

**D – “EXHIBIT A” PROJECT PLANS DIR-2023-2587-TOC-SPP-HCA**



# 5271 SUNSET BLVD

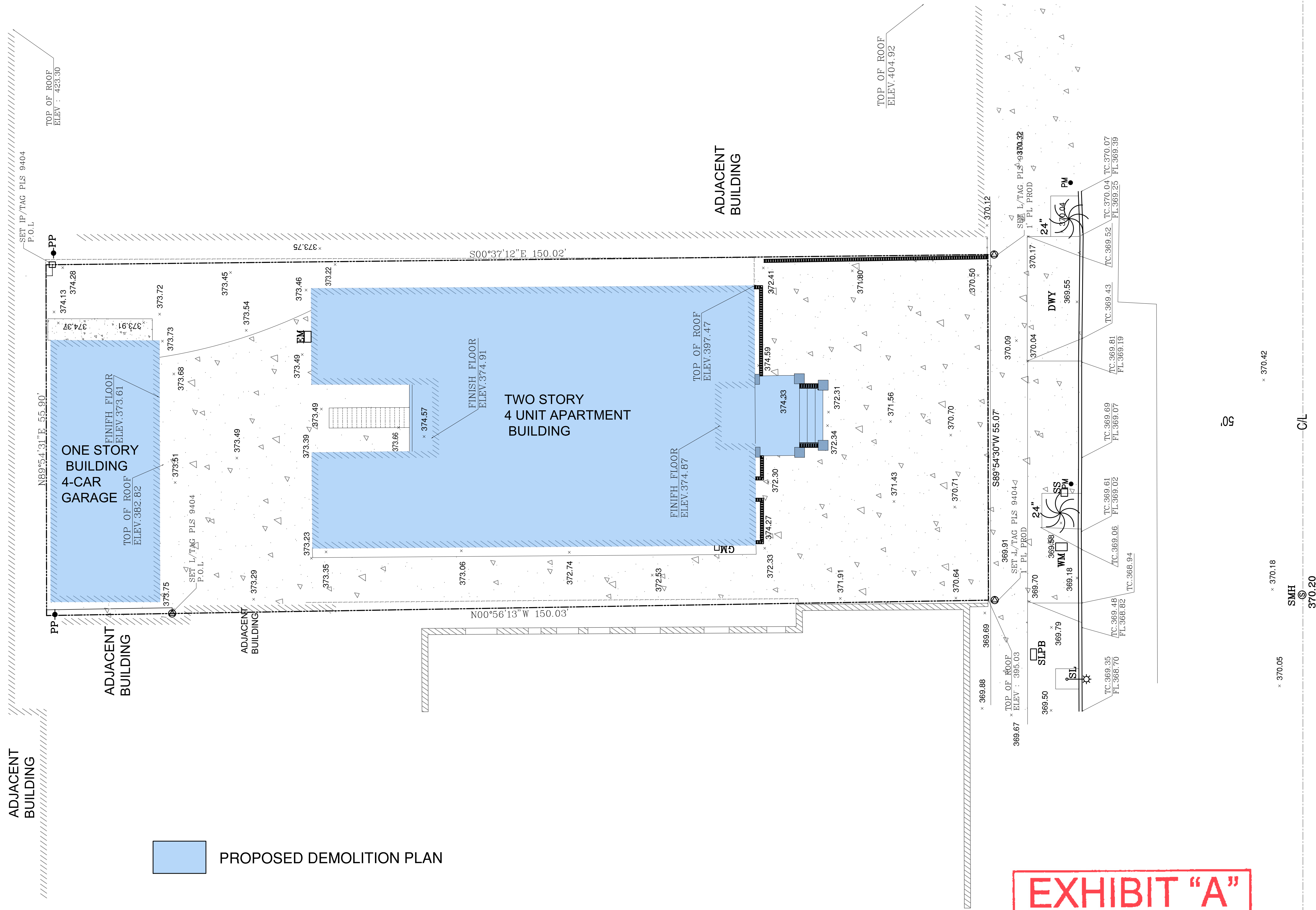
LOS ANGELES, CA 90027, USA

## 19-UNIT MIXED-USE PROJECT



PROJECT SUMMARY		BLD'G CONST. / OCCUPANCY		100 % PRIVATELY FUNDED PROJECT-NO TAX INCENTIVE CREDIT		SHEET INDEX		PROJECT DIRECTORY		ARCHITECTURAL DESIGNERS:																																															
<div>LOT SIZE: 8,249.9 SQ. FT.</div> <div>ZONING: C2-1D</div> <div>SITE ADDRESS: 5271 W SUNSET BLVD.</div> <div>LEGAL DESCRIPTION: LOT: 36,TRACT: TR3469, ARB: NONE, BLOCK: NONE</div> <div>MAP REFERENCE: M B 38-13</div> <div>ASSESSORS PARCEL NO: 5544017021</div> <div>MAP SHEET: 147A195</div> <div>OCCUPANCY: R2-S2-M</div> <div>ZONING CODE HEIGHT LIMIT: 50 FEET</div> <div>BUILDING HEIGHT BUILDING CODE: 41'-8 1/2"</div> <div>BUILDING HEIGHT ZONING CODE: 44'-4"</div> <div>TYPE OF CONSTRUCTION: TYPE V-A (4-STORY)</div> <div>PROPOSED NUMBER OF UNITS 19 UNITS</div>		<div>RESIDENTIAL: TYPE V-A (4-STORY) SUPERVISED AUTOMATIC FULLY SPRINKLERED THROUGH OUT (NFPA13) EMERGENCY RESPONDER RADIO COVERAGE REQUIRED PER CFC 510 PROVIDE APPROVED FIRE ALARM SYSTEM PER NFPA 72 UNDER SEPARATE PERMIT</div> <div>BUILDING HEIGHT ALLOWED PER BLD'G CODE: 50'-0"</div> <div>BUILDING HEIGHT PROPOSED 44'-4"</div> <div>TRANSITIONAL HEIGHT PER SNAP: DISTANCE HEIGHT 0 TO 49 FEET IS 25 FEET 50 TO 99 FEET IS 50 FEET</div> <div>COMMERCIAL FAR IS 0.068:1 WHICH IS LESS THAN 1.5:1 ALLOWED TRANSITIONAL HEIGHT PROPOSED WITH INCENTIVE 44'-4"</div>		<div>TOC INCENTIVES SUMMARY TOC TIER 3 BASE INVECTIVES; DENSITY INCREASE : (SECTION VI. I. a. iii) 70% 19x10% = 2 ELI F.A.R INCREASE: (SECTION VI. I. b. iii) 2.1:1 RESIDENTIAL AUTOMOBILE PARKING: (SECTION VI.2a.i.4) 0.5 SPACES PER UNIT COMMERCIAL AUTOMOBILE PARKING : (SECTION VI.2a.i.4) 30% REDUCTION</div> <div>ADDITIONAL INCENTIVES: 1. HEIGHT (TO ALLOW 52'-0" IN LIEU OF 60'-0") + SETBACK HEIGHT + TRANSITIONAL HEIGHT INCENTIVE(0-49 LINEAR FT. TO ALLOW 38'-0" IN LIEU OF 25'-0"); (SECTION VII.1(g)(4) ) TWO ADDITIONAL STORIES UP TO 22' IN STEPBACK HEIGHT PER TIER 3 TOC INCENTIVE , 11' STEPBACK HEIGHT INCREASE 2. 25% COMMON AREA WIDTH DEDUCTION. 25%*20'-0"-5'-0" (DEDUCTION) 20'-0"-5'-0"-15'-0" 3. 25% COMMON AREA DISTANCE DEDUCTION FROM PARAPET. 25%*20'-0"-5'-0" (DEDUCTION) 20'-0"-5'-0"-15'-0" NOTE: NO GRADING PLAN AS NO GRADING PROPOSED (NO SUBTERRANEAN GARAGE)</div>		<div>ARCHITECTURAL: 1 A-00 COVER SHEET 2 A-V.S.C VERMONT SNAP D CONDITION 3 A-G.N.1 GENERAL NOTES 4 A-G.N.2 GENERAL NOTES 5 A-C.G.N.1 CAL-GREEN NOTES 6 A-C.G.N.2 CAL-GREEN NOTES 7 A-G.F. GREEN FORMS 8 A-S.R. SOIL REPORT &amp; TIER VERIFICATION FORM 9 SU-1 SURVEY 10 A-BEM DEMOLITION PLAN 11 A-01 SITE PLAN 12 A-02 FIRST FLOOR PLAN 13 A-03 SECOND FLOOR PLAN 14 A-04 THIRD FLOOR PLAN 15 A-05 FORTH FLOOR PLAN 16 A-06 ROOF PLAN 17 A-07 A-A SECTION 18 A-08 B-B &amp; C-C SECTIONS 19 A-09 FRONT &amp; REAR ELEVATIONS 20 A-10 RIGHT &amp; LEFT ELEVATIONS 21 A-10.1 PRIVACY OVERLAY DIAGRAM 22 A-10.2 PRIVACY OVERLAY DIAGRAM 23 A-11 1/4" ENLARGE STAIR PLANS 24 A-12 1/4" ENLARGE STAIR PLANS 25 A-13 1/4" UNIT PLAN 26 A-14 1/4" UNIT PLAN 27 A-15 1/4" UNIT PLAN 28 A-16 1/4" UNIT PLAN 29 A-17 1/4" UNIT PLAN 30 A-18 1/4" UNIT PLAN 31 A-19 1/4" UNIT PLAN 32 A-20 1/4" UNIT PLAN 33 A-20.1 1/4" UNIT PLAN 34 A-21 OPEN SPACE CALC PLANS 35 A-22 DOOR&amp;FINISH SCHEDULES 36 A-26 FLOOR AREA DIAGRAM 37 A-27 MATERIAL BOARD 38 A-28 OCCUPANCY LOAD CALCULATION</div> <div>STRUCTURE: 1 S001 GENERAL NOTES 2 S002 OBSERVATION REPORT FROM/SOILS APPROVAL LETTER 3 S101 FOUNDATION PLAN 4 S102 SECOND FLOOR FRAMING PLAN 5 S103 THIRD FLOOR FRAMING PLAN 6 S104 FOURTH FLOOR FRAMING PLAN 7 S105 ROOF FRAMING PLAN 8 S201 GENERAL DETAILS 9 S202 FOUNDATION DETAILS 10 S203 FRAMING DETAILS 11 S204 FRAMING DETAILS 12 S205 FRAMING DETAILS 13 HF1 HARDY FRAME SHEAR WALL SYSTEM DETAILS 14 HF2 HARDY FRAME SHEAR WALL SYSTEM DETAILS 15 HF3 HARDY FRAME SHEAR WALL SYSTEM DETAILS</div> <div>CIVIL: 1 L-1 FIRST FLOOR PLANTING PLAN 2 L-2 ROOF PLANTING PLAN 3 L-3 FIRST FLOOR IRRIGATION PLAN 4 L-4 ROOF IRRIGATION PLAN 5 L-5 PLANTING DETAILS 6 L-6 IRRIGATION DETAILS</div> <div>LANDSCAPE: 1 L-1 FIRST FLOOR PLANTING PLAN 2 L-2 ROOF PLANTING PLAN 3 L-3 FIRST FLOOR IRRIGATION PLAN 4 L-4 ROOF IRRIGATION PLAN 5 L-5 PLANTING DETAILS 6 L-6 IRRIGATION DETAILS</div>		<div>OWNER: DBA: SUNSETCOMPLEX 200 S. BARRINGTON AVE. #49385, LA CA 90049 TEL: 408-396-4530 EMAIL: SUNSETCOMPLEX@GMAIL.COM</div> <div>DESIGNER: CARPIRA DESIGN GROUP 30025 ALICIA PARKWAY #198, LAGUNA NIGUEL, CA 92677 TEL: (310) 795-4009 EMAIL: SAMCARPIRA@GMAIL.COM WWW.CARPIRA.COM</div> <div>SURVEY: LAND TOPOGRAPHY CORP. 4402 CHARLEMONT AVE., WOODLAND HILLS, CA 91364 CELL: (818)334-9135 E-MAIL: azormypls@gmail.com</div> <div>STRUCTURAL: FYP CONSULTING GROUP 58 FEATHER RIDGE, MISSION VIEJO CA 92692 TEL: 949-357-5907 FAX: 949-597-8151 EMAIL: FYPCONSULTING@COXNET</div> <div>CIVIL ENGINEER : SHAHRIAR YADEGARI, PE 5TH DIMENSION DEVELOPMENT LIC. 10301 KESWICK AVE. LOS ANGELES, CA. 90064 TEL: (310) 430-6033</div>		<div>SAM MONFARED ATABAK YOUSEFZADE SAMCARPIRA@GMAIL.COM</div> <div>ENGINEER: FYP CONSULTING GROUP: 32551 RACHEL CIRCLE, DANA POINT CA 92629 TEL: 949-357-5907 FAX: 949-597-8151 EMAIL: fypconsulting24@gmail.net</div> <div>OWNER : DBA: SUNSETCOMPLEX 200 S. 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VICINITY MAP		PARKING																																																							
		<div>NOTE: PARKING HAS BEEN NOT PROVIDED ACCORDING TO THE NEW CALIFORNIA STATE LAW AB 2097</div> <div>SNAP REQUIRED PARKING: RESIDENTIAL 24 SPACES GUEST PARKING 5 SPACES TOTAL: 29 SPACES</div> <div>BIKE PARKING: REQUIREMENT: 10 SPACES REQUIRED PER SNAP PROPOSED: 20 RESIDENTIAL BIKE PARKING STALLS 2 COMMERCIAL BIKE PARKING STALLS</div>		<div>SNAP MAXIMUM RESIDENTIAL PARKING SPACES:</div> <table><thead><tr><th>DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS</th><th>PARKING SPACE PER SQUARE FEET/UNIT</th><th>UNITS</th><th>PARKING SPACES</th></tr></thead><tbody><tr><td>DWELLING UNITS WITH 3 HABITABLE ROOMS</td><td>1</td><td>11</td><td>11</td></tr><tr><td>DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS</td><td>1.5</td><td>6</td><td>9</td></tr><tr><td>DWELLING UNITS WITH MORE THAN 3 HABITABLE ROOMS</td><td>2</td><td>2</td><td>4</td></tr><tr><td colspan="4">TOTAL RESIDENTIAL ALLOWED SPACES: 24</td></tr><tr><td colspan="2">GUEST</td><td>0.25</td><td>19</td><td>5</td></tr><tr><td colspan="4">TOTAL MAXIMUM ALLOWED SPACES(INCLUDES OF GUEST PARKING): 29</td></tr></tbody></table>		DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS	PARKING SPACE PER SQUARE FEET/UNIT	UNITS	PARKING SPACES	DWELLING UNITS WITH 3 HABITABLE ROOMS	1	11	11	DWELLING UNITS WITH LESS THAN 3 HABITABLE ROOMS	1.5	6	9	DWELLING UNITS WITH MORE THAN 3 HABITABLE ROOMS	2	2	4	TOTAL RESIDENTIAL ALLOWED SPACES: 24				GUEST		0.25	19	5	TOTAL MAXIMUM ALLOWED SPACES(INCLUDES OF GUEST PARKING): 29																										
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DEVELOPMENT STANDARDS		BUILDING SUMMARY		CONSTRUCTION TYPE SUMMARY																																																					
<div>PROJECT SITE IS LOCATED IN THE VERMONT/WESTERN TRANSIT ORIENTED SPECIFIC PLAN SUBAREA "B"- MIXED USE BOULEVARD</div> <div>1. YARDS: NO FRONT SIDE OR BACK YARDS SHALL BE REQUIRED PER SECTION 8.G 2. LANDSCAPE FOCAL POINT: THE FRONT LANDSCAPE PLANTER IS USED AS FOCAL POINT. LANDSCAPE PLAN: ALL OPEN AREAS OF THE BUILDINGS EXCEPT THE AREAS FOR BUILDING, DRIVEWAY, COMMON AREA RECREATIONAL FACILITIES EXIT COURTS AND RAMPS, FIRE DEPARTMENT ACCESS ARE LANDSCAPED WITH A COMBINATION OF SHRUBS, TREES, GROUND COVERS, PLANTER BOXES. ALL LANDSCAPE AREAS ARE IRRIGATED WITH AUTOMATIC WATERING SYSTEM. ALL DESIGN PREPARED BY A LICENSED LANDSCAPE ARCHITECT. 4. USABLE OPEN SPACE: USABLE OPEN SPACE IS 5,445 SQ. FT.&gt;5,325 SQ. FT. REQUIRED, WITH MIN. 20' DIMENSION AND 1/4" PER FOOT SLOPE. PRIVATE USABLE SPACE IS 2,400 SQ. FT. WITH MIN. 6 FEET DIMENSION FRO BALCONIES. 5. STREET TREES: STREET TREES SHALL BE PROVIDE PER SPECIFIC PLAN IF ALLOWED BY THE D.O.T. AND THE BUREAU OF ENGINEERING. EXISTING PALM TREES IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED IN RESIDENTIAL AREAS, AND ARE NOT REQUIRED TO BE REMOVED IN ORDER TO PLANT NEW STREET TREES. HOWEVER, EXISTING TREES OF ANY TYPE THAT HAVE LIFTED THE PAVEMENT BE REMOVED OR BE CONTAINED IN SUCH A WAY THAT FUTURE SIDEWALK DAMAGE WILL NOT OCCUR. SIDEWALKS IN FRONT OF NEW DEVELOPMENT OR EXTENSIVE REMODELING PROJECTS MUST BE FULLY RESTORED TO A SAFE CONDITION, INCLUDING NO CREAKS, OR OTHER DAMAGE THAT COULD RESULT IN A TRIP HAZARD. 6. UTILITIES: ALL GAS, WATER ARE UNDERGROUND FROM THE FRONT STREET. THE ELECTRICAL AND TELEPHONE ARE PROVIDED FROM THE BACK POWER POLE WITH PROVISIONS FOR FUTURE UNDERGROUND. 7. PEDESTRIAN ACCESS: PEDESTRIAN ACCESS IS PROVIDED DIRECTLY FROM THE FRONT STREET NEXT TO THE PLANTER BOX AREA UP TO THE ENTRY PORCH. 8. ALLEY ACCESS: NO ALLEY IS ADJACENT TO THIS PROJECT. 9. CURB CUTS: THERE WILL BE ONLY ONE CURB CUT PROVIDING ACCESS FROM THE STREET AS PER DOT APPROVAL. 10. DRIVEWAYS: THE ENTIRE DRIVEWAY SHALL BE CONCRETE. 11. PARKING LOTS AND STRUCTURES: THE ENTIRE PARKING IS SUBTERRANEAN WITH NO SURFACE PARKING. 12. TRASH, SERVICE EQUIPMENT, SATELLITE DISHES: TRASH ROOM IS WITHIN THE SUBTERRANEAN GARAGE, AND SATELLITE DISH IS ON THE ROOF AT LEAST 10' AWAY FROM THE EDGE. 13. ROOFS AND ROOF TOP APPURTENANCES: (FLAT ROOF) BUILDING EQUIPMENTS ARE SET BACK 10' AWAY FROM THE EDGE OF THE BUILDING ARE 42" HIGH. THERE IS NO VISUAL SIGHT ANGLE TO BE SEEN. 14. ROOF LINES ARE BROKEN TO LESS THAN 18" OR SMALLER 15. PRIVACY: BALCONIES ARE SURROUNDED BY 2/3 SOLID SIDES FOR PRIVACY. THE UNITS DO NOT LOOK INTO EACH OTHER. 16. FACADE RELIEF: FRONT ELEVATION IS BROKEN INTO VERTICAL LINES LESS THAN 20" AND 10" VERTICALLY. STAIR SHAFT IS ORNATE WITH GALVANIZED OR STAINLESS STEEL PANELS. BALCONIES ARE INTRODUCED IN FRONT AND SIDES. MULTI PANE GLASS ARE USED FOR WINDOWS.</div> <div>C. TRANSITIONAL HEIGHT. 1. HEIGHT LIMITS. NOTWITHSTANDING ANY PROVISIONS OF SECTIONS 12.21.1 A 10 OF THE CODE TO THE CONTRARY, PORTIONS OF BUILDINGS ON A LOT LOCATED WITHIN THE SUBAREA B SHALL NOT EXCEED THE TRANSITIONAL HEIGHT LIMITS SET FORTH BELOW WHEN LOCATED WITHIN THE DISTANCES SPECIFIED FROM AN ABUTTING LOT IN SUBAREA A: DISTANCE HEIGHT 0 TO 49 FEET 25 FEET 50 TO 99 FEET 33 FEET 2. CALCULATING DISTANCE. TRANSITIONAL HEIGHT LIMITS AS SET FORTH ABOVE IN SECTION 8.C OF THIS SPECIFIC PLAN SHALL ONLY APPLY TO LOTS ADJOINING OR ABUTTING A LOT IN SUBAREA A AND SHALL NOT APPLY TO LOTS SEPARATED BY A PUBLIC STREET.</div>		<div>ZONING: C2-1D TRANSIT ORIENTED COMMUNITIES TIER 3 (SECTION 8.A) R3 ZONE BASE # OF UNITS: 8249.5/800=10.31=11 DENSITY INCREASE OF 70% PER SECTION VI.1.A.iii (TOC TIER-3) PROPOSED TOTAL # OF UNITS 11x1.7=18.7=19 TRANSITIONAL HEIGHT ABUTTING LOT IN SUB-AREA A) PER SECTION 8.C.1 (SNAP) HEIGHT INCREASE OF 22' STEPE-BACK 45 DEGREES 25 FEET ABOVE GRADE PER SECTION VII-1.g.ii (TOC TIER-3) LOT AREA: 8,249.9 SQ. FT. F.A.R. ALLOWED (C2 ZONE) PER SNAP 2:1 PROPOSED F.A.R. INCREASE (5%) 2.1 16,250 RESIDENTIAL SF + 570 COMMERCIAL SF = 16,820 SF / 8,249.9 SF (LOT AREA) = 2.039:1 FAR PROPOSED ALLOWABLE BUILDABLE AREA 8249.9x2.9=23924.71 SQ.FT. ACTUAL BUILDING AREA 16250 SQ. FT. &lt;23924.71 SQ. FT. THE COMMERCIAL FAR IS 0.07:1 WHICH IS LESS THAN 1.5:1 ALLOWED RESIDENTIAL FAR = 1.989:1 NO ON SIDE COMMERCIAL SIGNAGE IS PROPOSED</div> <div>TOTAL RESIDENTIAL AREA (BLD'G CODE): 16250 SQ. FT. TOTAL RESIDENTIAL AREA (ZON'G CODE): 16250 SQ. FT. TOTAL RESIDENTIAL AREA (SCHOOL FEE): 22270 SQ. FT. TOTAL COMMERCIAL AREA : 570 SQ. FT.</div> <div>EXHIBIT "A" Page No. 1 of 34 Case No. DIR-2023-2587-TOC-SPP-VHCA</div>		<table><thead><tr><th></th><th>OCCUPANCY LOAD</th><th>COMMERCIAL</th><th>RESIDENTIAL</th><th>EXTERIOR WALLS/ SHAFT/ STAIRS/ VENTS</th><th>TOTAL</th></tr></thead><tbody><tr><td>FIRST FLOOR</td><td>M 1/60 (10) R-2 1/200 (17)</td><td>570 sq.ft.</td><td>3480 sq.ft.</td><td>1715 sq.ft.</td><td>5765 sq.ft.</td></tr><tr><td>2ND FLOOR</td><td>R-2 1/200 (23)</td><td>—</td><td>4555 sq.ft.</td><td>1310 sq.ft.</td><td>5865 sq.ft.</td></tr><tr><td>3RD FLOOR</td><td>R-2 1/200 (23)</td><td>—</td><td>4180 sq.ft.</td><td>1295 sq.ft.</td><td>5475 sq.ft.</td></tr><tr><td>4TH FLOOR</td><td>R-2 1/200 (21)</td><td>—</td><td>4035 sq.ft.</td><td>1130 sq.ft.</td><td>5165 sq.ft.</td></tr><tr><td>TOTAL</td><td></td><td>570 sq.ft.</td><td>16250 sq.ft.</td><td>5450 sq.ft.</td><td>22270 sq.ft.</td></tr></tbody></table> <div>DEFERRED SUBMITTAL ITEMS SHALL COMPLY WITH CBC SECTION 106.4.4.2. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT (STRUCTURAL ENGINEER) FOR REVIEW WITH THE GENERAL CONFORMANCE TO CONTRACT DOCUMENTS. PROVIDE A PROFESSIONAL ENGINEER'S SIGNATURE AND SEAL IN THE STATE WHERE THE PRODUCT SITE OCCURS. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTAL ITEMS ARE AS FOLLOWING: A. ELEVATOR ANCHOR SYSTEM B. ATS SYSTEM (HOLD DOWNS)</div> <div>FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) TABLE 601</div> <table><thead><tr><th>BUILDING ELEMENT</th><th>TYPE VA</th></tr></thead><tbody><tr><td>PRIMARY STRUCTURAL FRAME</td><td>1</td></tr><tr><td>BEARING WALLS</td><td>EXTERIOR 1 INTERIOR 1</td></tr><tr><td>NONBEARING WALLS AND PARTITIONS</td><td>EXTERIOR 1 INTERIOR 1</td></tr><tr><td>FLOOR CONSTRUCTION AND SECONDARY MEMBER</td><td>1</td></tr><tr><td>ROOF CONSTRUCTION AND SECONDARY MEMBER</td><td>1</td></tr><tr><td>SHAFT RATING</td><td>2</td></tr></tbody></table> <div>OPEN SPACE REQUIREMENTS SEC. 12.21.G2 LESS THAN 3 HABITABLE ROOM UNIT @100 SQ. FT. PER UNIT=11x100= 1100 SQ. FT. 3 HABITABLE ROOM UNIT @125 SQ. FT. PER UNIT=6x125= 750 SQ. FT. 4 HABITABLE ROOM UNIT @175 SQ. FT. PER UNIT=2x175= 350 SQ. FT. TOTAL OPEN SPACE REQUIRED= 2200 SQ. FT. MINIMUM COMMON OPEN SPACE REQUIRED (50%)= 1100 SQ. FT. PRIVATE OPEN SPACE PROVIDED: BALCONIES WITH 6' MIN. DIM.: 759 SQ. FT. COMMON OPEN SPACE PROVIDED: COURT YARD WITH 20' MIN.: 1100 SQ. FT. ROOF DECK WITH 15' MIN.: 487.5 SQ. FT. TOTAL OPEN SPACE PROVIDED: 2346.5 SQ. FT. MIN. COMMON SPACE LANDSCAPE REQUIRED (25%)=1587.5*25%= 396.875 SQ. FT. MIN. LANDSCAPE AREA PROVIDE FOR COMMON AREA 421.5 SQ. FT. NUMBER OF 24" BOX TREES REQUIRED (ONE PER 4 UNITS) 5 MIN. NUMBER OF 24" BOX TREES PROVIDED 5 MINIMUM FIRST FLOOR OPEN SPACE REQUIRED (50%) = 1100 SQ.FT. COMMON OPEN SPACE PROVIDED WITH 20' MIN. = 1100 SQ.FT. TOTAL OPEN SPACE PROVIDED IN FIRST FLOOR = 1100 SQ.FT.</div>			OCCUPANCY LOAD	COMMERCIAL	RESIDENTIAL	EXTERIOR WALLS/ SHAFT/ STAIRS/ VENTS	TOTAL	FIRST FLOOR	M 1/60 (10) R-2 1/200 (17)	570 sq.ft.	3480 sq.ft.	1715 sq.ft.	5765 sq.ft.	2ND FLOOR	R-2 1/200 (23)	—	4555 sq.ft.	1310 sq.ft.	5865 sq.ft.	3RD FLOOR	R-2 1/200 (23)	—	4180 sq.ft.	1295 sq.ft.	5475 sq.ft.	4TH FLOOR	R-2 1/200 (21)	—	4035 sq.ft.	1130 sq.ft.	5165 sq.ft.	TOTAL		570 sq.ft.	16250 sq.ft.	5450 sq.ft.	22270 sq.ft.	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**SUNSET BLVD**



**ARCHITECTURAL DESIGNERS:**  
SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

**ENGINEER:**  
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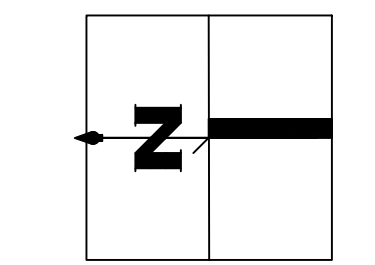
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CA 90018

**DESCRIPTION :**  
DATE: 09/12/2022  
REV.1: 10/20/2022  
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REV.3: 04/26/2024  
REV.4: 07/30/2024

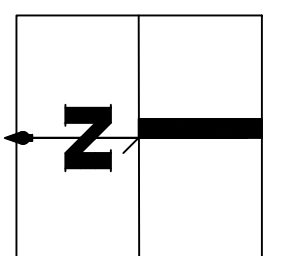
**TITLE**  
DEMOLITION PLAN

**SCALE**



**PAGE NO.:**  
**A-DEM**  
ARCHITECTURAL SHEETS





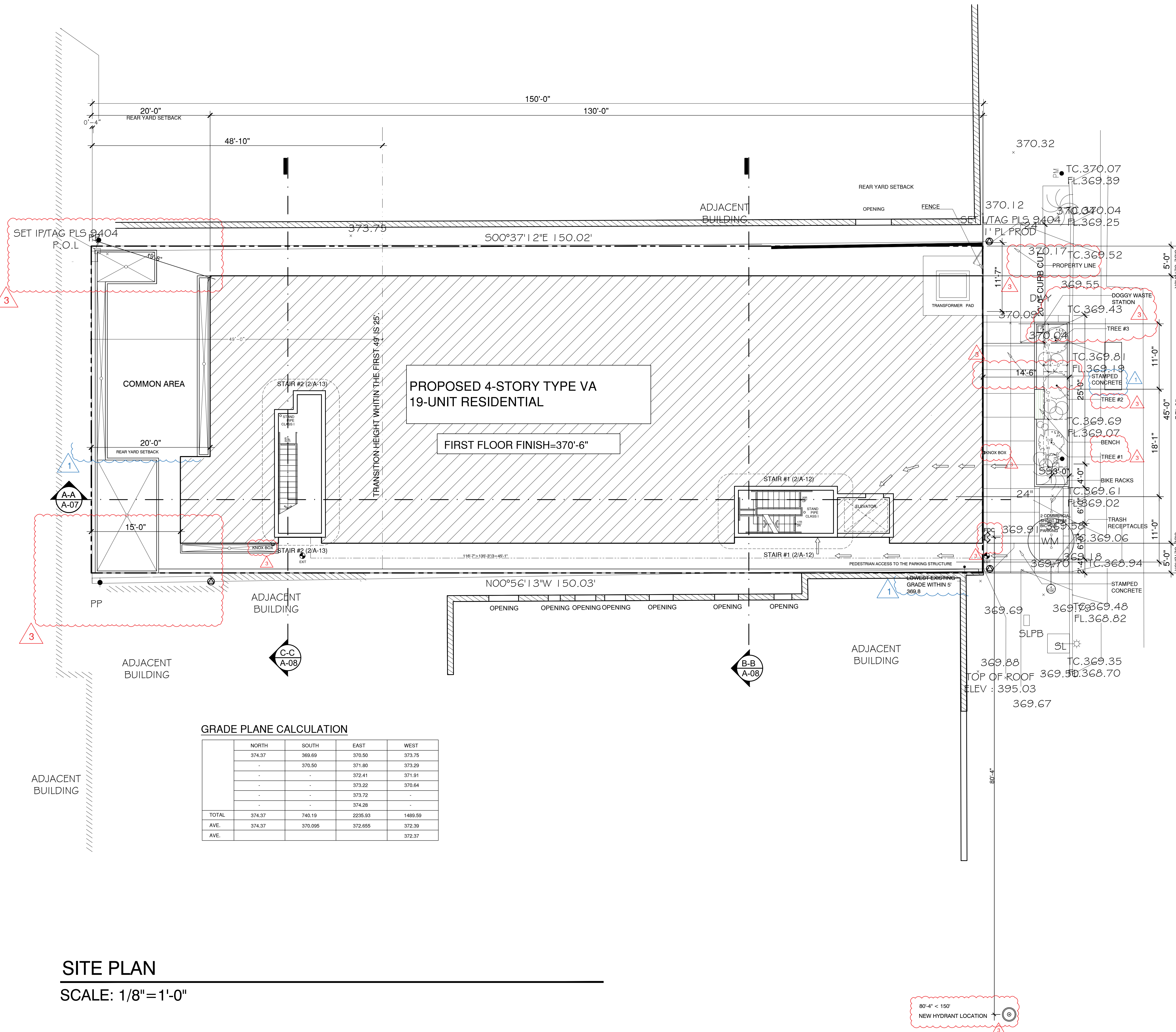
TYPE V-A NOTES :

1. CONTINUOUS DRYWALL BEHIND ALL TUBS IS REQUIRED UNLESS THE WALLS ARE WITHIN THE UNIT AND NON-BEARING. BACK TO BACK TUBS WITH A COMMON PLUMBING WALL ARE IMPRACTICAL IN 1-HOUR BUILDINGS.
2. ALL INTERIOR BEARING WALLS SHALL BE CONSTRUCTED OF NOT LESS THAN 1-HOUR FIRE-RESISTIVE CONSTRUCTION. T-601 ATTIC ACCESS OPENINGS IN 1-HOUR CEILING CAN BE 2 LAYERS OF 3/4" PLYWOOD OR ONE LAYER OF 1-5/8" T&G MATERIAL, SELF-CLOSING.
3. ALL OPENINGS IN FLOORS ARE REQUIRED TO BE ENCLOSED BY A SHAFT HAVING WALL, FLOOR, AND CEILING OF HOUR FIRE RESISTIVE CONSTRUCTION.713.1
4. RECESSED CEILING LIGHT FIXTURES MUST BE BOXED AROUND WITH 5/8" TYPE "X" DRYWALL" TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY.
5. CONTINUOUS DRYWALL IS REQUIRED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICINE CABINETS.
7. EXHAUST FANS FROM THE BATHROOM MUST ENTER THROUGH THE WALL. DAMPERS ARE REQUIRED IF THE CEILING IS PENETRATED 717.5
8. PLUMBING PENETRATION THROUGH HORIZONTAL OCCUPANCY SEPARATIONS SHALL BE BOXED OUT AND FILLED WITH APPROVED SAFING MATERIAL. INSULATION IS NOT APPROVED.
9. PENETRATION OF THE 1 HOUR CEILING BY DUCTS FROM THE FAU AND THE STOVE HOOD REQUIRE DAMPERS (USE A DUCTLESS HOOD WHENEVER POSSIBLE). ATTIC UNITS (INCLUDING HEAT PUMPS) REQUIRE DAMPERS AT ALL CEILING PENETRATIONS 711
10. STEEL BEAMS AND COLUMNS SHALL BE PROTECTED AS REQUIRED FOR 1-HOUR PROTECTION. WHERE CEILING FORMS THE PROTECTIVE MEMBRANE FOR FIRE-RESISTIVE ASSEMBLIES (OCCUPANCY SEPARATIONS AND RATED ROOF/CEILING OR FLOOR/CEILING ASSEMBLIES), THE CONSTRUCTION (FLOOR JOISTS) AND THEIR SUPPORTING HORIZONTAL STRUCTURAL MEMBERS (BEAMS) NEED NOT BE INDIVIDUALLY FIRE PROTECTED EXCEPT WHERE SUCH MEMBERS SUPPORT DIRECTLY APPLIED LOADS FROM MORE THAN ONE FLOOR OR ROOF. THE REQUIRED FIRE RESISTANCE SHALL NOT BE LESS THAN THAT REQUIRED FOR INDIVIDUAL PROTECTION OF MEMBERS. 704.3
11. ALL PLUMBING PENETRATIONS THRU WALLS WHICH REQUIRE PROTECTED OPENINGS (FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS) ARE REQUIRED TO BE GALVANIZED OR CAST IRON PIPING.

NOTES :

PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLERS SYSTEM IN ACCORDANCE WITH SECTION NFPA13 THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)  
PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

SUNSET BLVD

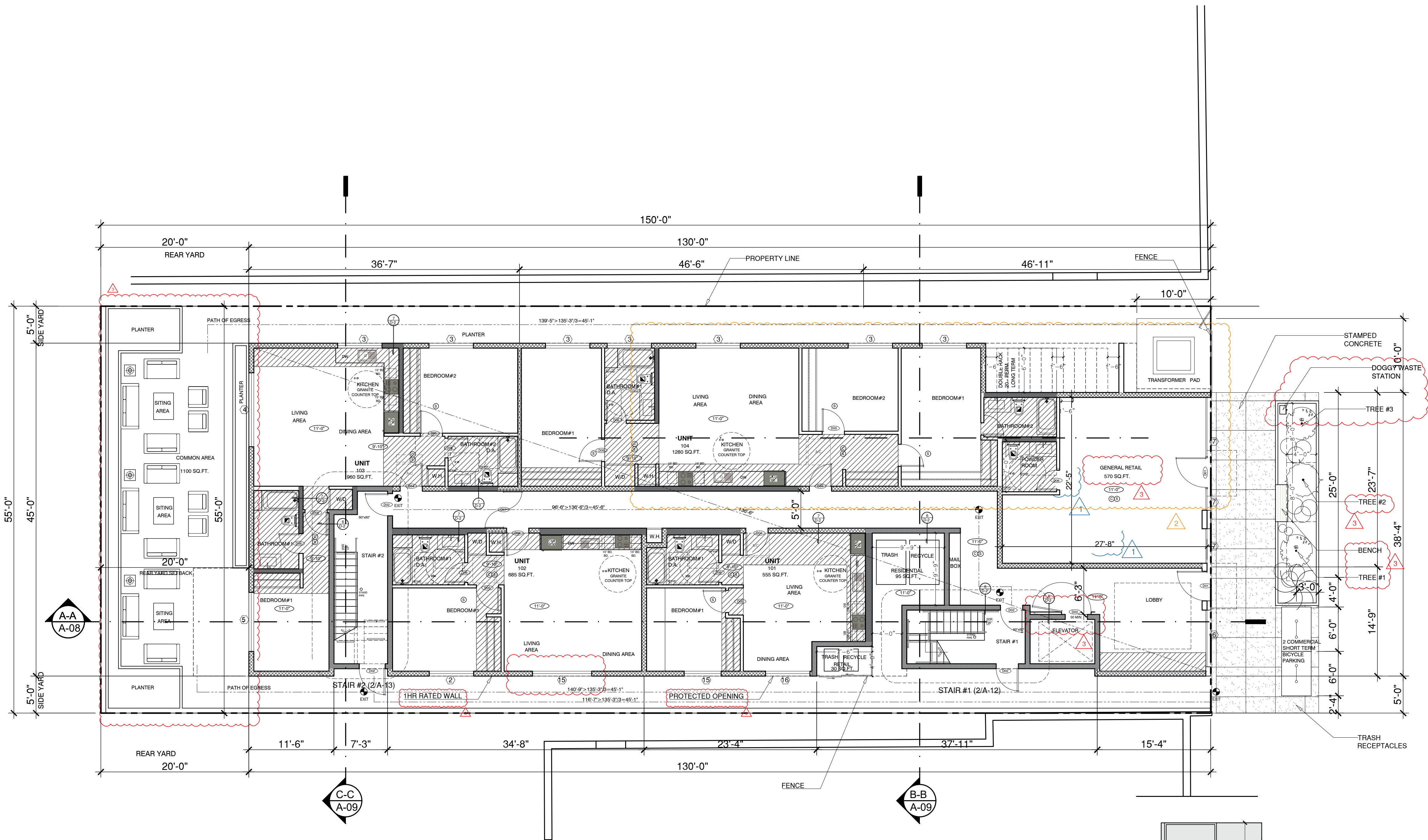


SITE PLAN

SCALE: 1/8" = 1'-0"

EXHIBIT "A"  
Page No. 3 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA





"The building is not exposed to a noise level of 65dB Leq-1-hr during any hour of operation."

LABC 3006.3 (3) ADDITIONAL DOORS SHALL BE PROVIDED AT EACH ELEVATOR HOISTWAY DOOR OPENING IN ACCORDANCE WITH SECTION 3002.6. SUCH DOOR SHALL COMPLY WITH THE SMOKE AND DRAFT CONTROL DOOR ASSEMBLY REQUIREMENTS IN SECTION 716.2.2.1.1 WHEN TESTED IN ACCORDANCE WITH UL 1784 WITHOUT AN ARTIFICIAL BOTTOM SEAL.

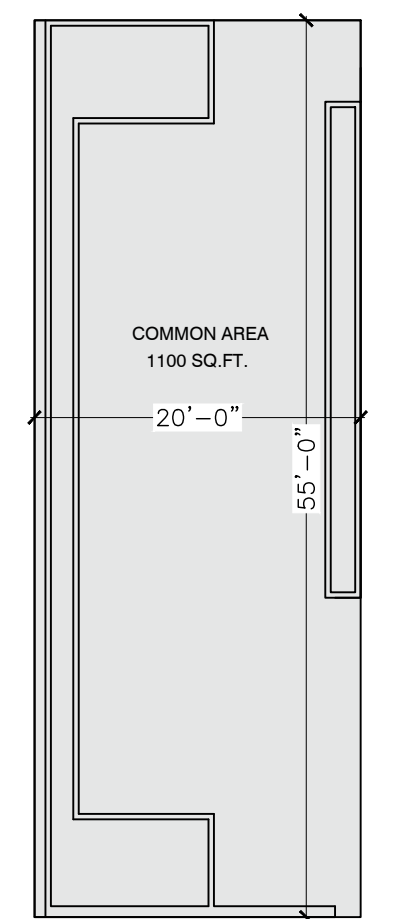
## FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

# EXHIBIT "A"

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Case No. DIR-2023-2587-TOC-SPP-VHCA



"COMMON AREA"  
AREA= 1100 SQ.FT.  
OCC. LOAD  
1100 SQ.FT./15= 74 OCC

### LEGEND:

- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:
  - OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)
  - ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- DOOR TYPE
- WINDOW TYPE
- FIRE EXTINGUISHER, RECESSED INTO WALL.
- INTERIOR ELEVATION MARKER
- EXISTING GRADE ELEVATION
- TOP OF WALL
- FINISHED FLOOR
- EXISTING FINISH GRADE
- TOP OF DRAIN
- AREA DRAIN

- 2-HR EXTERIOR WALL SEE DETAIL 2/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6A/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6B/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 7A/D-02 FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 7B/D-02 FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 8" CONCRETE WALL
- 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS 4/D-02.
- 14" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION  
VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-LIMED WITH 5/8" THICK GYP BD TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS REQUIRING INSULATION ABOVE AND THE SIDE OF THE SOFFITS SHALL BE INSULATED AND INSPECTED PRIOR TO THE PRELIM DRYWALL SEE DETAIL 6&7/A-16 AND 14/A-18
- 8'-2" HEADROOM CLERANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES

### EVS NOTES :

- SEE PLANS FOR RACEWAY TERMINATION (S), EVCS, AND EVE CHARGERS.
- ONLY UNDERGROUND RACEWAY AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF EVES. PLAN DESIGN SHALL BE BASE UPON A-40 AMPER MINIMUM BRANCH CIRCUITS. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SPACE (S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE.

OCCUPANT LOAD: TABLE 1004.1.1

OCCUPANCY R2 (APARTMENT)  
OCC. LOAD: 5,245 SQ. FT./200=27  
27-29 TWO EXITS REQUIRED,  
27-50 REQUIRED EXIT WIDTH 36"  
27-50 REQUIRED EXIT WIDTH 36"  
EXIT ACCESS TRAVEL DISTANCE: 400'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 135'-3"

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP.1)  
TABLE 1020.2  
TABLE 1017.2  
TABLE 1006.3.2(2)

# CARPIRA DESIGN GROUP COMPANY

### ARCHITECTURAL DESIGNERS:

SAM MONFARED  
ATABAK YOUSEFZADE  
SAMCARPIRA@GMAIL.COM

### ENGINEER:

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EMAIL: SUNSETCOMPLEX@GMAIL.COM

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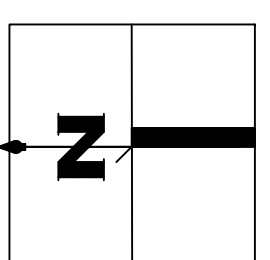
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

### DESCRIPTION :

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE 1ST FLOOR PLAN

SCALE 1/8" = 1'-0"

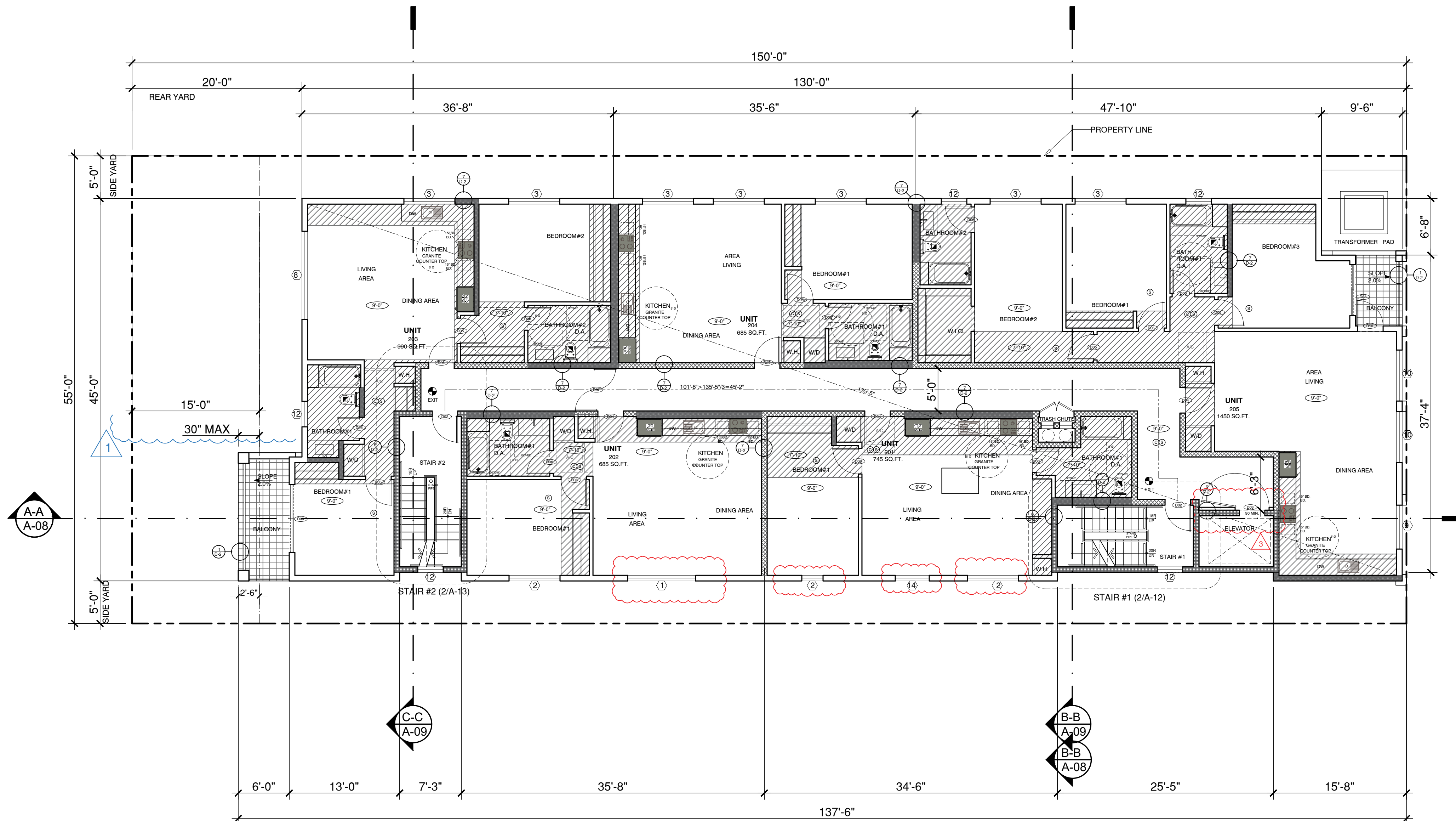


### PAGE NO.:

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## SECOND FLOOR PLAN

SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
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Case No. DIR-2023-2587-TOC-SPP-VHCA

### LEGEND:

EXIT SIGN W/ EMERGENCY LIGHT

HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
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5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1

DOOR TYPE

WINDOW TYPE

FIRE EXTINGUISHER, RECESSED INTO WALL.

INTERIOR ELEVATION MARKER

EXISTING GRADE ELEVATION

TOP OF WALL

FINISHED FLOOR

EXISTING FINISH GRADE

TOP OF DRAIN

AREA DRAIN

2-HR EXTERIOR WALL SEE DETAIL 2/D-02

FIRE BARRIER

2-HR 50 STC WALL SEE DETAIL 6A/D-02

FIRE BARRIER

2-HR 50 STC WALL SEE DETAIL 6B/D-02

FIRE BARRIER (PLB'S WALL)

1-HR 50 STC WALL SEE DETAIL 7A/D-02

FIRE BARRIER

1-HR 50 STC WALL SEE DETAIL 7B/D-02

FIRE BARRIER (PLB'S WALL)

8" SOLID GROUTED CONCRETE BLOCK WALL

8" CONCRETE WALL

1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS 4/D-02.

14" DROP SOFFIT. VERIFY SIZE PRIOR TO CONSTRUCTION

VOID SOFFITS SHALL BE FILLED WITH INSULATION AND SOFFITS WITH AIR-CONDITIONING DUCTS SHALL BE PRE-

LIMED WITH 5/8" THICK GYP BD TAPED AND INSPECTED PRIOR TO INSTALLATION OF THE DUCTS. AREAS

REQUIRING

INSULATION ABOVE AND THE SIDE OF THE SOFFITS

SHALL

BE INSULATED AND INSPECTED PRIOR TO THE PRELIM

DRYWALL SEE DETAIL 6&7/A-16 AND 14/A-18

8'-2" HEADROOM CLEARANCE

SECURITY CAMERA

AREA DRAIN AND FLOW DIRECTION

EVS SEE NOTES

### EVS NOTES:

- SEE PLANS FOR RACEWAY TERMINATION (S), EVCS, AND EVE CHARGERS.
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OCCUPANT LOAD: TABLE 1004.1.1

OCCUPANCY R2 (APARTMENT)

OCC. LOAD: 5,615 SQ. FT./200=28

28-29 TWO EXITS REQUIRED.

28-50 REQUIRED EXIT WIDTH 36"

28-50 REQUIRED EXIT WIDTH 36"

EXIT ACCESS TRAVEL DISTANCE: 400'

MAX. COMMON PATH OF EGRESS

TRAVEL DISTANCE: 135'-3"

TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP.1)  
TABLE 1020.2  
TABLE 1017.2

TABLE 1006.3.2(2)

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COMPANY**

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CA 90018

### DESCRIPTION:

DATE: 09/12/2022

REV.1: 10/20/2022

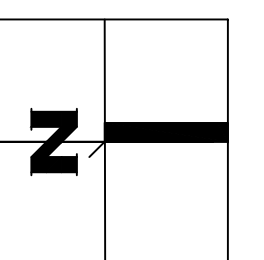
REV.2: 06/05/2023

REV.3: 04/26/2024

REV.4: 07/30/2024

TITLE **2ND FLOOR PLAN**

SCALE **1/8" = 1'-0"**

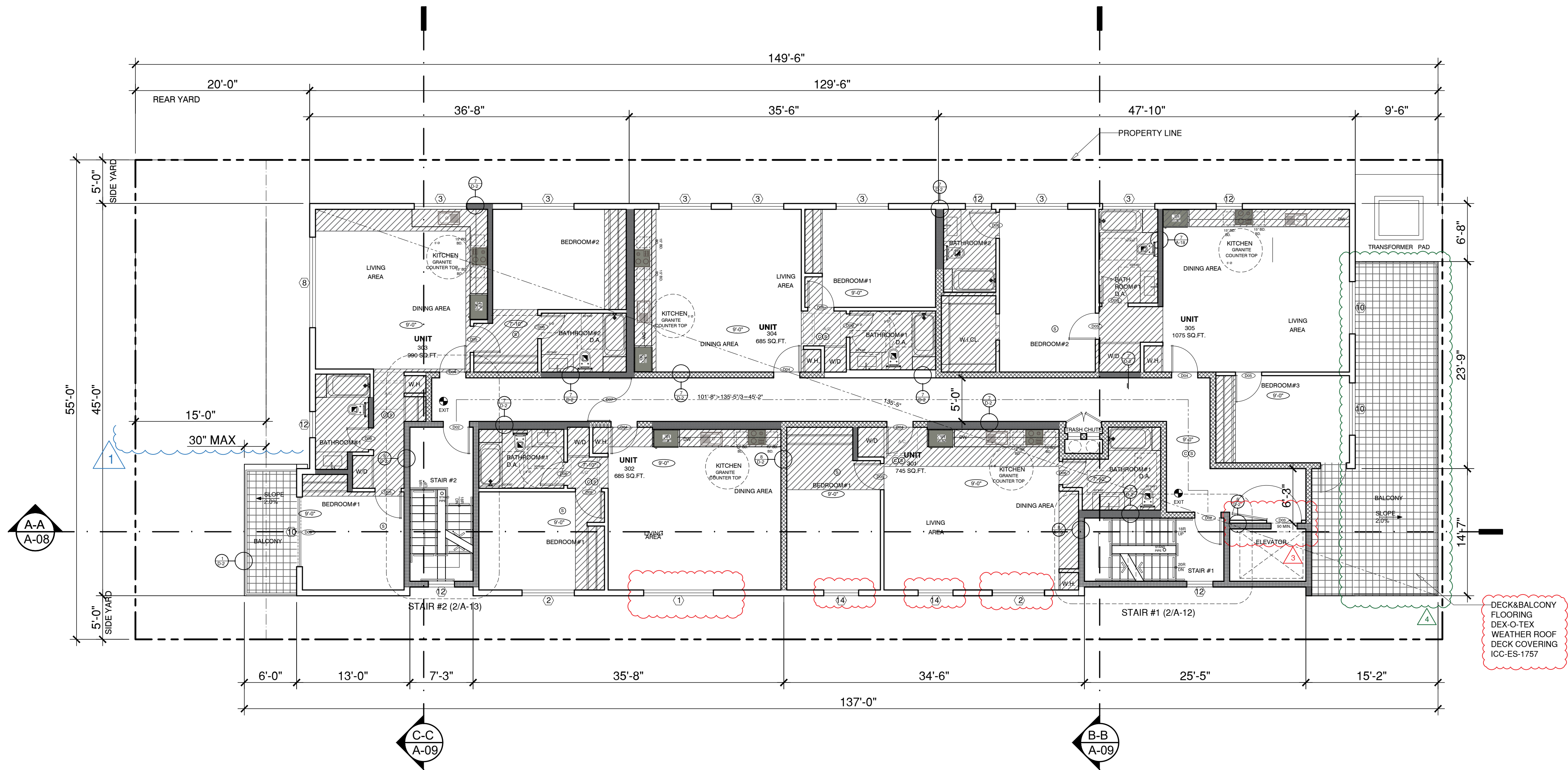


### PAGE NO.:

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ARCHITECTURAL SHEETS





THIRD FLOOR PLAN  
SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 6 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

- LEGEND:**
- EXIT SIGN W/ EMERGENCY LIGHT
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  - WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
  - DOOR TYPE
  - WINDOW TYPE
  - FIRE EXTINGUISHER, RECESSED INTO WALL.
  - INTERIOR ELEVATION MARKER
  - EXISTING GRADE ELEVATION
  - TOP OF WALL
  - FINISHED FLOOR
  - EXISTING FINISH GRADE
  - TOP OF DRAIN
  - AREA DRAIN

- 2-HR EXTERIOR WALL SEE DETAIL 2/D-02  
FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6A/D-02  
FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6B/D-02  
FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 7A/D-02  
FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 7B/D-02  
FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 8" CONCRETE WALL
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- 8'-2" HEADROOM CLERANCE
- SECURITY CAMERA
- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES

- EVS NOTES :**
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- OCCUPANT LOAD: TABLE 1004.1.1
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EXIT ACCESS TRAVEL DISTANCE: 400'  
MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE: 135'-3"
- TABLE 1004.1.2  
TABLE 1006.3.2(2)  
(SEC. 1011.2 EXP.1)  
TABLE 1020.2  
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TABLE 1006.3.2(2)

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CA 90018

**DESCRIPTION :**

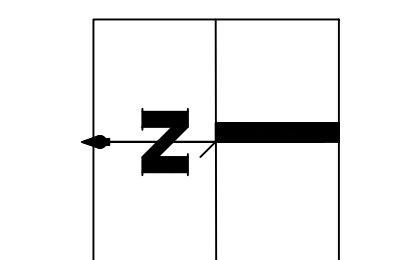
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

**TITLE**

3RD FLOOR PLAN

**SCALE**

1/8" = 1'-0"

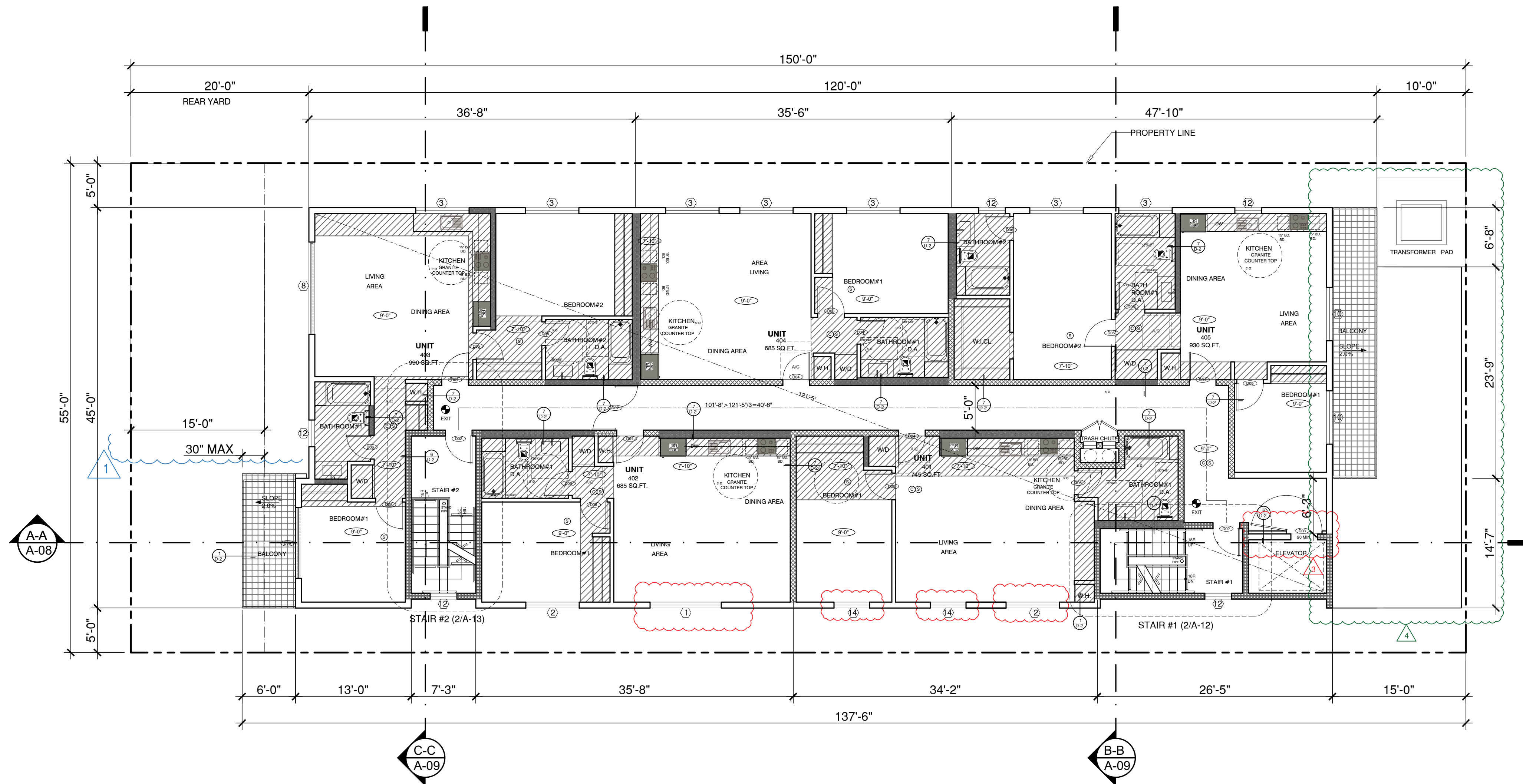


**PAGE NO.:**

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ARCHITECTURAL SHEETS





# 4TH FLOOR PLAN

SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 7 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

## LEGEND:

- EXIT SIGN W/ EMERGENCY LIGHT
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
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- AREA DRAIN

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FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6A/D-02  
FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 6B/D-02  
FIRE BARRIER (PLB'S WALL)
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FIRE BARRIER
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FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
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- 8'-2" HEADROOM CLERANCE
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- AREA DRAIN AND FLOW DIRECTION
- EVS SEE NOTES

## EVS NOTES :

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OCCUPANCY R2 (APARTMENT)  
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EXIT ACCESS TRAVEL DISTANCE: 400'  
MAX. COMMON PATH OF EGRESS  
TRAVEL DISTANCE: 135'-3"

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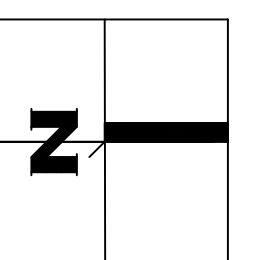
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TITLE **4TH FLOOR PLAN**

SCALE **1/8" = 1'-0"**

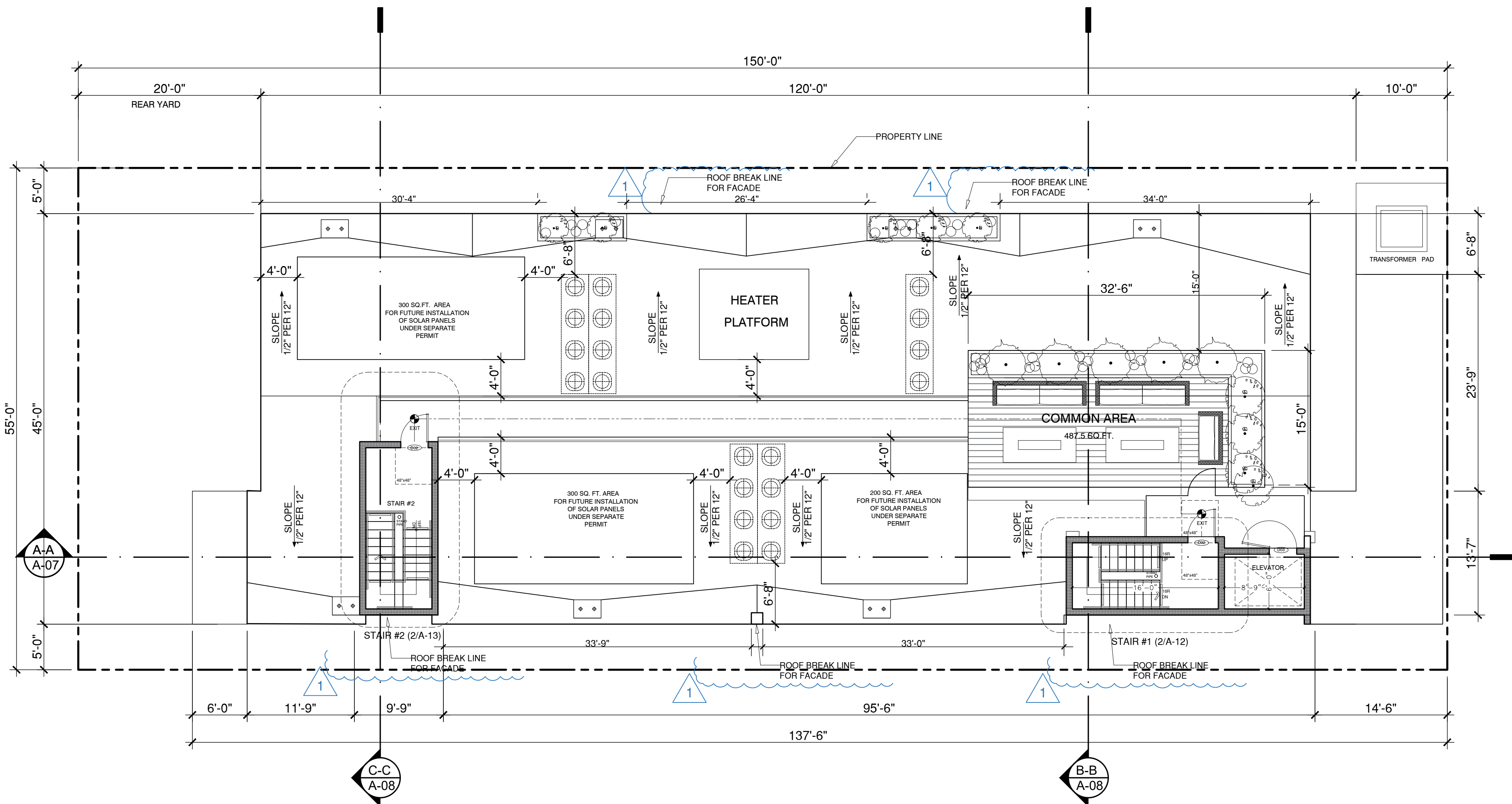


## PAGE NO.:

**A - 05**

ARCHITECTURAL SHEETS





A SIGN SHALL BE POSTED ON EACH DOOR BETWEEN THE STAIRWAY AND ROOF, INDICATING THE FOLLOWING INFORMATION :

OCCUPIED AREA= 487.5 SQ.FT.  
OCCUPANT LOAD 487.5 SQ.FT./15= 33 OCC

GREEN BUILDING SOLAR ROOF NOTES:

ROOF AREA: 5,113 SQ. FT.  
15% REQUIRED: 767 SQ. FT.  
AREA PROVIDED: 800 SQ. FT.

A/C EQUIPMENT  
30" HIGH

WATER HEATER  
PLATFORM  
W/H EQUIPMENT  
48" HIGH

CLASS "A" ROOFING  
CERTAINTED COMMERCIAL ROOFING  
MANUFACTURER'S MODEL# APP-I-3-T  
ICC-ES ESR-1388  
SRI VALUE OF AT LEAST 75 OR BOTH A  
3-YEAR SOLAR REFLECTANCE OF AT LEAST  
0.63 AND A THERMAL EMITTANCE OF AT  
LEAST 0.75

BMPs NOTES:

ALL ROOF RUNOFF TO DRAIN TO PLANTER BOX

ALL DOWNSPOUTS TO DRAIN TO PLANTER BOX

ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORM  
WATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN  
WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF  
PUBLIC WORKS, BUREAU OF SANITATION PRIOR TO  
CONSTRUCTION OF BMPs.

ROOF & DRAIN NOTES:

USE CHAPTER 11 OF THE LAPC TO SIZE THE DRAINS AND  
OVERFLOWS.

THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE  
INDEPENDENT LINES TO A YARD BOX

ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER PUBLIC  
PROPERTY. IT MUST BE CONDUCTED UNDER SIDEWALK.

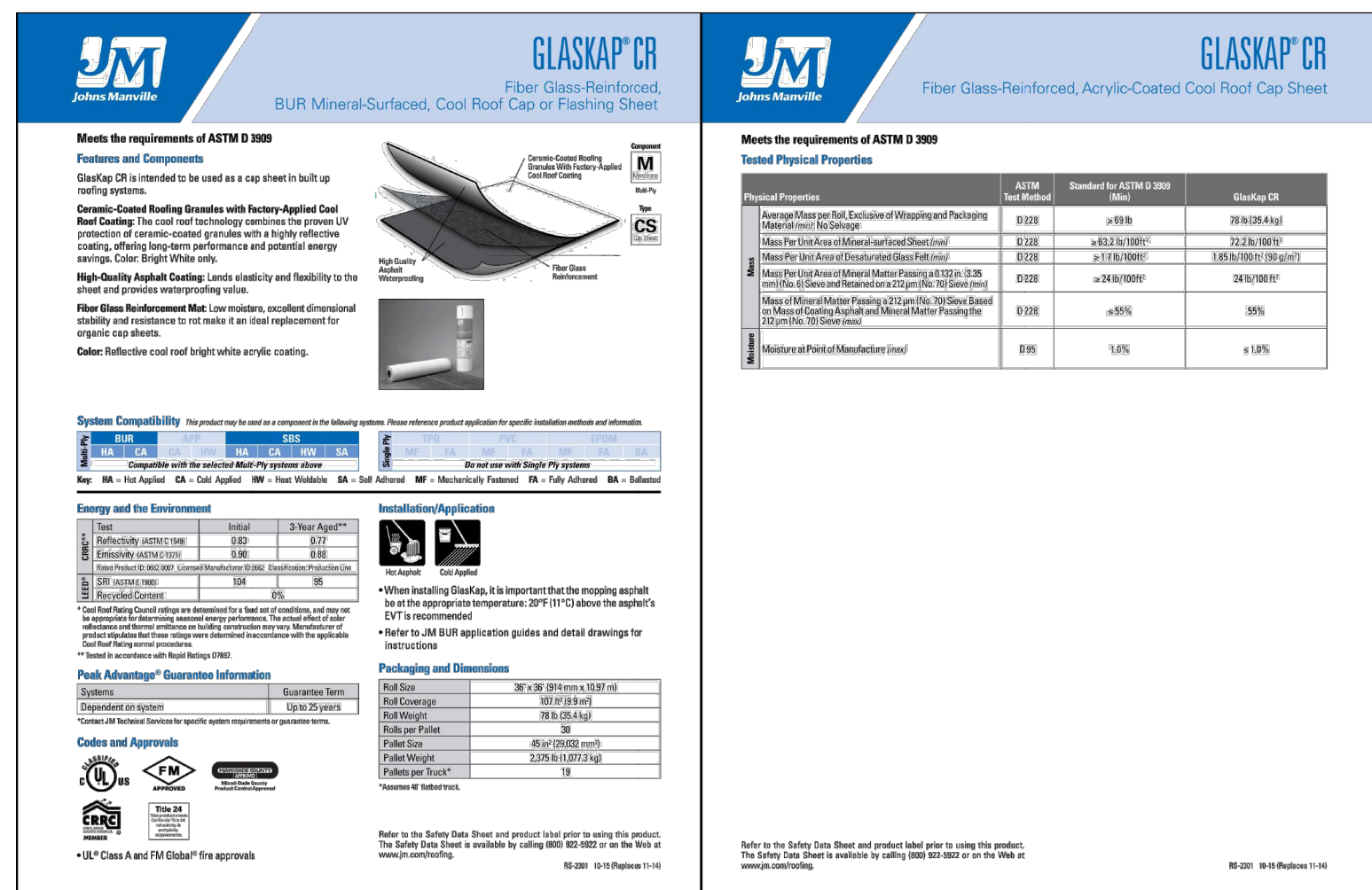
OVERFLOW SCUPPERS SHALL BE DESIGNED IN ACCORDANCE  
TO TABLE 11-1 OF LAPC AND SHALL BE LOCATED NOT MORE  
THAN 2' ABOVE THE LOW POINT OF THE ROOF.

ALL ROOF RUNOFF TO DRAIN TO BMP DEVICES  
PER LID PLANS

PROVIDE ROOF TIE BACK.  
PROVIDE CONSTRUCTION  
PASSENGER HOIST ELEVATOR

NOTES:  
CAL-OSHA PERMIT REQUIRES THE GENERAL CONTRACTOR TO  
ASK THE FOLLOWING CONTRACTORS TO OBTAIN PERMIT  
BEFORE BEFORE STARTING CONSTRUCTION:  
1. FRAMING CONTRACTOR  
2. EXCAVATION OR GRADING CONTRACTOR  
3. SCAFFOLDING CONTRACTOR

- ROOF TIE BACKS ARE REQUIRED WHEN THE BUILDING IS  
OVER 48 FT. IN HEIGHT TITLE 8 SEC. 3291(f)  
- SCAFFOLDING SUSPENSION DAVITS, OUTRIGGERS OR OTHER  
METHODS ARE REQUIRED WHEN THE BUILDING IS OVER 60 FT.  
IN HEIGHT, TITLE 8 SEC. 3292  
- PARAPET/ GUARDRAILS SHALL BE PROVIDED ON ALL OPEN  
SIDES OF UNENCLOSED ELEVATED WORK LOCATIONS AS PER  
CCR TITLE 8 SECTION 3210(a)  
- CAVE-IN PROTECTION IS REQUIRED FOR ALL EXCAVATIONS  
EXCEPT FOR THOSE LESS THAN 5 FT. IN DEPTH AND  
EXAMINATION OF THE GROUND BY A COMPETENT PERSON  
PROVIDES NO INDICATION OF POTENTIAL CAVE-IN PER TITLE 8  
SECTION 154.1  
- DAILY INSPECTIONS OF EXCAVATIONS, THE ADJACENT AREAS,  
AND PROTECTIVE SYSTEMS SHALL BE MADE BY A COMPETENT  
PERSON PER TITLE 8 SECTION 1541(k)

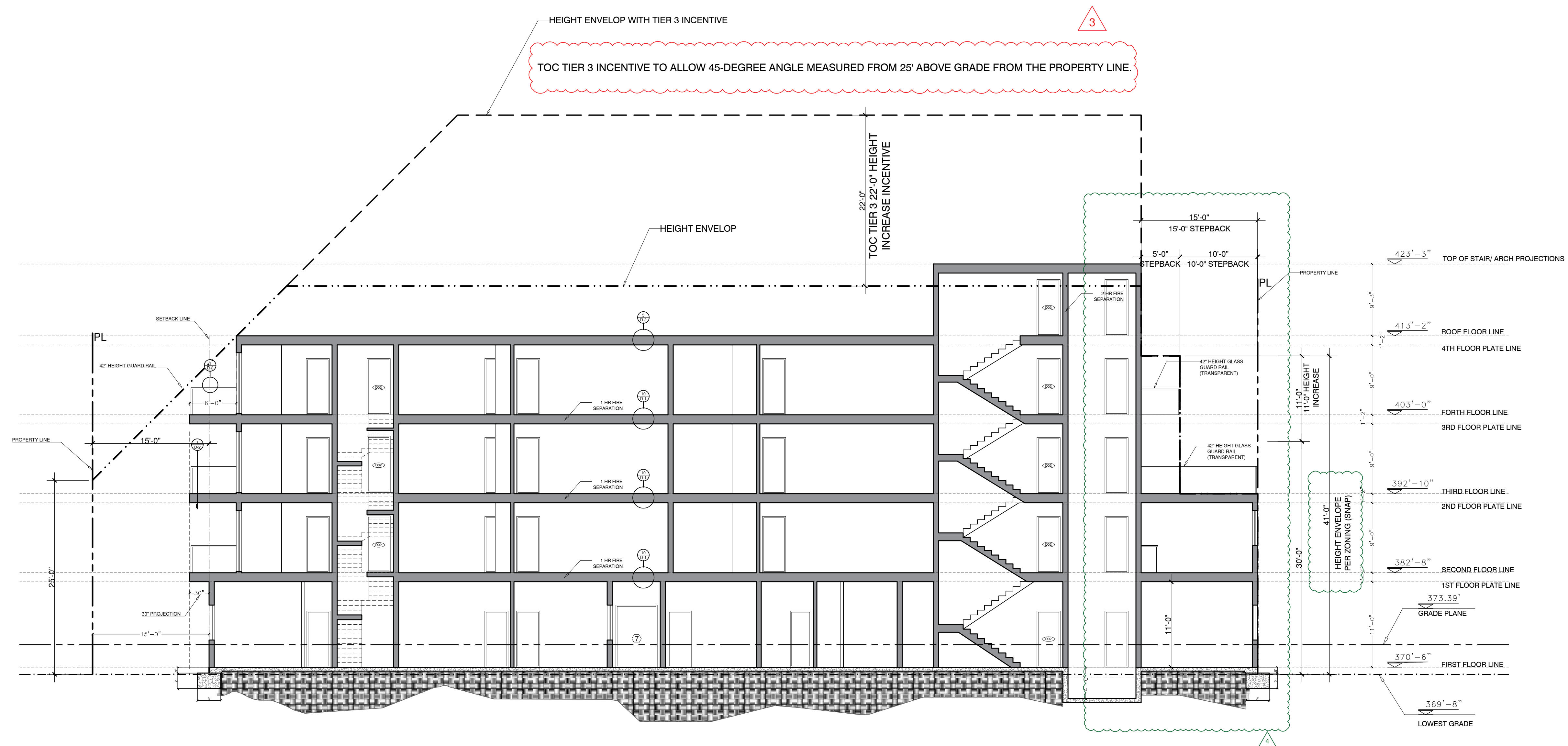


**EXHIBIT "A"**  
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**ROOF PLAN**

SCALE: 1/8" = 1'-0"





SECTION A-A  
SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 9 of 34  
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5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

**DESCRIPTION :**

DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

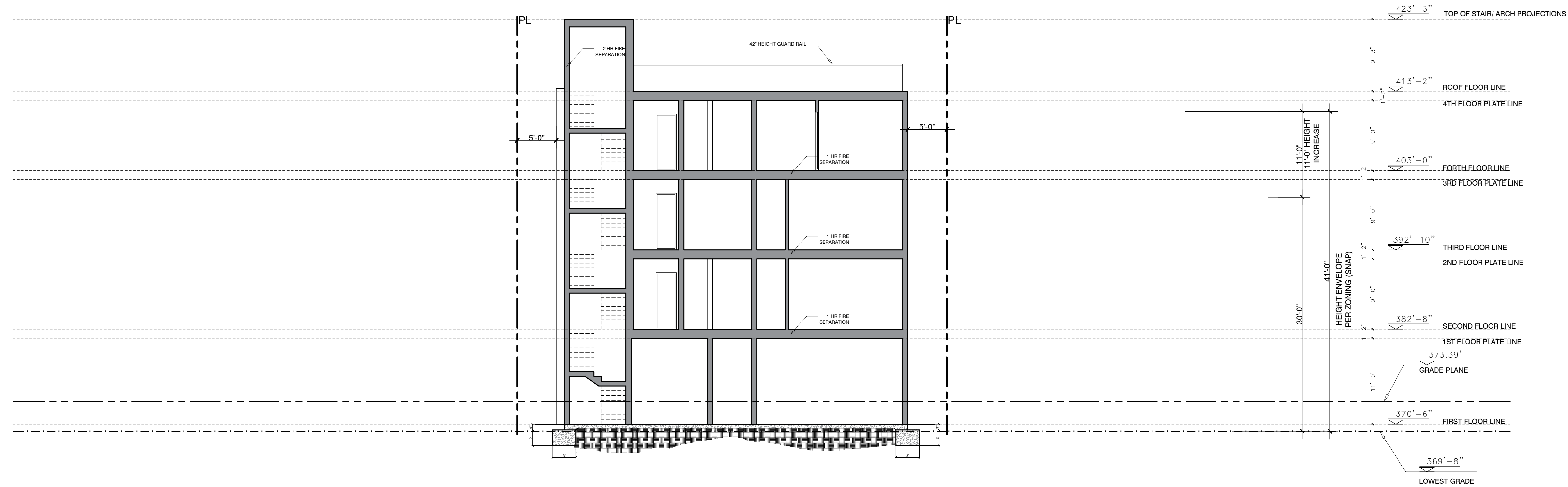
**TITLE**  
**B-B/C-C SECTIONS**

**SCALE**  
**1/8" - 1'-0"**

**PAGE NO.:**

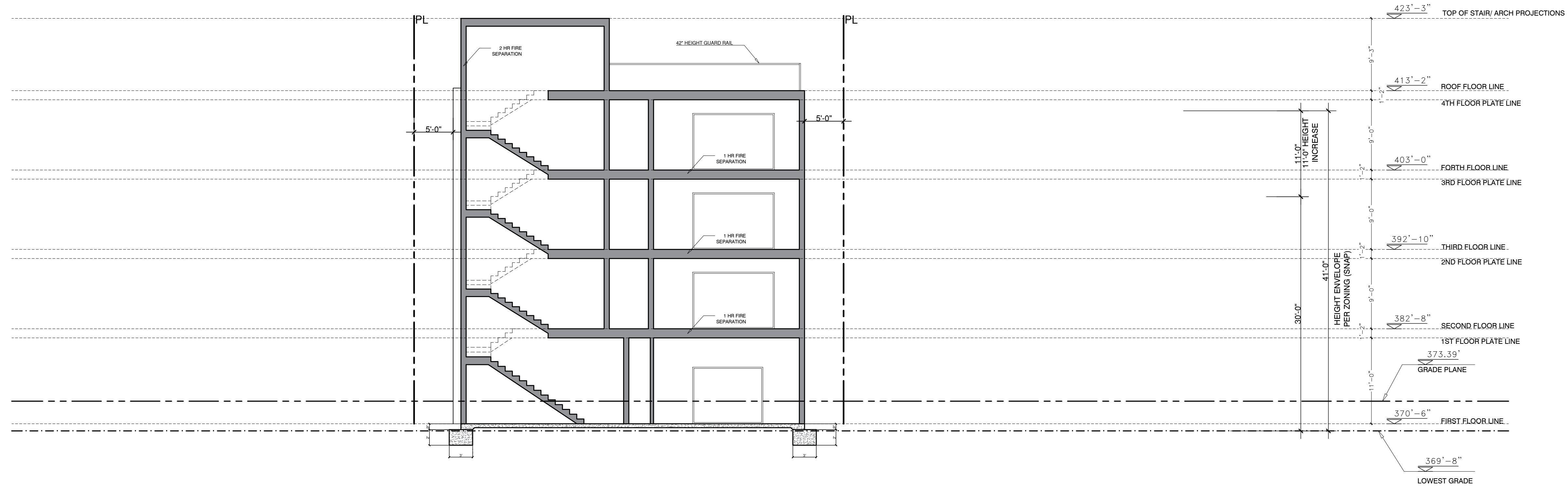
**A - 08**

ARCHITECTURAL SHEETS



**SECTION B-B**

SCALE: 1/8"=1'-0"



**SECTION C-C**

SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 10 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA



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REV.3: 04/26/2024  
REV.4: 07/30/2024TITLE FRONT / REAR  
ELEVATIONS

SCALE 1/8" = 1'-0"

## PAGE NO.:

A - 09

ARCHITECTURAL SHEETS

1. SMOOTH 7/8" STUCCO (PATTERNED) , COLOR : WHITE
2. SMOOTH 7/8" STUCCO , COLOR : LIGHT GREY
3. SMOOTH 7/8" STUCCO , COLOR : DARK GREY
4. DECK RAILING , COLOR , BLACK METAL
5. STANDARD TEMPERED GLASS (TRANSPARENT)
6. 1/2"x1/2" , METAL SHEET , COLOR : BLACK
7. 2"x1" , METAL SHEET , COLOR : BLACK
8. METAL GUARDRAILS SHALL BE IN A MINIMUM HEIGHT OF 42" MEASURED FROM TOP OF FINISH SURFACE UNLESS NOTED OTHERWISE , LESS THAN 4" CLEAR OPENING MAXIMUM. (BLACK)
9. GLASS DOOR
10. STAIN STEEL SHEET , COLOR : GREY
11. LIGHTED ADDRESS SIGN

## EXTERIOR WALL OPENING:

1ST FLOOR LEVEL:  
TOTAL EXTERIOR WALL AREA: 471.60 SQ. FT.  
TOTAL OPENING AREA: 264.75 SQ. FT.  
264.75/471.60= 56.14%

2ND FLOOR LEVEL:  
TOTAL EXTERIOR WALL AREA: 466.5 SQ. FT.  
TOTAL OPENING AREA: 185.34 SQ. FT.  
185.34/466.5=39.72%

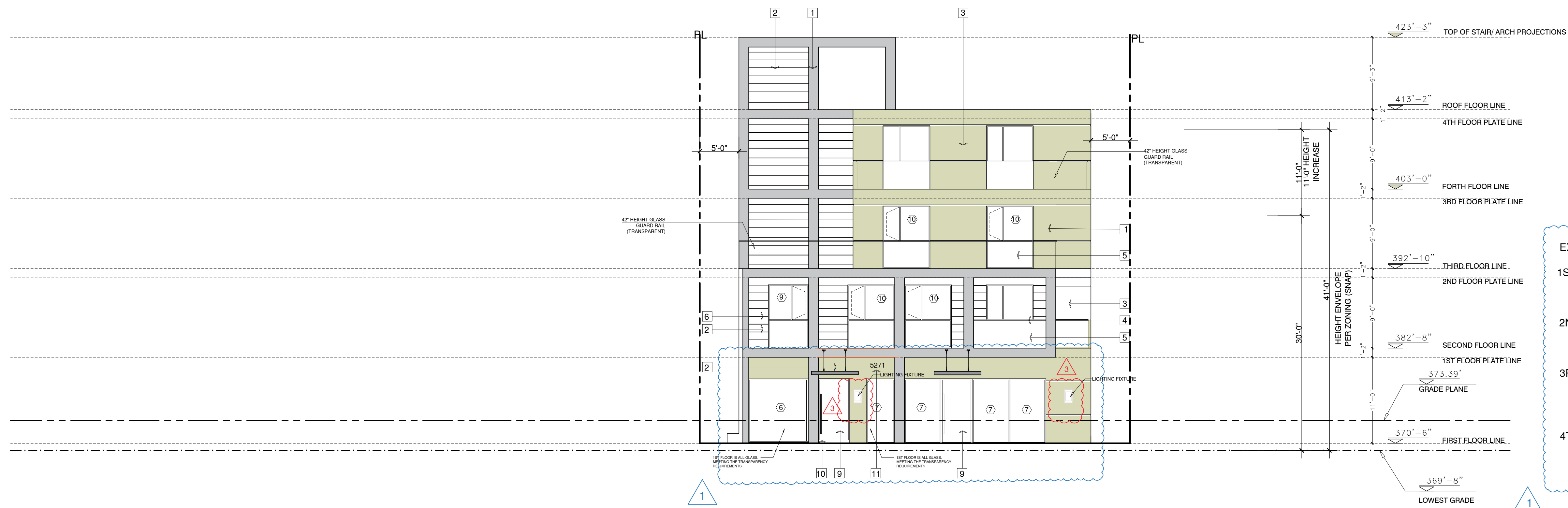
3RD FLOOR LEVEL:  
TOTAL EXTERIOR WALL AREA: 466.5 SQ. FT.  
TOTAL OPENING AREA: 185.34 SQ. FT.  
185.34/466.5=39.72%

4TH FLOOR LEVEL:  
TOTAL EXTERIOR WALL AREA: 466.5 SQ. FT.  
TOTAL OPENING AREA: 144 SQ. FT.  
144/466.5= 30.86%

## BMP NOTE:

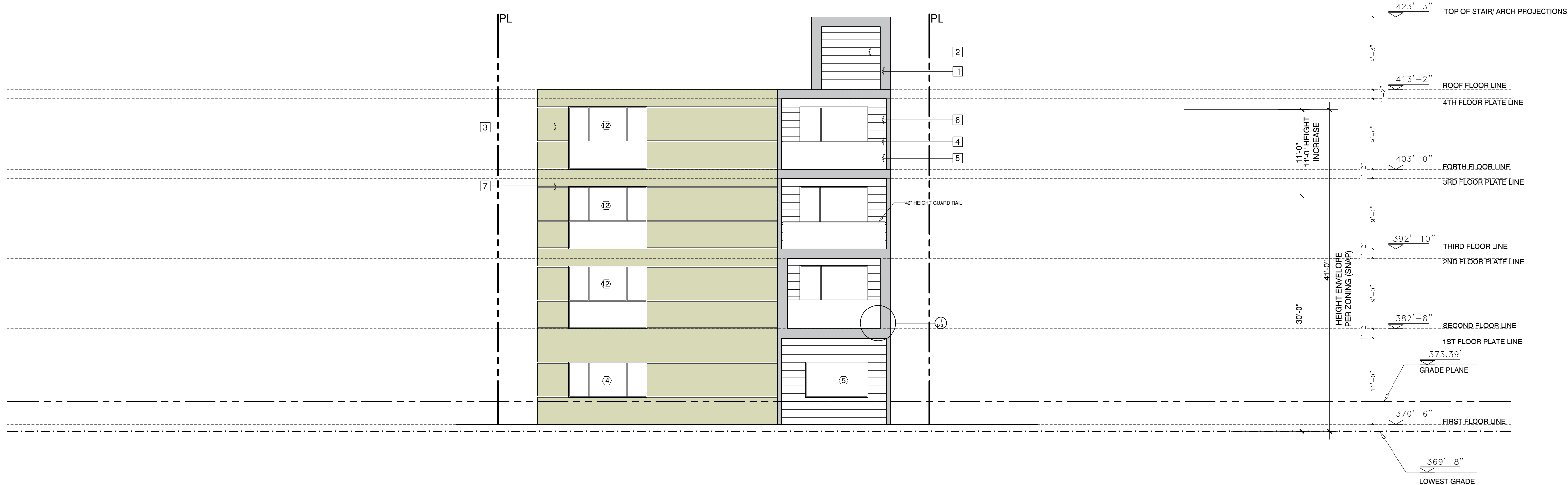
ALL ROOF RUNOFF TO DRAIN TO PLANTER BOX  
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## BMP NOTE:

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## PROPOSED SOUTH ELEVATION

SCALE: 1/8"= 1'-0"



## PROPOSED NORTH ELEVATION

SCALE: 1/8"= 1'-0"

**EXHIBIT "A"**  
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REV.4: 07/30/2024

TITLE  
PRIVACY OVERLAY  
DIAGRAM

SCALE  
1/8" - 1'-0"

PAGE NO.:

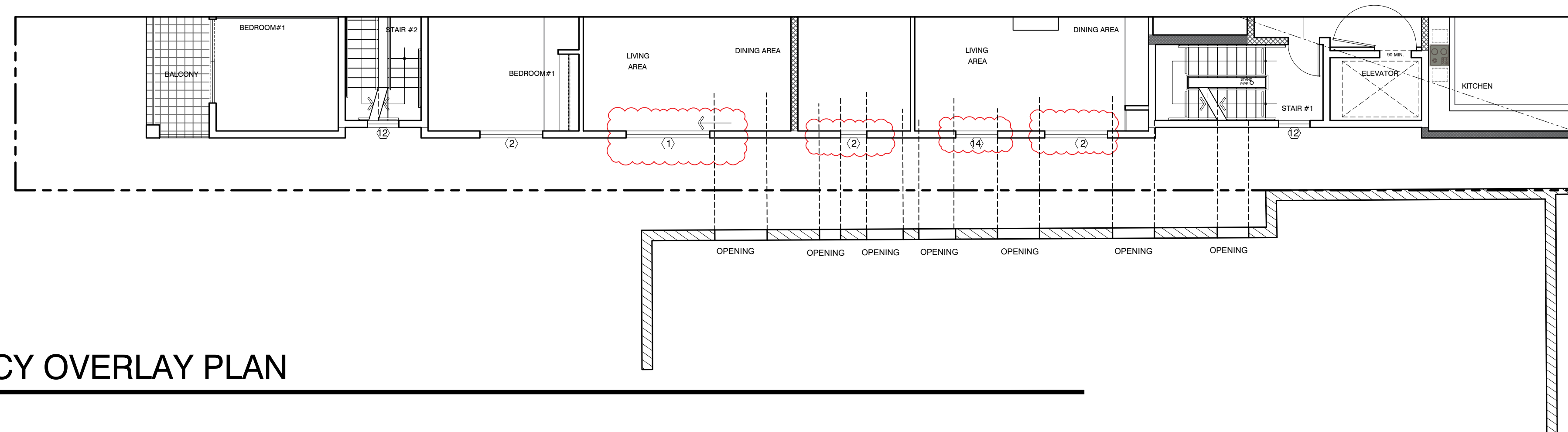
A - 10.1

ARCHITECTURAL SHEETS



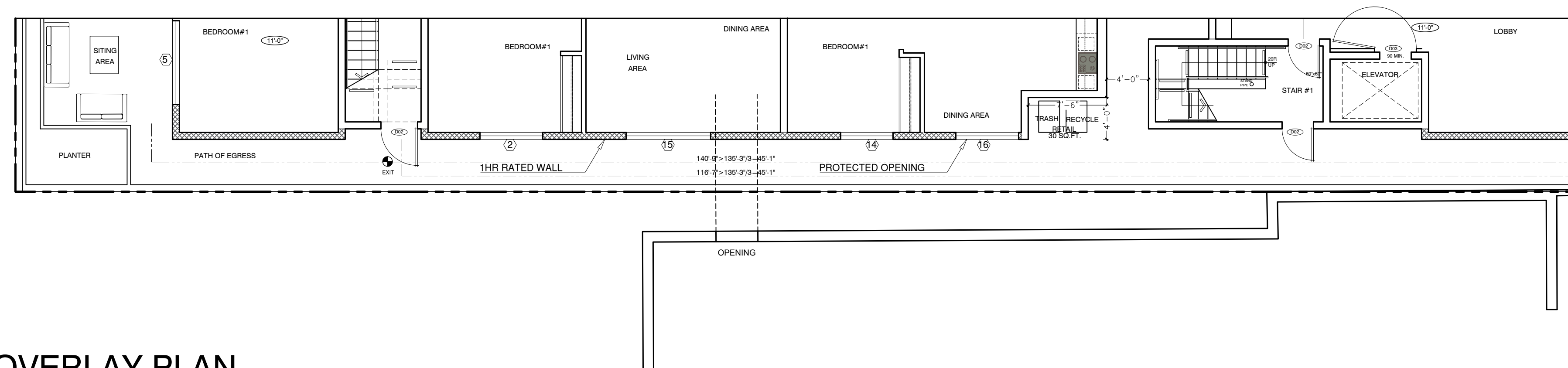
PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0"



SECOND FLOOR PRIVACY OVERLAY PLAN

SCALE: 1/8"=1'-0"



FIRST FLOOR PRIVACY OVERLAY PLAN

SCALE: 1/8"=1'-0"

**EXHIBIT "A"**  
Page No. 13 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA



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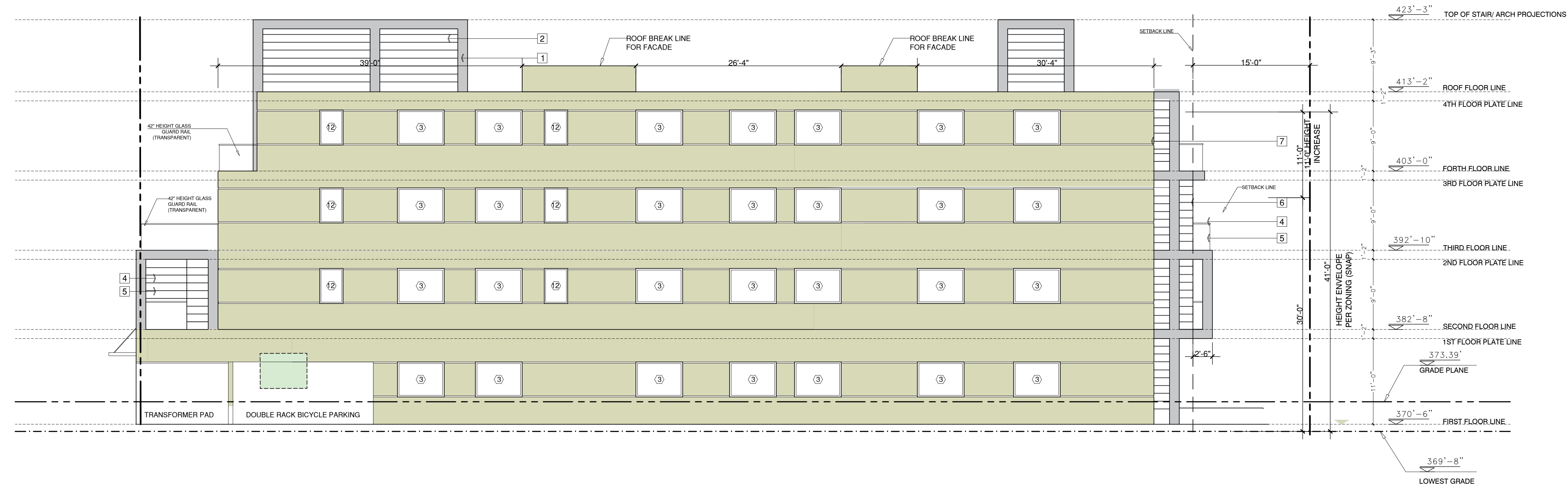
## PRIVACY OVERLAY DIAGRAM

1/8" - 1'-0"

**PAGE NO.:**

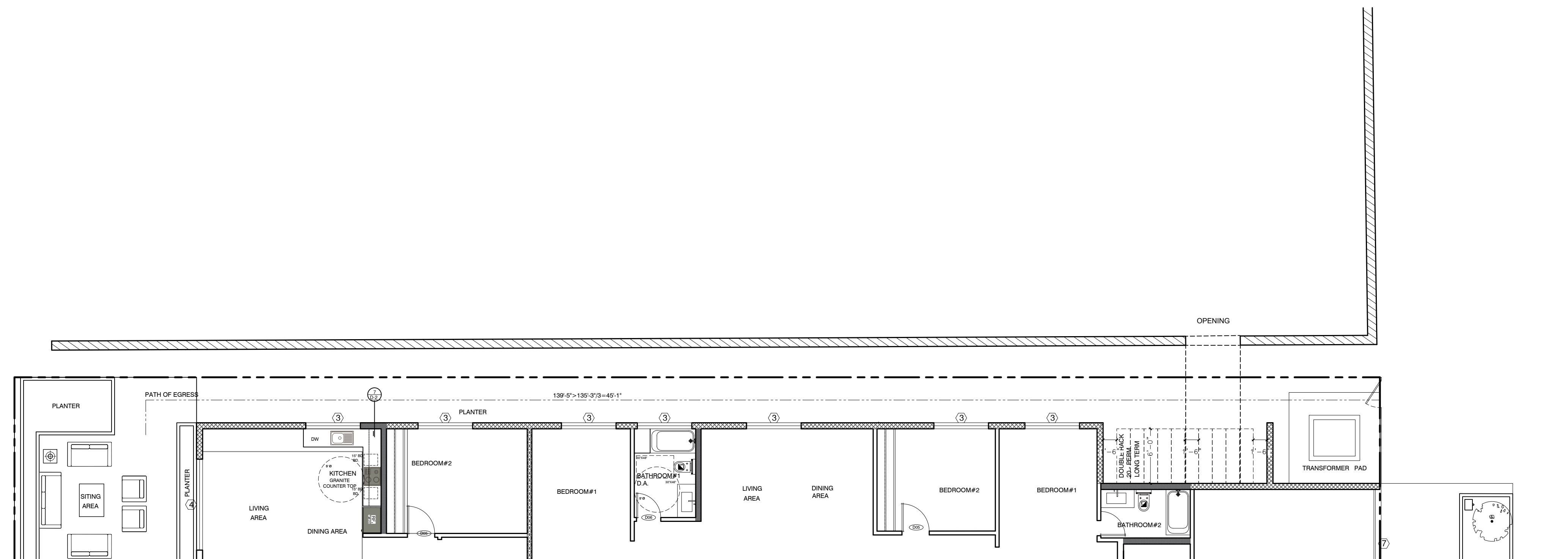
## A - 10.2

ARCHITECTURAL SHEETS



## PROPOSED EAST ELEVATION

SCALE: 1/8"=1'-0"

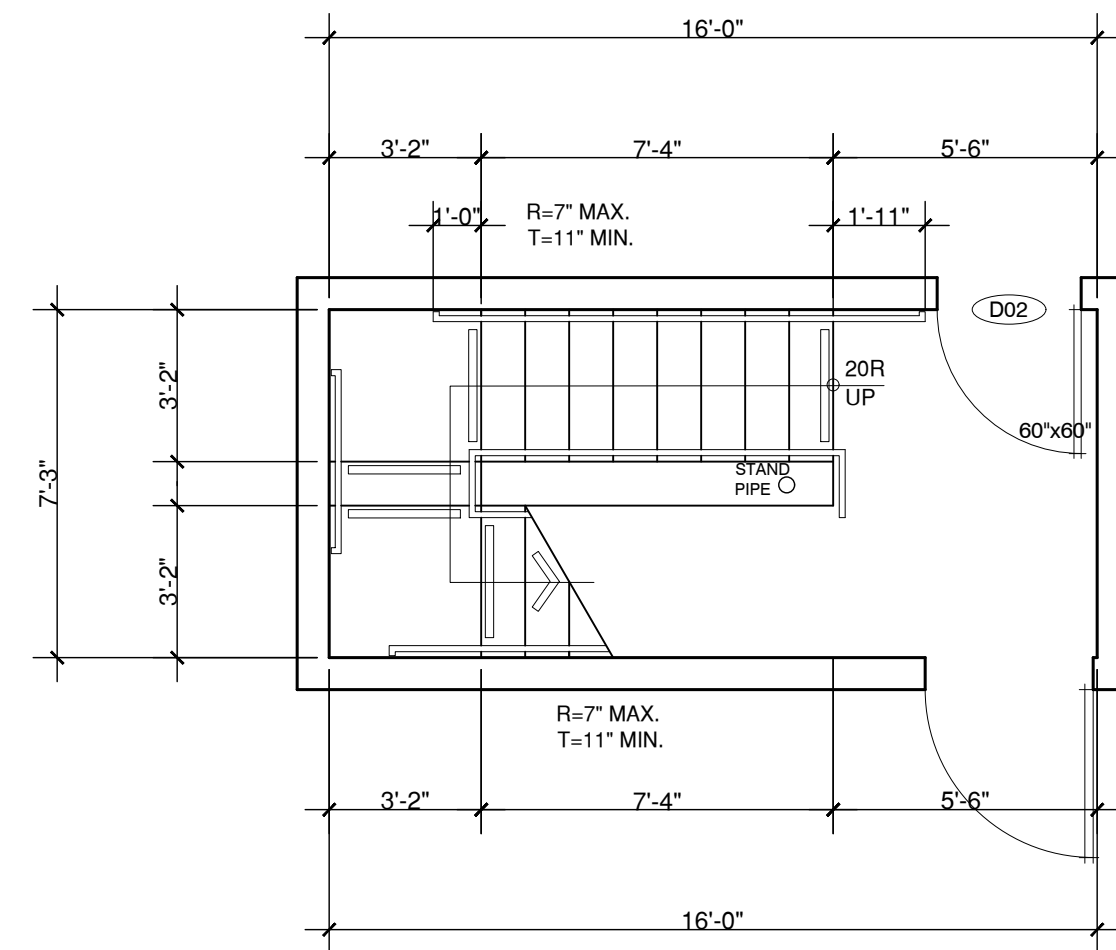


## FIRST FLOOR PRIVACY OVERLAY PLAN

SCALE: 1/8"=1'-0"

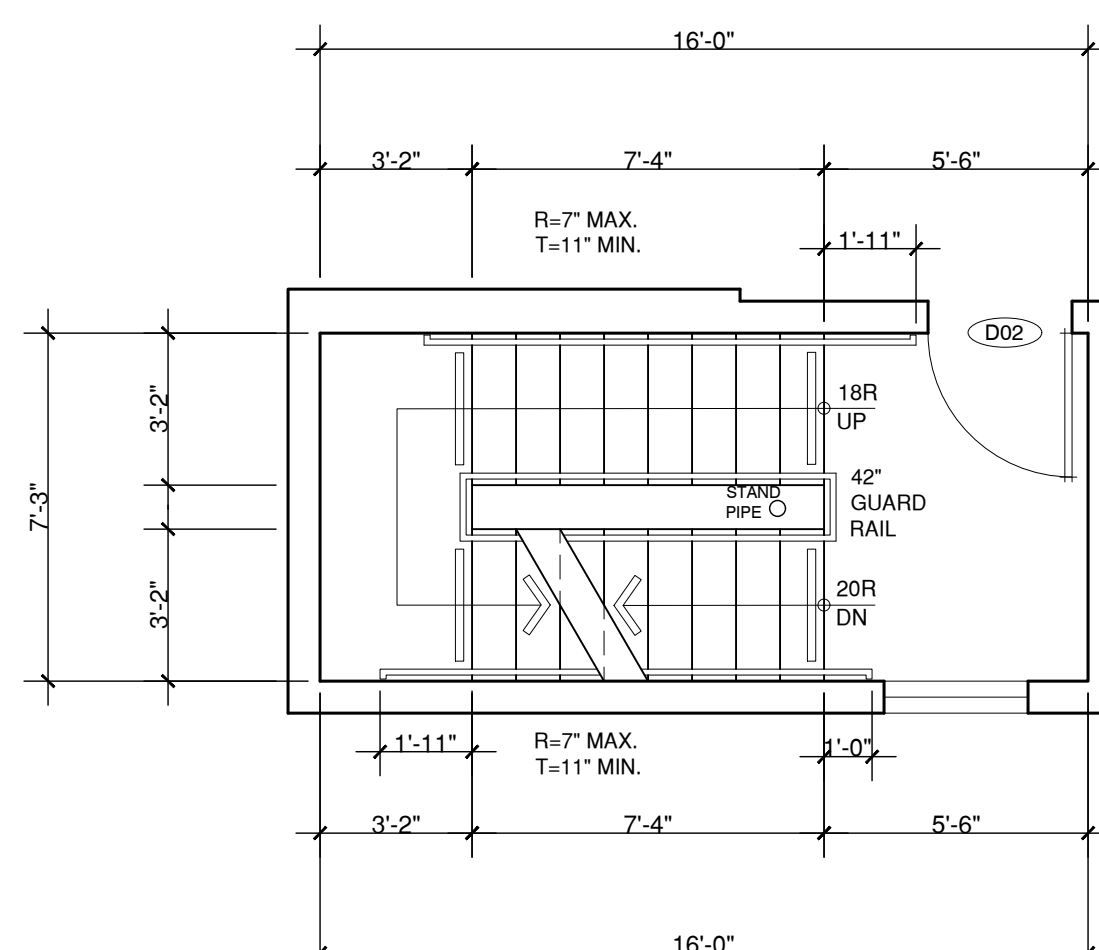
**EXHIBIT "A"**  
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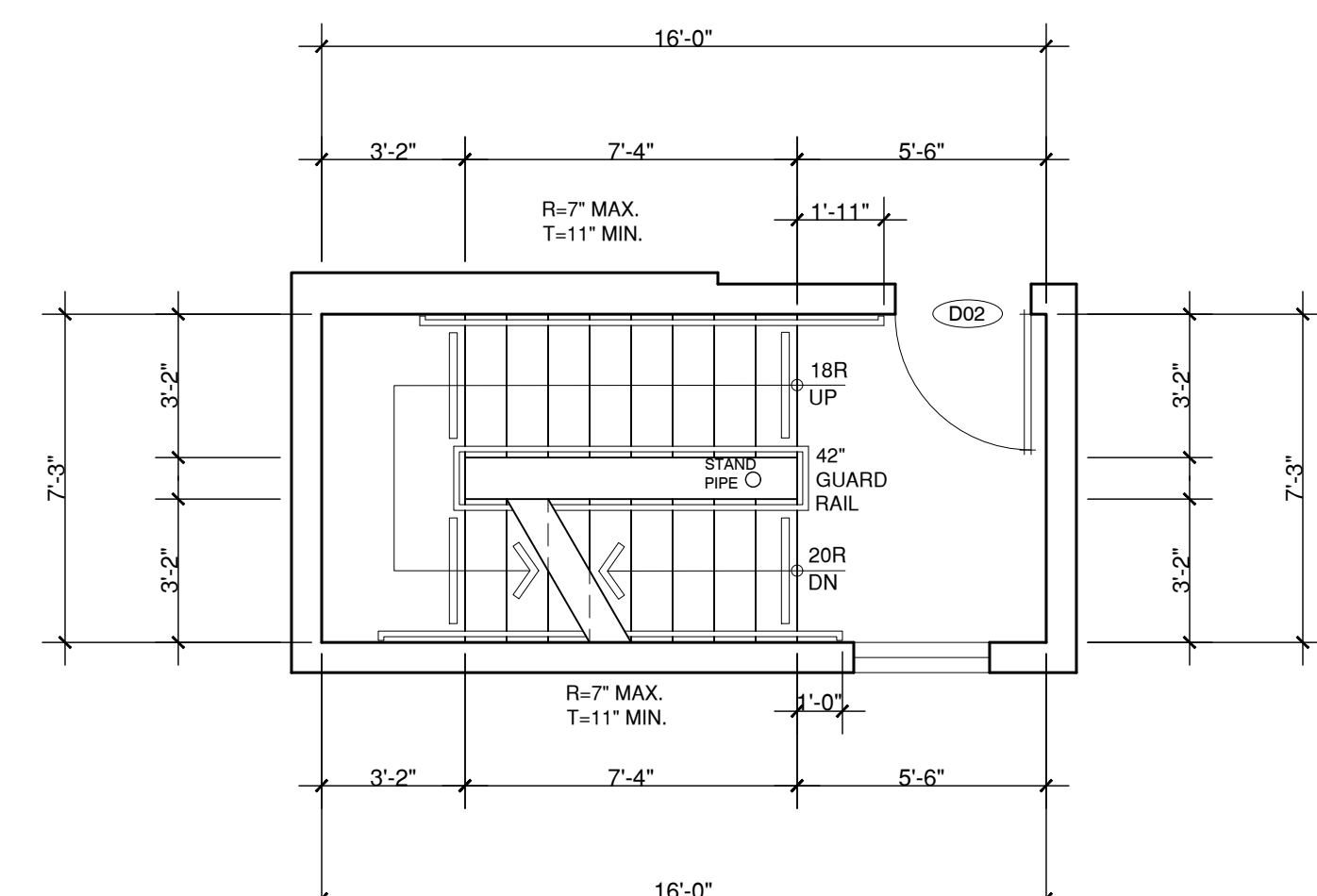
**1 STAIR #1 FIRST FLOOR**

SCALE : 1/4 =1'-0"



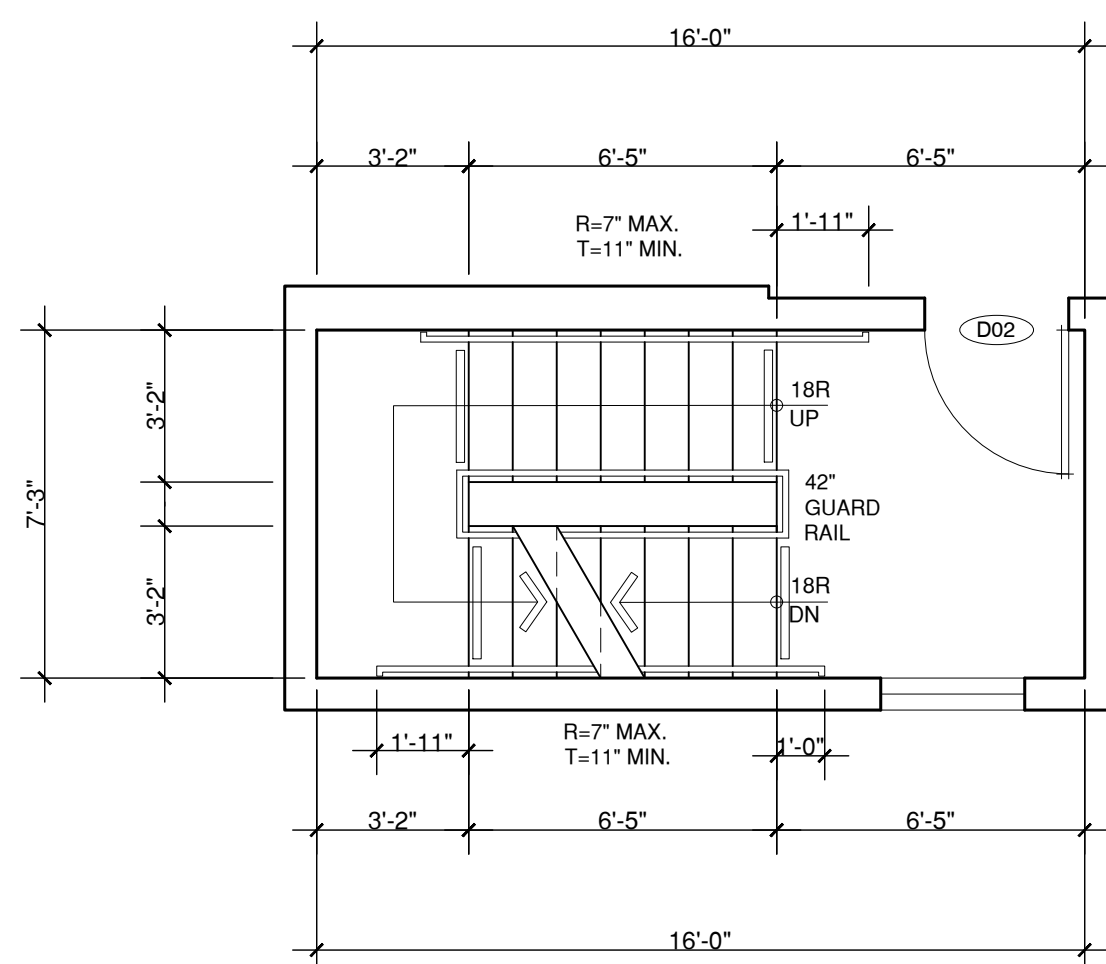
**2 STAIR #1 SECOND FLOOR**

SCALE : 1/4 =1'-0"



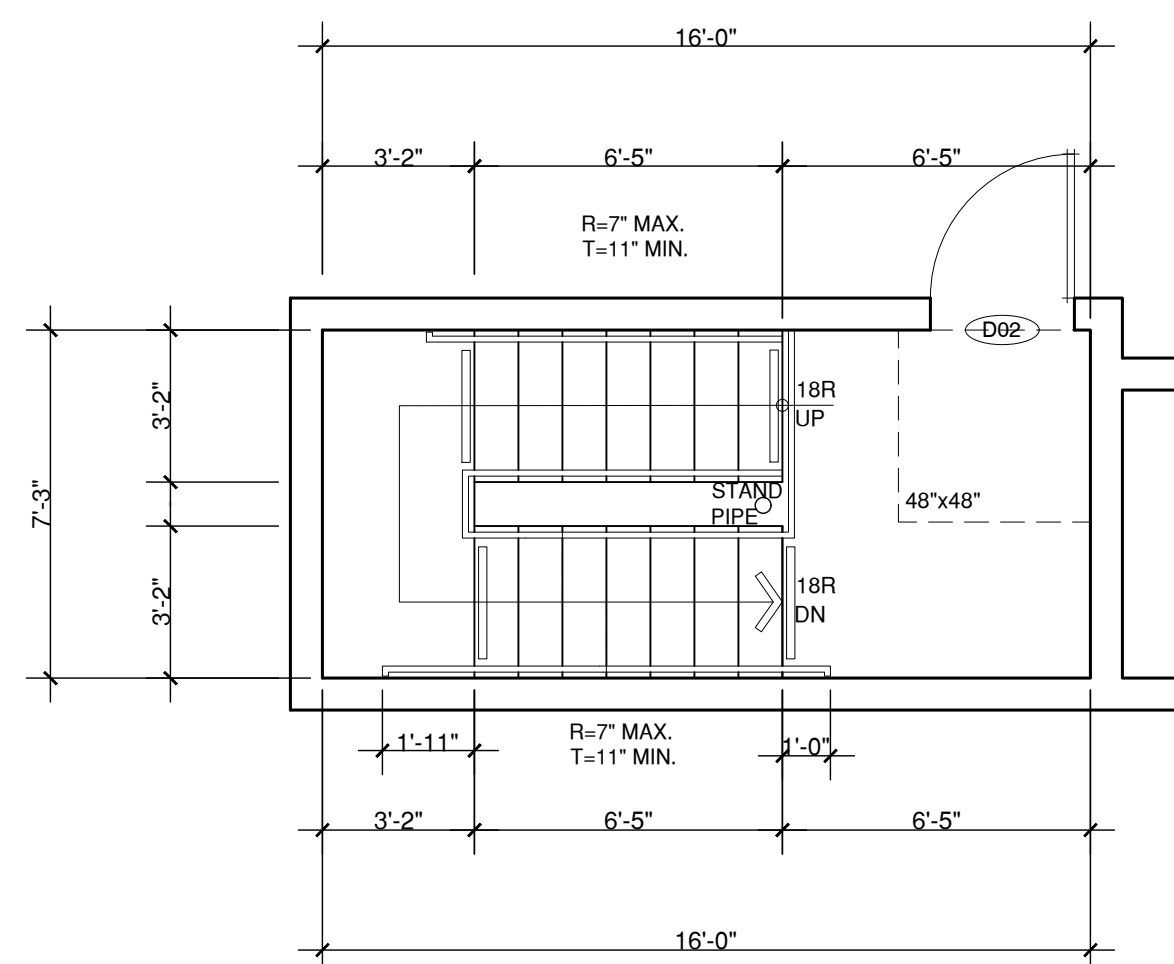
**3 STAIR #1 THIRD FLOOR**

SCALE : 1/4 =1'-0"



**4 STAIR #1 FORTH FLOOR**

SCALE : 1/4 =1'-0"



**5 STAIR #1 ROOF LEVEL**

SCALE : 1/4 =1'-0"

**ENLARGED STAIR PLAN**

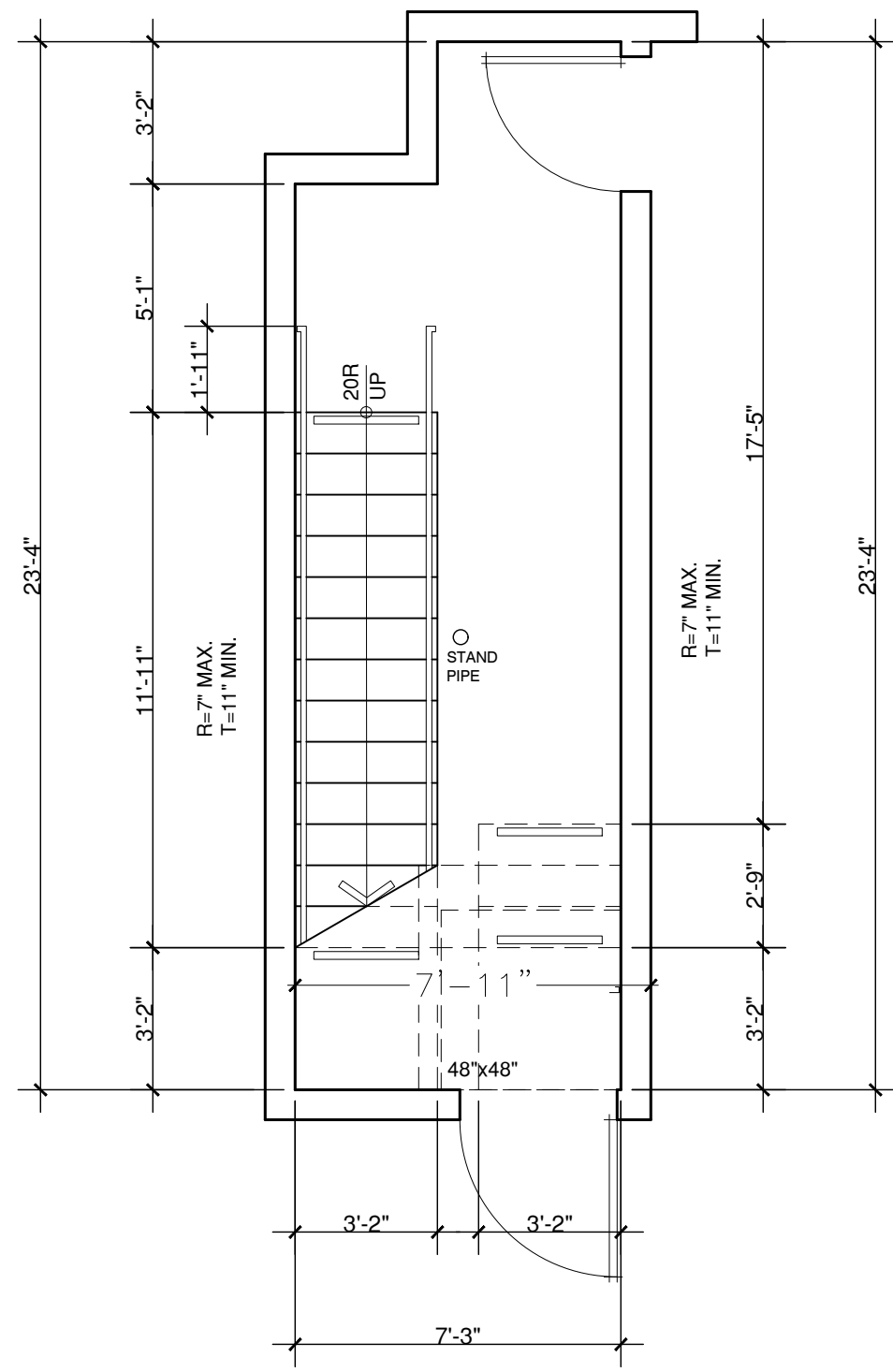
SCALE: 1/4"=1'-0"

**EXHIBIT "A"**

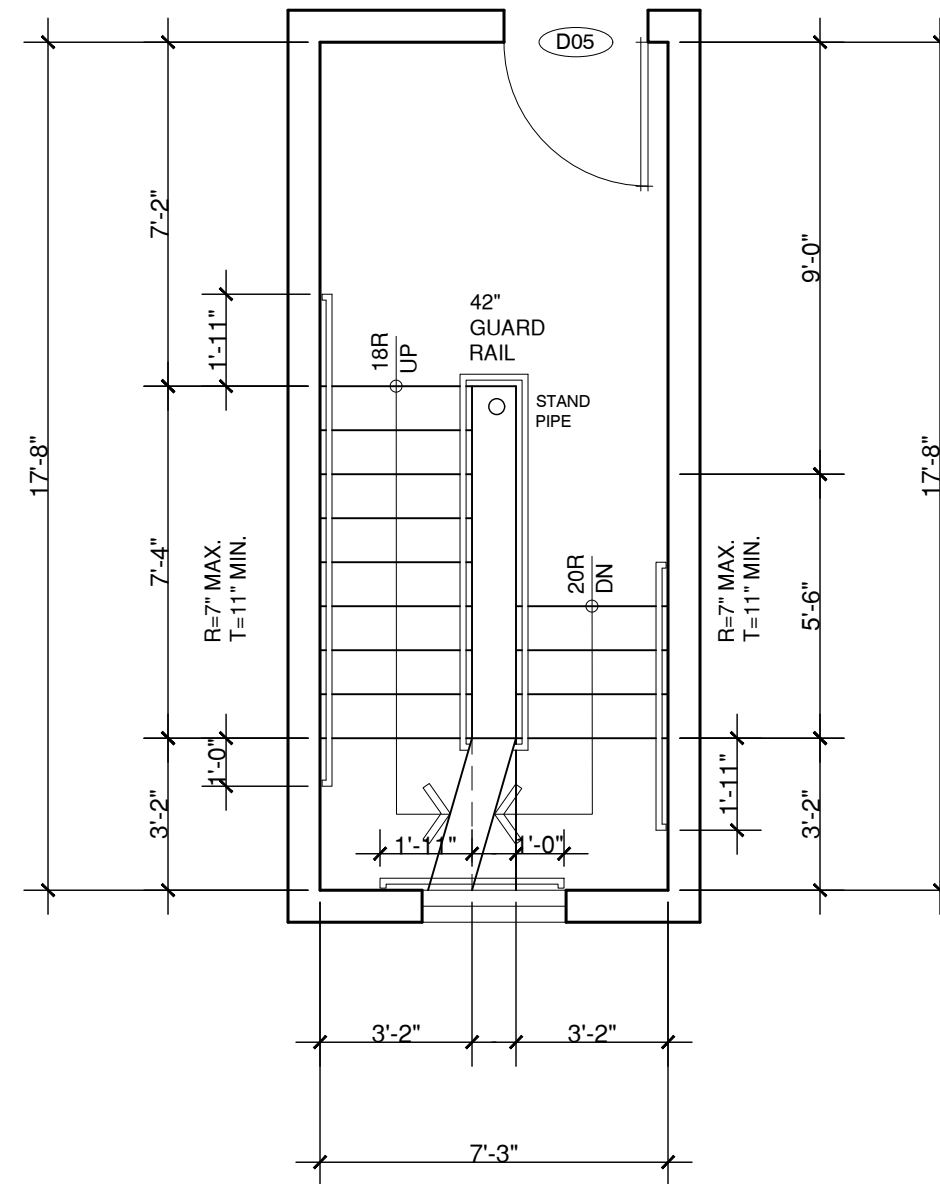
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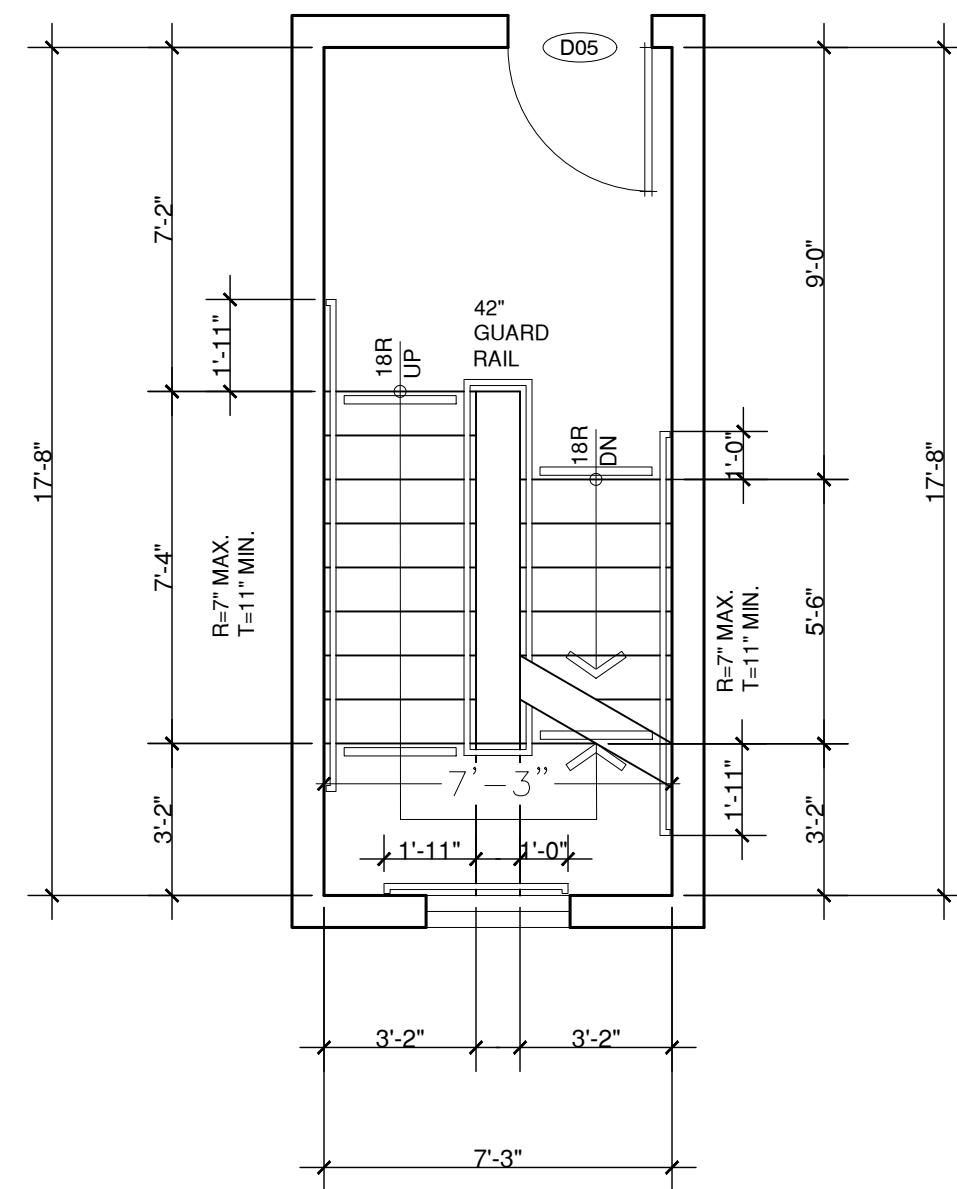




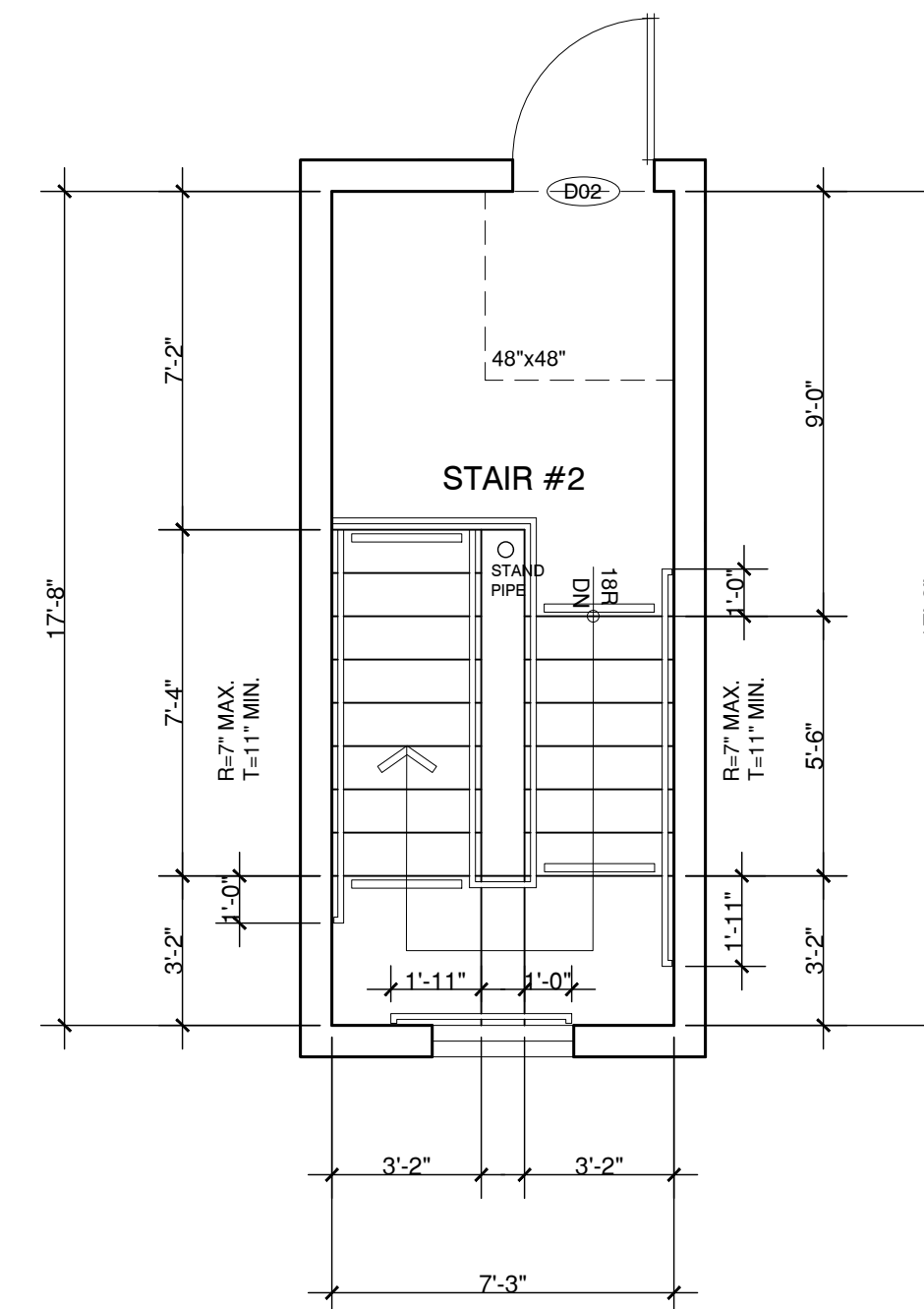
1 STAIR #2 FIRST FLOOR  
SCALE : 1/4"=1'-0"



2 STAIR #2 SECOND FLOOR  
SCALE : 1/4"=1'-0"



3 STAIR #2 THIRD&4TH FLOOR  
SCALE : 1/4"=1'-0"



4 STAIR #2 ROOF LEVEL  
SCALE : 1/4"=1'-0"

## ENLARGED STAIR PLAN

SCALE: 1/4"=1'-0"

**CARPIRA  
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GROUP  
COMPANY**

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TITLE **ENLARGED  
STAIR PLAN**

SCALE **1/4" - 1'-0"**

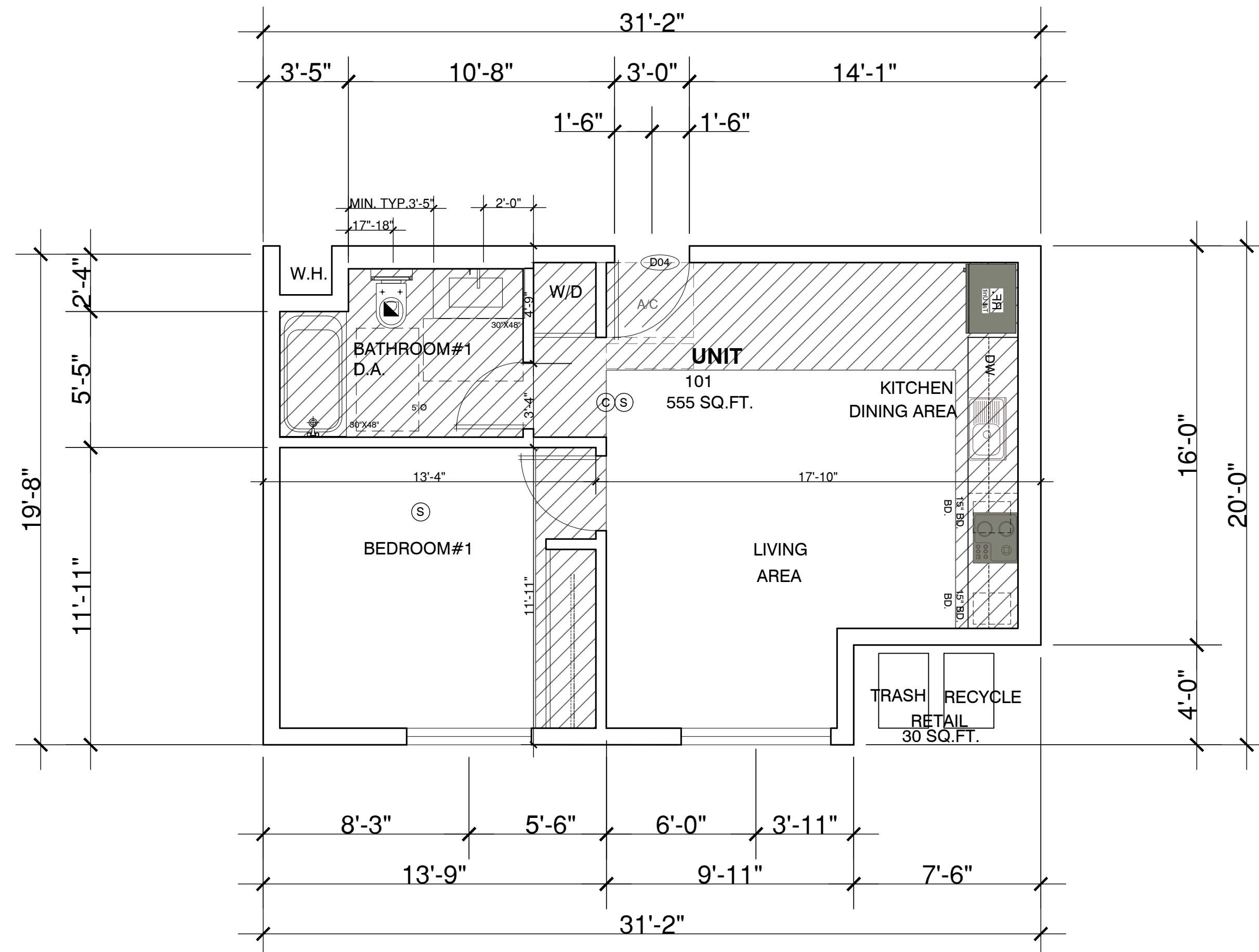
PAGE NO.:

**A - 12**

ARCHITECTURAL SHEETS

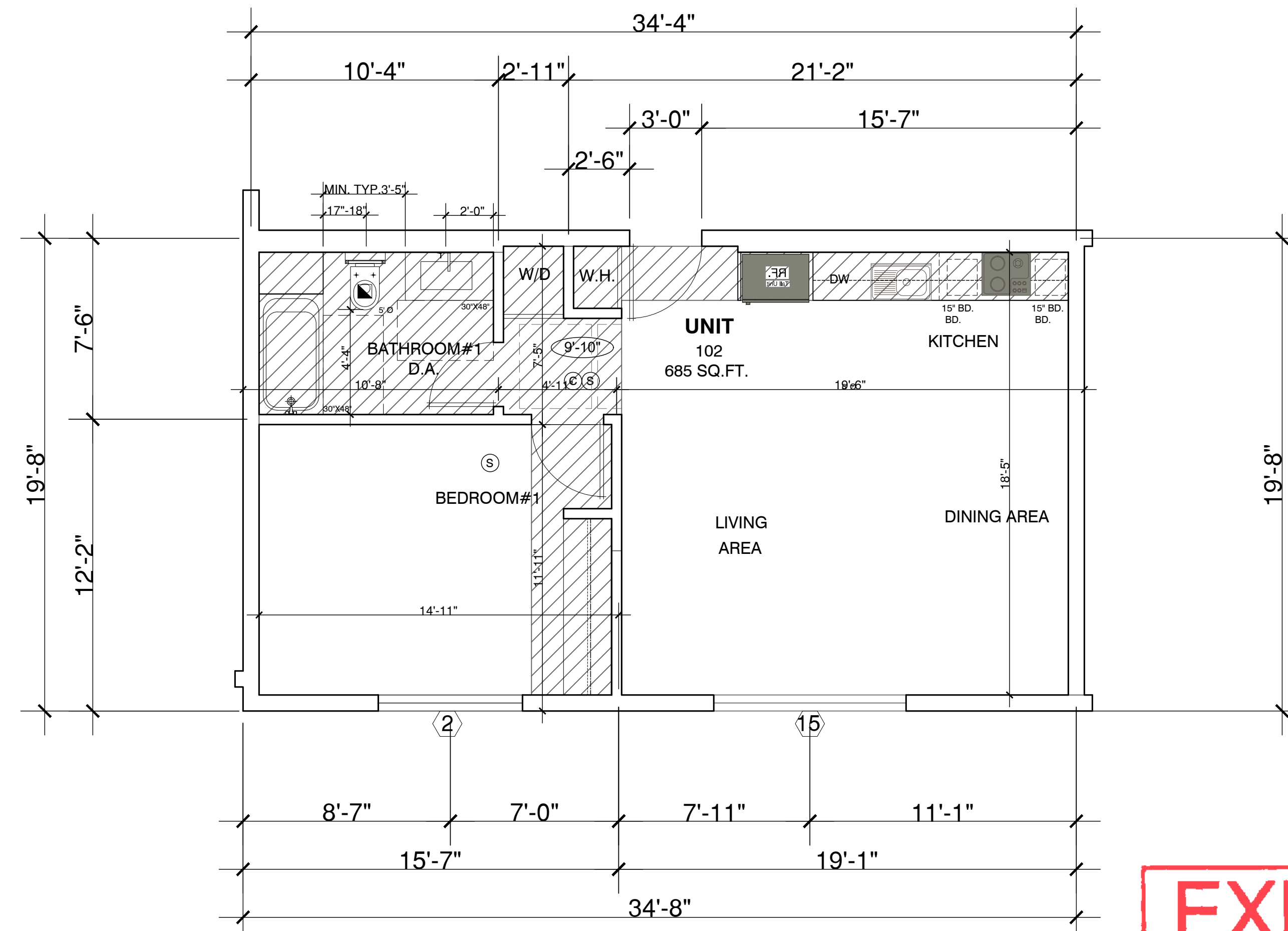
**EXHIBIT "A"**  
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TYPICAL UNIT 101

SCALE: 1/4"=1'-0"

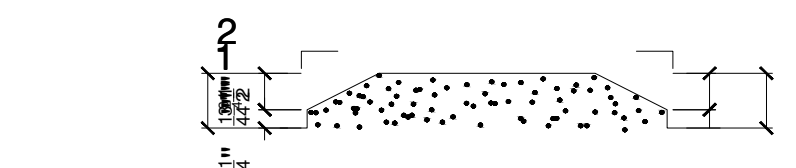


TYPICAL UNIT 102

SCALE: 1/4"=1'-0"

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- L/W DIST. PANEL
- ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10" ALSO SEE 6&7 A-24 12/A-25

ADAPTABLE GRAB BAR FLOOR OR SIDE NOTE: USE FRONT LOADED APPLIANCES OR PROVIDE ASSISTIVE DEVICE THRESHOLD



5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

OPTION #2  
SEE SHT#SP-05, SP-06, SP-07 FOR TYPICAL NOTES

- 30" SINK COUNTER WITH REMOVABLE BASE CABINET AND FINISHED FLOOR UNDER THE CABINET AND 36" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26
- PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDE OF TOILET FOR FUTURE GRAB BARS. SEE SHEET #SP-07 SECTION D BATHING AND TOILET FACILITIES, WATER CLOSET #2 DETAILS 8/A-26. PROVIDE TOILET FLUSH CONTROL ON THE WIDE SIDE.
- PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDES OF TUB/ SHOWER 32" TO 38" ABOVE FLOOR FOR FUTURE GRAB BARS. SEE SHEET #SP-06 SECTION D BATHING AND TOILET FACILITIES, BATH TUBS #2 DETAIL 8/A-26. PROVIDE ADDITIONAL BACKING ON FLOOR FOR FUTURE POSSIBLE FLOOR MOUNTED GRAB BAR.
- REMOVABLE BASE CABINET UNDER ADAPTAVLE LAVATORY. FINISHED FLOOR UNDER THE CABINET AND 34" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26

EXHIBIT "A"  
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Case No. DIR-2023-2587-TOC-SPP-VHCA

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GROUP  
COMPANY

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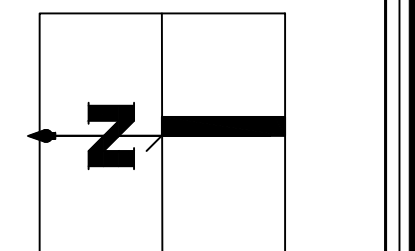
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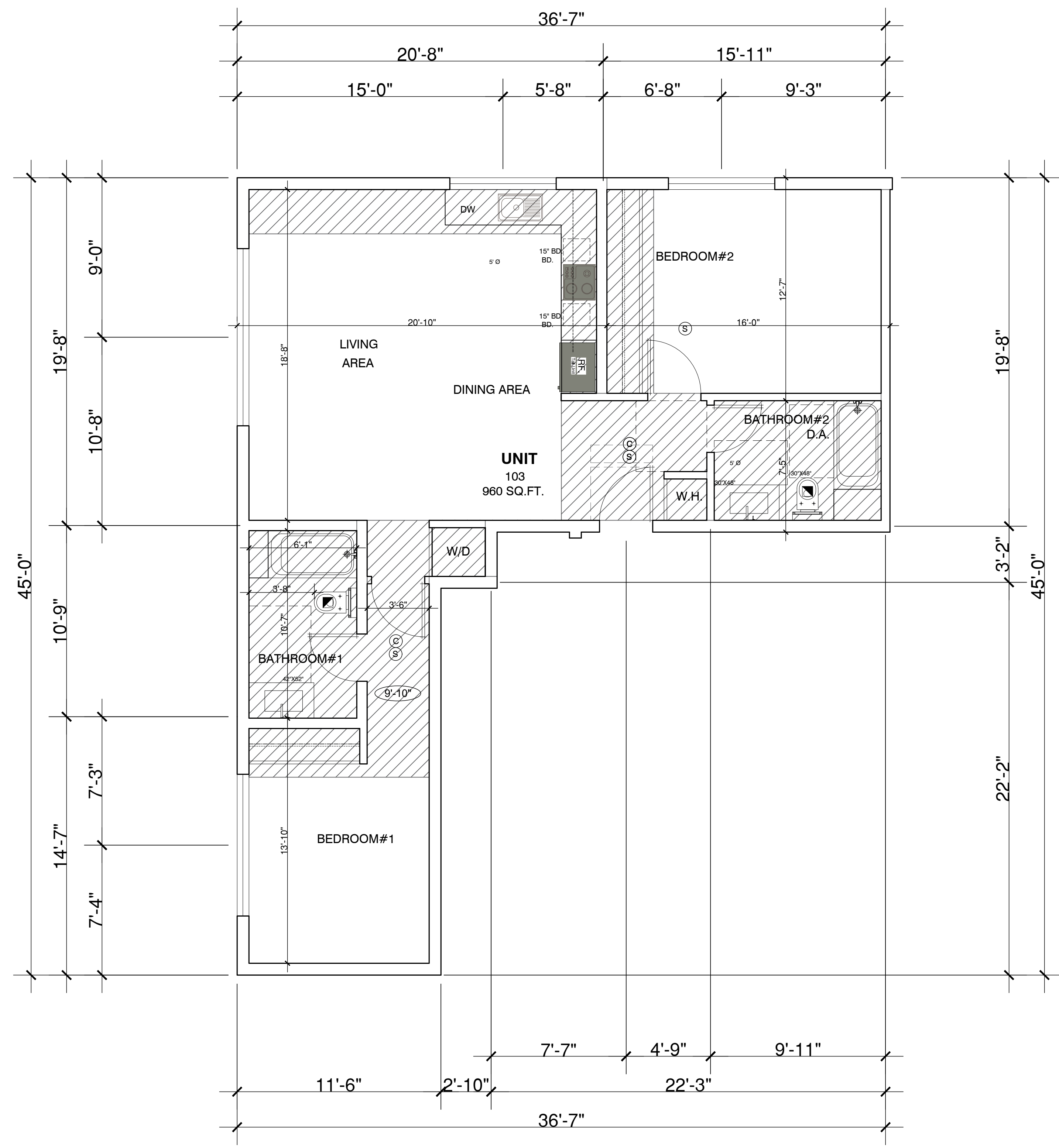
TITLE  
ENLARGED  
FLOOR PLAN

SCALE  
1/4" - 1'-0"



PAGE NO.:  
A - 13  
ARCHITECTURAL SHEETS





TYPICAL UNIT 103  
SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
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Case No. DIR-2023-2587-TOC-SPP-VHCA

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- D.P. L/W DIST. PANEL
- E.P. ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7'-10" ALSO SEE 6&7 A-24 12/A-25
- ADAPTABLE GRAB BAR FLOOR OR SIDE NOTE: USE FRONT LOADED APPLIANCES OR PROVIDE ASSISTIVE DEVICE THRESHOLD
- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL DWELLING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM IN THE FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
- OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR TYPICAL NOTES**
- (A) 30" SINK COUNTER WITH REMOVABLE BASE CABINET AND FINISHED FLOOR UNDER THE CABINET AND 36" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26
- (C) PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDE OF TOILET FOR FUTURE GRAB BARS. SEE SHEET #SP-07 SECTION D BATHING AND TOILET FACILITIES, WATER CLOSET #2 DETAILS 8/A-26. PROVIDE TOILET FLUSH CONTROL ON THE WIDE SIDE. PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDES OF TUB/ SHOWER 32" TO 38" ABOVE FLOOR FOR FUTURE GRAB BARS. SEE SHEET #SP-06 SECTION D BATHING AND TOILET FACILITIES, BATH TUBS #2 DETAIL 8/A-26. PROVIDE ADDITIONAL BACKING ON FLOOR FOR FUTURE POSSIBLE FLOOR MOUNTED GRAB BAR.
- (E) REMOVABLE BASE CABINET UNDER ADAPTABLE LAVATORY. FINISHED FLOOR UNDER THE CABINET AND 34" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26



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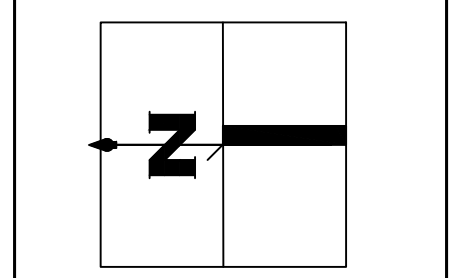
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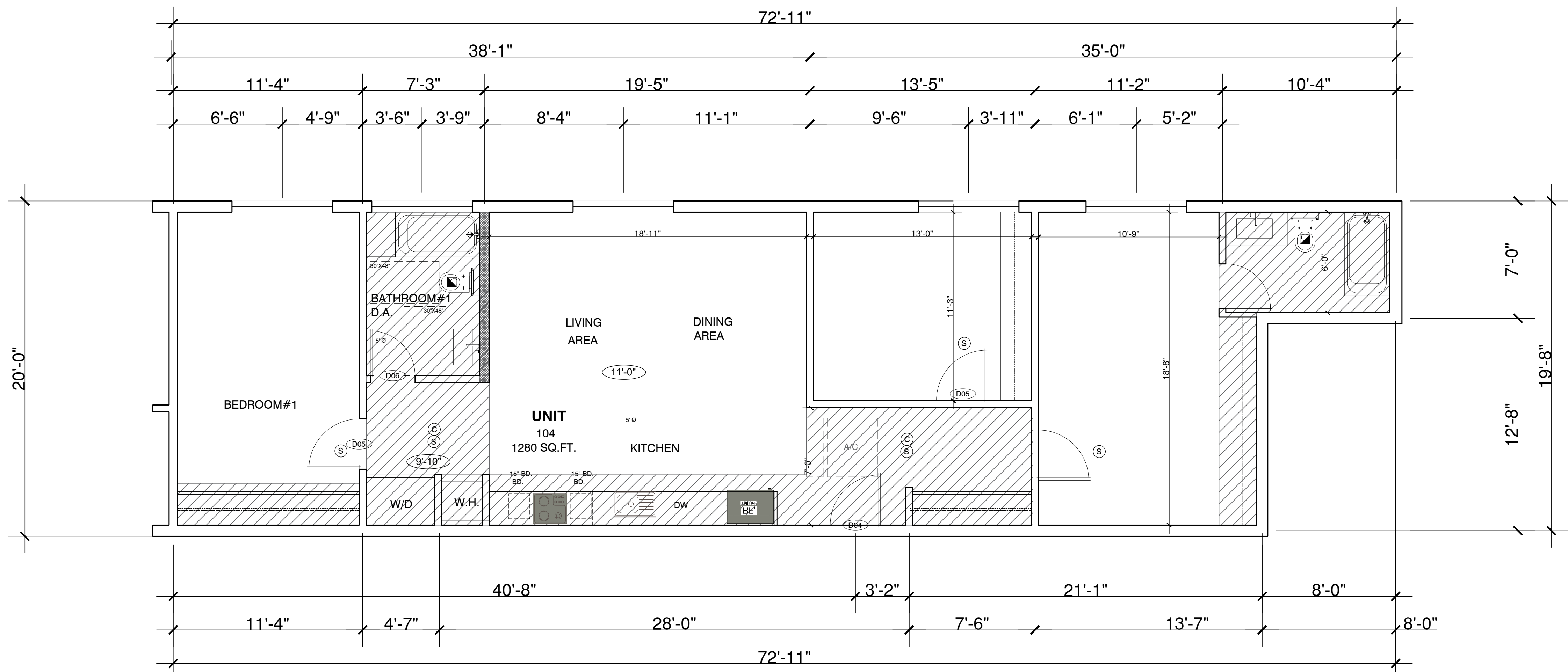
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REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE **ENLARGED FLOOR PLAN**

SCALE **1/4" - 1'-0"**

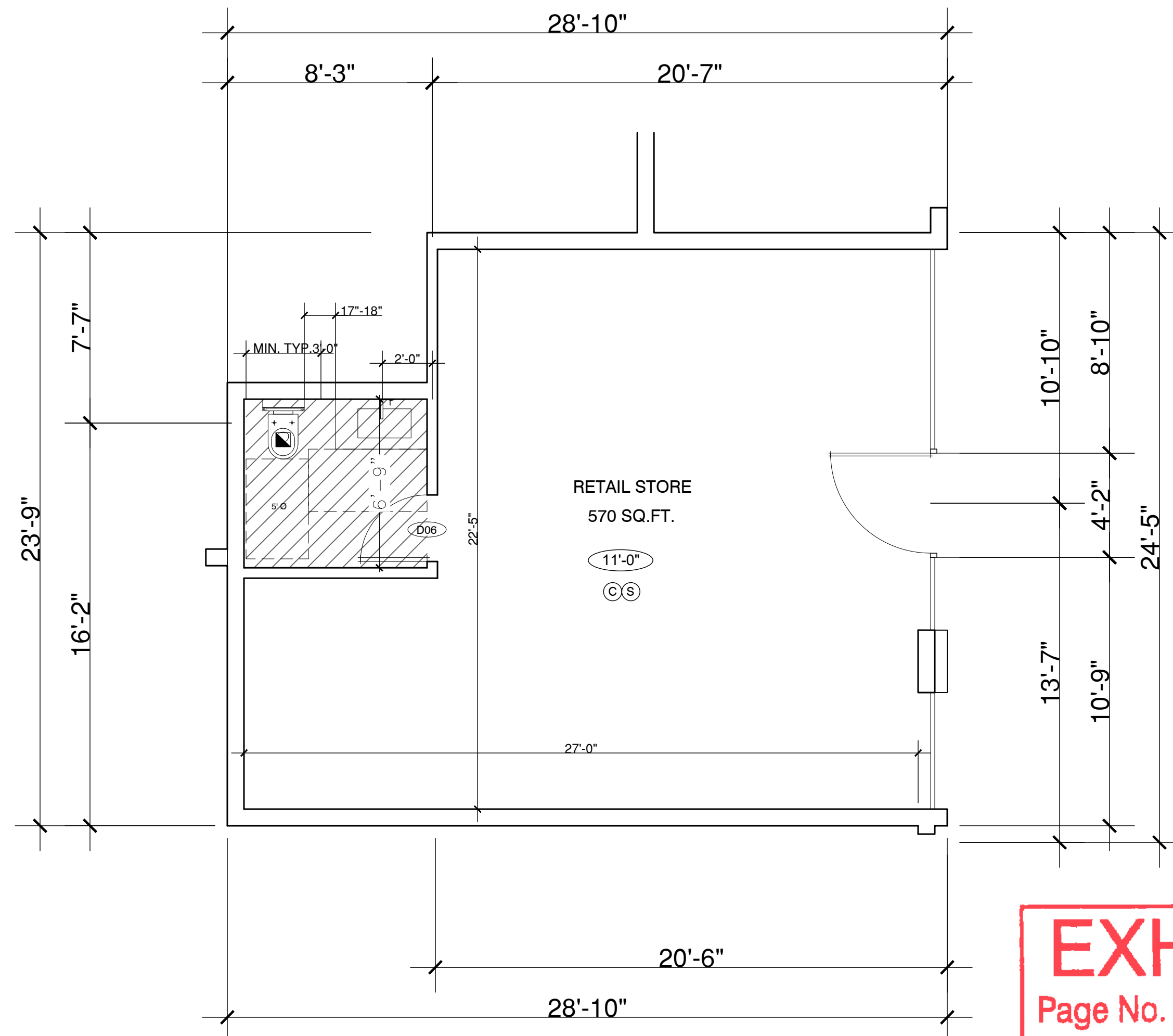


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**A - 14**  
ARCHITECTURAL SHEETS



TYPICAL UNIT 104

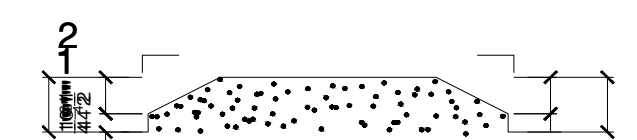
SCALE: 1/4"=1'-0"



RETAIL STORE

SCALE: 1/4"=1'-0"

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- D.P. L/W DIST. PANEL
- E.P. ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7'-10" ALSO SEE 6&7 A-24 12/A-25
- ADAPTABLE GRAB BAR FLOOR OR SIDE



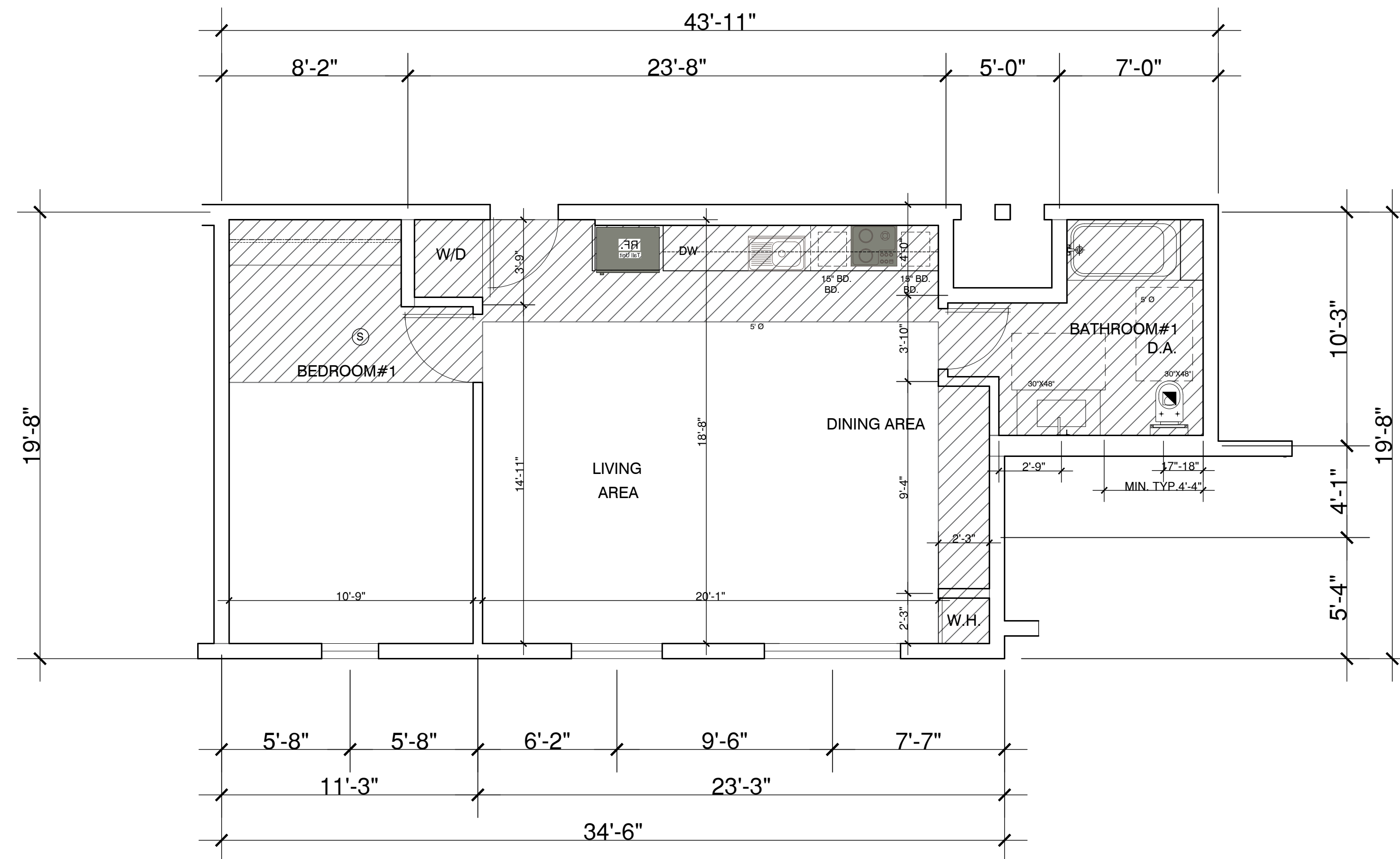
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1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

**OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR TYPICAL NOTES**

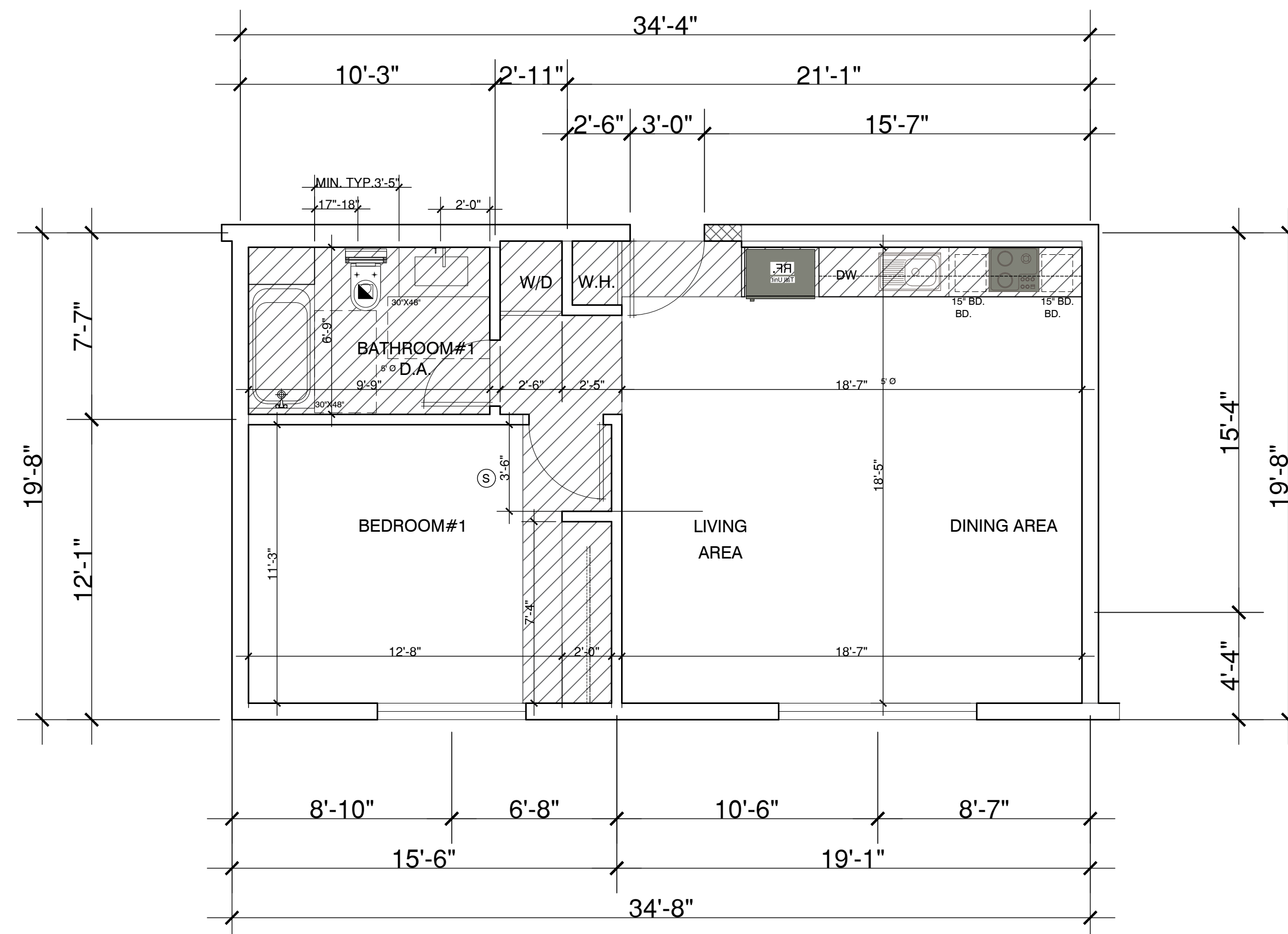
- 30" SINK COUNTER WITH REMOVABLE BASE CABINET AND FINISHED FLOOR UNDER THE CABINET AND 36" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26
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- REMOVABLE BASE CABINET UNDER ADAPTABLE LAVATORY. FINISHED FLOOR UNDER THE CABINET AND 34" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26





TYPICAL UNIT 201-301-401

SCALE: 1/4"=1'-0"

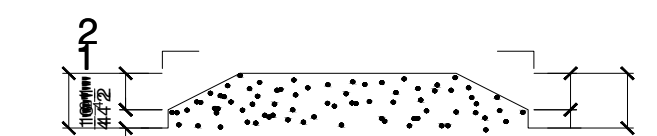


TYPICAL UNIT 202-302-402

SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
Page No. 20 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

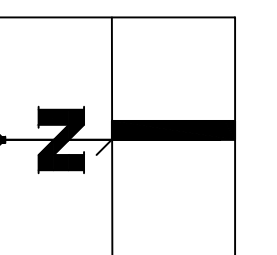
- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
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- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- L/W DIST. PANEL
- ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10" ALSO SEE 6&7 A-24 12/A-25
- ADAPTABLE GRAB BAR FLOOR OR SIDE

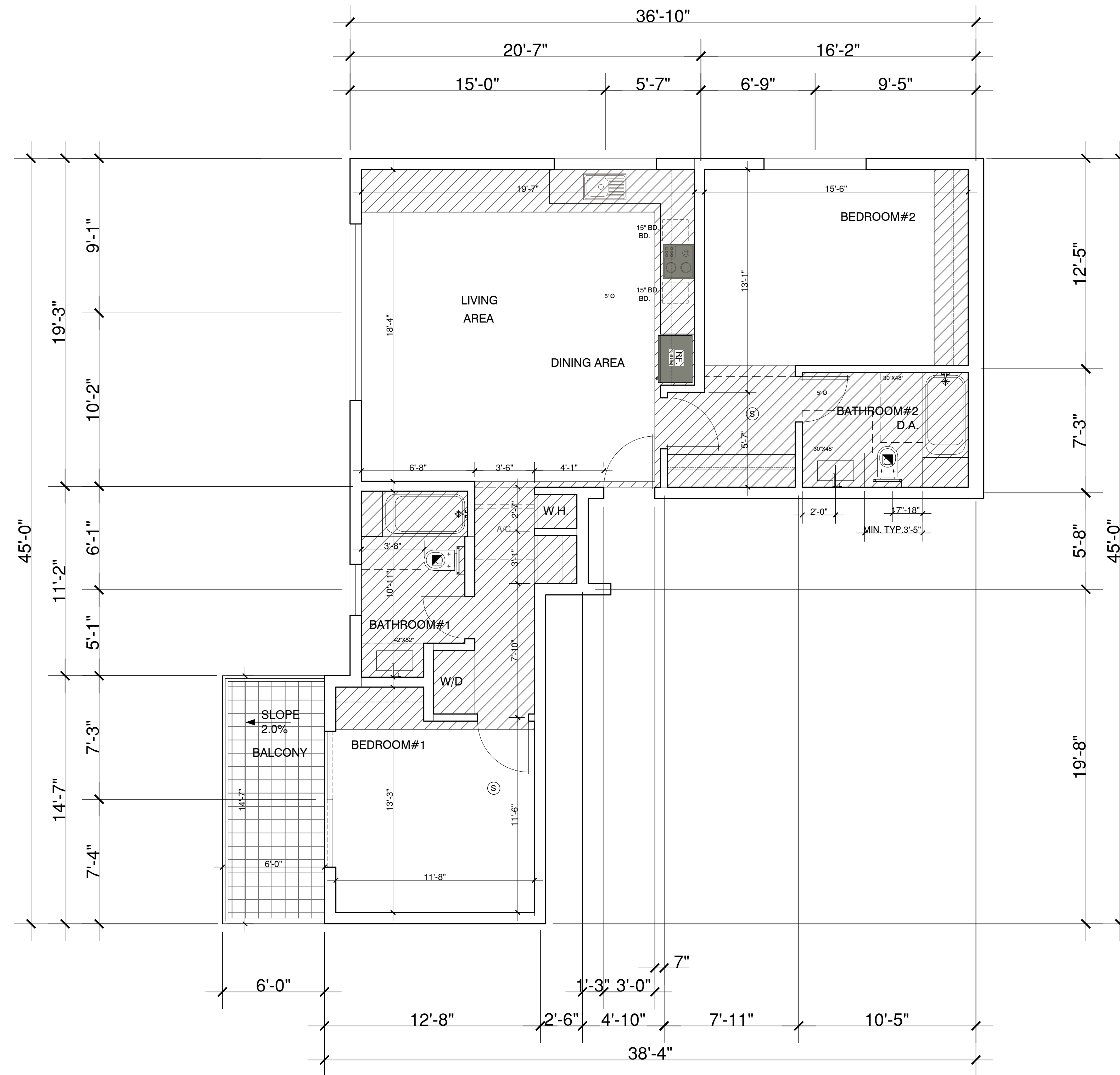


- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.

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**SEE SHT#SP-05, SP-06, SP-07 FOR TYPICAL NOTES**
- (A)** 30" SINK COUNTER WITH REMOVABLE BASE CABINET AND FINISHED FLOOR UNDER THE CABINET AND 36" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26
- (C)** PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDE OF TOILET FOR FUTURE GRAB BARS. SEE SHEET #SP-07 SECTION D BATHING AND TOILET FACILITIES, WATER CLOSET #2 DETAILS 8/A-26. PROVIDE TOILET FLUSH CONTROL ON THE WIDE SIDE. PROVIDE 2X6 BLOCKING WITHIN WALL AT BACK AND SIDES OF TUB/ SHOWER 32" TO 38" ABOVE FLOOR FOR FUTURE GRAB BARS. SEE SHEET #SP-06 SECTION D BATHING AND TOILET FACILITIES, BATH TUBS #2 DETAIL 8/A-26. PROVIDE ADDITIONAL BACKING ON FLOOR FOR FUTURE POSSIBLE FLOOR MOUNTED GRAB BAR.
- (E)** REMOVABLE BASE CABINET UNDER ADAPTABLE LAVATORY. FINISHED FLOOR UNDER THE CABINET AND 34" MAX. 27" MIN. CLEARANCE. SEE DETAIL 3/A-26





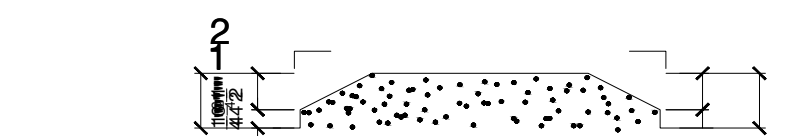
TYPICAL UNIT 203-303-403

SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
Page No. 21 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- D.P. L/W DIST. PANEL
- E.P. ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10" ALSO SEE 6&7 A-24 12/A-25

ADAPTABLE GRAB BAR FLOOR OR SIDE  
NOTE:  
USE FRONT LOADED APPLIANCES  
OR PROVIDE ASSISTIVE DEVICE  
THRESHOLD



5 AIR EXCHANGE PER MINUTE MIN.  
EXHAUST FAN AND FLORESCENT LIGHT  
FANS SHALL BE ENERGY STAR  
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HARD WIRED SMOKE DETECTORS WITH  
BATTERY BACK-UP AND LOW BATTERY  
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FUEL-BURNING APPLIANCES ARE  
INSTALLED SHALL HAVE AN APPROVED  
CARBON MONOXIDE ALARM IN THE  
FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE  
DWELLING UNIT SLEEPING AREA IN THE  
IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING  
UNIT INCLUDING BASEMENTS

**OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR**  
**TYPICAL NOTES**

- 30" SINK COUNTER WITH REMOVABLE  
BASE CABINET AND FINISHED FLOOR  
UNDER THE CABINET AND 36" MAX.  
27" MIN. CLEARANCE. SEE DETAIL  
3/A-26
- PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDE OF TOILET FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-07 SECTION D BATHING AND  
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DETAILS 8/A-26. PROVIDE TOILET  
FLUSH CONTROL ON THE WIDE SIDE.  
PROVIDE 2X6 BLOCKING WITHIN WALL  
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32" TO 38" ABOVE FLOOR FOR  
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#SP-06 SECTION D BATHING AND  
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DETAIL 8/A-26. PROVIDE ADDITIONAL  
BACKING ON FLOOR FOR FUTURE  
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BAR.
- REMOVABLE BASE CABINET UNDER  
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**CARPIRA  
DESIGN  
GROUP  
COMPANY**

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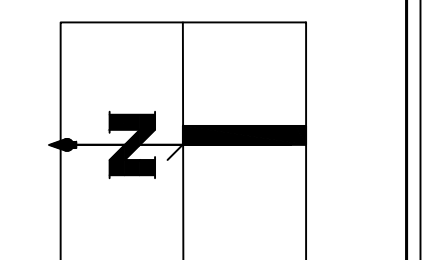
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PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
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REV.4: 07/30/2024

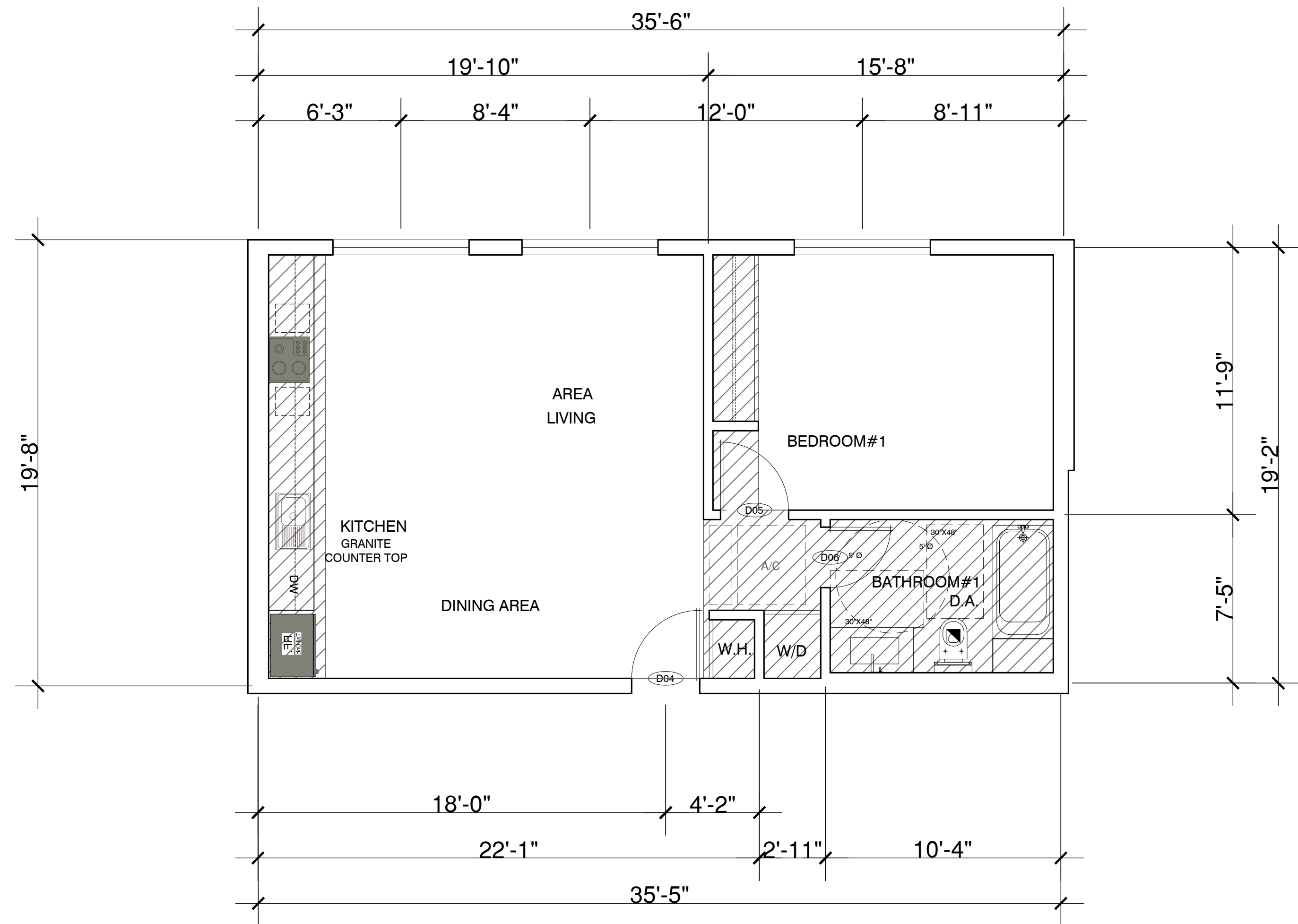
TITLE **ENLARGED  
FLOOR PLAN**

SCALE **1/4" - 1'-0"**



PAGE NO.:  
**A - 17**  
ARCHITECTURAL SHEETS





TYPICAL UNIT 204-304-404

SCALE: 1/4"=1'-0"

EXHIBIT "A"

Page No. 22 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA

- A/C REGISTER
- TEL. JACK IN DUPLEX BOX
- CATV/ DIGITAL TV AND CAT5E  
IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E  
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- D.P.
- E.P.
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10"  
ALSO SEE 6&7 A-24 12/A-25
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USE FRONT LOADED APPLIANCES  
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- 5 AIR EXCHANGE PER MINUTE MIN.  
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2. ON EVERY LEVEL OF A DWELLING  
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- COST
- OPTION #2  
SEE SHT#SP-05, SP-06, SP-07 FOR  
TYPICAL NOTES
- 30" SINK COUNTER WITH REMOVABLE  
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3/A-26
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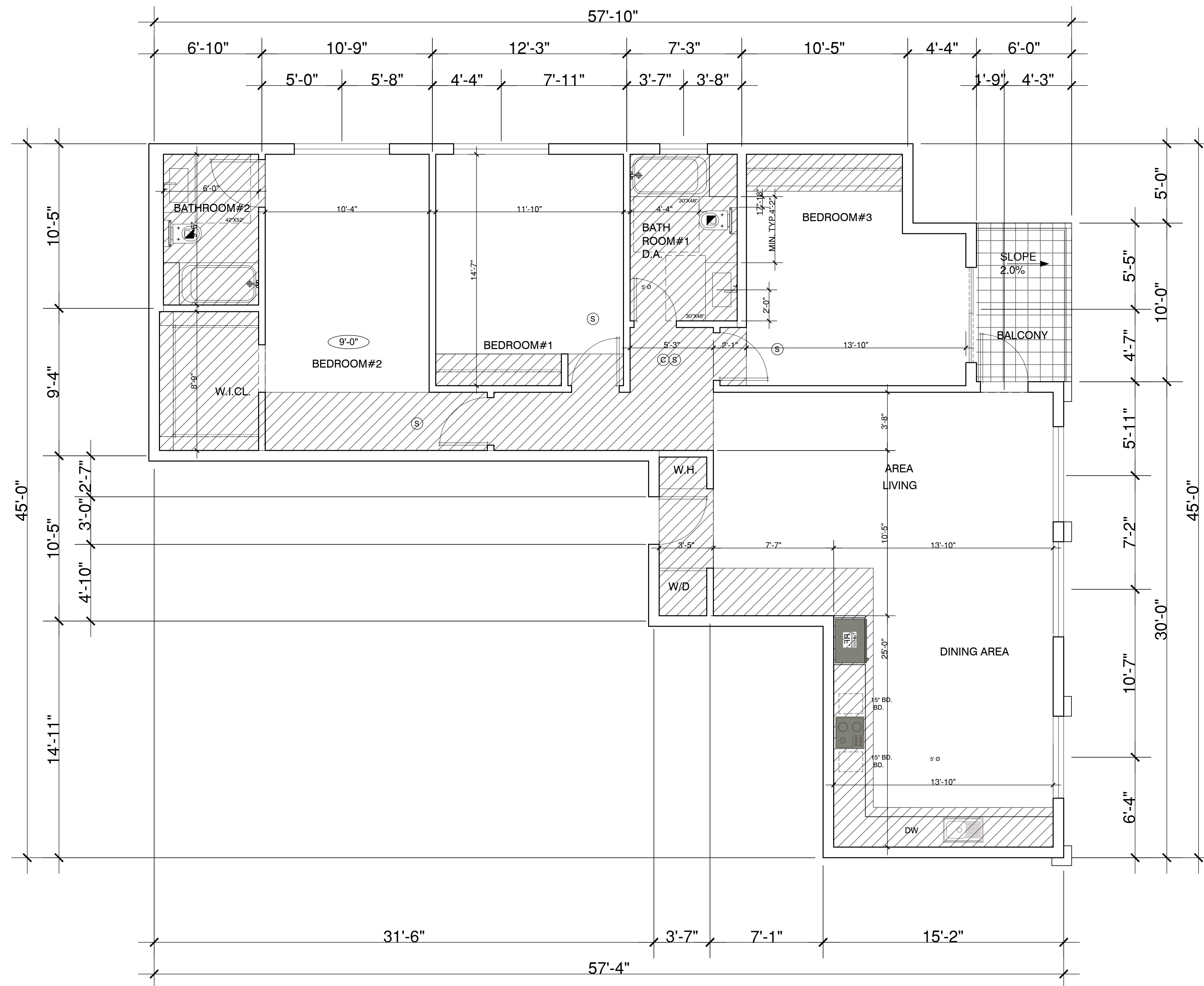
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REV.4: 07/30/2024

TITLE ENLARGED  
FLOOR PLAN

SCALE 1/4" - 1'-0"

PAGE NO.:  
A - 18  
ARCHITECTURAL SHEETS



TYPICAL UNIT 205  
SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
Page No. 23 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

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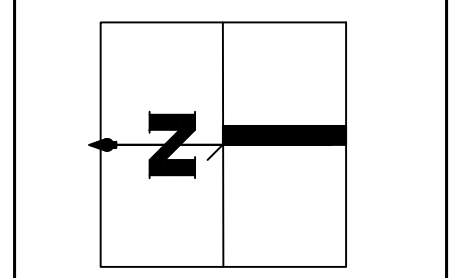
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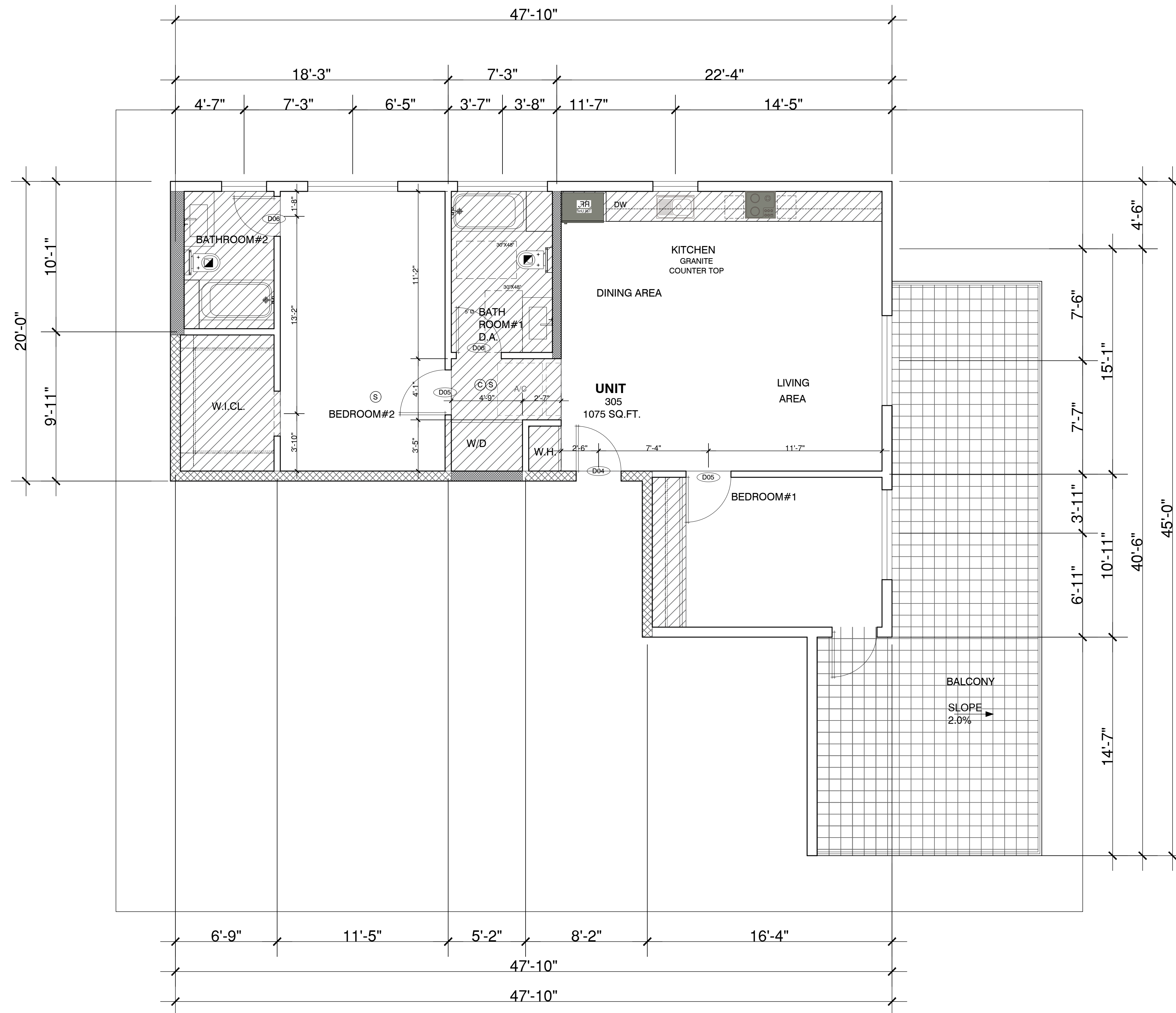
TITLE  
**ENLARGED FLOOR PLAN**

SCALE  
**1/4" - 1'-0"**



PAGE NO.:  
**A - 19**  
ARCHITECTURAL SHEETS





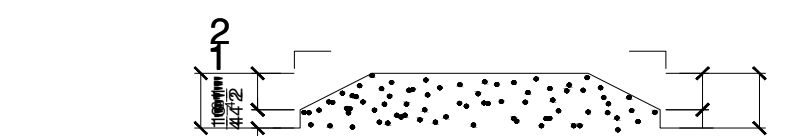
TYPICAL UNIT 305

SCALE: 1/4"=1'-0"

**EXHIBIT "A"**  
Page No. 24 of 34  
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- CATV/ DIGITAL TV AND CAT5E IN DUPLEX BOX (BED ROOMS)
- CATV/ DIGITAL TV AND CAT5E IN BOX. ONE HIGH AND ONE LOW WITH HDMI ABLE AND CONDUIT CONNECTING TWO BOXES (LIVING ROOM)
- D.P. L/W DIST. PANEL
- E.P. ELECT. PANEL
- WALL SCONES
- RECESSED OR LED SURFACE LIGHT
- SURFACE MOUNTED LIGHT
- CCTV
- NO SOFFIT- CEILING HEIGHT
- SOFFIT - CEILING HEIGHT 7-10" ALSO SEE 6&7 A-24 12/A-25

ADAPTABLE GRAB BAR FLOOR OR SIDE  
NOTE:  
USE FRONT LOADED APPLIANCES  
OR PROVIDE ASSISTIVE DEVICE  
THRESHOLD



5 AIR EXCHANGE PER MINUTE MIN.  
EXHAUST FAN AND FLORESCENT LIGHT  
FANS SHALL BE ENERGY STAR  
COMPLIANT AND BE DUCTED TO  
TERMINATE TO THE OUTSIDE OF THE  
BUILDING. FANS NOT FUNCTIONING AS  
A COMPONENT OF A WHOLE HOUSE  
VENTILATION SYSTEM, MUST BE  
CONTROLLED BY A HUMIDITY  
CONTROL.

HARD WIRED SMOKE DETECTORS WITH  
BATTERY BACK-UP AND LOW BATTERY  
SIGNAL DWELLING UNITS WITHIN WHICH  
FUEL-BURNING APPLIANCES ARE  
INSTALLED SHALL HAVE AN APPROVED  
CARBON MONOXIDE ALARM IN THE  
FOLLOWING LOCATIONS:  
1. OUTSIDE OF EACH SEPARATE  
DWELLING UNIT SLEEPING AREA IN THE  
IMMEDIATE VICINITY OF BEDROOM(S)  
2. ON EVERY LEVEL OF A DWELLING  
UNIT INCLUDING BASEMENTS

**OPTION #2**  
**SEE SHT#SP-05, SP-06, SP-07 FOR**  
**TYPICAL NOTES**

- 30" SINK COUNTER WITH REMOVABLE  
BASE CABINET AND FINISHED FLOOR  
UNDER THE CABINET AND 36" MAX.  
27" MIN. CLEARANCE. SEE DETAIL  
3/A-26
- PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDE OF TOILET FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-07 SECTION D BATHING AND  
TOILET FACILITIES, WATER CLOSET #2  
DETAILS 8/A-26. PROVIDE TOILET  
FLUSH CONTROL ON THE WIDE SIDE.  
PROVIDE 2X6 BLOCKING WITHIN WALL  
AT BACK AND SIDES OF TUB/ SHOWER  
32" TO 38" ABOVE FLOOR FOR  
FUTURE GRAB BARS. SEE SHEET  
#SP-06 SECTION D BATHING AND  
TOILET FACILITIES, BATH TUBS #2  
DETAIL 8/A-26. PROVIDE ADDITIONAL  
BACKING ON FLOOR FOR FUTURE  
POSSIBLE FLOOR MOUNTED GRAB  
BAR.
- REMOVABLE BASE CABINET UNDER  
ADAPTABLE LAVATORY. FINISHED  
FLOOR UNDER THE CABINET AND 34"  
MAX. 27" MIN. CLEARANCE. SEE  
DETAIL 3/A-26

**CARPIRA  
DESIGN  
GROUP  
COMPANY**

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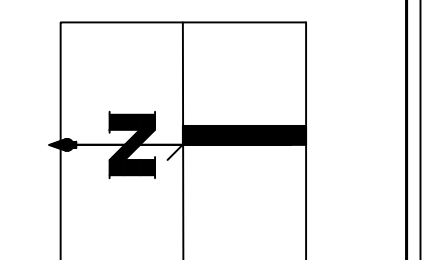
OWNER :  
DBA: SUNSETCOMPLEX  
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#49385, LA CA 90049  
TEL: 408-396-4530  
EMAIL: SUNSETCOMPLEX@GMAIL.COM

PROJECT ADDRESS:  
5271 SUNSET BLVD.,  
LOS ANGELES,  
CA 90018

DESCRIPTION :  
DATE: 09/12/2022  
REV.1: 10/20/2022  
REV.2: 06/05/2023  
REV.3: 04/26/2024  
REV.4: 07/30/2024

TITLE  
**ENLARGED  
FLOOR PLAN**

SCALE  
**1/4" - 1'-0"**



PAGE NO.:  
**A - 20**  
ARCHITECTURAL SHEETS





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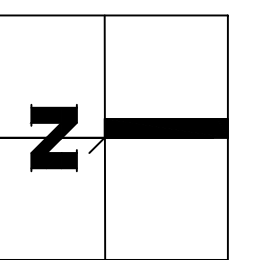
REV.2: 06/05/2023

REV.3: 04/26/2024

REV.4: 07/30/2024

TITLE OPEN SPACE/ GRADING/  
SHADING PLANS

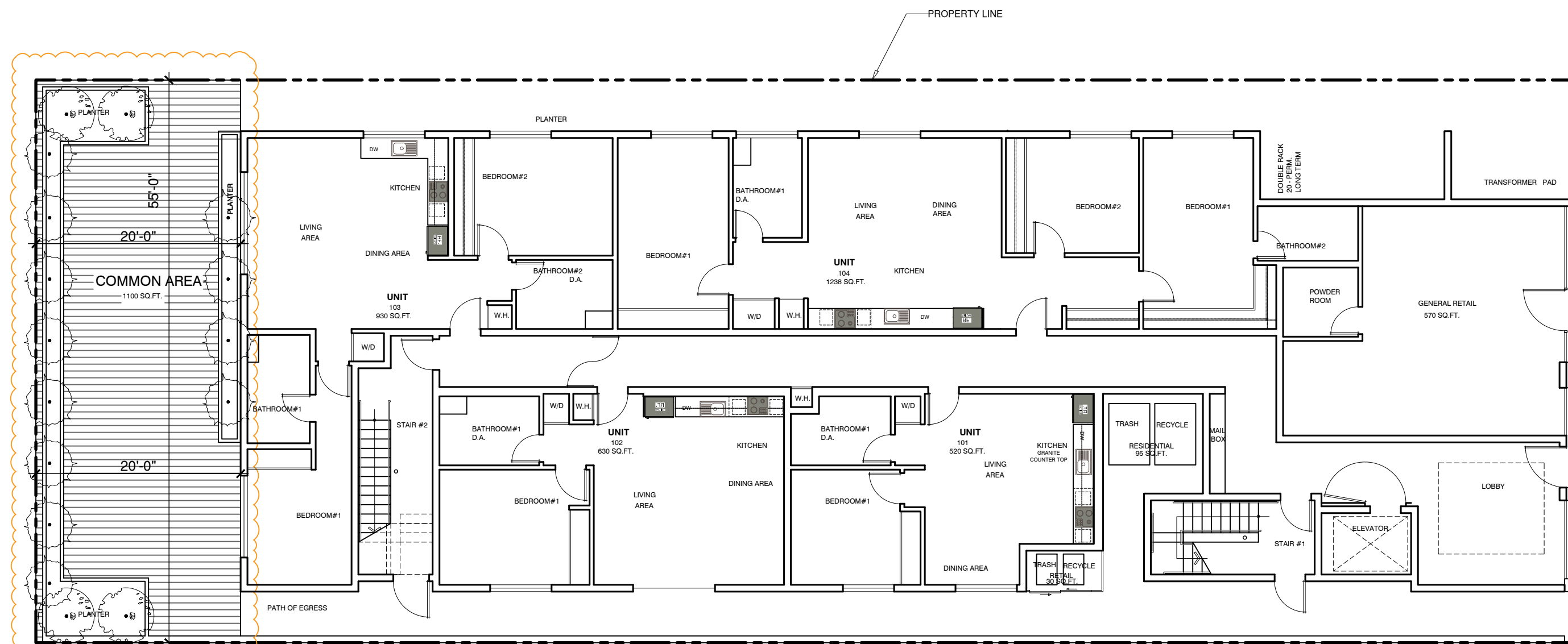
SCALE 3/32" = 1'-0"



## PAGE NO.:

A - 21

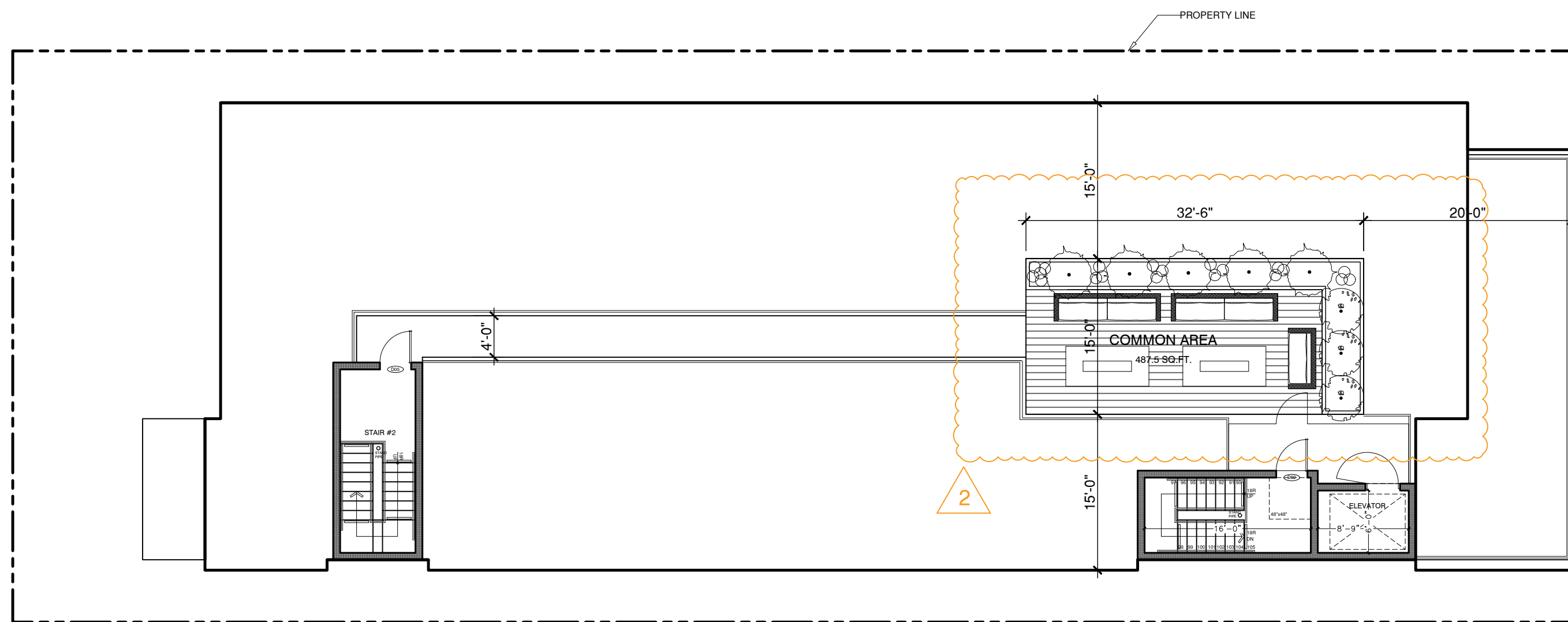
ARCHITECTURAL SHEETS



## 2 FIRST FLOOR OPEN SPACE/ GRADING/ SHADING PLANS

SCALE: 3/32" = 1'-0"

TOTAL OPEN SPACE PROVIDED IN FIRST FLOOR = 1100 SQ.FT.

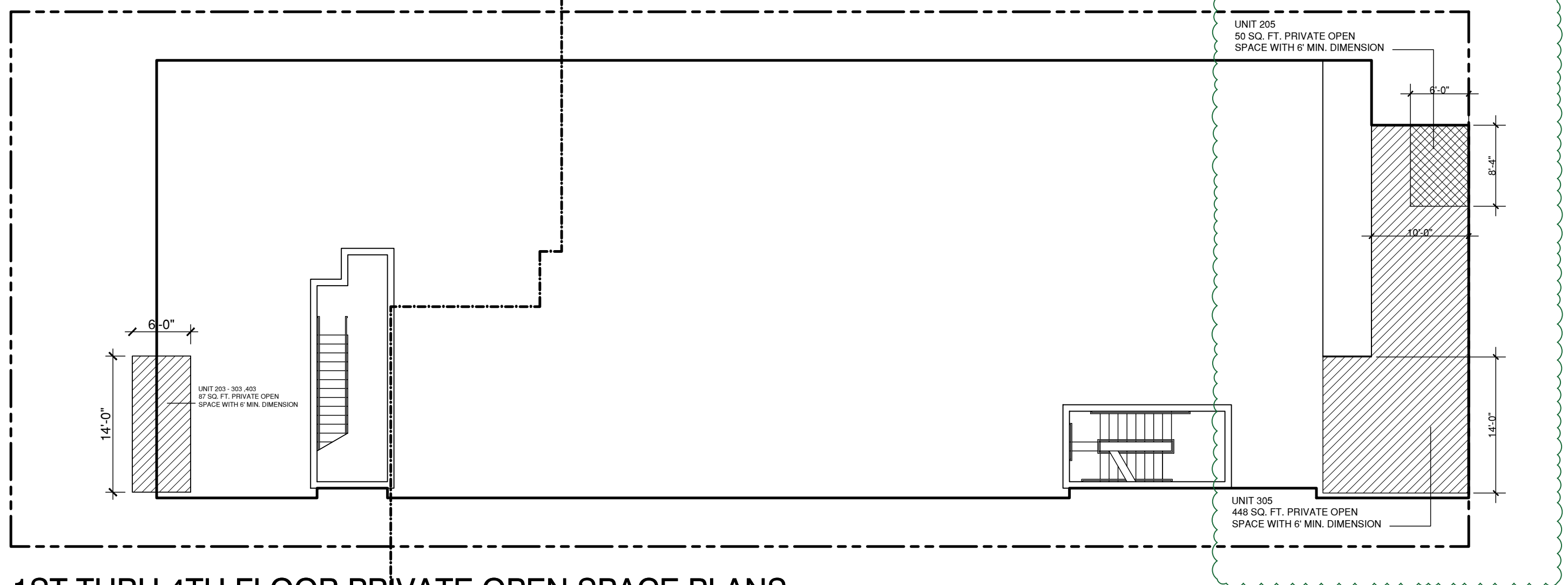


## ROOF FLOOR OPEN SPACE/ GRADING/ SHADING PLANS

SCALE: 3/32" = 1'-0"

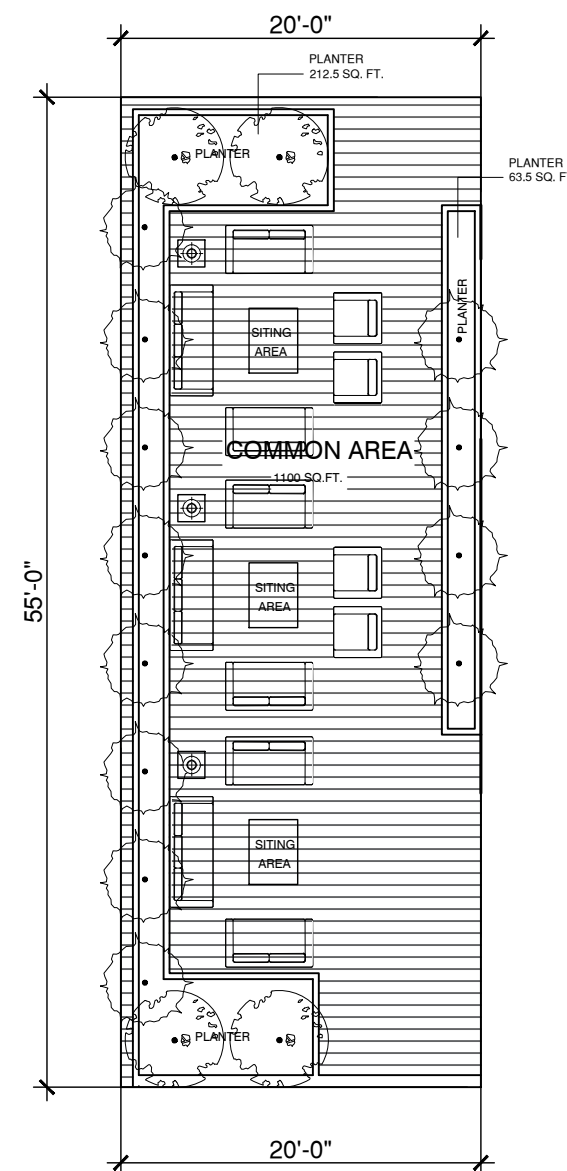
LESS THAN 3 HABITABLE ROOM UNIT @100 SQ. FT. PER UNIT=11X100=	1100 SQ. FT.
3 HABITABLE ROOM UNIT @125 SQ. FT. PER UNIT=6X125=	750 SQ. FT.
4 HABITABLE ROOM UNIT @175 SQ. FT. PER UNIT=2X175=	350 SQ. FT.
TOTAL OPEN SPACE REQUIRED=	2200 SQ. FT.
MINIMUM COMMON OPEN SPACE REQUIRED (50%)=	1100 SQ. FT.
PRIVATE OPEN SPACE PROVIDED: BALCONIES WITH 6' MIN. DIM.:	759 SQ. FT.
COMMON OPEN SPACE PROVIDED: COURT YARD WITH 20' MIN.:	1100 SQ. FT.
ROOF DECK WITH 15' MIN.:	487.5 SQ. FT.
TOTAL OPEN SPACE PROVIDED:	2346.5 SQ. FT.
MIN. COMMON SPACE LANDSCAPE REQUIRED (25%)=1587.5*25%=	396.875 SQ. FT.
MIN. LANDSCAPE AREA PROVIDE FOR COMMON AREA	421.5 SQ. FT.
NUMBER OF 24" BOX TREES REQUIRED (ONE PER 4 UNITS)	5
MIN. NUMBER OF 24" BOX TREES PROVIDED	5

MINIMUM FIRST FLOOR OPEN SPACE REQUIRED (50%) =	1100 SQ.FT.
COMMON OPEN SPACE PROVIDED WITH 20' MIN. =	1100 SQ.FT.
TOTAL OPEN SPACE PROVIDED IN FIRST FLOOR =	1100 SQ.FT.



## 1ST THRU 4TH FLOOR PRIVATE OPEN SPACE PLANS

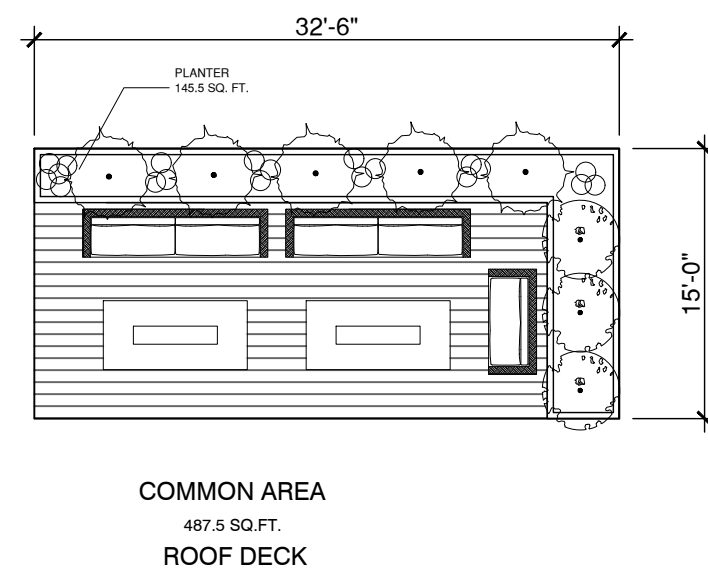
SCALE: 3/32" = 1'-0"



## EXHIBIT "A"

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Case No. DIR-2023-2587-TOC-SPP-VHCA



1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE OR WIND.
2. STOCKPILE OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
5. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
6. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTOOD THE REQUIREMENTS, LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME \_\_\_\_\_  
(OWNER OR AUTHORIZED AGENT)SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
(OWNER OR AUTHORIZED AGENT)

An Wet Weather Erosion Control Plan (WWECP), utilizing sediment and erosion control BMPs, for projects that will leave disturb soil during the rainy season (October 1 to April 15) is required. The WWECP must be prepared, for projects that have already broken ground, not less than 30 days prior to the beginning of each rainy season during which soil will be disturbed, and implemented throughout the entire rainy season. A copy of the WWECP shall be kept on the project site at all times beginning 30 days prior to the start of the rainy season through the end of the rainy season. For projects that will begin construction during the rainy season, the WWECP must be available 30 days before construction commences. The WWECP must be submitted to the Bureau of Engineering, Public Works for review and approval. The WWECP is not a requirement for the issuance of a building or grading permit.

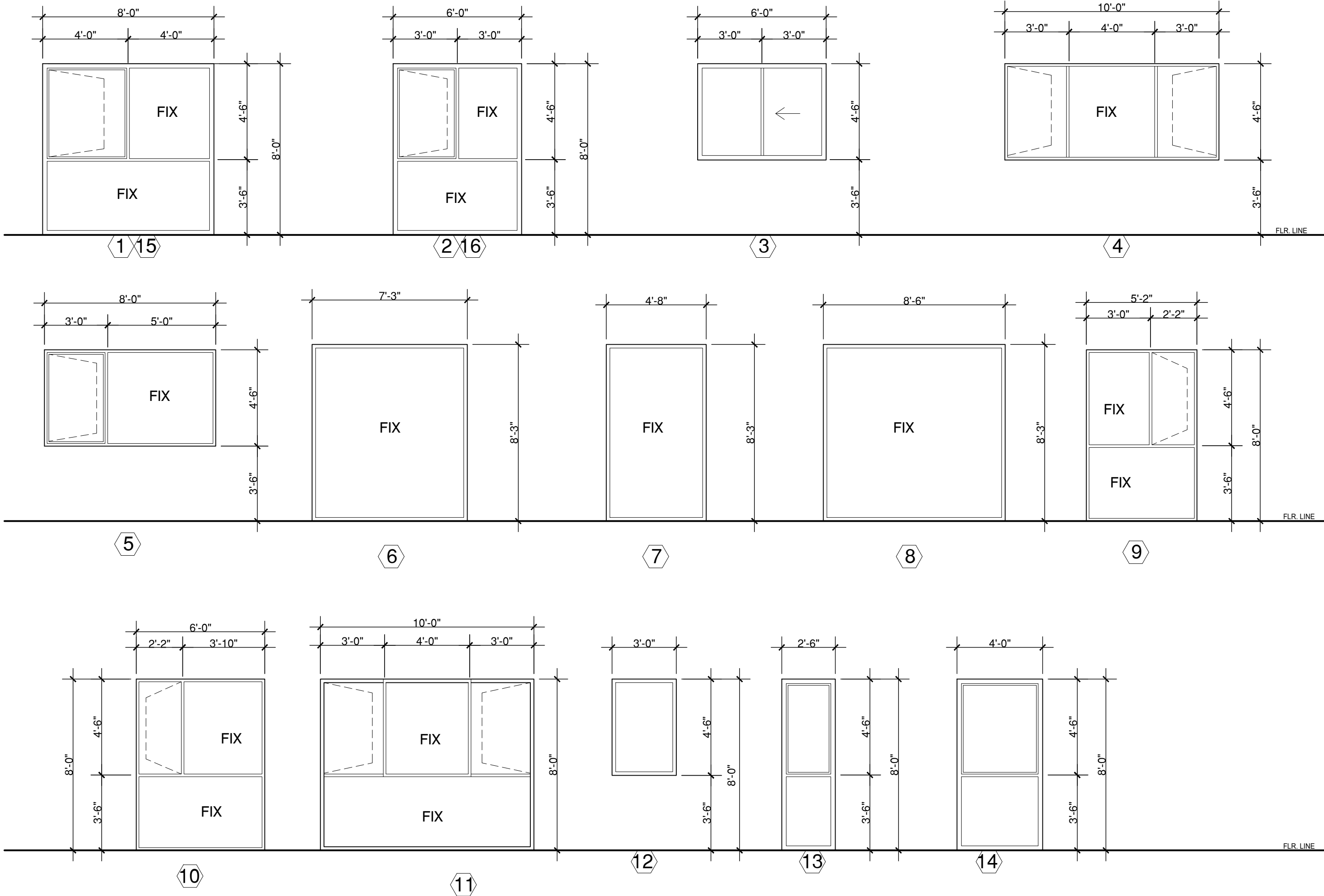


WINDOW SCHEDULE

X WINDOW NO.	TYPE	EGRESS REQ.	SIZE		FRAME MATERIAL	FRAME FINISH	GLASS TYPE	TEMPERED GLASS	FIRE RATE	REMARKS
			WIDTH	HEIGHT						
1	SWING	---	8'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA
2	SWING	●	6'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	BEDROOM
3	SLIDING	●	6'-0"	4'-6"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA, BEDROOM, BATHROOM
4	SWING	---	10'-0"	4'-6"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA
5	SWING	---	8'-0"	4'-6"	ALUM.	FF	DUAL GLAZED	●	---	DINING AREA (Unit 104-201-202-301-302-401-402)
6	FIX	---	7'-3"	8'-3"	ALUM.	FF	DUAL GLAZED	●	---	LOBBY
7	FIX	---	4'-8"	8'-3"	ALUM.	FF	DUAL GLAZED	●	---	RETAIL STORE
8	FIX	---	8'-6"	8'-3"	ALUM.	FF	DUAL GLAZED	●	---	RETAIL STORE
9	SWING	---	5'-2"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA, DINING, KITCHEN
10	SWING	---	8'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA, DINING, KITCHEN
11	SWING	---	10'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	BEDROOM
12	SWING	---	3'-0"	4'-0"	ALUM.	FF	DUAL GLAZED	●	---	STAIR BOX
13	SWING	●	2'-6"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	BEDROOM
14	SWING	---	4'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	---	LIVING AREA
15	SWING	●	8'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	45 MIN.	
16	SWING	●	6'-0"	8'-0"	ALUM.	FF	DUAL GLAZED	●	45 MIN.	BEDROOM, LIVING AREA

- WINDOW NOTES:
- REFER TO EXTERIOR ELEVATIONS FOR WINDOW HEAD, JAMB, SILL AND POST DETAILS.
  - BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ. FT. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" ABOVE THE FLOOR (C.R.C. R310.1). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
  - THE LOWEST PART OF THE CLEAR OPENING OF OPERABLE WINDOWS SHALL BE A MINIMUM OF 42" ABOVE THE FINISH FLOOR. WHEN OPERABLE SECTIONS OF THESE WINDOWS ARE LOCATED LESS THAN 42" ABOVE THE FINISHED FLOOR THE OPENINGS SHALL PROTECTED BY A GUARD THAT WILL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE. (C.R.C. R312.2.1.)

WINDOW TYPES



ABBREVIATIONS

AL  
WD  
VYL.  
PT  
FRST.

ALUMINUM  
WOOD  
VINYL  
PAINT FINISH  
FROSTED GLASS

FF  
SC  
GL  
MIRR.  
CH

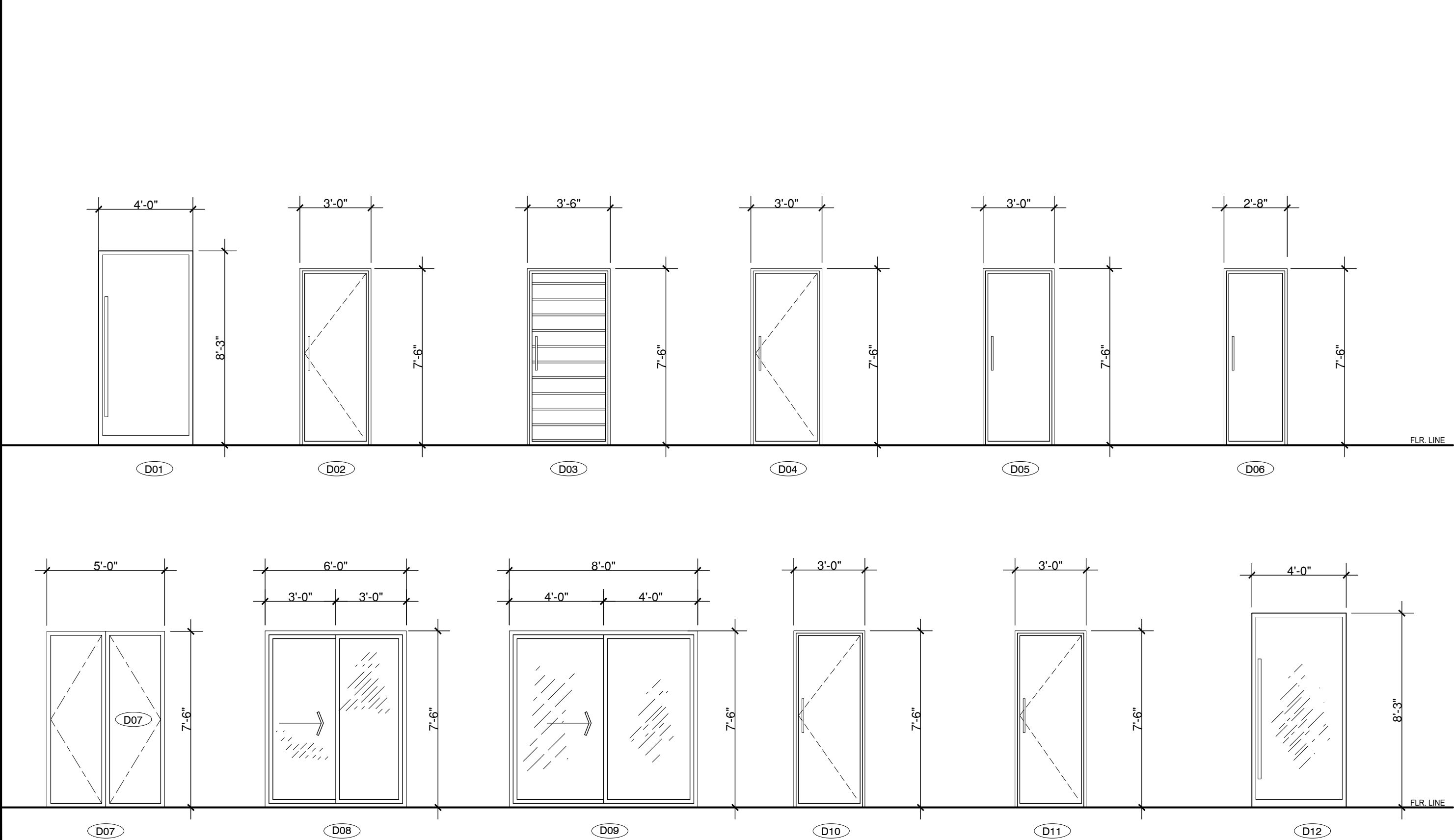
FACTORY FINISH  
SOLID CORE  
GLASS  
MIRROR  
CHROME FINISH

DOOR SCHEDULE

DOOR									FRAME		TEMPERED GLASS	THRESHOLD	FIRE RATE	REMARKS
			SIZE											
DOOR NO.	TYPE	PAIR	WIDTH	HEIGHT	THICKNESS	CORE MATERIAL	FINISH	MATERIAL	FINISH					
1	SWING DOOR	--	4'-0"	8'-3"	--	GLASS	--	ALUM	PAINT	●	●	60 MIN.	BUILDING ENTRANCE	
2	SWING DOOR	--	3'-0"	7'-6"	1-3/4"	METAL	PAINT	METAL	PAINT	--	●	90 MIN.	STAIR CASE . SMOKE GASKET . SELF LATCHING	
3	SWING DOOR	--	4'-0"	7'-6"	1-3/4"	ALUM	ALUM	ALUM	PAINT	--	--	90 MIN.	ELEVATOR DOOR - MAGNETIC HOLDER SMOKE GASKET	
4	SWING DOOR	--	3'-0"	7'-6"	1-3/4"	WOOD	WOOD	WOOD	PAINT	--	--	20 MIN.	UNITS ENTRANCE DOOR - SELF CLOSING	
5	SWING DOOR	--	3'-0"	7'-6"	1-3/4"	WOOD	PAINT	WOOD	PAINT	--	--	--	BEDROOMS	
6	SWING DOOR	--	2'-8"	7'-6"	1-3/4"	WOOD	PAINT	WOOD	PAINT	--	●	--	BATHROOM	
7	DOUBLE SWING DOOR	●	5'-0"	7'-6"	1-3/4"	METAL	PAINT	METAL	PAINT	--	●	90 MIN.	FIRE BARRIER WALL DOOR	
8	SLIDING DOOR	--	6'-0"	7'-6"	--	GLASS	--	ALUM	PAINT	●	●	--	LIVING AREA/BEDROOM TO BALCONY	
9	SLIDING DOOR	--	8'-0"	7'-6"	--	GLASS	--	ALUM	PAINT	●	●	--	LIVING AREA/BEDROOM TO BALCONY	
10	SWING DOOR	--	3'-0"	7'-6"	--	GLASS	--	ALUM	PAINT	●	●	--	LIVING AREA/BEDROOM TO BALCONY	
11	SWING DOOR	--	3'-0"	7'-6"	1-3/4"	METAL	PAINT	METAL	PAINT	--	--	60 MIN.	ELEVATOR & ELECTRICAL ROOM	

- DOOR NOTES:
- REFER TO SLAB PLANS FOR FIRST FLOOR DOORS HEAD, JAMB, THRESHOLD AND POST DETAILS.
  - REFER SECOND FLOOR PLANS FOR SECOND FLOOR DOORS HEAD, JAMB, THRESHOLD AND POST DETAILS.
  - EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
  - WITH AND HEIGHT OF REQUIRED EXIT DOORWAYS SHALL COMPLY WITH TITLE 24.713.
  - VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.7.
  - AUTOMATIC GARAGE DOOR OPENERS SHALL BE LISTED IN ACCORDANCE WITH UL325.
  - FOR RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS SHALL COMPLY WITH TITLE 24, 1004.6.

DOOR TYPES



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DOOR AND WINDOW SCHEDULE

SCALE 1/4" = 1'-0"

PAGE NO.:

A - 22

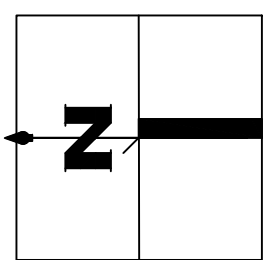
ARCHITECTURAL SHEETS

EXHIBIT "A"

Page No. 27 of 34

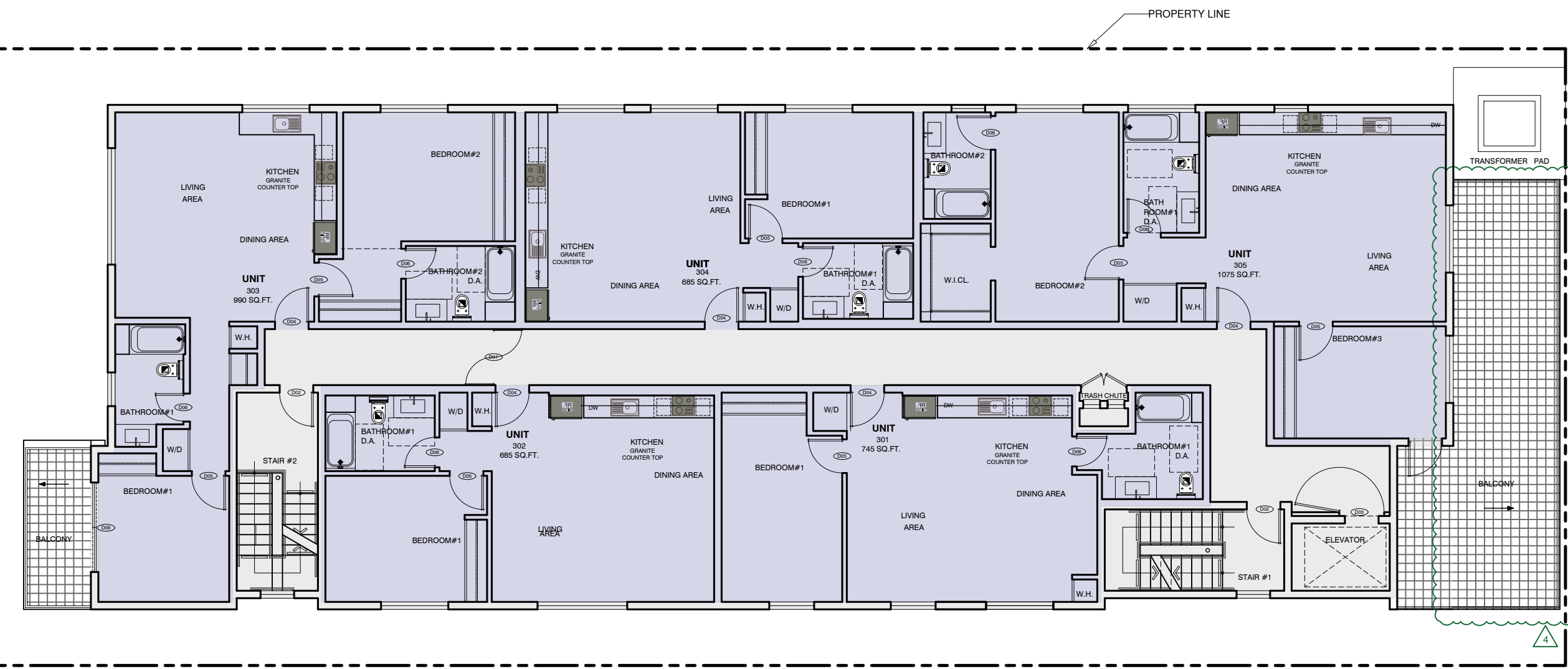
Case No. DIR-2023-2587-TOC-SPP-VHCA





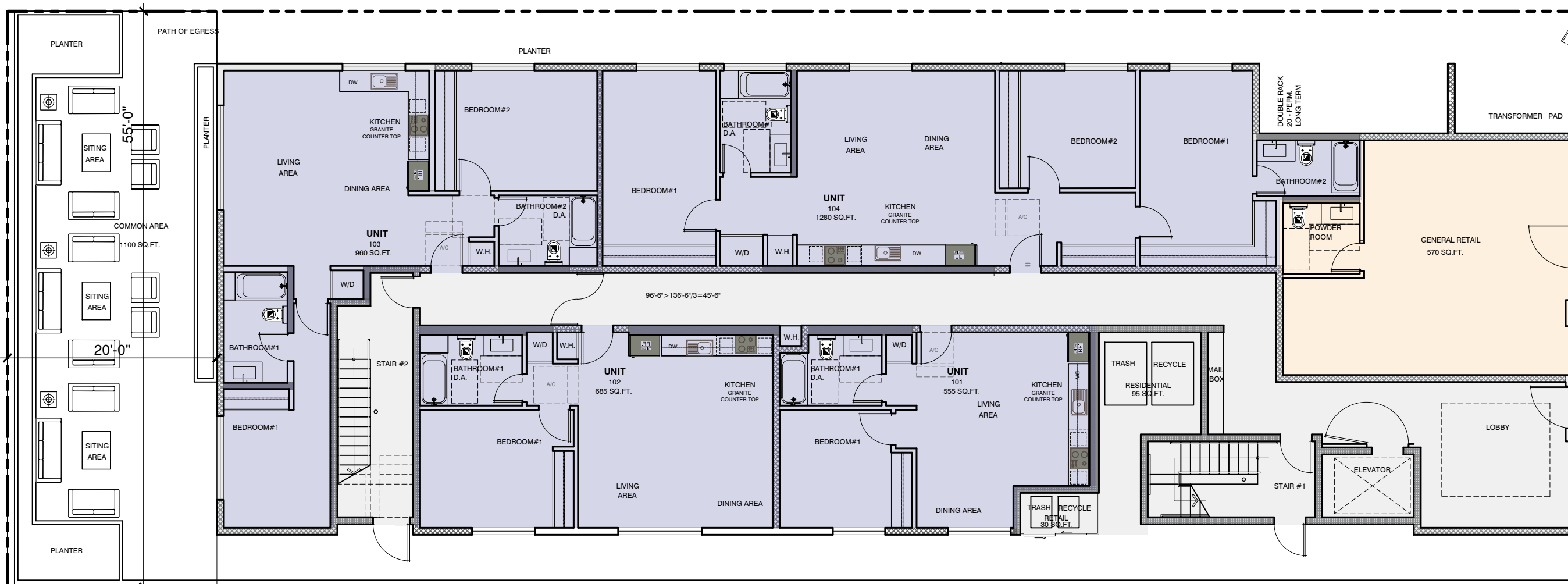
SECOND FLOOR PLAN

SCALE: 3/32" = 1'-0"



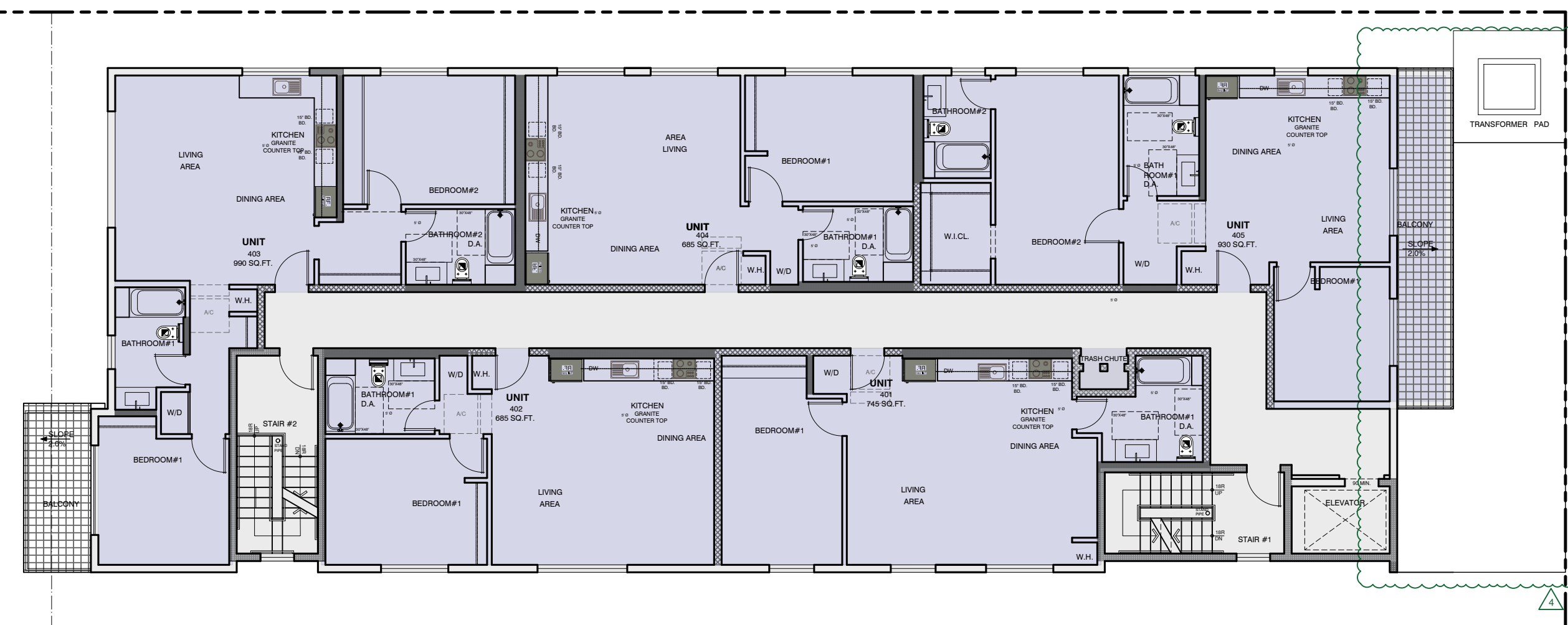
THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0"



FIRST FLOOR PLAN

SCALE: 3/32" = 1'-0"



4TH FLOOR PLAN

SCALE: 3/32" = 1'-0"

	COMMERCIAL	RESIDENTIAL	EXTERIOR WALLS/ SHAFT/ STAIRS/ VENTS	TOTAL
FIRST FLOOR	570 sq.ft.	3480 sq.ft.	1715 sq.ft.	5765 sq.ft.
2ND FLOOR	—	4555 sq.ft.	1310 sq.ft.	5865 sq.ft.
3RD FLOOR	—	4180 sq.ft.	1295 sq.ft.	5475 sq.ft.
4TH FLOOR	—	4035 sq.ft.	1130 sq.ft.	5165 sq.ft.
TOTAL	570 sq.ft.	16250 sq.ft.	5450 sq.ft.	22270 sq.ft.

EXHIBIT "A"  
Page No. 28 of 34  
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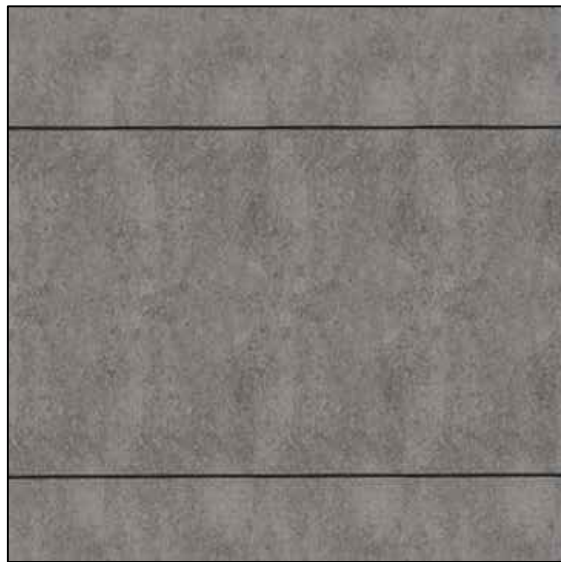
SMOOTH 7/8" STUCCO  
COLOR: BEIGE



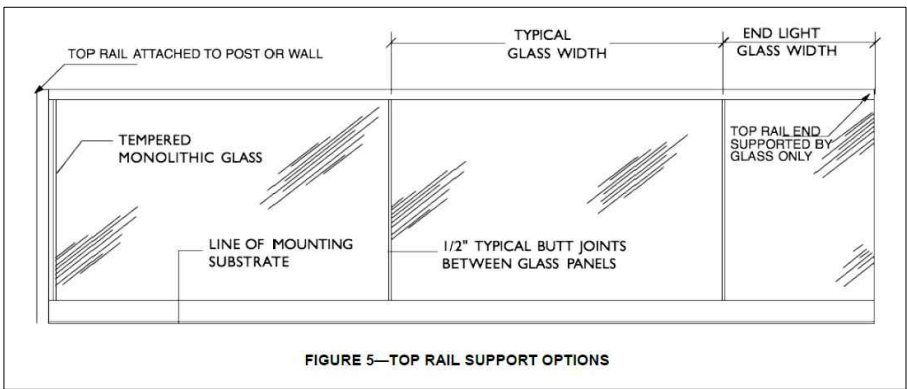
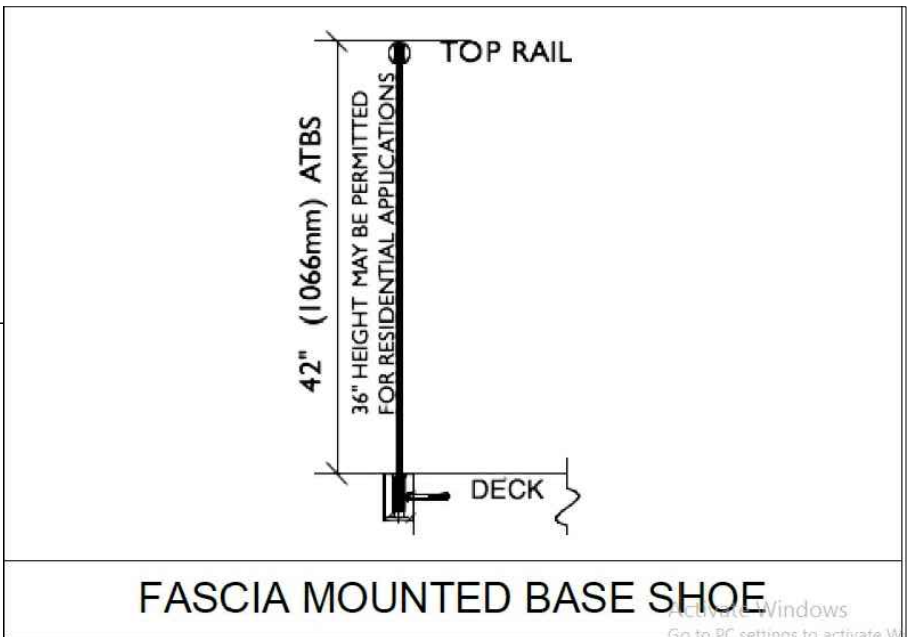
SMOOTH 7/8" STUCCO  
COLOR: LIGHT GREY



ARCHITECTURAL GLAZING



SMOOTH STUCCO  
COLOR: GRAY



RAILING DETAILS

EXHIBIT "A"

Page No. 29 of 34

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TITLE MATERIAL BOARD  
SCALE



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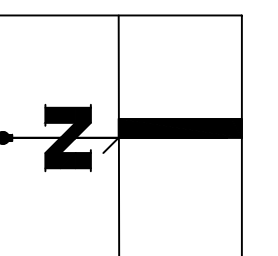
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**TITLE** OCCUPANCY LOAD  
CALCULATION

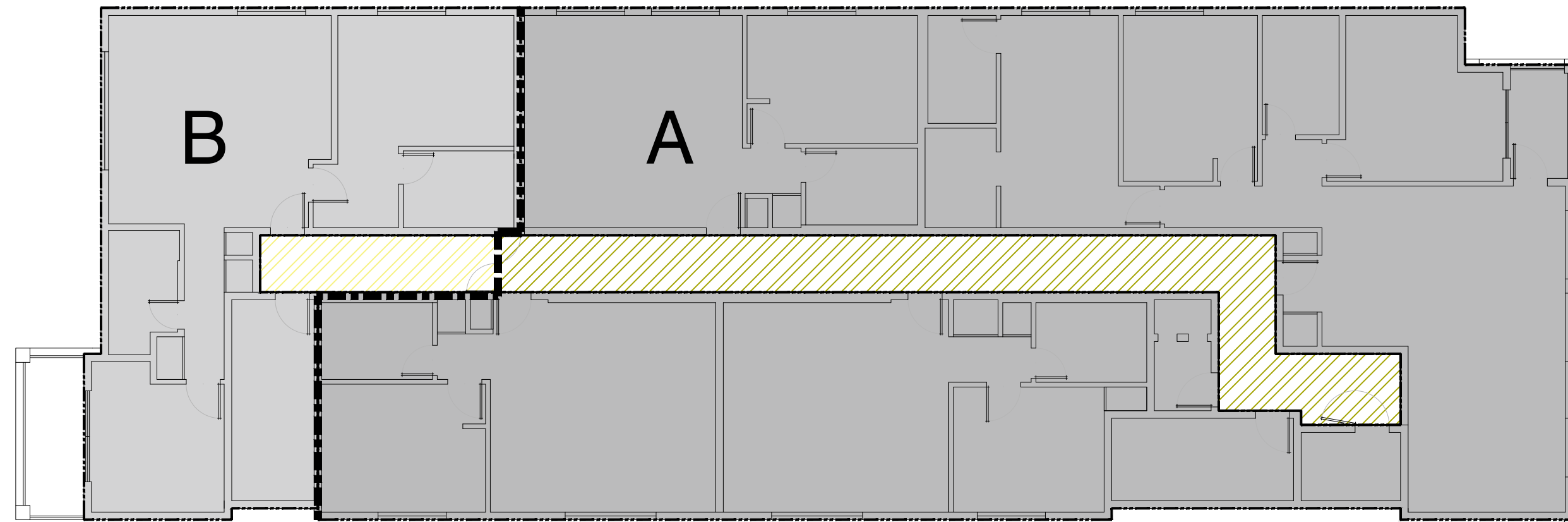
**SCALE** 3/32" = 1'-0"



**PAGE NO.:**

**A - 28**

ARCHITECTURAL SHEETS



"B"  
AREA= 1204.3 SQ.FT.  
OCC. LOAD 1204.3 SQ.FT./200= 7 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
7\*3 SQ.FT.= 21 SQ.FT. < 104.6 SQ.FT.

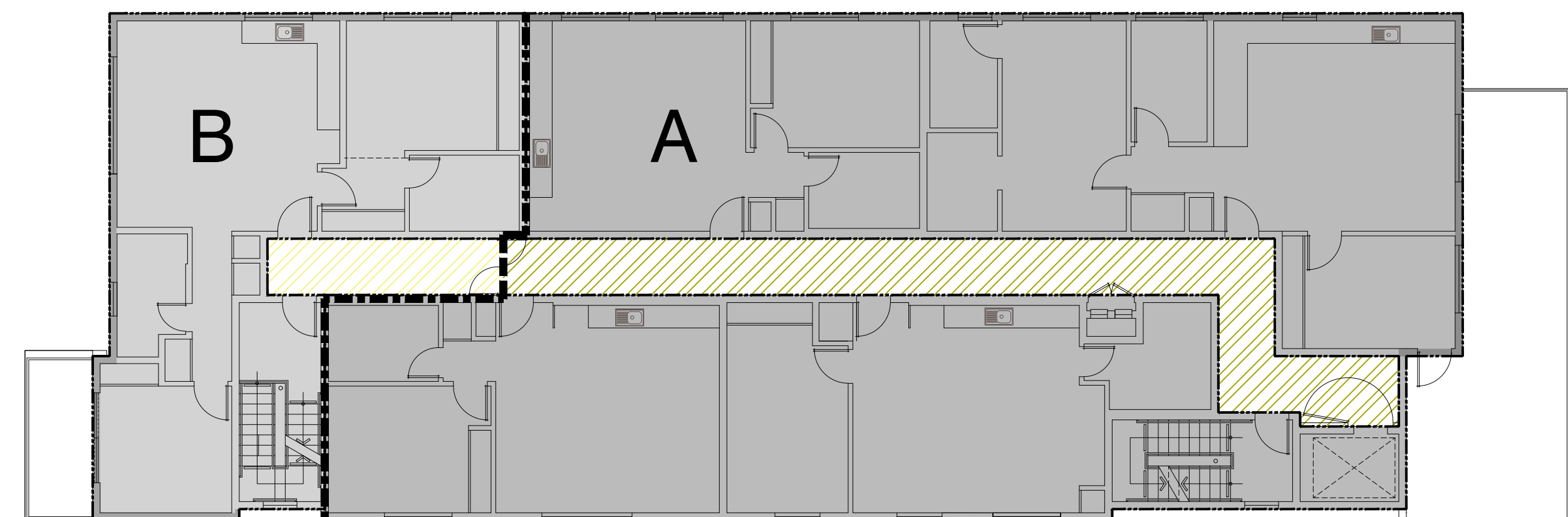
AREA OF REFUGE CAPACITY= 104.6 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

"A"  
AREA= 4000 SQ.FT.  
OCC. LOAD 3546.3 SQ.FT./200= 20 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
20\*3 SQ.FT.= 60 SQ.FT. < 460.2 SQ.FT.

AREA OF REFUGE CAPACITY= 460.2 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

**SECOND FLOOR PLAN**

SCALE: 3/32" = 1'-0"



"B"  
AREA= 1204.3 SQ.FT.  
OCC. LOAD 1204.3 SQ.FT./200= 7 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
7\*3 SQ.FT.= 21 SQ.FT. < 104.6 SQ.FT.

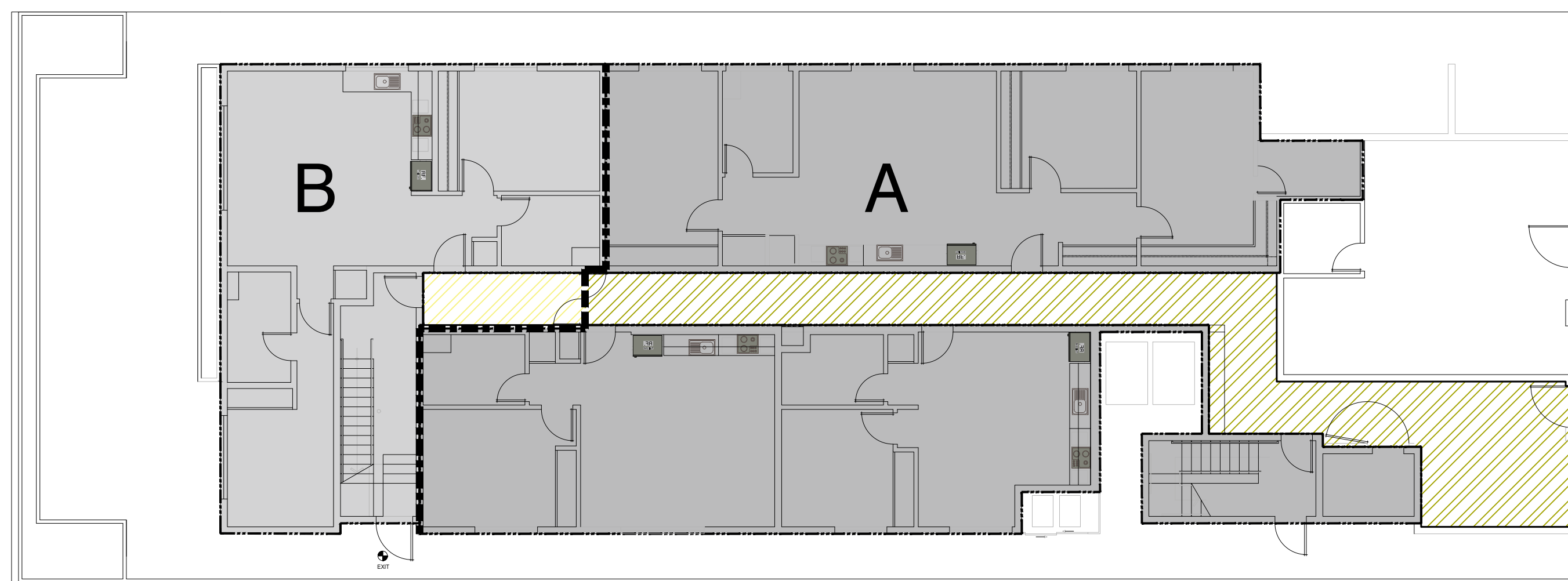
AREA OF REFUGE CAPACITY= 104.6 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

"A"  
AREA= 3546.3 SQ.FT.  
OCC. LOAD 3546.3 SQ.FT./200= 18 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
18\*3 SQ.FT.= 54 SQ.FT. < 460.2 SQ.FT.

AREA OF REFUGE CAPACITY= 460.2 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

**THIRD FLOOR PLAN**

SCALE: 3/32" = 1'-0"



"B"  
AREA= 1210.0 SQ.FT.  
OCC. LOAD 1210.0 SQ.FT./200= 7 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
7\*3 SQ.FT.= 21 SQ.FT. < 77.5 SQ.FT.

AREA OF REFUGE CAPACITY= 77.5 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

"A"  
AREA= 2980.2 SQ.FT.  
OCC. LOAD 2822 SQ.FT./200= 15 OCC  
AREA OF REFUGE CAPACITY PER 1026.4.1=  
15\*3 SQ.FT.= 45 SQ.FT. < 663.6 SQ.FT.

AREA OF REFUGE CAPACITY= 663.6 SQ.FT.  
ANTICIPATED OCCUPANT  
36" / 0.2=180\*3=540

**FIRST FLOOR PLAN**

SCALE: 3/32" = 1'-0"

**EXHIBIT "A"**  
Page No. 30 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA

**4TH FLOOR PLAN**

SCALE: 3/32" = 1'-0"





Laurus nobilis / Sweet



Olea europea / Olive



Lomandra l. 'Breeze' /  
Breeze Mat-Rush



Dianella r. 'Little Rev' /  
Flax Lilly



Chair



Table

TREE LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
☉	*Laurus nobilis	Sweet Bay	15-gal	5	hedge	low 0.3
☉	*Laurus nobilis	Sweet Bay	24"box	3	hedge	low 0.3
☉	*Olea europea	Olive	24"box	2	fruitless	low 0.3
☉	Street tree	Per City req.	36"box	2		low 0.3

SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
▨	Dianella r. 'Little Rev'	Flax Lilly	5-gal	24"oc		low 0.3
○	*Lomandra l. 'Breeze'	Breeze Mat-Rush	5-gal	31		low 0.3

\* Points claimed for low water use plants

LANDSCAPE AREA: 571 SF  
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

RECIRCULATING WATER SYSTEMS SHALL  
BE USED FOR WATER FEATURES

A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL  
EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS,  
CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING  
APPLICATIONS WHERE MULCH IS CONTRAINDICATED

FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT  
A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL  
BE INCORPORATED TO A DEPTH OF 6" INTO SOIL.

NOTE:

All groundcover areas where plants are 3' oc or greater  
to have geotextile fabric installed 3" below finished grade  
w/ 3" shredded bark above to eliminate weed growth.

Waterproofing and drains in planters by others.

All trees to be planted with commercial root barriers.

3" deep shredded Cedar bark to spread between plants.

Landscape Form items

Item	Model	Color	Remarks
Trash	Chase Park	Black	surface mount

tel: 800.521.2546



Trash

EXHIBIT "A"

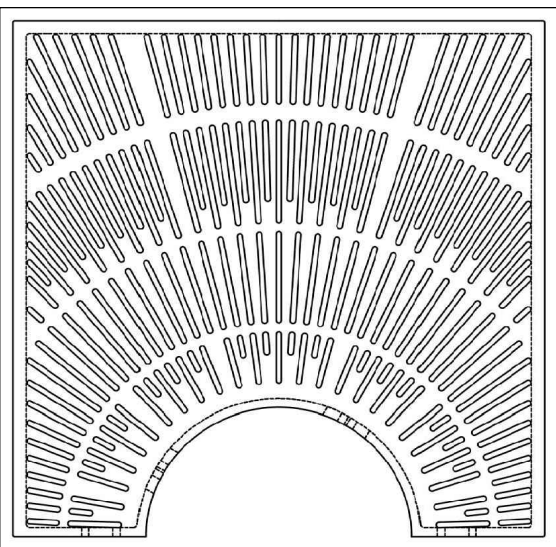
Page No. 31 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA

Neenah Tree Grate

Modle	Dimension	Color
8815-A	48" x 96"	Black

tel: 920.725.7000



Tree Grate

Landscape Points

Total square footage 8,250.00 sf  
Total number of points required for site 10

Detail of points

Main finish elevation of structure, leading  
directly to the main pedestrian entrance of  
the structure, is handicap accessible

Use of Class I or Class II compost produced  
using City organic materials TOPGRO in a  
majority of landscaped areas

TOTAL POINTS 10

Water Management Points

Total square footage of site 8,250.00 sf  
Total number of points required for site 100

Detail Of Points

Points 2 per plant 74 plants 148 L-1 & L-2

TOTAL POINTS 148

1. Open Space Area Required 2,200 s.f.

2. Outdoor Open Space Provided

a. Common Open Space 1st floor 1,002 s.f.

b. Common Open Space Roof 487 s.f.

TOTAL 1,489 s.f.

3. Required Outdoor Open Space to be landscaped

372 s.f. 25%

4. Provided Open Space to be landscaped

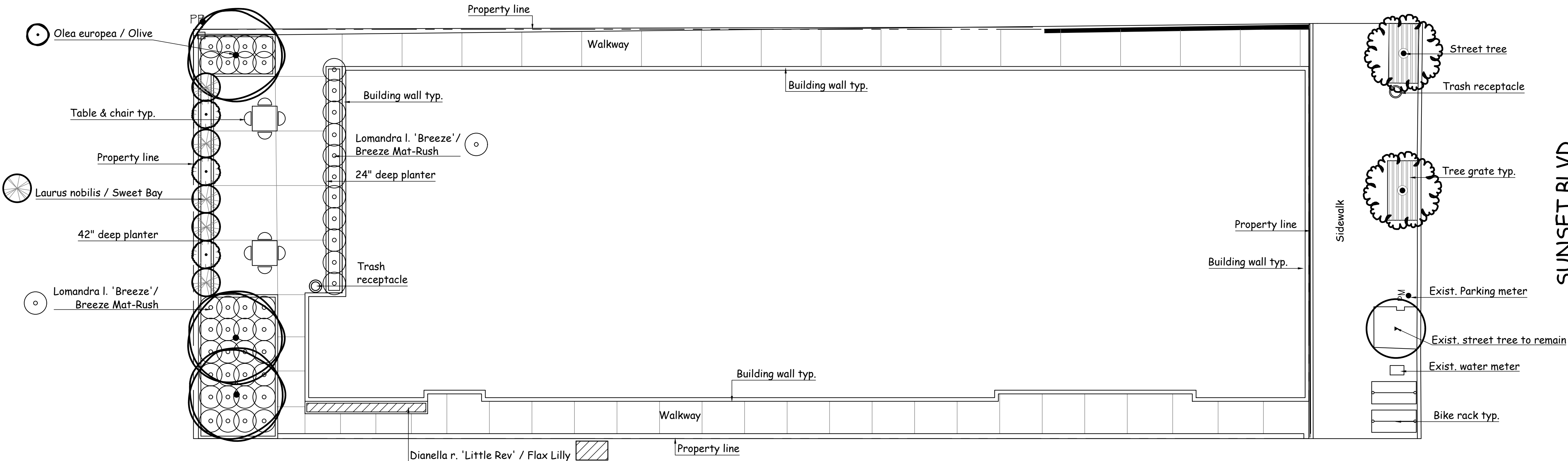
TOTAL 421 s.f. 28%

5. Required number of 24" box trees

19 units / 4 TOTAL 5 trees

6. Provided number of 24" box trees

First floor TOTAL 5 trees



Legal Description:  
LOT 36,TRACT: TR3469, ARB: NONE, BLOCK: NONE  
ASSESSORS PARCEL NO.: 554401702

0' 2' 4' 8' 16'  
SCALE: 1/8" = 1'-0"

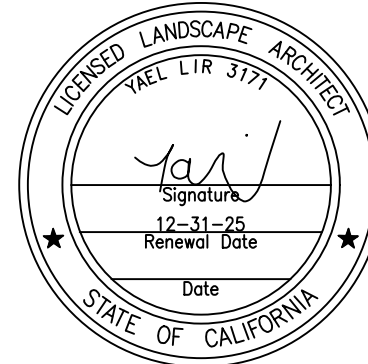
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ASLA  
Yael Lir Landscape Architects  
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5271 SUNSET BLVD.  
LOS ANGELES, CA 90018

FIRST FLOOR  
PLANTING PLAN



DATE: NOV. 1, 2022  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 231622  
DRAWN BY:



SHRUBS AND GROUND COVER LEGEND

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS
⊕	* Juncus patens	Ca. Grey Rush	5-gal	17		low 0.3
⊖	* Lavandula x allardii 'Meerlo'	Variegated Allard's Lavender	5-gal	4		low 0.3

\* Points claimed for low water use plants

NOTE:  
Waterproofing and drains in planters by others.  
3" deep shredded Cedar bark to spread between plants.

Landscape Form items		
Item	Model	Color
Table	Cheap Chic square top	Flambe Orange
Chairs	Catena	Flambe Orange
Trash	Lakeside	Stainless Steel

tel: 800.521.2546

EXHIBIT "A"  
Page No. 32 of 34  
Case No. DIR-2023-2587-TOC-SPP-VHCA



Chair



Trash



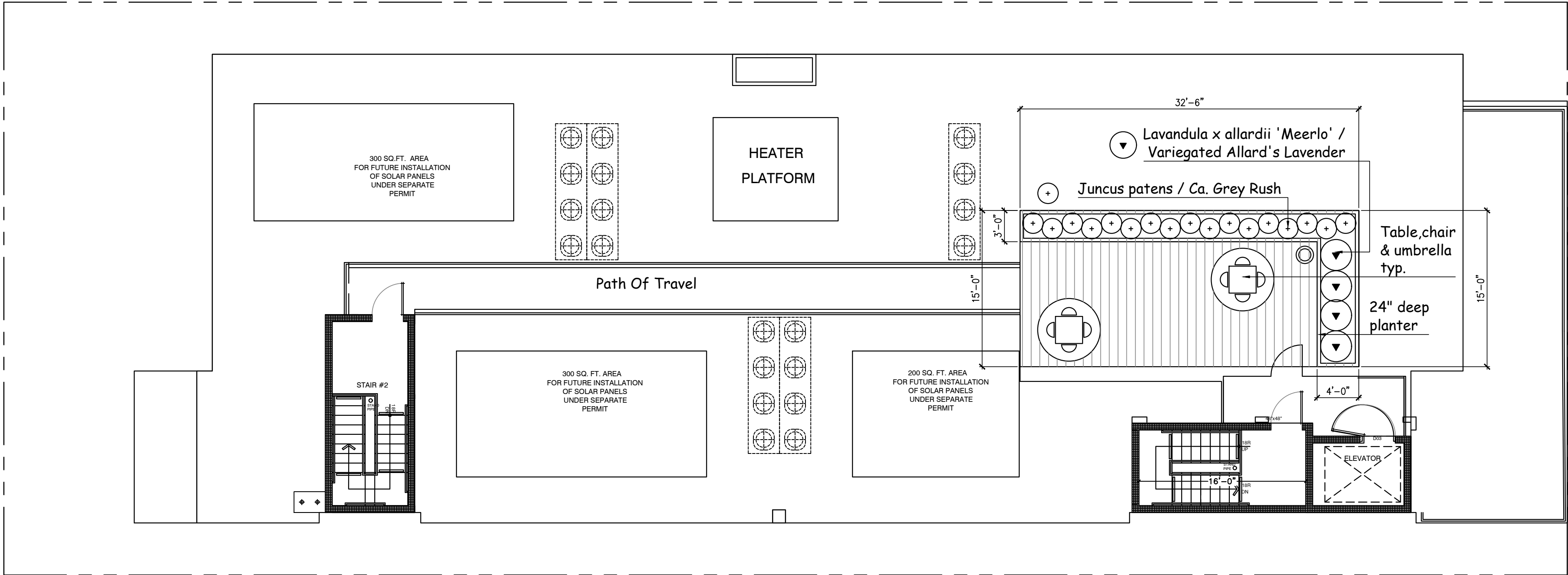
Table



Juncus patens / Ca. Grey Rush



Lavandula x allardii 'Meerlo' /  
Variegated Allard's Lavender



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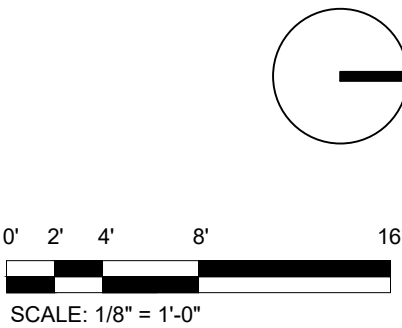
**Yael**  
ASLA  
Yael Lir Landscape Architects  
1010 Sycamore Ave. Suite 313  
South Pasadena, CA 91030  
Tel 323.258.5222  
Fax 323.258.5333  
yael@yaellir.com

5271 SUNSET BLVD.  
LOS ANGELES, CA 90018

ROOF  
PLANTING PLAN



DATE: NOV. 1, 2022  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 231622  
DRAWN BY:





ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND					
DESCRIPTION	SYM.	P.S.I.	RAD.	G.P.M.	
'RAINBIRD' RWS-B-1402		10	-	.50	
'SUPERIOR' BRASS CONTROL VALVES, #950		1" 1" 1" W/WYE STRAINER IN CAGE (BFP TO BE PAINTED DARK GREEN) LOCATION BY OWNER LOCATION BY OWNER TWICE LINE SIZE (MIN.) 1" SEE PLAN FOR SIZE 1.5" VERIFY LOCATION ON SITE			
'NIBCO' GATE VALVE T-113					
'CHRISTY' CONCRETE VALVE BOX					
'RAINBIRD' QUICK COUPLER 44 LRC 1"					
'SUPERIOR' 3100 series MASTER VALVE					
'HUNTER' FLOW SENSOR FCT-150 FLOW					
'WILKINS' REGULATOR MODEL 500					
'WILKINS' BACKFLOW PREVENTER 375					
'HUNTER' ACC2					
'HUNTER' SOLAR SYNC WIRELESS					
SLEEVING SCH. 40 P.V.C.					
PRESSURE LINE SCH. 40 P.V.C.					
NON-PRESSURE LINE SCH. 40 P.V.C.					
IRRIGATION METER					
POINT OF CONNECTION					
NETAFIM LEGEND					
'NETAFIM' LVC210075-LF		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.			
'NETAFIM' LINE FLUSH VALVE		BURIED 3" BELOW GRADE			
'NETAFIM' TECHLINE CV TLCV4-18025					
NON-PRESSURE 1" SCH. 40 PVC HEADER					

SIZE  
NO. GPM  
H—HYDROZONE

LANDSCAPE AREA: 571 SF  
IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS"

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE"  
8/07/2023

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICE.

A DIAGRAM OF THE IRRIGATION PLAN SHOWING THE HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSE

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR

A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS OR A LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT

AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

EXHIBIT "A"

Page No. 33 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA

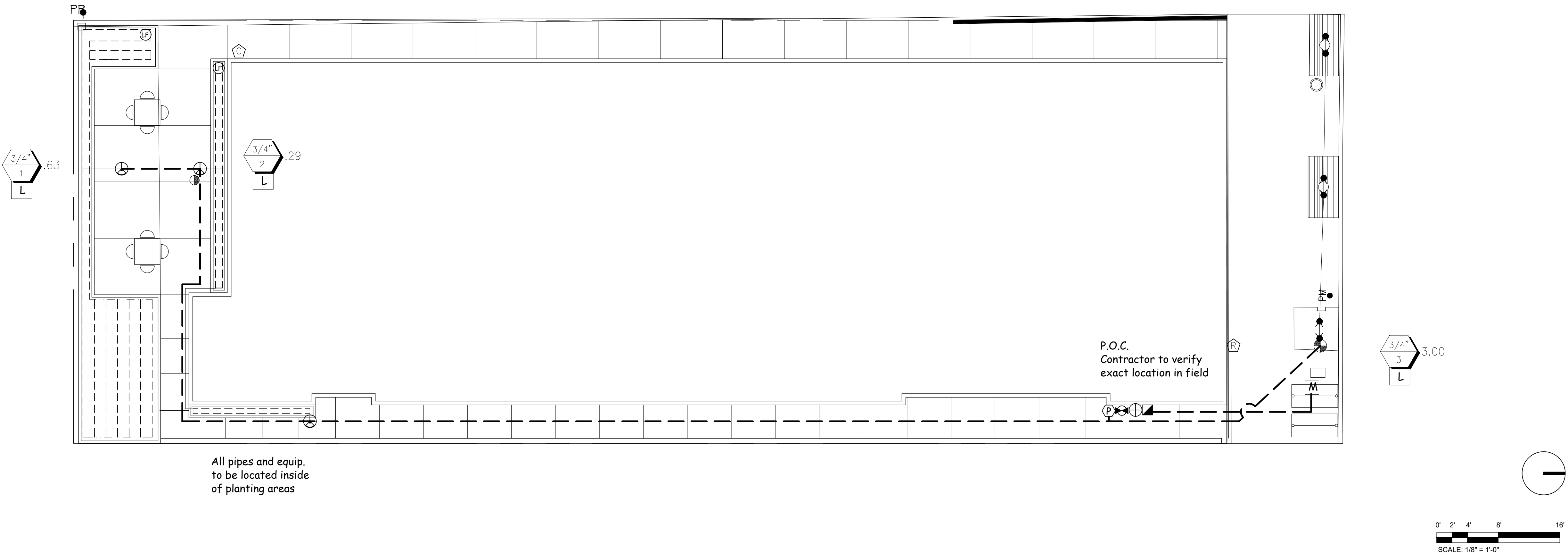
WATER EFFICIENT LANDSCAPE WORKSHEET

REFERENCE EVAPOTRANSPIRATION (ET<sub>o</sub>): 50.1

HYDROZONE / PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	LANDSCAPE AREA	ETAF x AREA	ESTIMATED TOTAL WATER USE
1 / water use plants	.3	DRIP	.81	.37	324	119.88	3723
2 / water use plants	.3	DRIP	.81	.37	92	34.04	1057
3 / water use plants	.3	DRIP	.81	.37	10	3.7	114
4 / water use plants	.3	DRIP	.81	.37	145	53.65	1667
				SUM	571	211.27	
				ESTIMATED TOTAL WATER USE (ETWU)			6,561
				MAXIMUM APPLIED WATER ALLOWANCE (MAWA)			9,755

ETAF CALCULATION

ETAF x AREA	211.27
TOTAL AREA	571
AVERAGE ETAF	.37



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












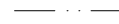
FIRST FLOOR  
IRRIGATION PLAN



DATE: NOV. 1, 2022  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 231622  
DRAWN BY:



ALL IRRIGATION IS SUB-SURFACE DRIP SYSTEM

IRRIGATION LEGEND					
DESCRIPTION	SYM.	P.S.I.	RAD.	G.P.M.	
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'SUPERIOR' BRASS CONTROL VALVES, #950		<div>1"</div> <div>1"</div> <div>1"</div> <div>W/WYE STRAINER IN CAGE (BFP TO BE PAINTED DARK GREEN)</div> <div>LOCATION BY OWNER</div> <div>LOCATION BY OWNER</div> <div>TWICE LINE SIZE (MIN.)</div> <div>1"</div> <div>SEE PLAN FOR SIZE</div> <div>1.5"</div> <div>VERIFY LOCATION ON SITE</div>			
'NIBCO' GATE VALVE T-113					
'CHRISTY' CONCRETE VALVE BOX					
'RAINBIRD' QUICK COUPLER 44 LRC 1"					
'SUPERIOR' 3100 series MASTER VALVE					
'HUNTER' FLOW SENSOR FCT-150 FLOW					
'WILKINS' REGULATOR MODEL 500					
'WILKINS' BACKFLOW PREVENTER 375					
'HUNTER' ACC2					
'HUNTER' SOLAR SYNC WIRELESS					
SLEEVING SCH. 40 P.V.C.					
PRESSURE LINE SCH. 40 P.V.C.					
NON-PRESSURE LINE SCH. 40 P.V.C.					
IRRIGATION METER					
POINT OF CONNECTION					
NETAFIM LEGEND					
'NETAFIM' LVC210075-LF		CONTROL VALVE, TECHFILTER & PRESSURE REGULATOR.			
'NETAFIM' LINE FLUSH VALVE					
'NETAFIM' TECHLINE CV TLCV4-18025					
NON-PRESSURE 1" SCH. 40 PVC HEADER		BURIED 3" BELOW GRADE			

SIZE  
NO. GPM

H—HYDROZONE

LANDSCAPE AREA: 571 SF

IRRIGATION WATER SUPPLY TYPE: POTABLE WATER SUPPLY

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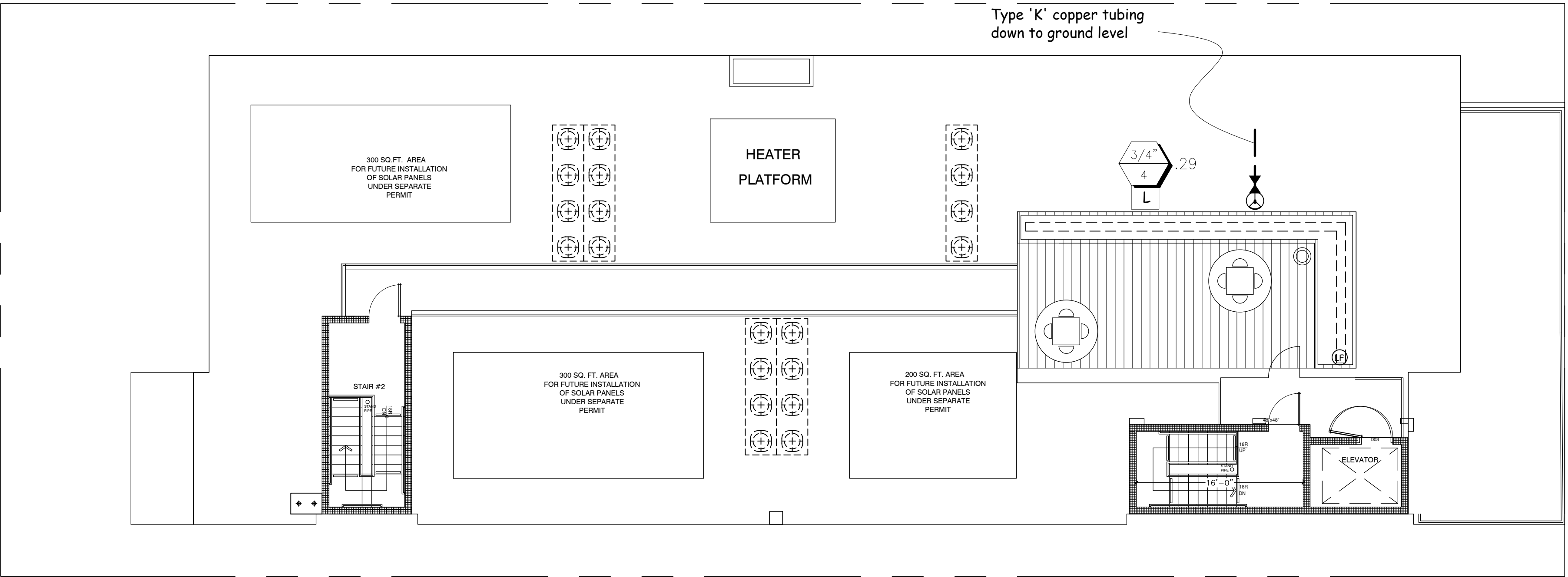
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EXHIBIT "A"

Page No. 34 of 34

Case No. DIR-2023-2587-TOC-SPP-VHCA



0' 2' 4' 8' 16'

SCALE: 1/8" = 1'-0"

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ROOF  
IRRIGATION PLAN



DATE: NOV. 1, 2022

SCALE: 1/8"=1'-0"

JOB NUMBER: 231622

DRAWN BY: