OF-WAY PURPOSES)
-

21. Abandonment of Easements

- Existing LADWP easements cannot be abandoned or terminated via the subdivision map process
 - LADWP property rights must be approved by the LADWP Board of Commissioners in addition to City Council
 - To abandon and/or replace an LADWP easement the Developer/engineer must follow LADWP's quitclaim process
-

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

December 1, 2023

TO: Vincent Bertoni, AICP, Director of Planning
Department of City Planning
Attention: planning.valleyprojects@lacity.org

FROM: Los Angeles Fire Department

SUBJECT: **AA-2023-4401-PMLA.:17820 Erwin**

Submit plot plans for Fire Department approval and review prior to recordation of Small Lot subdivision.

RECOMMENDATIONS:

Access for Fire Department apparatus and personnel to and into all structures shall be required.

Address identification. New and existing buildings shall have approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.

One or more Knox Boxes will be required to be installed for LAFD access to project. Location and number to be determined by LAFD Field Inspector. (Refer to FPB Req # 75).

The entrance or exit of all ground dwelling units shall not be more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.

Where above ground floors are used for residential purposes, the access requirement shall be interpreted as being the horizontal travel distance from the street, driveway, alley, or designated fire lane to the main entrance of individual units.

No building or portion of a building shall be constructed more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.

The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.

The Fire Department may require additional vehicular access where buildings exceed 28 feet in height.

Smoke Vents may be required where roof access is not possible; location and number of

vents to be determined at Plan Review.

Site plans shall include all overhead utility lines adjacent to the site.

Any roof elevation changes in excess of 3 feet may require the installation of ships ladders.

Provide Fire Department pathway front to rear with access to each roof deck via gate or pony wall less than 36 inches.

Building designs for multi-storied residential buildings shall incorporate at least one access stairwell off the main lobby of the building; But, in no case greater than 150ft horizontal travel distance from the edge of the public street, Private Street or Fire Lane. This stairwell shall extend onto the roof.

Where rescue window access is required, provide conditions and improvements necessary to meet accessibility standards as determined by the Los Angeles Fire Department.

Any required fire hydrants to be installed shall be fully operational and accepted by the Fire Department prior to any building construction.

Adequate off-site public and on-site private fire hydrants may be required. Their number and location to be determined after the Fire Department's review of the plot plan.

The applicant is further advised that all subsequent contact regarding these conditions must be with the Hydrant and Access Unit. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished **BY APPOINTMENT ONLY**, in order to assure that you receive service with a minimum amount of waiting please call **(213) 482-6543**. You should advise any consultant representing you of this requirement as well.

Kristin M. Crowley
Fire Chief

David A. Perez, Fire Marshal
Bureau of Fire Prevention and Public Safety

DP:MRC:mrc

BOARD OF COMMISSIONERS

RENATA SIMRIL
PRESIDENT

LUIS SANCHEZ
VICE PRESIDENT

FIONA HUTTON
MARIE LLOYD
BENNY TRAN

TAKISHA SARDIN
BOARD SECRETARY
(213) 202-2640



KAREN BASS
MAYOR

JIMMY KIM
GENERAL MANAGER

MATTHEW RUDNICK
EXECUTIVE OFFICER

CATHIE SANTO DOMINGO
ASSISTANT GENERAL MANAGER

BELINDA JACKSON
ASSISTANT GENERAL MANAGER

BRENDA AGUIRRE
ASSISTANT GENERAL MANAGER

(213) 202-2633

Letter sent via email to:
Planning.valleyprojects@lacity.org

November 20, 2023

Blake Lamb
Deputy Advisory Agency
6262 Van Nuys Boulevard, 4th Floor
Van Nuys, CA 91401-2709

**DEPARTMENT OF RECREATION AND PARKS REPORT AND RECOMMENDATIONS
RELATIVE TO AA-2023-4401-PMLA-HCA**

Dear Blake Lamb,

The City of Los Angeles Department of Recreation and Parks (RAP) has prepared the following report and recommendations in response to your request for comments relative to AA-2023-4401-PMLA-HCA (project), a proposed residential subdivision.

RAP's report and recommendation(s) regarding the proposed project are as follows:

General Comments:

The applicant is requesting approval of the proposed project, a residential subdivision. Los Angeles Municipal Code (LAMC) 12.33 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land or pay a fee for the purpose of developing park and recreational facilities and LAMC 19.17 specifies how those fees are to be calculated.

Effective January 11, 2017, RAP is responsible for calculating the required park fees owed by each residential development project, including subdivision projects, pursuant to LAMC 12.33, and issuing the fee calculation letters to applicants.

RAP Recommendation:

The applicant is requesting approval of a subdivision that will contain dwelling units. Therefore, pursuant to Los Angeles Municipal Code sections 12.33.E and 19.17, RAP recommends the following be added as a condition of the approval of the proposed project:

That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.



November 20, 2023

Page 2

Thank you for the opportunity to provide information relative to recreation and park issues related to this proposed project. Please provide the RAP contact listed below with any and all agendas, notices, and staff reports for the Advisory Agency actions and/or hearings related to this application.

If you have any questions or comments regarding this information please feel free to contact Park Fees staff, at 213-202-2682 or rap.parkfees@lacity.org, at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Darryl Ford', with a stylized flourish at the end.

DARRYL FORD
Superintendent

DF:ep

cc: David Danil, OHEL, LLC., 17820 Erwin Street, Encino, CA 91316
Ben Ansari, Complete Package Drafting, 22815 Ventura Boulevard Suite 227, Woodland Hills, CA 91364

cc: Reading file

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

Date: 10/31/2023

To: Mr. Vincent P. Bertoni, Director
Department of City Planning
200 N. Spring St., 5th Flr, MS-395

From: Jay Wong, Manager
Private Development Division
Bureau of Street Lighting

SUBJECT: STREET LIGHTING REQUIREMENTS FOR DISCRETIONARY ACTIONS

CITY PLANNING CASE No.: PMLA 2023-4401 HCA
17820 W ERWIN ST

The Bureau of Street Lighting's recommended condition of approval for the subject city planning case is as follows: (Improvement condition added to S-3 (c) where applicable.)

SPECIFIC CONDITION: Prior to the recordation of the final map or issuance of the Certificate of Occupancy (C of O), street lighting improvement plans shall be submitted for review and the owner shall provide a good faith effort via a ballot process for the formation or annexation of the property within the boundary of the development into a Street Lighting Maintenance Assessment District.

IMPROVEMENT CONDITION: Construct new street lights: one (1) on Erwin St and one (1) on Delano St

NOTES:

The quantity of street lights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) in compliance with a Specific Plan, 2) by LADOT, or 3) by other legal instrument excluding the Bureau of Engineering conditions, requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.

CITY OF LOS ANGELES
INTER-DEPARTMENTAL CORRESPONDENCE

DATE: December 14, 2023

TO: Blake Lamb, Deputy Advisory Agency
Department of City Planning

FROM: 
Bryan Ramirez, Street Tree Superintendent I
Bureau of Street Services, Urban Forestry Division

SUBJECT: AA-2023-4401-PMLA-HCA – 17820 W. ERWIN ST (Revised address)

In regard to your request for review of this case regarding Urban Forestry requirements, it is our recommendation that:

1. NATIVE PROTECTED TREES

- a. All tree and shrub preservation measures shall be considered to retain all protected native species whenever possible. Project should include feasible alternatives in project design to retain native trees and shrubs. A permit is required for the removal of any native protected tree and shrub. Removal of any on site native tree or shrub shall be replaced in kind at a 4:1 ratio as approved by the Board of Public Works and Urban Forestry Division. The tree replacement plan shall include all retained native trees and shrubs. All on-site tree and shrub replacements shall be planted in locations favorable to the long term survival of the species.
- b. The applicant shall submit a Protected Tree Report with an acceptable tree and shrub replacement plan prepared by a reputable Tree Expert, as required by Ordinance No. 186,873 for approval by the Advisory Agency and the Bureau of Street Services, Urban Forestry Division. The Protected Tree Report (PTR) shall contain the Tree Expert's recommendations for the preservation of as many protected trees as possible and shall provide their species, health, size, and condition. The PTR shall include a topographical map (construction drawing) identifying tree and shrub location, drip line, and correctly numbered and plotted.

Note: Removal of Native Protected trees and shrubs requires approval from the Board of Public Works. All projects must have environmental (CEQA) documents that appropriately address any removal and replacement of native protected trees and shrubs. Contact Urban Forestry Division at: (213) 847-3077 for tree removal permit information.

2. STREET TREES

- a. Project shall preserve all healthy mature street trees whenever possible. All feasible alternatives in project design should be considered and implemented to retain healthy mature street trees. A permit is required for the removal of any street tree and shall be replaced 2:1 as approved by the Board of Public Works and Urban Forestry Division.
- b. Plant street trees at all feasible planting locations within dedicated streets as directed and required by the Bureau of Street Services, Urban Forestry Division. All tree plantings shall be installed to current tree planting standards when the City has previously been paid for tree plantings. The sub divider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction for tree planting direction and instructions.

Note: Removal of street trees requires approval from the Board of Public Works. All projects must have environmental (CEQA) documents that appropriately address any removal and replacement of street trees. Contact Urban Forestry Division at: (213) 847-3077 for tree removal permit information.

BR:djm

CITY OF LOS ANGELES
INTERDEPARTMENTAL CORRESPONDENCE

Date: February 7, 2024

To: Vincent P. Bertoni, Director
Department of City Planning
Attention: Deputy Advisory Agency

From: Bertram Moklebust, Manager
Permit Case Management Division
Bureau of Engineering (BOE)

Subject: Preliminary Parcel Map L.A. No. AA-2023-4401-PMLA

Transmitted is a print of the above-mentioned Preliminary Parcel Map, stamp-dated November 6, 2023, located at 17820 West Erwin Street.

This report supersedes any previous report from the City Engineer.

This map has been filed for a 2-parcel single-family residential subdivision. Proposed lot layout is not satisfactory as submitted; additional right-of-way dedication is required as stated herein.

There are existing sewers available in the streets adjoining the subdivision. The construction of house connection sewers will be required to serve the parcels. This subdivision will connect to the public sewer system and will not result in violation of the California Water Code. I therefore recommend that you make the necessary determination.

In the event you approve this proposed Preliminary Parcel Map, then please include the engineering standard conditions issued by your department and the following special conditions:

[Please incorporate the following conditions in the BOE Specific Conditions]

1. That, along Erwin Street adjoining the subdivision, a 3-foot wide strip of land be dedicated to complete a 33-foot wide half right-of-way dedication in accordance with Collector Street standards of the LA Mobility Plan.
2. That, along Delano Street adjoining the subdivision, a 30-foot wide strip of land be dedicated to complete a 30-foot wide half right-of-way dedication in accordance with Local Street standards of the LA Mobility Plan.

3. That the subdivider make a request to BOE Valley District to determine the capacity of existing sewers in this area.

[Please incorporate the following conditions in BOE Standard Conditions as S-3(i)]

4. That the following improvements be either constructed prior to recordation of the final map or that the construction be suitably guaranteed:
 - a) Improve Erwin Street being dedicated and adjoining the subdivision by the removal of the existing sidewalk and construction of a new 5-foot wide concrete sidewalk and landscaping of the parkway, including any necessary remove and reconstruction of the existing improvement satisfactory to the City Engineer.
 - b) Improve Delano being dedicated and adjoining the subdivision by the construction of the following:
 - (1) An integral concrete curb and gutter, and a 5-foot wide concrete sidewalk and landscaping of the parkway.
 - (2) Suitable surfacing to join the existing pavements and to complete an 18-foot wide half roadway.
 - (3) Any necessary removal and reconstruction of the existing improvements.
 - (4) The necessary transitions to join the existing improvements.
 - (5) Trees exist within the dedication area. Denial of their removal may impact the ability to widen the roadway as required. Should Bureau of Street Services, Urban Forestry Division (UFD) object to the removal of the trees within the dedication area, then the required roadway widening as stated above may be revised to allow for the preservation of the existing trees, satisfactory to UFD and the City Engineer.
 - c) Construct any necessary house connection sewers to serve each parcel.

Any questions regarding this report should be directed to Julia Li of the Permit Case Management Division, located at 201 North

Figueroa Street, Suite 290, through BOE online customer service portal at <http://engpermits.lacity.org/>.

EXHIBIT I
ZONE CHANGE ORDINANCE MAP

EXHIBIT J
LETTER OF DETERMINATION
INCIDENTAL CASE NO. AA-2023-4402-PMLA-HCA

**DEPARTMENT OF
CITY PLANNING**

COMMISSION OFFICE
(213) 978-1300

CITY PLANNING COMMISSION

MONIQUE LAWSHE
PRESIDENT

ELIZABETH ZAMORA
VICE-PRESIDENT

MARIA CABILDO
CAROLINE CHOE
MARTINA DIAZ
ILISSA GOLD
KAREN MACK

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**CITY OF LOS ANGELES
CALIFORNIA**



KAREN BASS
MAYOR

EXECUTIVE OFFICES

200 N. SPRING STREET, ROOM 525
LOS ANGELES, CA 90012-4801
(213) 978-1271

VINCENT P. BERTONI, AICP
DIRECTOR

SHANA M.M. BONSTIN
DEPUTY DIRECTOR

HAYDEE URITA-LOPEZ
DEPUTY DIRECTOR

ARTHI L. VARMA, AICP
DEPUTY DIRECTOR

LISA M. WEBBER, AICP
DEPUTY DIRECTOR

Decision Date: July 16, 2024

Appeal End Date: July 31, 2024

APPLICANT/OWNER

David Danil
OHEL, LLC
17820 West Erwin Street
Encino, CA 91316

REPRESENTATIVE

Ben Ansari
Complete Package Drafting
22815 Ventura Boulevard, Ste. 227
Woodland Hills, CA 91364

Case No.: AA-2023-4401-PMLA-HCA
Related Case: APCSV-2023-4402-ZC-HCA
Address: 17820 West Erwin Street
Planning Area: Reseda – West Van Nuys
Zone: RA-1-RIO
D.M.: 177B129
C.D.: 4 – Raman
CEQA: ENV-2023-4403-CE
Legal Description: Lot FR 113, TR 5947

In accordance with provisions of Section 17.51 and 17.53 of Chapter 1 of the Los Angeles Municipal Code (LAMC), the Advisory Agency determines that the project is Categorically Exempt, and issues ENV-2023-4403-CE as the environmental clearance, and approves Preliminary Parcel Map No. 2023-4401-PMLA-HCA, composed of one lot, located at 17820 West Erwin Street, for a maximum of **two lots**, as shown on revised map stamp-dated November 6, 2023, in the Reseda – West Van Nuys Community Plan. This unit density is based on the RA-1 Zone. (The subdivider is hereby advised that the LAMC may not permit this maximum approved density. Therefore, verification should be obtained from the Department of Building and Safety which will legally interpret the Zoning Code as it applies to this particular property.) The Advisory Agency's approval is subject to the following conditions:

NOTE on clearing conditions: When two or more **agencies** must clear a condition, subdivider should follow the sequence indicated in the condition. For the benefit of the applicant, subdivider shall maintain record of all conditions cleared, including all material supporting clearances and be prepared to present copies of the clearances to each reviewing agency as may be required by its staff at the time of its review.

BUREAU OF ENGINEERING - SPECIFIC CONDITIONS

Any questions regarding this report should be directed to Julia Li of the Permit Case Management Division, located at 201 North Figueroa Street, Suite 290, through BOE online customer service portal at <http://engpermits.lacity.org/>.

1. That, along Erwin Street adjoining the subdivision, a 3-foot wide strip of land be dedicated

to complete a 33-foot wide half right-of-way dedication in accordance with **Collector Street** standards of the LA Mobility Plan.

2. That, along Delano Street adjoining the subdivision, a 30-foot wide strip of land be dedicated to complete a 30-foot wide half right-of-way dedication in accordance with **Local Street** standards of the LA Mobility Plan.
3. That the subdivider make a request to BOE Valley District to determine the capacity of existing sewers in this area.

DEPARTMENT OF BUILDING AND SAFETY, GRADING DIVISION

Grading Division approvals are conducted at 221 North Figueroa Street, 12th Floor suite 1200. The approval of this Tentative Parcel Map shall not be construed as having been based upon a geological investigation such as will authorize the issuance of the building permit of the subject property. Such permits will be issued only at such time as the Department of Building and Safety has received such topographic maps and geological reports as it deems necessary to justify the issuance of such building permits.

4. Comply with any requirements with the Department of Building and Safety, Grading Division for recordation of the final map and issuance of any permit.

DEPARTMENT OF BUILDING AND SAFETY, ZONING DIVISION

An appointment is required for the issuance of a clearance letter from the Department of Building and Safety. The applicant is asked to contact Helen Nguyen at 213-482-0427 to schedule an appointment.

5. That prior to recordation of the final map, the Department of Building and Safety, Zoning Division shall certify that no Building or Zoning Code violations exist on the subject site. In addition, the following items shall be satisfied:
 - a. Revise the map to show the location of existing detached garage under permit 1962VN11586 and setback dimensions of the garage to the proposed property line for the proposed Parcel B.
 - b. Provide building plans to show compliance with current Los Angeles City Residential Code concerning exterior wall/opening protection and exit requirements with respect to the new property lines for the existing garage in the proposed Parcel B.
 - i. Provide 1-hr fire-resistant exterior walls if fire separation distance is: Less than 5' [T-R302.1(1)]. [T-R302.1(2)]
 - ii. Openings are not allowed within 3' fire separation distance. [T-R302.1(1) & T-R302.1(2)]
 - iii. Maximum 25% opening area is allowed when fire separation distance is between 3' and 5' for building without automatic sprinkler. (T-302.1(1)).
 - iv. All noncompliance issues shall be corrected, require permits shall be obtained, and the final work inspected prior to a clearance letter being issued.

- c. Provide a minimum lot area (17,500 square feet) requirement for the RA-1 Zone for the proposed Parcels per LAMC 12.07 C.4. Revise the map to show compliance with the above requirement or obtain approval from the Department of City Planning.
- d. Provide a copy of Case No. APCSV-2023-4402-ZC-HCA. Show compliance with all the conditions/requirements of the APC case as applicable.
- e. Obtain Zone Change to change the zone to the Proposed R1 Zone prior to obtaining Zoning clearance.
- f. For any proposed building with a permit issued prior to obtaining a Zoning clearance for this lot split, show that it complies with the Residential Floor Area per current Zoning Code requirements within the new lot or obtain City Planning approval to waive such Zoning requirements.
- g. Show all street dedications as required by Bureau of Engineering and provide net lot area after all dedications. "Area" requirements shall be re-checked as per net lot area after street dedications. Front requirement shall be required to comply with current code as measured from new property lines after dedications.

Notes:

This property is located in ZI-2438 Equine Keeping Area.

This property is located in ZI-2358 River Implementation Overlay District (RIO).

This property is located in a Liquefaction Zone.

Any proposed structures or uses on the site have not been checked for and shall comply with Building and Zoning Code requirements. Plan check will be required before any construction, occupancy or change of use.

DEPARTMENT OF TRANSPORTATION

Any questions regarding this report should be directed to Miguel Crisostomo at miguel.crisostomo@lacity.org or (818) 374-4699.

6. That prior to recordation of the final map, satisfactory arrangements shall be made with the Department of Transportation to assure:
 - a. A minimum 20-foot reservoir space is required between any security gate or parking space and the property line, or to the satisfaction of DOT.
 - b. A width of W=18 feet at the driveway apron curb cut is required for all two-way driveways, or to the satisfaction of DOT.
 - c. A parking area and driveway plan should be submitted to the Citywide Planning Coordination Section of the Department of Transportation for approval prior to

submittal of building permit plans for plan check by the Department of Building and Safety. Transportation approvals are conducted at 6262 Van Nuys Blvd., Room 320, Van Nuys, CA 91401.

- d. The subdivision report fee and condition clearance fee be paid to the Department of Transportation as required per Ordinance No. 183270 and LAMC Section 19.15 prior to recordation of the final map. Note: The applicant may be required to comply with any other applicable fees per this new ordinance.

FIRE DEPARTMENT

The applicant is further advised that all subsequent contact regarding these conditions must be with the Hydrant and Access Unit. This would include clarification, verification of condition compliance and plans or building permit applications, etc., and shall be accomplished BY APPOINTMENT ONLY, in order to assure that you receive service with a minimum amount of waiting please call (213) 482-6543. You should advise any consultant representing you of this requirement as well.

7. That prior to the recordation of the final map, a suitable arrangement shall be made satisfactory to the Fire Department, binding the subdivider and all successors to the following:
 - a. Submittal of plot plans for Fire Department review and approval prior to recordation of Parcel Map Action.
 - b. Access for Fire Department apparatus and personnel to and into all structures shall be required.
 - c. Address identification. New and existing buildings shall have approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
 - d. One or more Knox Boxes will be required to be installed for LAFD access to project. Location and number to be determined by LAFD Field Inspector. (Refer to FPB Req # 75).
 - e. The entrance or exit of all ground dwelling units shall not be more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
 - f. Where above ground floors are used for residential purposes, the access requirement shall be interpreted as being the horizontal travel distance from the street, driveway, alley, or designated fire lane to the main entrance of individual units
 - g. No building or portion of a building shall be constructed more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
 - h. The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan

for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.

- i. The Fire Department may require additional vehicular access where buildings exceed 28 feet in height.
- j. Smoke Vents may be required where roof access is not possible; location and number of vents to be determined at Plan Review.
- k. Site plans shall include all overhead utility lines adjacent to the site.
- l. Any roof elevation changes in excess of 3 feet may require the installation of ships ladders.
- m. Provide Fire Department pathway front to rear with access to each roof deck via gate or pony wall less than 36 inches.
- n. Building designs for multi-storied residential buildings shall incorporate at least one access stairwell off the main lobby of the building; But, in no case greater than 150 foot horizontal travel distance from the edge of the public street, Private Street or Fire Lane. This stairwell shall extend onto the roof.
- o. Where rescue window access is required, provide conditions and improvements necessary to meet accessibility standards as determined by the Los Angeles Fire Department.
- p. Any required fire hydrants to be installed shall be fully operational and accepted by the Fire Department prior to any building construction.
- q. Adequate off-site public and on-site private fire hydrants may be required. Their number and location to be determined after the Fire Department's review of the plot plan.

DEPARTMENT OF WATER AND POWER

- 8. Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Water System Rules and requirements. Upon compliance with these conditions and requirements, LADWP's Water Services Organization will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1.(c).)

BUREAU OF STREET LIGHTING – SPECIFIC CONDITIONS

Street Lighting clearance for this Street Light Maintenance Assessment District condition is

conducted at 1149 S. Broadway Suite 200. Street Lighting improvement condition clearance will be conducted at the Bureau of Engineering District office, see condition S-3. (c).

9. Prior to the recordation of the final map or issuance of the Certificate of Occupancy (C of O), street lighting improvement plans shall be submitted for review and the owner shall provide a good faith effort via a ballot process for the formation or annexation of the property within the boundary of the development into a Street Lighting Maintenance Assessment District.

BUREAU OF SANITATION

10. Wastewater Collection Systems Division of the Bureau of Sanitation has inspected the sewer/storm drain lines serving the subject tract and found no potential problems to their structure or potential maintenance problem, as stated in the memo dated November 14, 2023. Upon compliance with its conditions and requirements, the Bureau of Sanitation, Wastewater Collection Systems Division will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1. (d).)

INFORMATION TECHNOLOGY AGENCY

11. To assure that cable television facilities will be installed in the same manner as other required improvements, please email ita.cabletvclearance@lacity.org which provides an automated response with the instructions on how to obtain the Cable TV clearance. The automated response also provides the email address of three people in case the applicant/owner has any additional questions.

DEPARTMENT OF RECREATION AND PARKS

Park fees are paid at 221 North Figueroa Street. Suite 400, Los Angeles. Please contact Park Fees staff at (213) 202-2657 for any questions or comments, at your convenience.

12. That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.

URBAN FORESTRY DIVISION AND THE DEPARTMENT OF CITY PLANNING

13. Native Protected Tress
 - a. All tree and shrub preservation measures shall be considered to retain all protected native species whenever possible. Project should include feasible alternatives in project design to retain native trees and shrubs. A permit is required for the removal of any native protected tree and shrub. Removal of any on site native tree or shrub shall be replaced in kind at a 4:1 ratio as approved by the Board of Public Works and Urban Forestry Division. The tree replacement plan shall include all retained native trees and shrubs. All on-site tree and shrub replacements shall be planted in locations favorable to the long term survival of species.
 - b. The applicant shall submit a Protected Tree Report with an acceptable tree and shrub replacement plan prepared by a reputable Tree Expert, as required

Ordinance No. 186,873 for approval by the Advisory Agency and the Bureau of Street Services, Urban Forestry Division. The Protected Tree Report (PTR) shall contain the Tree Expert's recommendations for the preservation of as many protected trees as possible and shall provide their species, health, size, and condition. The PTR shall include a topographical map (construction drawing) identifying tree and shrub location, drip line, and correctly numbered and plotted.

Note: Removal of Native Protected trees and shrubs requires approval from the Board of Public Works. All projects must have environmental (CEQA) documents that appropriately address any removal and replacement of native protected trees and shrubs. Contact Urban Forestry Division at: (213) 847-3077 for tree removal permit information.

14. Street Trees

- a. Project shall preserve all healthy mature street trees whenever possible. All feasible alternatives in project design shall be considered and implemented to retain healthy mature street trees. A permit required for the removal of any street tree and shall be replaced 2:1 as approved by the Board of Public Works and Urban Forestry Division.
- b. Plant street trees at all feasible planting locations within dedicated streets as directed and required by the Bureau of Street Services, Urban Forestry Division. All tree plantings shall be installed to current tree planting standards when the City has previously paid for tree plantings. The subdivider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction for tree planting direction and instructions.

Note: Removal of street trees requires approval from the Board of Public Works. All projects must have environmental (CEQA) documents that appropriately address any removal and replacement of street trees. Contact Urban Forestry Division at: (213) 847-3077 for tree removal permit information.

DEPARTMENT OF CITY PLANNING - SITE SPECIFIC CONDITIONS

Clearances may be conducted at the Figueroa, Valley, or West Los Angeles Development Services Centers. To clear conditions, an appointment is required, which can be requested at planning.lacity.org.

15. Prior to the recordation of the final map, the subdivider shall prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner satisfactory to the Planning Department, binding the subdivider and all successors to the following:
 - a. Limit the proposed development to a maximum of two lots.
 - b. Provide a minimum of 2 covered off-street parking spaces per dwelling unit. Lots with less than 50 feet frontage shall have one guest parking provided on site.
 - d. That prior to issuance of a certificate of occupancy, a minimum 6-foot-high

slumpstone or decorative masonry wall shall be constructed adjacent to neighboring residences, if no such wall already exists, except in required front yard.

- e. That a solar access report shall be submitted to the satisfaction of the Advisory Agency prior to obtaining a grading permit.
- f. That the subdivider consider the use of natural gas and/or solar energy and consult with the Department of Water and Power and Southern California Gas Company regarding feasible energy conservation measures.
- g. Tree Replacement and Protection
 - (i) A total of nine replacement trees should be provided as follows:
 - i. Eight 48-inch box protected native trees shall be planted to replace the two protected California Black Walnut trees to be removed.
 - ii. One significant 24-inch box replacement tree shall be planted to replace the one significant tree to be removed.
 - (ii) The applicant shall be allowed to plant the nine replacement trees on either proposed Parcel A or proposed Parcel B. Conversely, the applicant may spread out the replacement trees between Parcels A and B.
- h. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant

- from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City’s interests. The City’s failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
 - (v) If the City determines it necessary to protect the City’s interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney’s office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Action includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

- 16. That prior to the issuance of the building permit or the recordation of the final map, a copy of the Case No. APCSV-2023-4402-ZC-HCA shall be submitted to the satisfaction of the Advisory Agency. In the event that Case No. APCSV-2023-4402-ZC-HCA is not approved, the subdivider shall submit and pay the applicable City fees for a Parcel Map modification.

DEPARTMENT OF CITY PLANNING - STANDARD SINGLE-FAMILY CONDITIONS

- SF-1. That approval of this tract constitutes approval of model home uses, including a sales

office and off-street parking. If models are constructed under this tract approval, the following conditions shall apply:

1. Prior to recordation of the final map, the subdivider shall submit a plot plan for approval by the Development Services Center of the Department of City Planning showing the location of the model dwellings, sales office and off-street parking. The sales office must be within one of the model buildings.
 2. All other conditions applying to Model Dwellings under Section 12.22A, 10 and 11 and Section 17.05 O of the Code shall be fully complied with satisfactory to the Department of Building and Safety.
- SF-2. That a landscape plan, prepared by a licensed landscape architect, be submitted to and approved by the Advisory Agency in accordance with CP-6730 prior to obtaining any grading or building permits before the recordation of the final map. The landscape plan shall identify tree replacement on a 1:1 basis for non-protected trees by a minimum of 24-inch box trees and 4:1 basis for native protected trees by a minimum of 48-inch box trees for the unavoidable loss of desirable trees on the site.

In the event the subdivider decides not to request a permit before the recordation of the final map, a covenant and agreement satisfactory to the Advisory Agency guaranteeing the submission of such plan before obtaining any permit shall be recorded.

BUREAU OF ENGINEERING - STANDARD CONDITIONS

- S-1. (a) That the sewerage facilities charge be deposited prior to recordation of the final map over all of the tract in conformance with Section 64.11.2 of the Los Angeles Municipal Code (LAMC).
- (b) That survey boundary monuments be established in the field in a manner satisfactory to the City Engineer and located within the California Coordinate System prior to recordation of the final map. Any alternative measure approved by the City Engineer would require prior submission of complete field notes in support of the boundary survey.
- (c) That satisfactory arrangements be made with both the Water System and the Power System of the Department of Water and Power with respect to water mains, fire hydrants, service connections and public utility easements.
- (d) That any necessary sewer, street, drainage and street lighting easements be dedicated. In the event it is necessary to obtain off-site easements by separate instruments, records of the Bureau of Right-of-Way and Land shall verify that such easements have been obtained. The above requirements do not apply to easements of off-site sewers to be provided by the City.
- (e) That drainage matters be taken care of satisfactory to the City Engineer.
- (f) That satisfactory street, sewer and drainage plans and profiles as required, together with a lot grading plan of the tract and any necessary topography of

adjoining areas be submitted to the City Engineer.

- (g) That any required slope easements be dedicated by the final map.
 - (h) That each lot in the tract complies with the width and area requirements of the Zoning Ordinance.
 - (i) That 1-foot future streets and/or alleys be shown along the outside of incomplete public dedications and across the termini of all dedications abutting unsubdivided property. The 1-foot dedications on the map shall include a restriction against their use of access purposes until such time as they are accepted for public use.
 - (j) That any 1-foot future street and/or alley adjoining the tract be dedicated for public use by the tract, or that a suitable resolution of acceptance be transmitted to the City Council with the final map.
 - (k) That no public street grade exceeds 15%.
 - (l) That any necessary additional street dedications be provided to comply with the Americans with Disabilities Act (ADA) of 1990.
- S-2. That the following provisions be accomplished in conformity with the improvements constructed herein:
- (a) Survey monuments shall be placed and permanently referenced to the satisfaction of the City Engineer. A set of approved field notes shall be furnished, or such work shall be suitably guaranteed, except where the setting of boundary monuments requires that other procedures be followed.
 - (b) Make satisfactory arrangements with the Department of Traffic with respect to street name, warning, regulatory and guide signs.
 - (c) All grading done on private property outside the tract boundaries in connection with public improvements shall be performed within dedicated slope easements or by grants of satisfactory rights of entry by the affected property owners.
 - (d) All improvements within public streets, private streets, alleys and easements shall be constructed under permit in conformity with plans and specifications approved by the Bureau of Engineering.
 - (e) Any required bonded sewer fees shall be paid prior to recordation of the final map.
- S-3. That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:
- (a) Construct on-site sewers to serve the tract as determined by the City Engineer.
 - (b) Construct any necessary drainage facilities.

- (c) Install street lighting facilities to serve the tract as required by the Bureau of Street Lighting.
 - (1) Prior to the recordation of the final map or issuance of the Certificate of Occupancy (C of O), street lighting improvement plans shall be submitted for review and the owner shall provide a good faith effort via a ballot process for the formation or annexation of the property within the boundary of the development into a Street Lighting Maintenance Assessment District
 - (2) Construct new street lights: one on Erwin Street and one on Delano Street.

Notes:

The quantity of street lights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) by LADOT or 2) by other legal instrument excluding the Bureau of Engineering condition S-3 (i), requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.

- (d) Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Street Tree Division of the Bureau of Street Maintenance. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree planting, the subdivider or contractor shall notify the Urban Forestry Division (213) 847-3077) upon completion of construction to expedite tree planting.
- (e) Repair or replace any off-grade or broken curb, gutter and sidewalk satisfactory to the City Engineer.
- (f) Construct access ramps for the handicapped as required by the City Engineer.
- (g) Close any unused driveways satisfactory to the City Engineer.
- (h) Construct any necessary additional street improvements to comply with the 2010 Americans with Disabilities Act (ADA) Standards for Accessible Design.
- (i) That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:
 - (1) Improve Erwin Street being dedicated and adjoining the subdivision by the removal of the existing sidewalk and construction of a new 5-foot wide concrete sidewalk and landscaping of the parkway, including any necessary remove and reconstruction of the existing improvement satisfactory to the City Engineer.

- (2) Improve Delano being dedicated and adjoining the subdivision by the construction of the following:
 - (i) An integral concrete curb and gutter, and a 5-foot wide concrete sidewalk and landscaping of the parkway.
 - (ii) Suitable surfacing to join the existing pavements and to complete an 18-foot wide half roadway.
 - (iii) Any necessary removal and reconstruction of the existing improvements.
 - (iv) The necessary transitions to join the existing improvements.
 - (v) Trees exist within the dedication area. Denial of their removal may impact the ability to widen the roadway as required. Should Bureau of Street Services, Urban Forestry Division (UFD) object to the removal of the trees within the dedication area, then the required roadway widening as stated above may be revised to allow for the preservation of the existing trees, satisfactory to UFD and the City Engineer.
- (3) Construct any necessary house connection sewers to serve each parcel.

NOTES:

The Advisory Agency approval is the maximum number of units permitted under the parcel map action. However the existing or proposed zoning may not permit this number of units.

Any removal of the existing street trees shall require Board of Public Works approval.

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power, Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05-N of the Los Angeles Municipal Code (LAMC).

The final map must be recorded within 36 months of this approval, unless a time extension is granted before the end of such period.

The Advisory Agency hereby finds that this tract conforms to the California Water Code, as required by the Subdivision Map Act.

The subdivider should consult the Department of Water and Power to obtain energy saving design features which can be incorporated into the final building plans for the subject development. As part of the Total Energy Management Program of the Department of Water and Power, this no-cost consultation service will be provided to the subdivider upon his request.

FINDINGS OF FACT (CEQA)

Determined based on the whole of the administrative record, that the project is exempt from CEQA pursuant to CEQA Guidelines, Section 15332, Class 32, and there is no substantial evidence demonstrating that an exception to a categorical exemption pursuant to CEQA Guidelines, Section 15300.2 applies.

FINDINGS OF FACT (SUBDIVISION MAP ACT)

In connection with the approval of Preliminary Parcel Map No. AA-2023-4401-PMLA-HCA the Advisory Agency of the City of Los Angeles, pursuant to Sections 66473.1, 66474.60, .61 and .63 of the State of California Government Code (the Subdivision Map Act), makes the prescribed findings as follows:

- (a) THE PROPOSED MAP WILL BE/IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

The Land Use Element of the General Plan consists of the 35 Community Plans within the City of Los Angeles. The Community Plans establish goals, objectives, and policies for future developments at a neighborhood level. Additionally, through the Land Use Map, the Community Plan designates parcels with a land use designation and zone. The Land Use Element is further implemented through the Los Angeles Municipal Code (LAMC). The zoning regulations contained within the LAMC regulates, but is not limited to, the maximum permitted density, height, parking, and the subdivision of land.

The subdivision of land is regulated pursuant to Article 7 of Chapter 1 of the LAMC. Pursuant to Chapter 1 of LAMC Section 17.50, parcel maps are to be designed in conformance with the parcel map regulations to ensure compliance with the various elements of the General Plan, including the Zoning Code. Additionally, the maps are to be designed in conformance with the Street Standards established pursuant to Chapter 1 of LAMC Section 17.05 B. The project site is located within the Reseda – West Van Nuys Community Plan, which designates the site with a Low Residential land use designation. The land use designation lists the RE9, RS, R1, RU, RD6, and RD5 Zone as the corresponding zones. The Project Site is currently zoned RA-1-RIO, which is more restrictive than the range of zones associated with the Low Residential land use designation.

The project site has approximately 20,994 (gross) square feet of lot area, which would permit a maximum of one dwelling unit (one unit/per 17,500 square feet). Under incidental Case No. APCSV-2023-4402-ZC-HCA, the applicant is requesting a Zone Change from RA-1-RIO to R1-1-RIO, which would permit the requested density (i.e., one single-family dwelling unit on each parcel) if sufficient lot area is available after Code required dedications and improvements are made. The applicant's preliminary parcel map stamp dated November 6, 2023 does not show Code required dedications and improvements which are conditioned herein.

Pursuant to Chapter 1 of LAMC Section 17.51 A, a preliminary parcel map is not required to be prepared by a licensed land surveyor or registered civil engineer, but is required to contain information regarding the boundaries of the project site, as well as the abutting

public rights-of-way, hillside contours for hillside properties, location of existing buildings, existing and proposed dedication, and improvements of the tract map. Preliminary Parcel Map No. AA-2023-4401-PMLA-HCA was prepared by Licensed Land Surveyor Cyrus Azarmy, License No. 9404. The preliminary parcel map indicates the parcel map number, notes, legal description, contact information for the owner, applicant, and engineer, as well as other pertinent information as required by Chapter 1 of LAMC Section 17.51 A. Therefore, the proposed map demonstrates compliance with Chapter 1 of LAMC Sections 17.05 C, 17.06 B, and is consistent with the applicable General Plan.

At the time this case was filed, the procedures of Chapter 1 of the Municipal Code were in effect until January 22, 2023. Therefore, this application is being processed under Chapter 1. For applications filed after January 23, 2023, the processes for reviewing planning applications and requests are outlined under Article 13 (Administration) of Chapter 1A.

(b) THE DESIGN OR IMPROVEMENT OF THE PROPOSED SUBDIVISION IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

For purposes of a subdivision, design and improvement is defined by Section 66418 and 66419 of the Subdivision Map Act and Chapter 1 of LAMC Section 17.02. Design refers to the configuration and layout of the proposed lots in addition to the proposed site plan layout. Pursuant to Section 66427(a) of the Subdivision Map Act, the location of the buildings is not considered as part of the approval or disapproval of the map by the Advisory Agency. Easements and/or access and “improvements” refers to the infrastructure facilities serving the subdivision. Chapter 1 of LAMC Section 17.50 and 17.05 enumerates the design standards for a parcel map and requires that each map be designed in conformance with the Street Design Standards and in conformance with the General Plan. As indicated in Finding (a), Chapter 1 of LAMC Section 17.05 C requires that the parcel map be designed in conformance with the zoning regulations of the project site. As the project site is zoned RA-1-RIO, a maximum of one single-family dwelling unit is permitted on the approximately 20,994 square-foot site. However, if the requested Zone Change to R1-1-RIO is approved under incidental Case No. APCS-2023-4402-ZC-HCA, the applicant could achieve a subdivision with the requested density (i.e., one single-family dwelling unit on each parcel) if sufficient lot area is available after Code required dedications and improvements are made. The applicant’s preliminary parcel map stamp dated November 6, 2023 does not show Code required dedications and improvements which are conditioned herein.

The preliminary parcel map was distributed to and reviewed by the various city agencies of the Subdivision Committee that have the authority to make dedication, and/or improvement recommendations. The Bureau of Engineering reviewed the preliminary parcel map for compliance with the Street Design Standards. The Bureau of Engineering has recommended dedication and/or improvements to the public right-of-way along Erwin and Delano Street, consistent with the standards of the Mobility Element. In addition, the Bureau of Engineering has recommended the construction of the necessary on-site mainline sewers and all necessary street improvements will be made to comply with the Americans with Disabilities Act (ADA) of 2010. As conditioned herein, the proposed project is required to comply with any requirements deemed necessary by the Department of Building and Safety, Grading Division. The Los Angeles Department of Building and Safety, Zoning Division, will review the map for compliance with the Los Angeles Zoning

Code. The parking area and driveway plan of the tract map will be required to comply with Los Angeles Department of Transportation (LADOT) requirements. The preliminary parcel map is subject to Los Angeles Fire Department (LAFD) review and approval. As conditioned herein, the two existing protected California Black Walnut trees proposed to be removed will be replaced with eight 48-inch box protective native trees and is subject to the review of the Bureau of Street Services, Urban Forestry Division. Furthermore, the one non-protected tree on site that is subject to removal is conditioned herein to be replaced at a 1:1 ratio with a 24-inch box size tree. Any trees that are removed or replaced within the public right-of-way are subject to Urban Forestry review and approval. Finally, the proposed development is subject to Quimby in-lieu fees as regulated by the Department of Recreation and Parks.

Therefore, as conditioned, the design and improvements of the proposed subdivision are consistent with the applicable General Plan.

I THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT.

The project site is level, rectangular shaped, through lot consisting of 20,994 (gross) square feet of lot area. Currently, the site is developed with an approximately 1,366 square foot single family dwelling developed in 1953. There are 12 trees on the subject site, including two protected California Black Walnut trees. A Protected Tree Report dated July 27, 2023 was prepared by Arsen Margossian, Consulting Arborist Bardez Landscape Services, Inc., and is attached to the subject case file. The Protected Tree Report identifies the removal of two protected California Black Walnut trees in fair health at the southerly portion of the subject site and one significant, non-protected tree located at the most northerly portion of the subject site for a total of three proposed tree removals. In conformance with the Los Angeles Mobility Plan 2035, the applicant is required to provide a 30-foot wide strip of land to be dedicated along Delano Street adjoining the subdivision to complete a 30-foot wide half right-of-way dedication in accordance with Local Street standards. Due to the location of the two protected California Black Walnuts on the southerly portion of the project site and within the 30-foot wide dedication, the two native, protected trees are proposed for removal and are required to be replaced with a minimum 48-inch box at a 4:1 ratio in conformance with the Protected Tree Ordinance for a total of eight protected trees on site. According to the Protected Tree Report, the lot provides ample space to plant the amount of required replacement trees; however, the report is based on the current lot area. As conditioned, the applicant shall be allowed to plant replacement trees on either proposed Parcel A or proposed Parcel B. Conversely, the applicant may spread out the replacement trees between Parcels A and B. This will ensure that adequate room is available for the replacement tree roots once dedication and improvements are made in accordance with the Los Angeles Mobility Plan 2035. No street tree or protected tree may be removed without prior approval of the Board of Public Works/Urban Forestry (BPW) under LAMC Sections 62.1-1 - 62.171. At the time of preparation of this CE, no approvals have been given for any tree removals onsite.

The surrounding arla is a developed urban area of single-family residential uses. The properties to the north are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. The properties located to the east and south are zoned R1-1 and designated Low Residential. The properties located to the west of the subject site are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and

designated as Low Residential. One property located two properties west of the subject site is zoned RA-1 and designated as Low Residential. The area is developed solely of one and two-story single-family residential dwellings. All of the surrounding sites along Delano Street have been improved with a curb, gutter, and concrete sidewalk with the exception of the sites located directly east of the site.

The project site is located within a geographic area designated as ZI-2438 – Equine Keeping in the City of Los Angeles. ZI-2438 regulates distances between habitable rooms and horse keeping uses. No horse keeping was observed at the subject site or on neighboring properties. Additionally, the site is located within the River Implementation Overlay District (ZI-2358) as the project site lies less than a mile from the Los Angeles River. ZI-2358 regulates development within the River Implementation Overlay District (RIO) and will be subject to the review of Building and Safety to determine whether the project is subject to the RIO. The subject site is located within an Airport Hazard Horizontal Surface Area, which is generally defined as a horizontal plane 150 feet above the established airport elevation. The maximum height of the structures proposed herein is 24 feet 9 inches, which will not create airport hazards. ZIMAS designates the subject site as an Urban Agriculture Incentive Zone, however, no agricultural uses are proposed herein. The project site is located within 11 km (approximately 7 miles) from the Northridge Fault but is not located within the Alquist-Priolo Fault Zone. The site is not located within a designated hillside area or within the BOE Special Grading Area. The site is not located within a high fire hazard severity zone, flood zone, landslide, methane, or tsunami inundation zone. The site is not located within the Santa Monica Mountains Zone. Prior to the issuance of any permits, the project would be required to be reviewed and approved by the Department of Building and Safety and the Fire Department. The site is not identified as having hazardous waste or past remediation. The site is within Flood Zone Type C, which denotes areas of minimal flooding. The site is not subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas, coastal high-hazard and flood-related erosion hazard areas).

The preliminary parcel map has been approved contingent upon the satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits. Therefore, the site will be physically suitable for the proposed type of development.

(d) THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF DEVELOPMENT.

The subject site is zoned RA-1-RIO and has a land use designation of Low Residential. The applicant has applied for a Zone Change to R1-1-RIO, which corresponds to the Low Residential land use designation under the Reseda – West Van Nuys Community Plan. The subject site is surrounded by one- and two-story single- single family residences. The properties to the north are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. The properties located to the east and south are zoned R1-1 and designated Low Residential. The properties located to the west of the subject site are zoned R1-1-RIO and (T)R1-1-RIO with an underlying zone of RA-1 and designated as Low Residential. One property located two properties west of the subject site is zoned RA-1 and designated as Low Residential. The project site is comprised of one 20,994 (gross) square foot parcel improved with a single-family dwelling.

The subject site is currently developed with an approximately 1,366 square foot single-family residence developed in 1953. As shown on the applicant's preliminary parcel map stamp dated November 6, 2023, the applicant is proposing an addition to the existing dwelling on Parcel B and the construction, use, and maintenance of a single family dwelling on Parcel A. No square footage is provided for the proposed addition and construction of the single family dwelling on the preliminary parcel map. However, the applicant submitted plans stamped by LADBS Plan Check on March 15, 2024, that shows the applicant is proposing to add 2,173 square feet to the existing 1,366 square foot dwelling on Parcel B. The stamped plans also show the construction, use and maintenance of a 3,539 square foot single family dwelling on Parcel A for a total of two approximately 3,539 square foot residential structures, 24 feet 9 inches in height on each parcel. As proposed, each 3,539 square foot structure will be constructed with an attached two-car garage.

As proposed, the density is consistent with the land use designation. Under incidental Case No. APCSV-2023-4402-ZC-HCA, the applicant is requesting a Zone Change to R1-1-RIO. The proposed density is consistent with the requested R1-1 Zone, which would permit the requested density (i.e., one single-family dwelling unit on each parcel) if sufficient lot area is available after Code required dedications and improvements are made. The applicant's preliminary parcel map stamp dated November 6, 2023 does not show Code required dedications and improvements which are conditioned herein.

Additionally, the tract map has been approved contingent upon the satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits. Prior to the issuance of a demolition, grading, or building permit, the project would be required to comply with conditions herein and applicable requirements of the LAMC. As conditioned the proposed tract map is physically suitable for the proposed density of the development.

- (e) THE DESIGN OF THE SUBDIVISION OR THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

The project site is currently developed with a single-family residence. A Protected Tree Report dated July 27, 2023 prepared by Arsen Margossian, Bardez Landscape Services and is attached to the subject case file. The Protected Tree Report identifies the removal of two California Black Walnut trees in fair health at the southernly portion of the subject site due to the location within the 30 foot dedication along Delano Street. As conditioned herein, and in conformance with the Mobility Plan 2035, a 30 foot dedication is required along Delano Street with associated improvements. The dedication and improvements are necessary for the public safety of residents within the surrounding neighborhood and will improve circulation by providing a half right-of-way dedication in accordance with the Local Street standards of the LA Mobility Plan 2035. The Protected Tree Report additionally identifies the removal of one non-protected tree due to the construction of the new driveway to achieve the proposed project. As conditioned, the applicant is required to plant replacement trees at a 1:1 basis for the removal of one significant non-protected tree and a 4:1 basis for the removal of two California Black Walnuts. As such, it has been determined that the project and the design of the subdivision and proposed improvements

will not cause substantial environmental damage or injury to wildlife or their habitat.

- (f) THE DESIGN OF THE SUBDIVISION OR TYPE OF IMPROVEMENTS IS NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

There appears to be no potential public health problems caused by the design or improvement of the proposed subdivision.

The development is required to be connected to the City's sanitary sewer system, where the sewage will be directed to the LA Hyperion Treatment Plant, which has been upgraded to meet Statewide ocean discharge standards. The Bureau of Engineering has reported that the proposed subdivision does not violate the existing California Water Code because the subdivision will be connected to the public sewer system and will have only a minor incremental impact on the quality of the effluent from the Hyperion Treatment Plant.

- (g) THE DESIGN OF THE SUBDIVISION OR THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

As required by Chapter 1 of LAMC Section 12.03, the project site has a minimum of 20 feet of frontage along Erwin and Delano Streets, which are a public streets. The project site consists of a parcel identified as Lot No. FR 113 of Tract 5947 and is identified by the Assessor Parcel Map No. 2123-025-011. There are no known easements acquired by the public at large for access through or use of the property within the proposed subdivision, as identified on the parcel map. There are no known easements acquired by the public at large for access through or use of the property within the proposed subdivision, as identified on the tract map. Necessary easements for utilities will be acquired by the City prior to the recordation of the proposed parcel map.

Therefore, the design of the subdivision and the proposed improvements would not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

- (h) THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES IN THE SUBDIVISION. (REF. SECTION 66473.1)

In assessing the feasibility of passive or natural heating or cooling opportunities in the proposed subdivision design, the applicant has prepared and submitted materials which consider the local climate, contours, configuration of the parcel(s) to be subdivided and other design and improvement requirements.

Providing for passive or natural heating or cooling opportunities will not result in reducing allowable densities or the percentage of a lot which may be occupied by a building or structure under applicable planning and zoning in effect at the time the tentative map was filed.

The lot layout of the subdivision has taken into consideration the maximizing of the

north/south orientation.

The topography of the site has been considered in the maximization of passive or natural heating and cooling opportunities.

In addition, prior to obtaining a building permit, the subdivider shall consider building construction techniques, such as overhanging eaves, location of windows, insulation, exhaust fans; planting of trees for shade purposes and the height of the buildings on the site in relation to adjacent development. These findings shall apply to both the tentative and final maps for Preliminary Parcel Map No. AA-2023-4401-PMLA-HCA.

These findings shall apply to both the preliminary and final maps for Preliminary Parcel Map No. 2023-4401-PMLA-HCA.

THE FOLLOWING NOTES ARE FOR INFORMATIONAL PURPOSES AND ARE NOT CONDITIONS OF APPROVAL OF THIS PRELIMINARY PARCEL MAP:

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power, Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05-N of the Los Angeles Municipal Code (LAMC).

APPEAL PERIOD - EFFECTIVE DATE

This grant is not a permit or license and any permits and/or licenses required by law must be obtained from the proper public agency. If any Condition of this grant is violated or not complied with, then the applicant or their successor in interest may be prosecuted for violating these Conditions the same as for any violation of the requirements contained in the Los Angeles Municipal Code (LAMC).

This determination will become effective after the end of appeal period date on the first page of this document, unless an appeal is filed with the Department of City Planning. An appeal application must be submitted and paid for before 4:30 PM (PST) on the final day to appeal the determination. Should the final day fall on a weekend or legal City holiday, the time for filing an appeal shall be extended to 4:30 PM (PST) on the next succeeding working day. Appeals should be filed early to ensure the Development Services Center (DSC) staff has adequate time to review and accept the documents, and to allow appellants time to submit payment.

An appeal may be filed utilizing the following options:

Online Application System (OAS): The OAS (<https://planning.lacity.org/oas>) allows entitlement appeals to be submitted entirely electronically by allowing an appellant to fill out and submit an appeal application online directly to City Planning's DSC, and submit fee payment by credit card or e-check.

Drop off at DSC. Appeals of this determination can be submitted in-person at the Metro or Van Nuys DSC locations, and payment can be made by credit card or check. City Planning has established drop-off areas at the DSCs with physical boxes where appellants can drop off appeal

applications; alternatively, appeal applications can be filed with staff at DSC public counters. Appeal applications must be on the prescribed forms, and accompanied by the required fee and a copy of the determination letter. Appeal applications shall be received by the DSC public counter and paid for on or before the above date or the appeal will not be accepted.

Forms are available online at <https://planning.lacity.gov/project-review/application-forms> .Public offices are located at:

Metro DSC
 (213) 482-7077
 201 N. Figueroa Street
 Los Angeles, CA 90012
planning.figcounter@lacity.org

Van Nuys DSC
 (818) 374-5050
 6262 Van Nuys Boulevard
 Van Nuys, CA 91401
planning.mbc2@lacity.org

West Los Angeles DSC
 (CURRENTLY CLOSED)
 (310) 231-2901
 1828 Sawtelle Boulevard
 West Los Angeles, CA 90025
planning.westla@lacity.org

City Planning staff may follow up with the appellant via email and/or phone if there are any questions or missing materials in the appeal submission, to ensure that the appeal package is complete and meets the applicable LAMC provisions.

If you seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, the petition for writ of mandate pursuant to that section must be filed no later than the 90th day following the date on which the City's decision became final pursuant to California Code of Civil Procedure Section 1094.6. There may be other time limits which also affect your ability to seek judicial review.

Verification of condition compliance with building plans and/or building permit applications are done at the City Planning Metro or Valley DSC locations. An in-person or virtual appointment for Condition Clearance can be made through the City's [BuildLA](#) portal (appointments.lacity.org). The applicant is further advised to notify any consultant representing you of this requirement as well.



QR Code to Online Appeal Filing



QR Code to Forms for In-Person Appeal Filing



QR Code to BuildLA Appointment Portal for Condition Clearance

Note: The above action shall become effective upon the decision date noted at the top of this letter unless an appeal has been submitted to the South Valley Area Planning Commission within 15 calendar days of the decision date. If you wish to file an appeal, it must be filed within 15 calendar days from the decision date as noted in this letter. For an appeal to be valid to the South Valley Area Planning Commission, it must be accepted as complete by the City Planning

Department and appeal fees paid, prior to expiration of the above 15-day time limit. Such appeal must be submitted on Appeal Form No. CP-7769 at the Department's Public Offices.

Pursuant to Ordinance 176,321, effective January 15, 2005, Parcel Map determinations are only appealable to the Area Planning Commission. There is no longer a second level of appeal to the City Council for Parcel Map actions of the Advisory Agency.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedure Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final, including all appeals, if any.

No sale of separate parcels is permitted prior to recordation of the final parcel map. The owner is advised that the above action must record within 36 months of this approval, unless an extension of time is granted before the end of such period. No requests for time extensions or appeals received by mail shall be accepted.

VINCENT P. BERTONI, AICP
Advisory Agency

Sheila Toni

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Toni
Date: 2024.07.08 10:40:23
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SHEILA TONI
Deputy Advisory Agency

CR:LFS:ST:CY:ly

PRELIMINARY PARCEL MAP NO. AA-2023-4401-PMLA-

FOR TWO LOTS PURPOSES
IN THE CITY OF
LOS ANGELES
COUNTY OF LOS ANGELES
STATE OF CALIFORNIA



SURVEYOR
Land Topography Corp.
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Woodland Hills, CA 91364
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OWNER
OHEL LLC
Toll: 818-692-5022
Daviddanil@hotmail.com

FLOOD ZONE :
ZONE: X
FEMA PANEL : 06037C1295F, effective on 09/26/2008

DESIGNER
CPdrafting.com
22815 Ventura Blvd. #227
Woodland Hills, CA 91364
Toll: (818) 493-1121
Info@CPdrafting.com

LEGAL DESCRIPTION:
THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:
(PER PRELIMINARY TITLE REPORT CONSUMER'S TITLE COMPANY, Your No.: CWP-C-VP-2126, DATED: April 12, 2023)
PORTION OF LOT 113 OF TRACT NO. 5947 AS PER MAP RECORDED IN BOOK 63 PAGES 96/97 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

BASIS OF BEARINGS:
THE BEARING NORTH 89° 59' 10" WEST, ON THE CENTERLINE OF ERWIN STREET AS SHOWN ON TRACT NO. 5947, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 63, PAGES 96/97, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EASEMENT:
EASEMENTS, PROVISIONS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT OF SAID TRACT NO. 5947, RECORDED IN BOOK 63 PAGE(S) 96-97. (NO EASEMENTS PER SAID TRACT NO. 5947)

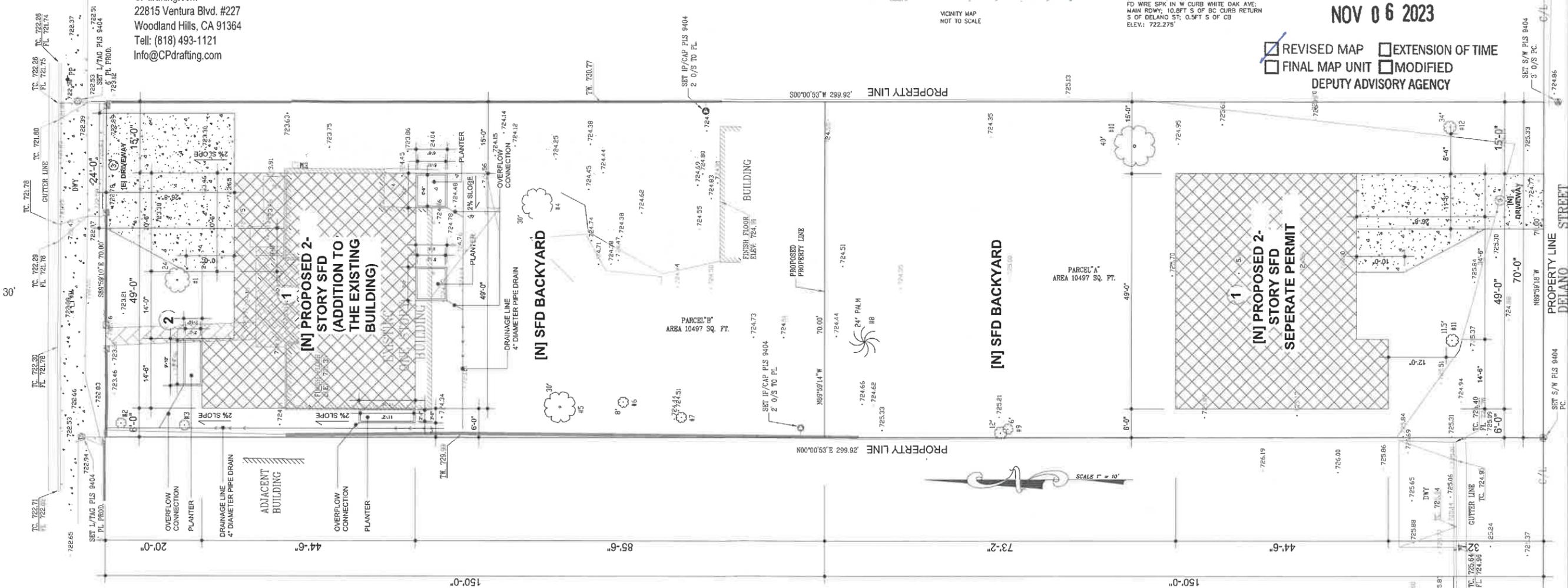
BENCHMARK:
BENCH MARK: 07-04379
DATUM: NAVD 1988
FD WIRE SPIK IN W CURB WHITE OAK AVE.
MAIN ROW; 10.0 FT S OF BC CURB RETURN
S OF DELANO ST; 0.5 FT S OF G3
ELEV.: 722.275'

LOS ANGELES DEPT. OF CITY PLANNING
SUBMITTED FOR FILING
 TENTATIVE MAP PARCEL MAP

NOV 06 2023

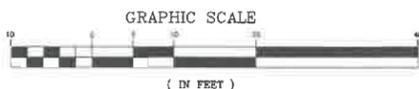
REVISED MAP EXTENSION OF TIME
 FINAL MAP UNIT MODIFIED
DEPUTY ADVISORY AGENCY

ERWIN ST.



NOTES:

- EXISTING ZONE : RA-1-RIO
- THE SITE IS RELATIVELY FLAT.



TREE INVENTORY
17820 ERWIN ST., LOS ANGELES, CA 91316
ARGEN MARBOSSIAN, MS
ISA CONSULTING ARBORIST (WS-72331) CA DPR PEST CONTROL ADVISOR (71429)
818 669 6469 - ARGEN@ISA.COM

TREE #	SPECIES	COMMON NAME	DIAMETER (DBH)
1	MACALEUCA SPP.	PAPERBARK	21"
2	STRELTZIA NICOLAI	GIANT BIRD OP PARADISE	FOUR 10-FT CLEAR TRUNKS
3	STRELTZIA NICOLAI	GIANT BIRD OP PARADISE	FOUR 8-FT CLEAR TRUNKS
4	MORUS SPP.	MULBERRY	33"
5	PINUS PINEA	ITALIAN STONE PINE	38"
6	MALUS SPP.	APPLE	6" (20X3")
7	PRUNUS SPP.	PLUM	8" (20X8" B 4")
8	PHOENIX CANARIENSIS	CANARY ISLAND PALM	14 FT CLEAR TRUNK
9	EVERGREEN ASH	EVERGREEN ASH	38" (17", 6" & 13")
10	AILANTHUS ALTISSIMA	TREE-OF-HEAVEN	60" (32", 22" & 26")
11	FRAXINUS CALIFORNICA	SOUTHERN CALIFORNIA BLACK OAK	11.3"
12	QUERCUS CALIFORNICA	SOUTHERN CALIFORNIA WHITE WALNUT	11.3"

AREA TABLE

LOT SIZE	20,994	SF
PARCEL "A"	10,497 <td>SF</td>	SF
PARCEL "B"	10,497 <td>SF</td>	SF

LEGAL DESCRIPTION

SITE ADDRESS 17820 W ERWIN ST
ZIP CODE 91316
PIN NUMBER 177B129 92
LOT / PARCEL AREA (CALCULATED) 20,994 (sq ft)
THOMAS BROTHERS GRID PAGE 531 - GRID A7
ASSESSOR PARCEL NO. (APN) 2123025011
TRACT TR 6947
MAP REFERENCE M B 63-96/97
BLOCK None
LOT FR 113
ARB (LOT CUT REFERENCE) None
MAP SHEET 177B129

PLANNING AND ZONING

ZONING 17820 W ERWIN ST RA-1-RIO
ZONING INFORMATION (ZI) 91316 ZI-2358 RIVER IMPLEMENTATION OVERLAY DISTRICT (RIO)
ZONING INFORMATION (ZI) 177B129 92 ZI-2462 MODIFICATIONS TO SF ZONES AND SF ZONE HILLSIDE AREA REGULATIONS
ZONING INFORMATION (ZI) 20,994 (sq ft) ZI-2438 EQUINE KEEPING IN THE CITY OF LOS ANGELES
ZONING INFORMATION (ZI) 2123025011 ZI-2438 EQUINE KEEPING IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE Low Residential
GENERAL PLAN NOTE(S) Yes
HILLSIDE AREA (ZONING CODE) No
SPECIFIC PLAN AREA None
SUBAREA None
SPECIAL LAND USE / ZONING None
HISTORIC PRESERVATION REVIEW No
ALL OR A PORTION OF THIS PARCEL LIES WITHIN A LIQUEFACTION ZONE.

airport hazard zone - yes