

THE LEGACY @ SIXTH-UNION



A MIX-USE RESIDENTIAL DEVELOPMENT

550 S. UNION AVE

1701, 09, 15, 17, 17 $\frac{1}{2}$ 6TH STREET, LOS ANGELES CA 90017

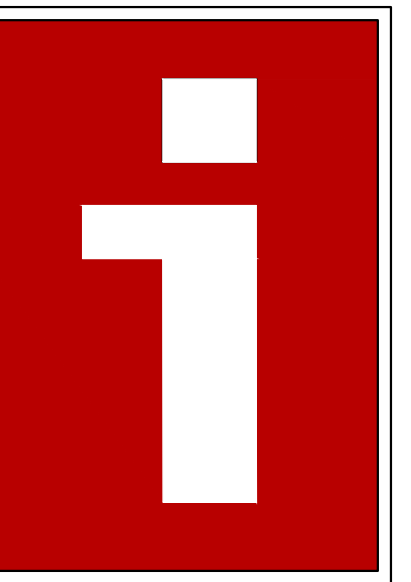
DIR - 2021-7344 - SPR - TOC -

HCA - ENV - 2020-5078-EAF

DEVELOPER:

BENBAROUKH, LLC

319 S. ROBERTSON DR. BEVERLY HILLS, CA 90211

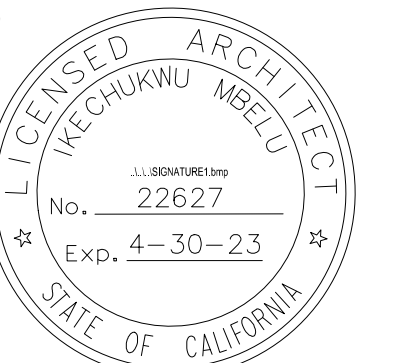


ICON & IKON, INC.

ARCHITECTS AND PLANNERS

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BENBAROUKH, LLC.

319 S. ROBERTSON DR.
BEVERLY HILLS, CALIFORNIA, 90211
PH. 310-550-1012

PROJECT TITLE
**THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT**

PROJECT ADDRESS
550 S. UNION STREET
1701, 09, 15, 17, 17 $\frac{1}{2}$ 6TH STREET
LOS ANGELES, CA 90017

REVISIONS		
NO.	DATE	DESCRIPTION
1	01-22-22	SITE PLAN REVIEW-RESUB
2	02-18-22	PRELIM ZONING ASSESS.
3	03-21-22	PRELIM ZONING ASSESS.
4	06-15-22	PRELIM ZONING ASSESS.

DRAWN BY: I.M.

CHECKED BY: I.M.

PRINTED ON: JUN 15, 2022

PERMIT NO:

TITLE

COVER SHEET

SHEET #

A - 000

NO. OF 100

EXHIBIT "A"

Page No. 1 of 27

Case No. DIR-2021-7344-TOC-SPR-HCA

GENERAL NOTES

1. "ARCHITECT" AS USED IN THESE DOCUMENTS REFERS TO ICON PLANNING AND DESIGN STUDIO, (ICON & IKON, INC.) PHONE: 310-428-8668

2. THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION - A201, 2010 EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS" ARE HEREBY MADE PART OF THESE CONTRACT DOCUMENTS TO THE SAME EXTENT AS IF FOUND HEREIN.

3. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS ARE TO INCLUDE ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR COMPLETION OF ALL WORK SHOWN, PRESCRIBED, OR REASONABLY IMPLIED BUT NOT LIMITED TO THAT EXPLICITLY IN THE CONTRACT DOCUMENTS.

4. ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, ORDINANCES, AND REGULATIONS AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION.

5. INSTALL ALL MANUFACTURED ITEMS AND EQUIPMENTS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND IN COMPLIANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL AUTHORITIES.

6. DIMENSIONS ON DRAWINGS ARE SHOWN TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE TO FACE OF STUD WALLS AND PARTITIONS UNLESS OTHERWISE NOTED.

7. DO NOT SCALE DRAWINGS. DIMENSION GOVERN. LARGER SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS.

8. ALL WORK NOTED "N/C" OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH REQUIRED "OTHER CONTRACTORS" AS

9. "ALONG" AS USED IN THESE DOCUMENTS SHALL MEAN TO ACCURATELY LOCATE FINISH FACES OF THE SAME PLANE, WHERE GYPSUM BOARD LAYERS REFERS. STUDS ARE TO BE OFFSET TO PERMIT A CONTINUOUS SMOOTH FINISH LINE WHERE SUCH OCCUR.

10. STRUCTURAL, ELECTRICAL, MECHANICAL, CIVIL AND DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS THE CONTRACTOR SHALL REVIEW ALL PLANS AND DRAWINGS. IN THE EVENT OF CONFLICTING STATEMENTS, INSUFFICIENT INFORMATION, OR ERRORS, IMMEDIATELY NOTIFY THE ARCHITECT AND THE CONTRACTOR SHALL OBTAIN CLARIFICATION BEFORE ANY WORK IS BEGUN. WORK INSTALLED WHERE CONFLICTING CONDITIONS EXIST SHALL BE CORRECTED AT CONTRACTORS EXPENSE.

11. DIMENSIONS, DETAILS, NOTES, AND/OR SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS UNLESS OTHERWISE NOTED.

12. ALL VERTICAL DIMENSIONS SHOWN TO FLOOR ARE TO THE CONCRETE OTHERWISE NOTED. SLAB OR CONCRETE FLOOR FILL, UNLESS

13. DETAILS NOTED AS "TYPICAL" SHALL APPLY IN ALL LIKE CONDITIONS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION OF THE PROJECT.

14. WHENEVER AN ARTICLE, DEVICE, OR PIECE OF EQUIPMENT IS SHOWN, INDICATE, OR REFERRED TO ON THE DRAWINGS OR THESE NOTES IN THE SINGULAR NUMBER, SUCH REFERENCES APPLY TO AS MANY SUCH ARTICLES AS ARE REQUIRED TO COMPLETE THE INSTALLATION.

15. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES OR UNIDENTIFIED CONDITIONS TO THE ARCHITECT FOR RESOLUTION BEFORE ANY WORK IS BEGUN.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES AND PROCEDURES EMPLOYED IN THE PERFORMANCE OF WORK IN, ON, OR ABOUT THE JOB SITE. THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL WORK PERFORMED BY SUB-CONTRACTORS.

17. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON, OR RELATED TO THIS PROJECT SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED, AND SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATION" OF THE U.S. DEPARTMENT OF LABOR AND WITH ANY AND ALL OTHER APPLICABLE STATE AND/OR LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROVAL AND PERMITS FOR ALL DESIGN-BUILD SYSTEMS, AND THAT THE SYSTEMS MEET ALL APPLICABLE CODES REQUIREMENTS.

19. NEITHER THE ARCHITECTS REVIEW NOR APPROVAL OF SHOP DRAWINGS SHALL RELIEVE THE CONTRACTOR OR SUBCONTRACTOR FROM DEVIATIONS FROM OR DRAWING OR SPECIFICATIONS UNLESS HE HAS CALLED THE ARCHITECTS ATTENTION (IN WRITING) TO SUCH DEVIATION AT THE TIME OF SUBMISSION NOR SHALL IT RELIEF HIM OF RESPONSIBILITY FOR ERROR OF ANY SORT IN THE SHOP DRAWINGS.

20. CONTRACTOR SHALL BE RESPONSIBLE AND SHALL PROVIDE ALL BLOCKING AND BRACING IN WALLS AND CEILING FOR ALL MILLWORK, SHELVING, WALL WEIGHT, ETC. AS REQUIRED FOR SUPPORT.

21. CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEAN-UP OF A JOB AFTER ITS COMPLETION. CLEANING SHALL INCLUDE INTERIOR OF THE BUILDING AND PATH OF TRAVEL TO THE SITE.

SYMBOLS

SECTION NUMBER

SHEET NUMBER

ELEVATION

SHEET NUMBER

DETAIL SHEET

NUMBER

C

COLUMN GRID MARK

X

WINDOW SCHEDULE NUMBER

X

DOOR SCHEDULE NUMBER

X

FINISH SCHEDULE

LA BUILDING CODE INFORMATION

CHAPTER 6 - TYPE OF CONSTRUCTION

LEVEL P1, & P3

TYPE I-A (CONCRETE, 2 STORIES)

LEVEL 2

TYPE I-A (CONCRETE, LIGHT METAL FRAMING)

LEVEL 5 - ROOF

TYPE III-A (WOOD FRAMING, 5 STORIES OVER CONCRETE PODIUM)

TABLE 601 - FIRE RESISTANCE RATING REQ'D FOR BLDG. ELEMENTS

BUILDING ELEMENT

TYPE I-A

TYPE III-A

PRIMARY STRUCTURAL FRAME

3-HRS

1-HOUR

BEARING WALLS (EXT)

3-HRS

2-HOUR

BEARING WALLS (INT)

3-HRS

1-HOUR

NON-BEARING WALLS (EXT)

-----PER TABLE 602-----

1-HOUR

NON-BEARING WALLS (INT)

-----NON-RATED-----

1-HOUR

FLOOR CONSTRUCTION

2-HOUR

1-HOUR

SECONDARY MEMBERS

ROOF CONSTRUCTION

SECONDARY MEMBERS

1.5 HRS

1-HOUR

TABLE 602 - FIRE RESISTANCE RATING REQ'D FOR EXT. WALLS BASED ON FIRE SEPARATION DISTANCE

FIRE SEPARATION DISTANCE

TYPE I-A (S-2, M)

TYPE III-A (R-2, A-3)

X < 5'

1-HRS

1-HOUR

5 < X < 10'

1-HRS

1-HOUR

10' < X < 30'

1-HRS

1-HOUR

X > 30'

NON-RATED

NON-RATED

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES

TABLE 705.8 MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION.

(REFER TO SHEET -----)

CHAPTER 9 - FIRE PROTECTION SYSTEMS

903.2.8 AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3 SHALL BE PROVIDED THROUGHOUT ALL BUILDING WITH A GROUP R FIRE AREA.

CHAPTER 10 - MEANS OF EGRESS

1009.4 NOT LESS THAN ONE REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE AN ELEVATOR COMPLYING WITH SECTION 1009.4.

CHAPTER 11A - HOUSING ACCESSIBILITY

1106A.2 ALL DWELLING UNITS ARE SERVED BY AN ELEVATOR, AND ON AN ACCESSIBLE ROUTE. ALL DWELLING UNITS ARE ADAPTABLE.

CHAPTER 11B - ACCESSIBILITY TO PUBLIC BUILDINGS

DOES NOT APPLY

ANNOTATIONS		
A.B	ANCHOR BOLT	MAS
A/C	AIR CONDITION UNIT	MAX.
ALUM.	ALUMINUM	M.B.
APPROX.	APPROXIMATELY	M.C.
ARCH.	ARCHITECTURAL	MFR.
ASD	ALUM. SLIDING GL. DR	MIN.
ASW	ALUM. SLIDING WD.	M.O.
BLDG.	BUILDING	N.G.
BLKG	BLOCKING	N.B.
BM	BENCHMARK	N.I.C.
BOT.	BOTTOM	N.O.
C.I.	CAST IRON	N.T.S.
C.J.	CEILING JOIST	O.C.
CLG.	CEILING	OPF.
CLR.	CLEAR	OSA.
COL.	COLUMN	P.B.
CONC.	CONCRETE	PLY.WD.
CONST.	CONSTRUCTION	PR.
CONT.	CONTINUOUS	PSF.
DBL.	DOUBLE	P.TDF
DET.	DETAIL	PVC.
DIA.	DIAMETER	R.
DIAG.	DIAGONAL	R.A.G.
DM.	DIMENSION	R.D.WD.
DH.	DOUBLE HUNG	RECP.T.
DN.	DOWN	REF.
DRWG.	DRAWING	REQ'D
DS.	DOWN SPOUT	R.O.
EA.	EACH	R.S.
ELEV.	ELEVATOR	S.C.
EQ.	EQUIVALENT	SEL. STR.
EQUIP.	EQUIPMENT	SH.
E.W.	EXT. WALL	SHTG.
EXT.	EXT. WALL	SHWR.
FAU.	FORCED AIR UNIT	SIM.
FDN.	FOUNDATION	SL.
FF	FINISH GRADE	S & P
F.F.	FINISH GRADE	S.S.
F.G.	FINISH GRADE	STAG.
F.J.	FINISH JOIST	STAND.
F.LR.	FLOOR	SQ.
FLOOR.	FLOURESCENT	T & B.
F.O.M.	FACE OF MASONRY	TYP.
F.O.S.	FACE OF STUD	TEL.
FT.	FOOT/FEET	T & G.
FTG.	FOOTING	T.O.C.
GA.	GALV.	TO.P.
GALV.	GALVANIZED	T.O.P.
G.D.	GARBAGE DISPOSAL	T.O.W.
G.LD.	GLUE LAMINATED BM	TV.
H.C.	HOLLOW CORE	TYP.
HDR.	HEADER	C.B.C.
HNGR.	HANGER	UNFIN.
HORIZ.	HORIZONTAL	U.O.N.
HTR.	HEATER	VERT.
INSUL.	INSULATION	W.
INT.	INTERIOR	W.
INT.	INTERIOR	W.
LTWT.	LIGHT WEIGHT	W.
SEPARATE PERMITS REQUIREMENTS		
1. BUILDING		
2. MECHANICAL		
3. PLUMBING		
4. GRADING		
5. ELECTRICAL		
6. FIRE SPRINKLER FOR ENTIRE BUILDING		
STRUCTURAL OBSERVATION		
1. THE ARCHITECT / STRUCTURAL ENGINEER SHALL PROVIDE STRUCTURAL OBSERVATION FOR THE FOLLOWING:		
A. CONCRETE FOOTING EXCAVATION REINFORCEMENT PLACEMENT PRIOR TO PLACING OF CONCRETE SPECIFIED TO BE GREATER THAN 2500 PSI.		
B. CONCRETE COLUMN, SLAB AND BEAM REINFORCEMENT PLACEMENT PRIOR TO PLACING OF CONC SPECIFIED TO BE GREATER THAN 2500 PSI.		
C. CONCRETE (SHOTCRETE) WALL REINFORCEMENT PLACEMENT PRIOR TO PLACING OF CONCRETE SPECIFIED TO BE GREATER THAN 2500 PSI.		
2. ALL WOOD SHEAR WALLS.		
SPECIAL DEPUTY INSPECTIONS		
1. ALL CONCRETE SPECIFIED TO BE $f_c = 3,000$ PSI OR GREATER (GRADE BEAMS)		
2. ULTRA SOUND TESTING OF MOMENT FRAME FIELD WELDS.		
3. ALL STEEL CONNECTION BOLTS (A307 EXEMPT NO INSPECTION REQUIRED)		
4. DRYPACK UNDER STEEL COLUMN BASE PLATES ($f_c = 3000$ psi)		
5. ALL MASONRY (CMU) WALL CONSTRUCTION (REINFORCED & GROUTED)		
APPLICABLE CODES		
APPLICABLE COSES THIS PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:		
FEDERAL CODES		
• NFPA 13, 2016 EDITION WITH CITY AMENDMENTS • NFPA 14, 2013 EDITION WITH CITY AMENDMENTS • NFPA 24, 2016 EDITION WITH CITY AMENDMENTS		
STATE CODES (WITH CITY OF LOS ANGELES BUILDING CODE)		
• CITY OF LOS ANGELES BUILDING CODE 2017 • CITY OF LOS ANGELES MECHANICAL CODE 2017 • CITY OF LOS ANGELES PLUMBING CODE 2017 • CITY OF LOS ANGELES ELECTRICAL CODE 2017 • CITY OF LOS ANGELES FIRE CODE 2017 • ACCESSIBILITY/ENERGY TITLE - 24 CALIF ACCESS CODE CITY OF LOS ANGELES LOCAL ORD.		
CHAPTER 3 - USE & OCCUPANCY CLASSIFICATION		
M	COMMERCIAL RETAIL	(2017 LABC)
A-3	MULTI-PURPOSE ROOM & ROOF DECKS	(2017 LABC)
R-2	RESIDENTIAL	(2017 LABC)
S-2	PARKING GARAGE & UTILITY ROOMS	(2017 LABC)
2017 LAMC JUSTIFICATION		
2017 LA BUILDING CODE	BASEMENT-2ND FLR	3RD - 7TH FLR
OCCUPANCY TYPE	M	S-2
TYPE OF CONSTRUCTION (1ST FLR - 3 HR CONST.)	1-A	1-A
STORIES (HEIGHT)	1-A	1-A
MAX. HGT ALLOWED (M) UNLIMITED	1	2 (20'-0")
PROPOSED BLDG. HGT (R-2) 70'-0" (NO AREA INCREASE)		5 (50'-7")
PROPOSED BLDG. HGT 80'-0"		
FIRE SPRINKLER SYSTEM (FOR 1 HR FIRE RATING) 506.2	YES	YES
ALLOWABLE BUILDING AREA (A) FULLY SPRINKLERED	UNLIMITD	UNLIMITD
ALLOWABLE AREA FULLY SPRINKLERED	72,000 SQ. FT.	72,000 SQ. FT.
PROPOSED BUILDING AREA	17,224	55,470 S.F.
MAX. AREA FULLY SPRINKLERED	UNLIMITD	UNLIMITD
		88,398 SF < 96,000 SF

PARKING PROVIDED & LOCATION					PER LAMC 12.21A4
RESIDENTIAL					
LEVEL	STALL SIZE	STALL TYPE	COUNT		
P1 - BASEMENT	STANDARD	RESIDENTIAL	29 STALLS		
2ND FLR. LEVEL	STANDARD	RESIDENTIAL	19 STALLS		
P1 - BASEMENT	ACCESSIBLE VAN	RESIDENTIAL	2 STALLS		
TOTAL RESIDENTIAL PARKING PROVIDED			50 STALLS		
EVSC REQUIRED FOR TIER 1 5 STALLS					
= 8.1 STALLS = 9 STALLS					
COMMERCIAL RETAIL					
GRADE LEVEL	STANDARD	RETAIL	2 STALLS		
2ND FLR. LEVEL	STANDARD	RETAIL	9		
2ND FLR. LEVEL	COMPACT	RETAIL	9 MAX		
2ND FLR. LEVEL	ACCESSIBLE VAN	RETAIL	2		
TOTAL RETAIL PARKING PROVIDED			22 STALLS		
COMPACT STALLS MAY MAKE UP 30% OF TOTAL RETAIL PARKING					
27 X 4					
= 8.1 STALLS = 9 STALLS					
EVSC REQUIRED 2 STALLS					
ALL ASSIGNED STALLS. NO GUEST PARKING					
EV PARKING					PER LA ORD. 186.486
EVSC (TIER 1)	ITEM	REQUIRED		PROPOSED	
		LAMC	TOC TIER 3		
	RETAIL	3 STALLS	2 STALLS	2 STALLS	
	RESIDENTIAL	11 STALLS	5 STALLS	5 STALLS	
BICYCLE PARKING					PER LAMC 12.21
REQUIRED RESIDENTIAL BICYCLE PARKING. PER TABLE 12.21 A.16(a)(1)(i)					
RETAIL COMMERCIAL	REQUIRED	LAMC/TOC	PROPOSED		
SHORT TERM	6 RACKS		24 RACKS		
LONG TERM	6 RACKS		10 RACKS		
TOTAL COMMERCIAL BICYCLE RACKS PROPOSED			34 RACKS		
RESIDENTIAL					
DWELLING UNITS	SHORT TERM SPACES	LONG-TERM SPACES		# OF UNITS	
1- 25	1 SPACE / 10 UNITS	1 SPACE PER UNIT		25	
26 - 100	1 SPACE / 15 UNITS	1 SPACE PER 1.5 UNITS		75	
SHORT TERM SPACES	REQUIRED LAMC / TOC	PROPOSED			
(FIRST 25 UNITS) 25 / 10	2.5 RACKS	3			
(UNITS 26-100) 75 / 15	5 RACKS	5			
TOTAL		8 RACKS			
LONG TERM SPACES	REQUIRED LAMC / TOC	PROPOSED			
(FIRST 25 UNITS) 1 SPACE / UNIT	25 RACKS	25			
(UNITS 26-100) 75 / 1.5	50 RACKS	90			
TOTAL	75 RACKS	115 RACKS			
TOTAL RESIDENTIAL BICYCLE RACKS PROPOSED					
SHORT TERM = 8					
LONG TERM = 115 (56 VERTICAL STANDS WITH DBL RACKS)					
OPEN SPACE					PER LAMC 12.21.G
OPEN SPACE REQUIREMENTS PER LAMC 12.21.G					
100 SF/UNIT < 3 HABITABLE ROOMS (STUDIO & 1 BR UNITS)					
125 SF/UNIT < 3 HABITABLE ROOMS (2 BR UNITS)					
1. A KITCHEN IS NOT CONSIDERED A HABITABLE ROOM FOR THE PURPOSES OF CALCULATING OPEN SPACE					
2. PRIVATE OPEN SPACE (PATIO & BALCONY) 50 SF MAX					
PERCENTAGE OF LANDSCAPED COMMON OPEN SPACE					
LANDSCAPED OPEN SPACE	25%				
COMMON OPEN SPACE PODIUM	4,466 SF				
COMMON OPEN SPACE ROOF DECK 1	6,255 SF				
COMMON OPEN SPACE ROOF DECK 2	964 SF				
TOTAL REQUIRED = 11,685 X .25 = 2,921 SF LANDSCAPED OPEN SPACE REQUIRED.					
UNITS	# OF UNITS, REQ'D PER LAMC	TOT. OPENS SPACE			
STUDIO/1 BR UNITS	80	100 SF	8,000 SF		
2 BR UNITS	20	125 SF	2,500 SF		
TOTAL REQUIRED OPEN SPACE		10,500 SF			
OPEN SPACE PROPOSED					
NAME	LEVEL	QTY	AREA (SF)		
GYM	2ND FLOOR	1	2,066 SF		
COMMON OPEN SPACE	PODIUM	1	4,466 SF		
COMMUNITY HALL	PODIUM	1	977 SF		
PATIOS	PODIUM	7	350 SF		
BALCONY	4TH FLOOR	7	350 SF		
BALCONY	5TH FLOOR	7	350 SF		
BALCONY	6TH FLOOR	7	350 SF		
BALCONY	7TH FLOOR	7	350 SF		
COMMON OPEN SPACE	RF DECK AREA 1	1	6,255 SF		
COMMON OPEN SPACE	RF DECK AREA 2	1	964 SF		
GROSS PRIVATE OPEN SPACE		1,750 SF			
GROSS COMMON OPEN SPACE		14,728 SF			
GROSS PROPOSED P & C. OPEN SPACE		16,478 SF			
LANDSCAPE					PER LAMC 12.21
REQUIRED AREA OF LANDSCAPE AT OPEN SPACE					25%
PROPOSED					
COMMON OPEN SPACE PODIUM	4,466 SF				
COMMON OPEN SPACE ROOF DECK 1	6,255 SF				
COMMON OPEN SPACE ROOF DECK 2	964 SF				
TOTAL REQUIRED LANDSCAPE AREA					= 11,685 X .25 = 2,921 SF
TOTAL PROPOSED LANDSCAPE AREA					= 2,921 SF
TREE COUNT					
PER LAMC 12.21.G					
REQUIRED 1 - 24 INCH BOX TREE FOR EVERY 4 DWELLING UNITS					
100 UNITS / 4 = 25 TREES REQUIRED					
AREA	# OF TREES				
GROUND FLOOR	1 EXISTING + 5 NEW STREET TREES				
PODIUM LEVEL	8 TREES				
ROOF AREA	12 TREES				
EXISTING 1 STREET TREE TO REMAIN & 25 ADDITIONAL TREES PROPOSED					
TOTAL 26 TREES - SEE LANDSCAPE PLANS					
SOLAR PANEL AREA					PER LA ORD. 186.486
REQUIRED 15% OF TOTAL ROOF AREA					
REQUIRED ROOF AREA					
18,048 SF X 0.15 = 2,707 SF					
PROPOSED SOLAR PANEL AREA					
260 + 520 + 770 + 120 + 537 + 570 = 2,777 SF					
2777 / 18046 = 15.4 %					

UNIT BREAKDOWN			
UNIT TYPE	QTY.	UNIT TYPE	QTY.
3RD FLOOR		6TH FLOOR	
2 BR	4	2 BR	4
1 BR	15	1 BR	15
STUDIO	1	STUDIO	1
4TH FLOOR		7TH FLOOR	
2 BR	4	2 BR	4
1 BR	15	1 BR	15
STUDIO	1	STUDIO	1
5TH FLOOR		TOTAL # UNITS TYPES	
2 BR	4	2 BR	20
1 BR	15	1 BR	75
STUDIO	1	STUDIO	5

PODIUM / 3RD FLOOR LEVEL			
UNIT AREAS			
UNIT #	AREA SF	# OF BEDROOMS	AFFORDABLE UNITS
310	531 SF	1	
311	588 SF	1	
312	588 SF	1	
313	588 SF	1	
314	588 SF	1	
315	588 SF	1	
316	579 SF	1	
317	622 SF	1	
318	781 SF	2	ELI
319	399 SF	STUDIO	
320	593 SF	1	
321	889 SF	2	
322	610 SF	1	
323	650 SF	1	
324	664 SF	1	
325	198 SF	LAUNDRY	
326	594 SF	1	
327	594 SF	1	
328	843 SF	2	
329	843 SF	2	
330	504 SF	1	ELI

4TH FLOOR			
UNIT AREAS			
UNIT #	AREA SF	# OF BEDROOMS	AFFORDABLE UNITS
410	531 SF	1	
411	588 SF	1	
412	588 SF	1	
413	588 SF	1	
414	588 SF	1	ELI
415	588 SF	1	
416	579 SF	1	
417	622 SF	1	
418	781 SF	2	
419	399 SF	STUDIO	
420	593 SF	1	
421	889 SF	2	
422	610 SF	1	
423	650 SF	1	
424	664 SF	1	
425	198 SF	LAUNDRY	
426	594 SF	1	
427	594 SF	1	
428	843 SF	2	
429	843 SF	2	ELI
430	504 SF	1	

5TH FLOOR			
UNIT #	AREA SF	# OF BEDROOMS	AFFORDABLE UNITS
510	531 SF	1	
511	588 SF	1	
512	588 SF	1	
513	588 SF	1	
514	588 SF	1	
515	588 SF	1	
516	579 SF	1	
517	622 SF	1	
518	781 SF	2	
519	399 SF	STUDIO	ELI
520	593 SF	1	
521	889 SF	2	
522	610 SF	1	ELI
523	650 SF	1	
524	664 SF	1	
525	198 SF	LAUNDRY	
526	594 SF	1	ELI
527	594 SF	1	
528	843 SF	2	
529	843 SF	2	
530	504 SF	1	

6TH FLOOR			
UNIT #	AREA SF	# OF BEDROOMS	AFFORDABLE UNITS
610	531 SF	1	
611	588 SF	1	
612	588 SF	1	
613	588 SF	1	
614	588 SF	1	
615	588 SF	1	
616	579 SF	1	
617	622 SF	1	
618	781 SF	2	
619	399 SF	STUDIO	
620	593 SF	1	
621	889 SF	2	
622	610 SF	1	ELI
623	650 SF	1	
624	664 SF	1	
625	198 SF	LAUNDRY	
626	594 SF	1	
627	594 SF	1	
628	843 SF	2	
629	843 SF	2	
630	504 SF	1	

NOTE: UNIT AREAS AS SHOWN ARE NET INTERIOR AREAS

7TH FLOOR			
UNIT AREAS			
UNIT #	AREA SF	# OF BEDROOMS	AFFORDABLE UNITS
710	531 SF	1	ELI
711	588 SF	1	
712	588 SF	1	
713	588 SF	1	
714	588 SF	1	
715	588 SF	1	
716	579 SF	1	
717	622 SF	1	
718	781 SF	2	
719	399 SF	STUDIO	
720	593 SF	1	ELI
721	889 SF	2	
722	610 SF	1	
723	650 SF	1	
724	664 SF	1	
725	198 SF	LAUNDRY	
726	594 SF	1	
727	594 SF	1	
728	843 SF	2	
729	843 SF	2	
730	504 SF	1	

TRANSIT ORIENTED COMMUNITIES INCENTIVES

THIS PROJECT IS ELIGIBLE FOR TIER 3 TRANSIT ORIENTED COMMUNITIES HOUSING INCENTIVES. 10 OF THE 100 UNITS - AFFORDABLE FOR EXTREMELY LOW INCOME HOUSEHOLD.

LOT SIZE: 29,058 SF
MIN. AREA PER DWELLING UNIT 400 SF

BASE INCENTIVE FLOOR AREA RATIO (FAR) (LAMC 12.21.1.A)
BY RIGHT FAR (PER LAMC 12.21.1.A). = 1.5 : 1
PERCENTAGE INCREASE PER TOC = 70% OR 3.75
TOTAL ALLOWED FAR = 3.75 : 1

DENSITY BONUS (LAMC 12.10.C.4)
LAMC BY RIGHT = 72 UNITS
BASE DENSITY = 73 UNITS

DENSITY INCREASE (70% INCREASE OF BASE DENSITY)
TOTAL UNITS ALLOWED PER TOC (73 X 1.7) = 125 UNITS

PROPOSED
INCREASE OF UNITS PROPOSED = 28 UNITS
PERCENT DENSITY REQUESTED 100 X (100 / 73 - 1) = 36.98%
TOTAL UNITS PROPOSED = 72 + 28 = 100 UNITS

PARKING REDUCTION
RESIDENTIAL PARKING REQUESTED PER LAMC = 110 STALLS
TIER 3 TOC BONUS = 0.5 STALL PER UNIT
100 UNITS PROPOSED = 50 STALLS

COMMERCIAL PARKING REDUCTION
30% REDUCTION (TOC INCENTIVE) = (26 X 0.3) = 18 STALLS

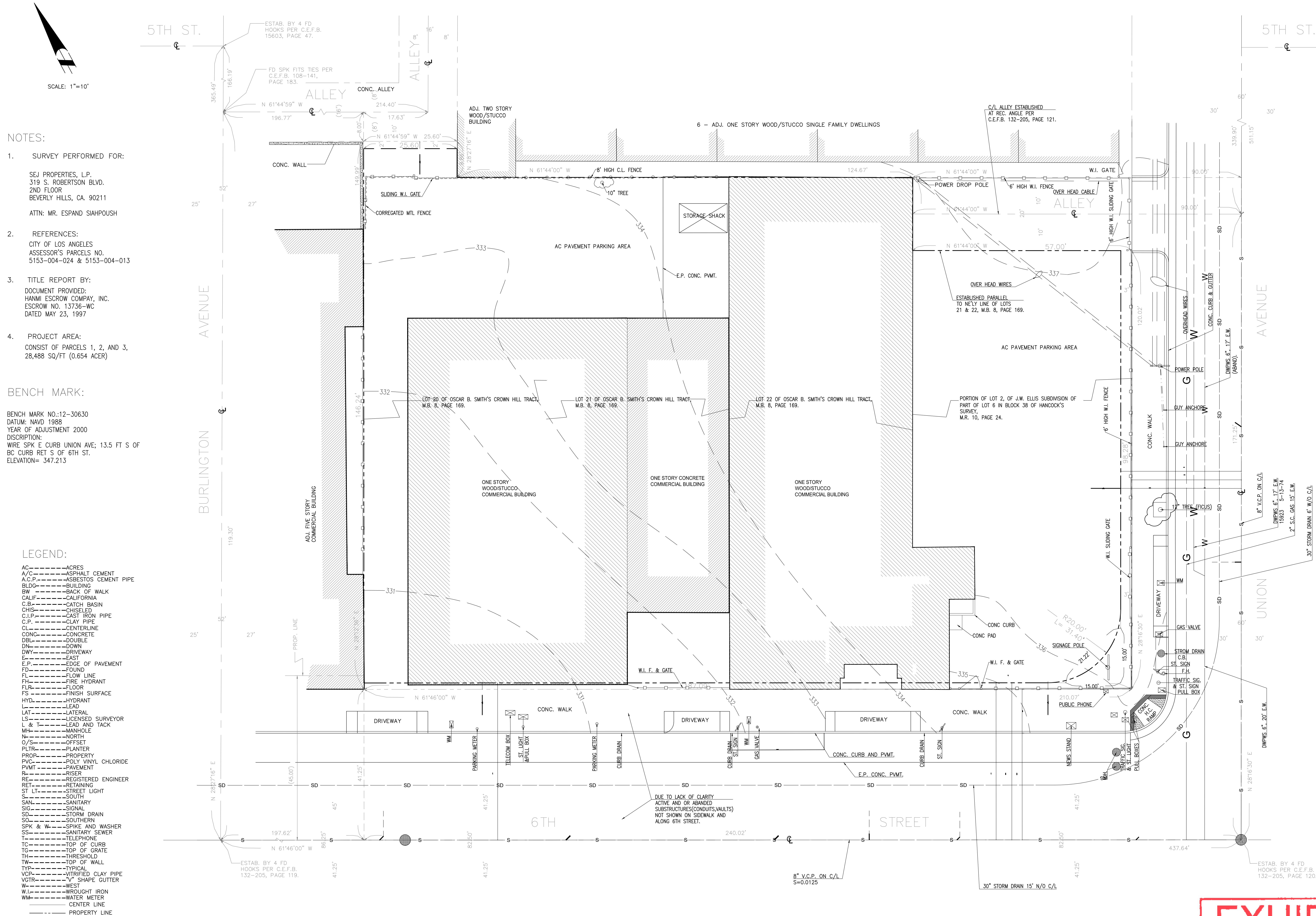
ADDITIONAL INCENTIVES

YARDS / SETBACKS
USED RAS3 SETBACKS IN COMMERCIAL ZONE
ZERO FRONT SETBACK

PARKING JUSTIFICATION

TOC PARKING REDUCTION:			
RESIDENTIAL CAR PARKING			
TIER 3 IN TOC AREAS : = 0.5 STALL PER UNIT			
PROPOSED 100 UNITS X 0.5 STALLS = 50 STALLS REQUIRED			
RESIDENTIAL PER LAMC = 110 STALLS			
RESIDENTIAL STALLS PROVIDED = 50 STALLS PER TOC TIER 3			
COMMERCIAL RETAIL PARKING			
TIER 3 IN TOC AREAS: = 30% REDUCTION OF STALLS			
PROPOSED RETAIL FLR AREA = 13,046 SF			
TOTAL STALLS REQUIRED (LAMC) = 13,046 / 500 = 26 STALLS			
30% REDUCTION (TOC INCENTIVE) = 26 X 0.3 = 18 STALLS			
TOTAL RETAIL STALLS REQUIRED PER LAMC = 26 STALLS			
TOTAL RETAIL STALLS REQUIRED PER TOC = 18 STALLS			
TOTAL RETAIL STALLS PROVIDED = 22 STALLS			

PARKING	ITEM	REQUIRED		PROPOSED
		LAMC	TOC TIER 3	
COMM. RETAIL		26 STALLS	18 STALLS	22 STALLS
	RESIDENTIAL	110 STALLS	50 STALLS	50 STALLS
	LOADING AREA	1	1	1
	GUEST	25 STALLS	0	0



- NOTES:
- SURVEY PERFORMED FOR:
SEJ PROPERTIES, L.P.
319 S. ROBERTSON BLVD.
2ND FLOOR
BEVERLY HILLS, CA. 90211
ATTN: MR. ESPAND SIAHOUSH
 - REFERENCES:
CITY OF LOS ANGELES
ASSESSOR'S PARCELS NO.
5153-004-024 & 5153-004-013
 - TITLE REPORT BY:
DOCUMENT PROVIDED:
HANMI ESCROW COMPANY, INC.
ESCROW NO. 13736-WC
DATED MAY 23, 1997
 - PROJECT AREA:
CONSIST OF PARCELS 1, 2, AND 3,
28,488 SQ/FT (0.654 ACER)

BENCH MARK:
BENCH MARK NO.:12-30630
DATUM: NAVD 1988
YEAR OF ADJUSTMENT 2000
DISCRPTION:
WIRE SPK E CURB UNION AVE; 13.5 FT S OF
BC CURB RET S OF 6TH ST.
ELEVATION= 347.213

- LEGEND:
- AC-----ACRES
 - A/C-----ASPHALT CEMENT
 - A.C.P-----ASBESTOS CEMENT PIPE
 - BLDG-----BUILDING
 - BW-----BACK OF WALK
 - CALIF-----CALIFORNIA
 - C.B.A-----CATCH BASIN
 - CHIS-----CHISELED
 - C.I.P-----CAST IRON PIPE
 - C.P-----CLAY PIPE
 - C.L-----CENTERLINE
 - CONC-----CONCRETE
 - DBL-----DOUBLE
 - DN-----DOWN
 - DWY-----DRIVEWAY
 - E-----EAST
 - E.P-----EDGE OF PAVEMENT
 - FD-----FOUND
 - FL-----FLOW LINE
 - FL-----FIRE HYDRANT
 - FLR-----FLOOR
 - FS-----FINISH SURFACE
 - HYD-----HYDRANT
 - LD-----LEAD
 - LAT-----LATERAL
 - LS-----LICENSED SURVEYOR
 - L & T-----LEAD AND TACK
 - MH-----MANHOLE
 - N-----NORTH
 - O/S-----OFFSET
 - PLTR-----PLANTER
 - PROP-----PROPERTY
 - PVC-----POLY VINYL CHLORIDE
 - PVMT-----PAVEMENT
 - R-----RISER
 - RE-----REGISTERED ENGINEER
 - RET-----RETAINING
 - ST LT-----STREET LIGHT
 - SA-----SANTARY
 - SIG-----SIGNAL
 - SD-----STORM DRAIN
 - SO-----SOUTHERN
 - SPK & W-----SPIKE AND WASHER
 - SS-----SANITARY SEWER
 - T-----TELEPHONE
 - TC-----TOP OF CURB
 - TG-----TOP OF GRATE
 - TH-----THRESHOLD
 - TW-----TOP OF WALL
 - TYP-----TYPICAL
 - VCP-----VITRIFIED CLAY PIPE
 - VGTR-----Y SHAPE GUTTER
 - W-----WEST
 - W.I-----WROUGHT IRON
 - WM-----WATER METER
 - CENTER LINE
 - PROPERTY LINE

REVISIONS	BY

HARVEY A. GOODMAN
CIVIL ENGINEER
834 17TH STREET
SANTA MONICA, CA. 90403
TEL: (310)829-1037

TOPOGRAPHIC AND BOUNDARY SURVEY
1709-1717 W. 6TH STREET
LOS ANGELES, CA. 90007

LEGAL DESCRIPTION:
LOTS 20, 21 AND 22 OF OSCAR B. SMITH'S
CROWN HILL TRACT, M.B. 8, PAGE 169, AND LOT
2 OF J.W. ELLIS' SUBDIVISION OF PART OF LOT
6, BLOCK 38, HANCOCK'S SURVEY, IN THE CITY
OF LOS ANGELES, COUNTY OF LOS ANGELES,
STATE OF CALIFORNIA, M.R. 10, PAGE 24.

DRAWN AYV
CHECKED HAG
DATE JAN 31, 2019
SCALE 1" = 10'

EXHIBIT "A"
Page No. 3 of 27
Case No. DIR-2021-7344-TOC-SPR-HCA

WRITTEN JUSTIFICATION THAT THE PROPOSED PROJECT MEETS THE FOLLOWING CRITERIA
SITE ADDRESS: 1708-1717 1/2 WEST 6TH STREET
LOS ANGELES CA 90017
PROPOSED MIXED USE DEVELOPMENT WITH COMMERCIAL AND RESIDENTIAL UNITS

A. THE PROPOSED PROJECT IS CONSISTENT WITH THE APPLICABLE GENERAL DESIGNATION AND ALL APPLICABLE GENERAL PLAN POLICIES AS WELL AS WITH APPLICABLE ZONING DESIGNATION REGULATIONS.

A. THE SUBJECT PROPERTY IS CURRENTLY ZONED C2-1 AND LOCATED WITHIN THE WESTLAKE COMMUNITY PLAN AREA. THE GENERAL PLAN DESIGNATES THE SUBJECT PROPERTY AS COMMUNITY COMMERCIAL. PRESENTLY, THE SUBJECT PROPERTY IS DEVELOPED WITH COMMERCIAL USES AND A PARKING LOT. OUR APPLICATION IS FOR HAUL ROUTE OF APPROX. 21,400 CUBIC YARDS OF EXPORT, TOC, TIER 3 AND SITE PLAN REVIEW. THE PROPERTY IS NOT LOCATED IN A HILLSIDE AREA BUT IS DESIGNATED ON ZIMAS AS BEING IN A SPECIAL GRADING AREA (BOE BASIC GRID MAP A-13372). THE PROPOSED PROJECT WILL RESULT IN CONSTRUCTION A SEVEN STORY, 100 UNIT APARTMENT BUILDING CONTAINING 10 UNITS SET ASIDE FOR EXTREMELY LOW INCOME HOUSING UTILIZING TIER 3 TOC, WITH 11,825 SQUARE FEET OF COMMERCIAL SPACE AND 2 LEVELS OF SUBTERRANEAN PARKING. THE PROPOSED PROJECT WILL BE CONSISTENT WITH THE DENSITY REQUIREMENTS OF THE C2-1 ZONE. THEREFORE, AS CONDITIONED, THE PROPOSED PROJECT WILL BE CONSISTENT WITH THE APPLICABLE GENERAL PLAN AND ALL APPLICABLE GENERAL PLAN POLICIES AS WELL AS WITH APPLICABLE ZONING DESIGNATION REGULATIONS.

B. THE PROPOSED DEVELOPMENT OCCURS WITHIN CITY LIMITS ON PROJECT SITE OF NO MORE THAN FIVE ACRES SUBSTANTIALLY SURROUNDED BY URBAN USES.

B. THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE LIMITS OF THE CITY OF LOS ANGELES, WITH A TOTAL LOT AREA OF 28,488 SQUARE FEET (0.65 AC) AND IS ABUTTED BY COMMERCIAL DEVELOPMENTS.

C. THE PROJECT SITE HAS NO VALUE AS HABITAT FOR ENDANGERED, RARE OR THREATENED SPECIES.

C. THE PROJECT SITE IS LOCATED IN A COMMERCIAL ZONED PORTION OF THE CITY AND CONTAINS EXISTING COMMERCIAL DEVELOPMENTS AND A PARKING LOT. WE ARE NOT AWARE OF ANY RARE, THREATENED OR ENDANGERED SPECIES UTILIZING THE AREA AS A HABITAT. THE APPLICANT HAS SUBMITTED AN ENVIRONMENTAL ASSESSMENT FORM AS PART OF THE HAUL ROUTE APPLICATION AND SITE PLAN REVIEW. WE ARE ANTICIPATING A CATEGORICAL EXEMPTION WILL BE PERMITTED SINCE THERE IS NO POTENTIAL ADVERSE IMPACTS ON FISH OR WILDLIFE RESOURCES AS FAR AS PLANT LIFE OR ANIMAL LIFE ARE CONCERNED. FURTHERMORE, THE SURROUNDING AREA IS PRESENTLY DEVELOPED WITH OTHER COMMERCIAL PROPERTIES AND DOES NOT PROVIDE A NATURAL HABITAT FOR EITHER FISH OR WILDLIFE.

WRITTEN JUSTIFICATION THAT THE PROPOSED PROJECT MEETS THE FOLLOWING CRITERIA
SITE ADDRESS: 1708-1717 1/2 WEST 6TH STREET
LOS ANGELES CA 90017
PROPOSED MIXED USE DEVELOPMENT WITH COMMERCIAL AND RESIDENTIAL UNITS

D. APPROVAL OF THE PROJECT WOULD NOT RESULT IN ANY SIGNIFICANT EFFECTS RELATING TO TRAFFIC, NOISE, AIR QUALITY, OR WATER QUALITY.

D. APPROVAL OF THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT EFFECTS RELATING TO TRAFFIC, NOISE, AIR QUALITY, OR WATER QUALITY

E. THE SITE CAN BE ADEQUATELY SERVED BY ALL REQUIRED UTILITIES AND PUBLIC SERVICES.

E. THE SITE CAN BE SERVED BY ALL REQUIRED UTILITIES AND PUBLIC SERVICES INASMUCH AS THE PROPERTY IS CURRENTLY DEVELOPED AND ALL UTILITIES ARE EXISTING.

iii. Hotel/Motel. Identify the number of guest rooms: N/A guest rooms

iv. Days of operation: N/A
Hours of operation: N/A

v. Special Events. Will there be special events not normally associated with a day-to-day operation (e.g., fundraisers, pay-for-view events, parent-teacher nights, athletic events, graduations)? ☐ YES ☒ NO
If YES, describe events and how often they are proposed

vi. Occupancy Limit. Total Fire Department occupancy limit: N/A

- a. Number of fixed seats or beds _____
b. Total number of patrons/students _____
c. Number of employees per shift _____, number of shifts _____
d. Size of largest assembly area _____ square feet

v. Security. Describe security provisions for the project _____
N/A

4. SELECTED INFORMATION

A. Circulation. Identify by name all arterial road types (i.e., Boulevard I, II, Avenue I, II, III) and freeways within 1,000 feet of the proposed Project; give the approximate distances (check <http://navisatela.lacity.org> for this information).

6th Street is categorized as Avenue II
Union Ave approximately 820 to the south of the subject property is categorized as Avenue III
Wilshire Blvd. approx. 737 feet to the south of the subject property is categorized as Avenue II

B. Green building certification. Will the project be LEED-certified or equivalent? ☐ YES ☒ NO

If YES, check appropriate box:

☐ Certified ☐ Equivalent ☐ Silver ☐ Gold ☐ Platinum ☐ Other _____

C. Fire sprinklers. Will the Project include fire sprinklers? ☒ YES ☐ NO

CP-1204 [05.07.2021] Environmental Assessment Form Application

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E. Slope. State the percent of property which is:
Less than 10% slope: 100 10-15% slope: over 15% slope: _____
If slopes over 10% exist, a Topographic Map will be required.

F. Grading. Specify the total amount of dirt being moved:
☐ 0-500 cubic yards ☒ More than 500 cubic yards
If more than 500 cubic yards (indicate amount): 21,400 cubic yards

G. Import/Export. Indicate the amount of dirt to be imported or exported:
Imported: cubic yards Exported: 21,400 cubic yards
Location of disposal site: 2098 N. Rice Avenue, Oxnard CA
Location of borrow site: N/A

Is the Project Site located within a Bureau of Engineering (BOE) Special Grading Area? ☒ YES ☐ NO
If YES, a Haul Route is required.

H. Hazardous Materials and Substances. Is the project proposed on land that is or was developed with a dry cleaning, automobile repair, gasoline station, or industrial/manufacturing use, or other similar type of use that may have resulted in site contamination? ☐ YES ☒ NO

If YES, describe:

If YES, a Phase I Environmental Site Assessment (ESA) is required.

I. Historic, Cultural and/or Architecturally Significant Site or Structure. Does the project involve any structures, buildings, street lighting systems, spaces, sites or components thereof which are designated or may be eligible for designation in any of the following? If YES, please check and describe:

- ☐ National Register of Historic Places:
☐ California Register of Historic Resources:
☐ City of Los Angeles Cultural Historic Monument:
☐ Located within a City of Los Angeles Historic Preservation Overlay Zone (HPOZ):

☐ Identified on Survey/LA: _____

☐ Identified in HistoricPlaces/LA: _____

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APPLICATIONS:

ENVIRONMENTAL ASSESSMENT FORM

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Environmental Case Number: _____

Related Case Numbers: _____

Case Filed With (Print Name): _____ Date Filed: _____

EAF Accepted By (Print Name): _____ Date Accepted: _____

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Project Address: 550 S. Union Ave, 1701, 1709, 1715, 1717, 1717 1/2 W. 6th St.

Assessor's Parcel Number: 5153-004-013.024

Major Cross Streets: Burlington Avenue and Union Ave

Community Plan Area: Westlake Ave Council District: 1

APPLICANT (if not Property Owner)	PROPERTY OWNER
Name: Benbaroukh, LLC	Name: Same as Applicant
Company: _____	Company: _____
Address: 319 S. Robertson Blvd.	Address: _____
City: Beverly Hills State: CA Zip Code: 90211	City: _____ State: _____ Zip Code: _____
E-Mail: elias@caltextilc.com	E-Mail: _____
Telephone No.: (310) 944-1782	Telephone No.: _____
APPLICANT'S REPRESENTATIVE	ENVIRONMENTAL REVIEW CONSULTANT
Name: Harvey Goodman	Name: _____
Company: Harvey Goodman Civil Engineering	Company: _____
Address: 834 17th St., #5	Address: _____
City: Santa Monica State: CA Zip Code: 90403	City: _____ State: _____ Zip Code: _____
E-Mail: sher@harveygoodman.com	E-Mail: _____
Telephone No.: (310) 829-1037	Telephone No.: _____

¹ Project address must include all addresses on the subject site (as identified in ZIMAS: <http://zimas.lacity.org>)

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OVERVIEW

CEQA, or the California Environmental Quality Act, is a statute that requires state and local agencies to identify the significant environmental impacts of their actions and to avoid or mitigate those impacts, if feasible. CEQA requires public agencies to conduct environmental review before making a determination on a project. The environmental review process examines the potential impacts your project will have on the property and its surroundings and makes recommendations (mitigation measures) on how to minimize or reduce those impacts that are found to be significant. The purpose of this application is to assist staff in determining the appropriate environmental clearance for your project. Please fill out this form completely. Missing, incomplete or inconsistent information will cause delays in the processing of your application.

1. PROJECT DESCRIPTION

A. Briefly describe the entire project and any related entitlements (e.g., Tentative Tract, Conditional Use, Zone Change, etc.). The description must include all phases and plans for future expansion.

Haul Route application (export of 21,400 c.y. (see page 4 of EAF))
Site Plan Review
Traffic Assessment/ Department of Transportation Referral Form
TOC-ADM-2018-6935-TOC
Demolition of Existing Structures
New mixed use development, 100 unit residential with 10 units labeled Extremely Low Income
13,046 Sf of commercial space on the ground floor and 2 parking levels

Additional information or Expanded Initial Study attached: ☐ YES ☒ NO

B. Will the project require certification, authorization, clearance or issuance of a permit by any federal, state, county, or environmental control agency, such as Environmental Protection Agency, Air Quality Management District, Water Resources Board, Environmental Affairs, etc.? ☐ YES ☒ NO

If YES, please specify:

2. EXISTING CONDITIONS

A. Project Site.

Lot Area: 28488 (Based on survey calculations) square feet
Net Acres: 0.653 Gross Acres: 0.965 to centerline of street

B. Zoning/Land Use.

Zoning	Existing		Proposed
	C2-1	C2-1	
Use of Land	General Commercial	Mixed Use (Comm. & Residential)	
General Plan Designation	Community General	Community General	

CP-1204 [05.20.2021] Environmental Assessment Form Application

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C. Structures.

1. Does the property contain any vacant structures? ☐ YES ☒ NO

If YES, describe and state how long it has been vacant: _____

2. Will any structures be removed/demolished as a result of the project? ☒ YES ☐ NO

If YES, provide the number: 3 type: commercial
total square footage: 15480 per zimas
and age: 103 & 72 of structures to be removed.

If residential dwellings (apartments, single-family, condominiums, etc.) are being removed indicate the number of units: N/A

D. Trees.

Are there any trees on the property, and/or within the public right-of-way next to the property, that will be removed or impacted* as a result of the project? ☒ YES ☐ NO

If YES, complete the following:

Tree Status	Quantity Existing	Tree Types	Quantity Removed	Quantity Relocated	Quantity Replaced	Quantity Impacted*
Non-Protected Trees (8" trunk diameter and greater)	1	Yew Pine	0	0	0	1
	1	Sapphire Dragon	1	0	1	1
Protected Trees (4" trunk diameter and greater)	0	Oak Tree (excluding Scrub Oak)	0	0	0	0
	0	Southern California Black Walnut	0	0	0	0
	0	Western Sycamore	0	0	0	0
Protected Shrubs (4" trunk diameter and greater)	0	California Bay	0	0	0	0
	0	Toyon	0	0	0	0
	0	Mexican Elderberry	0	0	0	0

* Impacted means that grading or construction activity will be conducted within five (5) feet of, or underneath, the tree's canopy.

Additional information attached: ☐ YES ☒ NO

If a protected tree (as defined in Section 17.02 of the LAMC) will be removed, replaced, relocated, or impacted, a Tree Report is required.

ENVIRONMENTAL ASSESSMENT FORM

Page 3 of 11
SCALE
3/16"=1'-0"

1

APPLICANT/CONSULTANT'S AFFIDAVIT

OWNER MUST SIGN AND BE NOTARIZED,

IF THERE IS AN AGENT, THE AGENT MUST ALSO SIGN AND BE NOTARIZED

PROPERTY OWNER CONSULTANT/AGENT

I, (print name) ELIAS SHOKRIAN I, (print name) ELIAS SHOKRIAN
Signature ELIAS SHOKRIAN Signature ELIAS SHOKRIAN

being duly sworn, state that the statements and information, including plans and other attachments, contained in this Environmental Assessment Form are in all respects true and correct to the best of my knowledge and belief. I hereby certify that I have fully informed the City of the nature of the Project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger Project in violation of CEQA. I understand that should the City determine that the Project is part of a larger Project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.

Space Below for Notary's Use

California All-Purpose Acknowledgement Civil Code Section 1189
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Los Angeles

On July 29, 2020 before me, Theresa Elizabeth Chavez, Notary Public, personally appeared Elias Shokrian

personally appeared Elias Shokrian who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) I have subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

(Seal)



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v. Lighting. Describe night lighting of project: Safety & Walkway

B. RESIDENTIAL PROJECT

If no portion of the project is residential, check ☐ N/A and continue to next section

I. Number of Dwelling Units.

Single Family: Apartment: 100 Condominium: _____

II. Recreational Facilities.

List recreational facilities for project: Community Hall, Gym, Podium, Open Space

III. Open Space.

Does the project involve new construction resulting in additional floor area and units? ☒ YES ☐ NO
Does the project involve six or more residential units? ☒ YES ☐ NO

If YES to both, complete the following

Pursuant to LAMC 12.21.G	Required	Proposed
Common Open Space (Square Feet)	10500	14728
Private Open Space (Square Feet) combined w/ common	1750	
Landscape/Open Space Area (Square Feet)	2921	2921
Number of trees (24-inch box or greater)	25	26

iv. Utilities. Describe the types of appliances and heating (gas, electric, gas/electric, solar); stove(gas): HVAC (gas); Water Heater (gas)

v. Accessory Uses. Describe new accessory structures (detached garage, guest house, swimming pool, fence, stable, etc.) and/or additions: none

C. COMMERCIAL, INDUSTRIAL OR OTHER PROJECT

If the project is residential only, check ☐ N/A and continue to next section

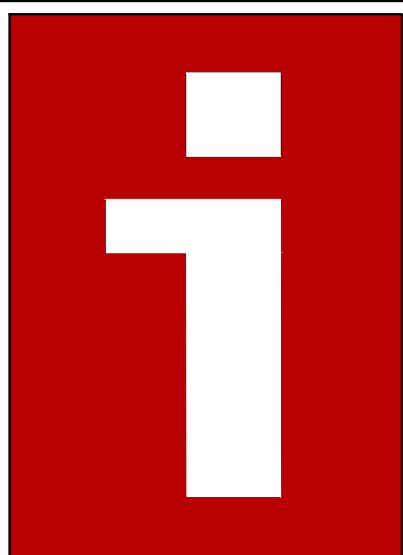
I. Type of Use. General Commercial

ii. Project Size. Does the project only involve the remodel or change of use of an existing interior space or leasehold? ☐ YES ☒ NO

If YES, indicate the total size of the interior space or leasehold: square feet

CP-1204 [05.07.2021] Environmental Assessment Form Application

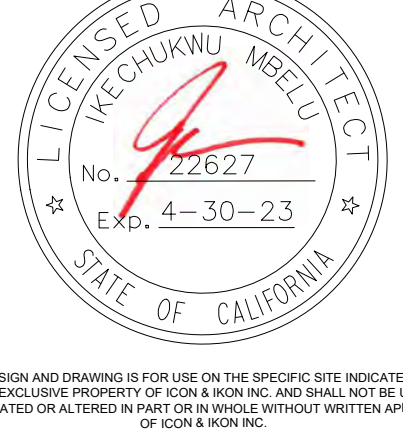
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ICON & IKON, INC.
ARCHITECTS AND PLANNERS

14623 HAWTHORNE BLVD. #306
LAWDALE, CALIFORNIA 90260
PH. 310-584-6749, 424-456-4811
WWW.ICONARC.COM

STAMP



OWNER / TENANT

BENBAROUKH, LLC.
319 S. ROBERTSON DR.
BEVERLY HILLS, CALIFORNIA 90211
PH. 310-550-1012

THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT
PROJECT ADDRESS 550 S. UNION ST. 1701, 1709, 1715, 1717 1/2 W. 6TH STREET, LOS ANGELES, CA 90017

PROJECT TITLE

REVISIONS

NO.	DATE	DESCRIPTION
1	01-22-22	SITE PLAN REVIEW-RESUB
2	02-18-22	PRELIM ZONING ASSESS.
3	03-21-22	PRELIM ZONING ASSESS.
4	05-18-22	PLANNING CORRECTION.
5	06-10-22	SPR CORRECTION.
6	06-15-22	SPR CORRECTION.
7	06-27-22	SPR CORRECTION.
8	07-5-22	SPR CORRECTION.

DRAWN BY: I.M

CHECKED BY: I.M

PRINTED ON: JULY 5, 2022

PERMIT NO: DIR-2021-7344
-TOC-SPR-HCA

TITLE

ENVIRONMENTAL
ASSESSMENT
FORM

SHEET #

A - 002

NO. OF 100

B. Qualification for Additional Incentives: *(Please check only one)*
Minimum Required Restricted Affordable Housing Units, calculated as a percentage of the base density allowed on the date of the application.

Incentives	% Extremely Low Income	% Very Low Income	% Low Income
One	<input type="checkbox"/> 4%	<input type="checkbox"/> 5%	<input type="checkbox"/> 10%
Two	<input checked="" type="checkbox"/> 7%	<input type="checkbox"/> 10%	<input type="checkbox"/> 20%
Three	<input type="checkbox"/> 11%	<input type="checkbox"/> 15%	<input type="checkbox"/> 30%

C. Additional Incentives *(Please check selected incentives as qualified according to Section 9B)*

	Required (per LAMC)	Proposed (per TOC)
<input checked="" type="checkbox"/> (1) Yard/Setback <i>(each yard counts as 1 incentive in Tiers 1 and 2; two yards count as 1 in Tiers 3 and 4)</i>		
<input checked="" type="checkbox"/> RAS 3 Yards (only for commercial zones – please specify numbers below, but only check this box)		
<input type="checkbox"/> Front	15'	1'-3"
<input type="checkbox"/> Rear	15'	5'3"
<input type="checkbox"/> Side (1)		
<input type="checkbox"/> Side (2)		

	Side and Rear Yards
Tier 1	25%
Tier 2	30%
Tier 3	30% or depth of two yards
Tier 4	35% or depth of two yards
When Abutting R1 or More Restrictive Zones	No Reductions Allowed

- ☐ (2) Lot Coverage _____
☐ (3) Lot Width _____
☐ (4) Height/ # of Stories _____

	Height
Tier 1	11 feet for one story
Tier 2	11 feet for one story
Tier 3	22 feet for two stories
Tier 4	33 feet for three stories
Lots with Height Limits of 45 feet or less	Second and third additional stories must be stepped-back at least 15 feet from any frontage

Transitional Height (check one): ☐ Per LAMC ☐ Per TOC Guidelines¹¹ ☐ Not Applicable

- ☐ (5) Open Space _____
☐ (6) Density Calculation _____
☐ (7) Averaging *(all count as 1 incentive – mark as many as needed)*
FAR ☐
Density ☐
Parking ☐
Open Space ☐
Vehicular Access ☐
☐ (8) Public Facility Zone _____

TOTAL # of Additional Incentives Requested: 1 _____

Other Incentive Notes: _____

¹¹ Please provide elevations that show the 45 degree angle as allowed by the TOC guidelines to determine the allowed height.

CP-4050 [5.15.2018] Transit-Oriented Communities - Referral Form

Page 5 of 6

11. COVENANT:

All Transit Oriented Communities projects are required to prepare and record an Affordability Covenant to the satisfaction of the Los Angeles Housing and Community Investment Department's Occupancy Monitoring Unit **before** a building permit can be issued. Please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or hcidla.lacity.org

12. REPLACEMENT UNITS:

AB 2222, as amended by AB 2556, requires that density bonus eligible projects replace any pre-existing affordable housing units on the project site. Replacement units include the following: *(Answer the following with "yes" if any of these items apply to what is **currently existing** on the site or "no" if they do not. Write in N/A if the item is not applicable to your project)*

- A. Units subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income? *N/A*
B. Units occupied by lower or very low income households below 80% AMI per California Department of Housing and Community Development Department levels not already listed above? *N/A*
C. Units subject to the Rent Stabilization Ordinance not already listed above? *N/A*
D. Units that have been vacated or demolished in the last 5 years? *N/A*
E. Per AB 2556, are the number of replacement units and number of bedrooms equivalent to that being demolished (as shown on Existing Development Table on page 2 above)? *N/A*

Disclaimer: This review is based on the information and plans provided by the applicant at the time of submittal of this form. Applicants are advised to verify any zoning issues such as height, parking, setback, and any other applicable zoning requirements with Building and Safety.

Transit Oriented Communities- Referral Form: Additional Information

**** Square footage of 29,058 reflects the total square footage used for F.A.R.**

The square is calculated by using the 28,488 sq ft lot size, per the survey, and combining it with 570 sq ft which is ½ of the alley on Union Ave.

28,488 sq ft (per survey) + 570 sq ft (½ of alley) = 29,058 sq ft

EXHIBIT "A"
Page No. 5 of 27
Case No. DIR-2021-7344-TOC-SPR-HCA

6. ENVIRONMENTAL REVIEW

☐ Environmental Review Not Required – Project is Ministerial.⁵ Please Explain: _____

☐ Not filed
☒ Filed (indicate case number): ENV-2020-5078-EAF

7. HOUSING DEVELOPMENT PROJECT TYPE *(please check all that apply):*

- ☐ For Sale ☐ Moderate Income ☐ Other (please describe): _____
☒ For Rent ☒ Market Rate _____
☒ Extremely Low Income ☒ Mixed Use _____
☐ Very Low Income ☐ Senior _____
☐ Low Income ☐ Chronically Homeless _____

8. DENSITY CALCULATION

A. Base Density: Maximum density allowable per zoning

Lot size	29,058**	s.f. (a)
Minimum area per dwelling unit	400	s.f. of lot area per unit (b)
Units allowed by right (per LAMC)	72	units (c) [c = a/b, round down to whole number]
Base Density	73	units (d) [d = a/b, round up to whole number]

B. Maximum Allowable Density Bonus:

125 units (e)
[e = d x 1.5 (Tier 1), 1.6 (Tier 2), 1.7 (Tier 3), or 1.8 (Tier 4):
in RD Zones d x 1.35 (Tiers 1 and 2), 1.4 (Tier 3) or 1.45 (Tier 4):
round up to whole number]

C. Proposed Project: Please indicate total number of Units requested as well as breakdown by levels of affordability set by each category (HCD or HUD). For information on HCD and HUD levels of affordability please contact the Housing and Community Investment Department of Los Angeles (HCIDLA) at (213) 808-8843 or hcidla.lacity.org.⁶

	Total	HCD (State)	HUD (TCAC)
Market Rate	90	N/A	N/A
Managers Unit(s) - Market Rate			
Extremely Low Income	10	N/A	N/A
Very Low Income			
Low Income			
Moderate Income			

TOTAL # of Units Proposed 100 (f)
TOTAL # of Affordable Housing Units 10 (g)

Number of Density Increase Units 28 (h) [If f > c, then h = f - c; if f < c, then h = 0]
Percent Density Increase Requested 36.98% (i) [i = 100 x (f/d - 1)]
Percent of Affordable Set Aside 10 (j) [g/f, round down to a whole number]

Other Notes on Units:** Site Area= 28,488 SF(Per Survey) + 570 SF (1/2 of Alley way)

⁵ Ministerial Projects (aka, "By-Right") do not require any discretionary Planning approvals.

⁶ HCD (State) = Published affordability levels per California Department of Housing and Community Development. HUD (TCAC) = Published affordability levels per the United States Department of Housing and Urban Development.

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9. SITE PLAN REVIEW CALCULATION An application for Site Plan Review may be required for projects that meet any of the Site Plan Review thresholds as outlined in LAMC Section 16.05.C, unless otherwise exempted per Section 16.05.D. For Transit Oriented Communities projects involving bonus units, please use the formula provided below to determine if the project meets the Site Plan Review threshold for unit count. If project meets the threshold(s) but qualifies under the exemption criteria per Section 16.05.D please confirm exemption with Department of City Planning's DSC Housing Unit.

72 units allowed by right (permitted by LAMC) – 0 existing units = 72 units

- ☒ **YES, Site Plan Review is required**, if proposed by right units minus existing units is equal to or greater than 50*
☐ NO, Site Plan Review is not required, if Base Density units minus existing units is less than 50
☐ Exempt *(please specify):* _____

10. INCENTIVES

A. Base Incentives *(Please check all that apply)*

☒ (1) Floor Area Ratio:

	FAR (whichever is greater)
Tier 1	40% or 2.75:1 in commercial zone
Tier 2	45% or 3.25:1 in commercial zone
Tier 3	50% or 3.75:1 in commercial zone
Tier 4	55% or 4.25:1 in commercial zone
RD Zones or Specific Plans/Overlay Districts that Regulate FAR	45%, unless Tier 1
If Base FAR < 1.25:1	2.75:1
Greater Downtown Housing Incentive Area ⁸	40%

Final Floor Area Ratio⁹ Required (per LAMC) 1.5 : 1 Proposed (per TOC) 3.63 : 1

☒ (2) Parking Reductions Allowed

	Minimum Parking Requirements	Ground Floor Commercial
Tier 1	0.5 spaces per bedroom	10% Reduction
Tier 2	1 space per unit	20% Reduction
Tier 3	0.5 space per unit	30% Reduction
Tier 4	No parking requirements	40% Reduction
100% Affordable Housing	No parking requirements	

Total number of bedrooms 120
Total number of residential units 100
Non-residential Parking per code 26

Required (per LAMC) 110
Proposed (per TOC) 50
Final Residential Parking 110
Final Non-Residential Parking 22

Other Parking Notes: _____

⁷ Site Plan Review may also be required if other characteristics of the project exceeds the thresholds listed in Sec. 16.05 of the LAMC.

⁸ Refer to TOC Guidelines Section VI.1.b. for exceptions

⁹ Calculated per LAMC 12.22 A.29(c)(1)

¹⁰ Refer to TOC Guidelines Section VI.1.b. for exceptions

CP-4050 [5.15.2018] Transit-Oriented Communities - Referral Form

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REFERRAL FORMS:
TRANSIT-ORIENTED COMMUNITIES - REFERRAL FORM
LOS ANGELES CITY PLANNING DEPARTMENT

This form is to serve as a referral to the Department of City Planning Development Services Center for Affordable Housing case filing purposes (in addition to the required Department of City Planning Application and any other necessary documentation) and as a referral to HCIDLA, CRA, Building and Safety, or other City agency for project status and entitlement need purposes. This form shall be completed by the applicant and reviewed and signed by Department of City Planning staff prior to filing an application for a case or building permit. Any modifications to the content(s) of this form after its authorization by the Department of City Planning staff is prohibited. The Department of City Planning reserves the right to require an updated form for the project if more than 180 days have transpired since the approval date, or as necessary, to reflect project modifications, policy changes and/or amendments to the LAMC, local laws, and State laws.

CITY STAFF USE ONLY	
Referral To: <input type="checkbox"/> Planning DSC - Filing <input type="checkbox"/> HCIDLA <input type="checkbox"/> DBS <input type="checkbox"/> Funding <input type="checkbox"/> SB35 <input type="checkbox"/> Other: _____	
NOTES: _____	
Planning Staff Name and Title	Planning Staff Signature
Date Approved	Expiration Date

I. Project Information – To be completed by applicant

1. PROJECT LOCATION/ ZONING

Project Address: 550 S. Union Ave., 1701, 1709, 1715, 1717, 1717 1/2 W. 6th St.
Applicant Name and Phone/Email: Benbaroukh, LLC 310-944-1782/ elias@calitextllc.com
Assessor Parcel Number(s): 5153-004-013,024
Community Plan: Westlake Number of Lots: 4 Lot Size: 29,058** s.f.
Existing Zone: C2-1 Land Use Designation: Commercial Community
☐ Specific Plan ☐ HPOZ ☐ DRB ☒ Enterprise Zone ☐ CRA ☐ CPIO
☐ Q-condition/ D-limitation/ T-classification *(please specify):* _____
☒ Other pertinent zoning information *(please specify):* Westlake Recovery
☒ Location of Major Transit Stop (please specify the intersection or metro stop): Westlake/ MacArthur Park Station

II. Project Eligibility – To be completed by DCP Housing Services Unit Staff

2. TRANSPORTATION QUALIFIERS

Qualifier #1 (rail name & stop, ferry terminal or bus #): _____
Service Interval # 1: _____ [420 min / # of trips]¹
Service Interval # 2: _____ [420 min / # of trips]
Qualifier #2 (rail name & stop, ferry terminal or bus #): _____
Service Interval # 1: _____ [420 min / # of trips]
Service Interval # 2: _____ [420 min / # of trips]

TOC Tier: ☐ Tier 1 ☐ Tier 2 ☐ Tier 3 ☐ Tier 4 Planning Staff Initials: _____

¹ Per AB 744, A Major Transit Stop means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods. It also includes major transit stops that are included in the applicable regional transportation plan.

² This figure (420 minutes) is based on the total number of minutes during the peak hours of 6 am to 9 am as well as 3 pm to 7 pm.

³ If project is 100% affordable, it is eligible for the designated Tier to be increased by one.

CP-4050 [5.15.2018] Transit-Oriented Communities - Referral Form

Page 1 of 6

III. Project Information (if applicant is requesting additional incentives) – To be completed by applicant

3. DESCRIPTION OF PROPOSED PROJECT

100 mixed use w/ 10 affordable units, 92' in height
161,092 SF of proposed floor area. With 88,398 dedicated for residential, 13,046 for retail, and the remainder for parking and misc.
15,490 sf to be demolished

4. EXISTING USE

A. Describe Existing Development: Commercial Retail

Characteristic of existing use Dwelling Unit (DU), Commercial/ Industrial, or Other	Existing # of Units or Non-Residential SF	Existing # of Units or Non-Residential SF To Be Demolished	Proposed ⁴ # of Units or Non-Residential SF
Guest Rooms	0	0	0
Studio	0	0	5
One Bedroom	0	0	75
Two Bedrooms	0	0	20
Three Bedrooms	0	0	0
0 Bedrooms	0	0	0
Non-Residential Square Feet	0	0	72,694
Other:			

B. Previous Cases Filed

	(1)	(2)	(3)
Case Number(s):	N/A		
Date Filed:			
Date Approved:			
End of Appeal Period:			
Environmental No.	N/A		

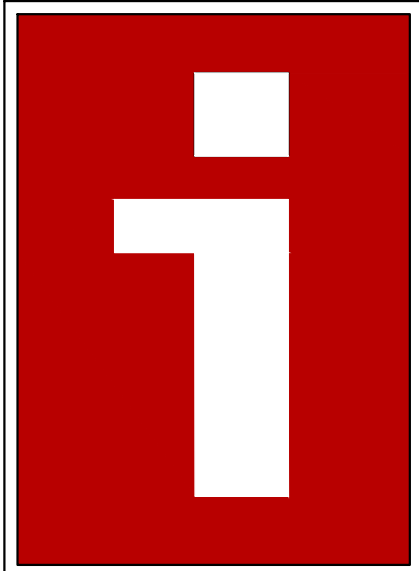
5. TYPE OF APPLICATION

- ☒ Transit-Oriented Communities (per TOC Guidelines) with **Base Incentives** filed in conjunction with another discretionary approval.
☒ Transit-Oriented Communities (per TOC Guidelines) with **Additional Incentives** *(please specify, max of three):*
1) RAS3 Setback Incentives
2) _____
3) _____
☐ If applicable, projects adhering to the Labor Standards in LAMC 11.5.11 may be granted two more **Additional Incentives** as listed in the TOC Guidelines *(please specify):*
4) _____
5) _____
☒ Site Plan Review per LAMC Sec. 16.05
☐ Specific Plan Project Permit Compliance per LAMC Sec. 11.5.7.C
☐ Community Design Overlay per LAMC Sec. 13.08
☐ Coastal Development Permit per LAMC Sec. 12.20.2 or 12.20.2.1
☐ Tract or Parcel Map per LAMC Sec. 17.00 or 17.50
☐ Other entitlements requested (please specify): _____

⁴ Replacement units, per AB 2556, shall be equivalent to the number of units and number of bedrooms of the existing development.

CP-4050 [5.15.2018] Transit-Oriented Communities - Referral Form

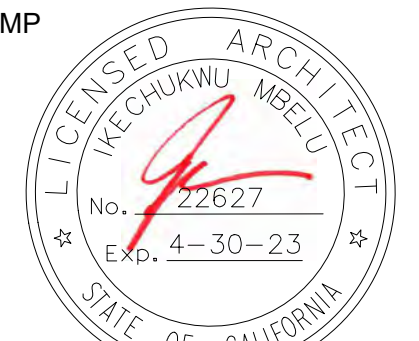
Page 2 of 6



ICON & IKON, INC.
ARCHITECTS AND PLANNERS

14623 HAWTHORNE BLVD. #306
LAWDALE, CALIFORNIA 90260
PH. 310-984-6749, 424-456-4811
WWW.ICONARC.COM

STAMP



THIS DESIGN AND DRAWING IS FOR USE ONLY ON THE SPECIFIC SITE INDICATED AND IS THE EXCLUSIVE PROPERTY OF ICON & IKON, INC. AND SHALL NOT BE USED, REPRODUCED OR ALTERED IN ANY MANNER WITHOUT WRITTEN APPROVAL OF ICON & IKON, INC.

OWNER / TENANT

BENBAROUKH, LLC.
319 S. ROBERTSON DR.
BEVERLY HILLS, CALIFORNIA 90211
PH. 310-550-1012

THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT
PROJECT ADDRESS 550 S. UNION ST. 1717 1/2 W. 6TH STREET, LOS ANGELES, CA 90017

REVISIONS	
NO.	DATE DESCRIPTION
1	01-22-22 SITE PLAN REVIEW-RESUB
2	02-18-22 PRELIM ZONING ASSESS.
3	03-21-22 PRELIM ZONING ASSESS.
4	05-18-22 PLANNING CORRECTION.
5	06-10-22 SPR CORRECTION.
6	06-15-22 SPR CORRECTION.
7	06-27-22 SPR CORRECTION.
8	07-5-22 SPR CORRECTION.

DRAWN BY: I.M

CHECKED BY: I.M

PRINTED ON: JULY 5, 2022

PERMIT NO: DIR-2021-7344

-TOC-SPR-HCA

TITLE

TRANSIT-ORIENTED COMMUNITIES - REFERRAL FORM

SHEET #

A - 003

NO. OF 100

34. Prefabricated drainage composites (Miradrain, Geotextiles) may be only used in addition to traditionally accepted methods of draining retained earth.
35. Where the ground water table is lowered and maintained at an elevation not less than 6 inches below the bottom of the lowest floor, or where hydrostatic pressures will not occur, the floor and basement walls shall be damp-proofed. Where a hydrostatic pressure condition exists, and the design does not include a ground-water control system, basement walls and floors shall be waterproofed. (1803.5.4, 1805.1.3, 1805.2, 1805.3)
36. The structure shall be connected to the public sewer system per P/BC 2014-027.
37. All roof, pad and deck drainage shall be conducted to the street in an acceptable manner in non-erosive devices or other approved location in a manner that is acceptable to the LADBS and the Department of Public Works (7013.10).
38. An on-site storm water infiltration system at the subject site shall not be implemented, as recommended.
39. All concentrated drainage shall be conducted in an approved device and disposed of in a manner approved by the LADBS (7013.10).
40. The soils engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading (7008 & 1705.6).
41. Prior to pouring concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the work inspected meets the conditions of the report. No concrete shall be poured until the LADBS Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)
42. Prior to excavation an initial inspection shall be called with the LADBS Inspector. During the initial inspection, the sequence of construction; shoring; ABC slot cuts; protection fences; and, dust and traffic control will be scheduled (108.9.1).
43. Installation of shoring and slot cutting shall be performed under the inspection and approval of the soils engineer and deputy grading inspector (1705.8).
44. The installation and testing of tie-back anchors shall comply with the recommendations included in the report or the standard sheets titled "Requirement for Tie-back Earth Anchors", whichever is more restrictive. Research Report #23835
45. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. The representative shall post a notice on the job site for the LADBS Inspector and the Contractor stating that the soil inspected meets the conditions of the report. No fill shall be placed until the LADBS Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter

shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the grading permit and the permit number shall be included (7011.3).

46. No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

LEILA ETAAT
Structural Engineering Associate II

171c
Log No. 108047-01
213-482-0480

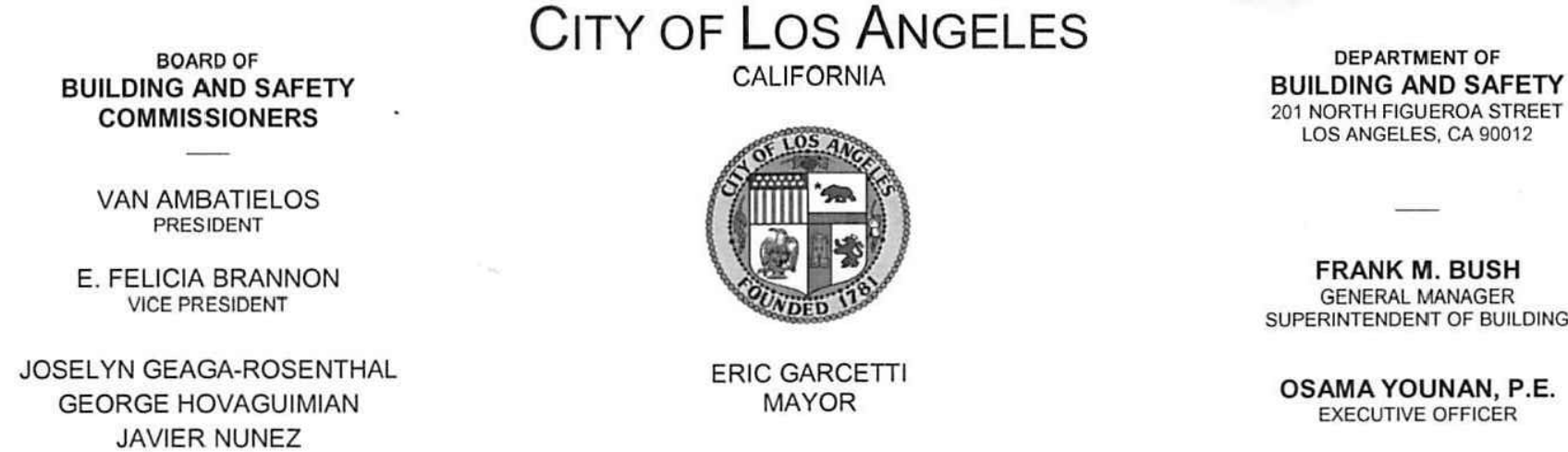
cc: Applicant
AGI Geotechnical, Inc., Project Consultant
LA District Office

EXHIBIT "A"
Page No. 6 of 27
Case No. DIR-2021-7344-TOC-SPR-HCA

13. Temporary excavations that remove lateral support to the public way, adjacent property, or adjacent structures shall be supported by shoring or constructed using ABC slot cuts, as recommended. Note: Lateral support shall be considered to be removed when the excavation extends below a plane projected downward at an angle of 45 degrees from the bottom of a footing of an existing structure, from the edge of the public way or an adjacent property. (3307.3.1)
14. Where any excavation, not addressed in the approved reports, would remove lateral support (as defined in 3307.3.1) from a public way, adjacent property or structures, a supplemental report shall be submitted to the Grading Division of the Department containing recommendations for shoring, underpinning, and sequence of construction. Shoring recommendations shall include the maximum allowable lateral deflection of shoring system to prevent damage to adjacent structures, properties and/or public ways. Report shall include a plot plan and cross-section(s) showing the construction type, number of stories, and location of adjacent structures, and analysis incorporating all surcharge loads that demonstrate an acceptable factor of safety against failure. (7006.2 & 3307.3.2)
15. Prior to the issuance of any permit that authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation (3307.1).
16. The soils engineer shall review and approve the shoring plans prior to issuance of the permit (3307.3.2).
17. Prior to the issuance of the permits, the soils engineer and the structural designer shall evaluate the surcharge loads used in the report calculations for the design of the retaining walls and shoring. If the surcharge loads used in the calculations do not conform to the actual surcharge loads, the soil engineer shall submit a supplementary report with revised recommendations to the Department for approval.
18. Unsurcharged temporary excavations over 5 feet exposing soil shall be trimmed back at a gradient not exceeding 1:1, as recommended.
19. Shoring shall be designed for the lateral earth pressures specified in the section titled "Construction Cuts" starting on page 9 of the 03/05/2019 report; all surcharge loads shall be included into the design.
20. Shoring shall be designed for a maximum lateral deflection of ½ inch where a structure is within a 1:1 plane projected up from the base of the excavation, and for a maximum lateral deflection of 1 inch provided there are no structures within a 1:1 plane projected up from the base of the excavation, as recommended.
21. A shoring monitoring program shall be implemented to the satisfaction of the soils engineer.
22. Surcharged ABC slot-cut method may be used for temporary excavations with each slot-cut not exceeding 12 feet in height and not exceeding 8 feet in width, as recommended. The surcharge load shall not exceed the value given in the report. The soils engineer shall determine the clearance between the excavation and the existing foundation. The soils engineer shall verify in the field if the existing earth materials are stable in the slot-cut

excavation. Each slot shall be inspected by the soils engineer and approved in writing prior to any worker access.

23. All foundations shall derive entire support from native undisturbed soils, as recommended and approved by the soils engineer by inspection.
24. The proposed structure and subterranean walls shall be supported on a mat foundation and designed to resist uplift and hydrostatic pressures that would develop due to the historic high groundwater level conditions or the current groundwater level, whichever is higher, as recommended on page 2 of the 05/22/2019 report.
25. Concrete floor slabs placed on expansive soil shall be placed on a 4-inch fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 4 inches thick as recommended and shall be reinforced with ½-inch diameter (#4) reinforcing bars spaced a maximum of 16 inches on center each way.
26. The seismic design shall be based on a Site Class D as recommended. All other seismic design parameters shall be reviewed by LADBS building plan check.
27. Retaining walls shall be designed for the lateral earth pressures specified in the section titled "Lateral Loades" starting on page 8 of the 03/05/2019 report. Note: All surcharge loads shall be included into the design.
28. Basement walls and other walls in which horizontal movement is restricted at the top shall be designed for at-rest pressures as specified on page 2 of the 05/22/2019 report (1610.1). All surcharge loads shall be included into the design.
29. Retaining walls/basement walls higher than 6 feet shall be designed for lateral earth pressure due to earthquake motions as specified on page 8 of the 03/05/2019 report (1803.5.12).
- Note: Lateral earth pressure due to earthquake motions shall be in addition to static lateral earth pressures and other surcharge pressures.
30. All retaining walls shall be provided with a standard surface backdrain system and all drainage shall be conducted in a non-erosive device to the street in an acceptable manner (7013.11).
31. With the exception of retaining walls designed for the full hydrostatic pressure from the proposed finish grade, all retaining walls shall be provided with a subdrain system to prevent possible hydrostatic pressure behind the wall. Prior to issuance of any permit, the retaining wall subdrain system recommended in the soils report shall be incorporated into the foundation plan which shall be reviewed and approved by the soils engineer of record (1805.4).
32. Installation of the subdrain system shall be inspected and approved by the soils engineer of record and the City grading/building inspector (108.9).
33. Basement walls and floors shall be waterproofed/damp-proofed with an LA City approved "Below-grade" waterproofing/damp-proofing material with a research report number (104.2.6).



SOILS REPORT APPROVAL LETTER

June 20, 2019

LOG # 108047-01
SOILS/GEOLOGY FILE - 2

Benbaroukh, LLC
319 Robertson Blvd.
Beverly Hills, CA 90211

TRACT: J. W. ELLIS' SUBDIVISION OF LOT 6 BLOCK 38 HANCOCK'S SURVEY (M R 10-24) & OSCAR B. SMITH'S CROWN HILL TRACT (M P 8-169)

LOT(S): 2, 20, 21 & 22
LOCATION: 550 S. Union Ave. & 1701, 1709, 1715 & 1717 W. 6th Street

CURRENT REFERENCE REPORT/LETTER(S)	REPORT No.	DATE OF DOCUMENT	PREPARED BY
Soils Report	29-5147-02	05/22/2019	AGI Geotechnical, Inc.

PREVIOUS REFERENCE REPORT/LETTER(S)	REPORT No.	DATE OF DOCUMENT	PREPARED BY
Dept. Review Letter	108047	04/23/2019	LADBS
Soils Report	29-5147-00	03/05/2019	AGI Geotechnical, Inc.
Addendum Report	29-5147-01	04/12/2019	AGI Geotechnical, Inc.

The Grading Division of the Department of Building and Safety has reviewed the referenced reports that provide recommendations for the proposed 100-unit 7-story mixed-use building over 2 level of subterranean parking. The earth materials at the subsurface exploration locations consist of native soils. The consultants recommend to support the proposed structure(s) on mat-type foundations bearing on native undisturbed soils.

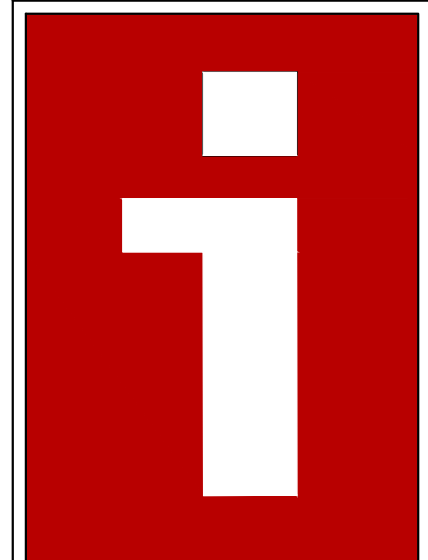
Groundwater was encountered in the exploratory boring at the depth of 25 feet below the existing ground surface, and historically highest groundwater level is approximately 20 feet from the ground surface, according to the consultants.

The referenced reports are acceptable, provided the following conditions are complied with during site development:

(Note: Numbers in parenthesis () refer to applicable sections of the 2017 City of LA Building Code. P/BC numbers refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

LADBS G-5 (Rev.11/23/2016) AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

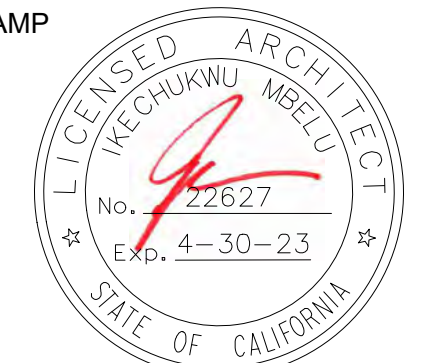
- In the event tie-back anchors are proposed for shoring purposes, provide a notarized letter from all adjoining property owners allowing tie-back anchors on their property (7006.6).
 - The soils engineer shall review and approve the detailed plans prior to issuance of any permit. This approval shall be by signature on the plans that clearly indicates the soils engineer has reviewed the plans prepared by the design engineer; and, that the plans included the recommendations contained in their reports (7006.1).
 - All recommendations of the report(s) that are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
 - A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans (7006.1). Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit.
 - A grading permit shall be obtained for all structural fill and retaining wall backfill (106.1.2).
 - Prior to the issuance of any permit, an accurate volume determination shall be made and included in the final plans, with regard to the amount of earth material to be exported from the site. For grading involving import or export of more than 1000 cubic yards of earth materials within the grading hillside area, approval is required by the Board of Building and Safety. Application for approval of the haul route must be filed with the Board of Building and Safety Commission Office. Processing time for application is approximately 8 weeks to hearing plus 10-day appeal period.
 - All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density. Placement of gravel in lieu of compacted fill is only allowed if complying with LAMC Section 91.7011.3.
 - Existing uncertified fill shall not be used for support of footings, concrete slabs or new fill (1809.2, 7011.3).
 - Drainage in conformance with the provisions of the Code shall be maintained during and subsequent to construction (7013.12).
 - Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Grading Division of the Department and the Department of Public Works, Bureau of Engineering, B-Permit Section, for any grading work in excess of 200 cubic yards (7007.1).
- 201 N. Figueroa Street 3rd Floor, LA (213) 482-7045
- All loose foundation excavation material shall be removed prior to commencement of framing (7005.3).
 - The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the General Safety Orders of the California Department of Industrial Relations (3301.1).



ICON & IKON, INC.
ARCHITECTS AND PLANNERS

14623 HAWTHORNE BLVD. #306
LAWDALE, CALIFORNIA 90260
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OWNER / TENANT
BENBAROUKH, LLC.
319 S. ROBERTSON DR.
BEVERLY HILLS, CALIFORNIA 90211
PH. 310-550-1012

PROJECT TITLE
**THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT**

PROJECT ADDRESS
550 S. UNION W. 6TH STREET
LOS ANGELES, CA 90017

REVISIONS		
NO.	DATE	DESCRIPTION
1	01-22-22	SITE PLAN REVIEW-RESUB
2	02-18-22	PRELIM ZONING ASSESS.
3	03-21-22	PRELIM ZONING ASSESS.
4	05-18-22	PLANNING CORRECTION.
5	06-10-22	SPR CORRECTION.
6	06-15-22	SPR CORRECTION.
7	06-27-22	SPR CORRECTION.

DRAWN BY: I.M

CHECKED BY: I.M

PRINTED ON: JUN 27, 2022

PERMIT NO: DIR-2021-7344
-TOC-SPR-HCA

TITLE

SOIL REPORT
APPROVAL LETTER

SHEET #

A - 004

NO. OF 100

Certification

As an I.S.A Certified Arborist and ASCA Consulting Arborist I further certify that there are no native, protected species of Oak, California Bay California Sycamore or Southern California Black Walnut trees growing on or near the subject property. No native, protected trees will be removed or impacted by this proposed project.

Please forward this updated, current version of the Arborist Letter to the City of Los Angeles. Thank you for the opportunity to serve you. If you have questions, please feel free to contact me on my business cell phone at (818) 426-2432 or you may call my office (818) 240-1358.

William R. McKinley

William R. McKinley, Consulting Arborist
American Society of Consulting Arborists
Certified Arborist #WE-4578A
International Society of Arboriculture

Arborists and Environmental Consultants

Certification Letter

June 17, 2022

Benbaroukh, LLC
319 South Robertson Blvd.
Beverly Hills, CA 90211

Attention Elias Shokrian:

Recently I was contacted by your associate, Mr. Espand Siahpoush regarding an Arborist Letter concerning the trees located at 1709-1717 West 6th Street, Los Angeles. The subject properties are located in a commercial and multi-family dwelling area in the City of Los Angeles. This Arborist Letter is in reference to City Los Angeles Ordinance No. 186873.

Background/Observations:

I originally inspected the properties located at 1709-1717 West 6th Street, Los Angeles, California. on Thursday, May 21, 2020 at approximately 10:00 a.m. The properties both have existing commercial buildings. The existing buildings will be removed in order to construct a new apartment complex. There is one street tree and one private tree currently on or near the site. The following tree species were observed growing on or near the subject properties:

Tree Inspection/Species Observed:

- #1 *Podocarpus macrophyllus* or Yew Pine;14"D.B.H.;23'Sp.;22'Ht.;Rating: B- (Street Tree)
- #2 *Paulownia kawakamii* or Sapphire Dragon Tree;10"D.B.H.;30'Sp.;20'Ht.;Rating: C- (Private)

Recommendation

Tree #1 will be preserved. A temporary 6 foot high T-Panel, chain-link fence should be placed around the edge of the tree well of Tree #1. This fence shall remain around the tree until the project has been completed. No dumping or washing out of foreign materials shall be permitted within the tree well. Tree #2 will require removal in order to construct the new building. Since this non-native tree species is over 8 inches in diameter the Planning Department may require you to plant 1-24 inch-box replacement tree. This replacement tree planting is addressed in the Landscape Plan.

Proposed Landscape - Tree/Brush Species:

- #1 *Podocarpus macrophyllus* or Yew Pine Existing Street Tree
- #2 *Arbutus 'Marina'* or Marina Strawberry Tree
- #3 *Lophostemon confertus* or Brisbane Box

Arborists and Environmental Consultants

Proposed Tree/Brush Species-Continued:

- #4 *Carex ashimensis 'Evergold'* or Variegated Japanese Sedgeone
- #5 *Myrtus communis 'Compacto'* or Myrtle
- #6 *Dietes iridioides 'Variegata'* or Variegated Fortnight Lily
- #7 *Sansevieria trifasciata* or Mother In Law's Tongue
- #8 *Senecio radicans* or String of Bananas
- #9 *Tradescant ia zebrina 'Purpusii'* or Wandering Jew
- #10 *Dodonea viscosa 'Purpurea'* or Hopseed Bush
- #11 *Chondropetalum tectorum* or Cape Rush
- #12 *Dietes iridioides 'Variegata'* or Variegated Fortnight Lily
- #13 *Euphorbia tirucalli 'Sticks on Fire'* or Red Pencil Tree
- #14 *Rhaphilepis umbellatum* or Indian Hawthorn
- #15 *Senecio cylindricus* or Narrow Leaf Chalksticks
- #16 *Senecio mandraliscae*

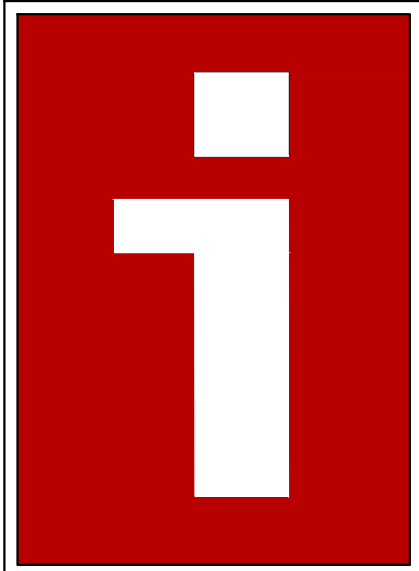
Proposed Landscape Plan:

Tree #1 will remain, along the facing property sidewalks of Union and 6th St, 5-24" box street trees will be planted. Tree #2 will be removed during the construction of the project. See L-1.

On the podium level, 4-Marina Strawberry trees will be planted in a 24" box around the play equipment, surrounded by Variegated Japane Sedge. 4-Brisbane Box trees planted in a 24" box will be planted on the northeast section of the podium, surrounded by 16- Wandering Jew. 30" high planter boxes will be installed on the west, south, and east sides of the podium level. In the planter boxes, are various shrubs including 36-Myrtle, 32- Variegated Fortnight Lily, 36-String of Banana, and 64-Mother InLaw's Tongue. See L-2.

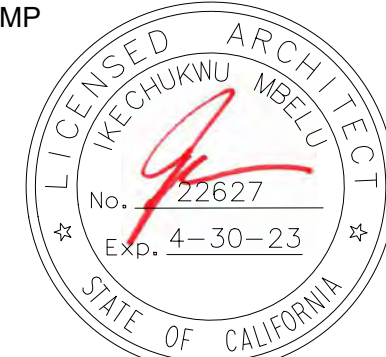
On the roof level, 12- Hopseed Bush will be planted in 24" boxes along the south. 24" high planters, located around the rooftop, create boundaries for designated open spaces. The planters contain a variation of bushes including, 6- Cape Rush, 22-Variegated Fortnight Lily, 39-Red Pencil Tree, 24- Indian Hawthorn, 23- Narrow Leaf Chalkstick, and 56- Senecio mandraliscane. See L-3

Arborists and Environmental Consultants



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DRAWN BY: I.M
CHECKED BY: I.M
PRINTED ON: JUN 16, 2022
PERMIT NO: DIR-2021-7344
-TOC-SPR-HCA

TITLE
ARBORIST
CERTIFICATION
LETTER

SHEET #
A - 005
NO. OF 100

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
13	Parking (automobile)	Residential: 50	Residential: 50	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.22.A.31 12.21.A.4 & 5	Design standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO PER TOC TIER 3, A PARKING RATIO FOR RESIDENTIAL OF 0.5 PER UNIT IS REQUESTED. PER 12.21.A.4, 10% OF AUTO PARKING IS REPLACED WITH BICYCLE PARKING.
		Non-Residential: 22	Non-Residential: 25	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
14	Parking (bicycle)	Long-term: 115 RESIDENTIAL 10 COMMERCIAL	Long-term: 95 RESIDENTIAL 6 COMMERCIAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.A.16	Facility standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO Location standards met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
		Short-term: 8 RESIDENTIAL 24 COMMERCIAL	Short-term: 7 RESIDENTIAL 6 COMMERCIAL	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
15	Open Space	Total (s.f.): 16478	Total: 10500	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-G (if code prevails)	Units/Habitable Room <3: 25 ≥3: 75 >3: 0
		Common (s.f.): 14728 Private (s.f.): 1750	Common: Private:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		
16	Retaining Walls in Special Grading Areas	Max Height:	Max Height:	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.21-C.8 (if code prevails)	Dimensions met: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
		Max Quantity:	Max Quantity:	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		


CP-4064 Preliminary Zoning Assessment Referral Form DCP & DBS (1/3/2020)

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Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
17	Grading (Zoning & Planning limitations)			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
18	Lot Coverage			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
19	Lot Width			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		
20	Space between Buildings			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.21-C.2(a) (if code prevails)	
21	Passageway	YES	YES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21-C.2(b) (if code prevails)	LEADS TO HALLWAY WHICH OPENS TO STREET.
22	Location of Accessory Buildings			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.21-C.5 (if code prevails)	
23	Loading Area	YES	YES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A		

CP-4064 Preliminary Zoning Assessment Referral Form DCP & DBS (1/3/2020)

Page 7 of 9

Item No.	Zoning Standard	Proposed		Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
24	Trash & Recycling	100 SF COMM 100 SF RES		100 SF COMM 100 SF RES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.21.A.19	
25	Commercial Corner Development/ Mini-Shopping Center	EXEMPT		EXEMPT	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.22-A.23 (if code prevails)	<input checked="" type="checkbox"/> Exempt
26	Landscape	Conformance determined by Los Angeles City Planning					
27	Private Street	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A			
	Other (use additional sheet(s) attached)	See additional sheets, if applicable					Additional Sheet(s) attached: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
NOTES:							
20010-10001-04413							
DBS Staff Name and Title KEVIN MORALES SEA II				DBS Staff Signature 			Date 03.31.22

CP-4064 Preliminary Zoning Assessment Referral Form DCP & DBS (1/3/2020)

Page 8 of 9

Section II. Project Screening - To be completed by applicant and verified by DCP staff

If a project meets any one (1) of the following criteria, then the project is a Housing Development Project, and Section III is required and must be completed by LADBS staff. If none of the criteria below applies, then the project is not a Housing Development Project and does not require Section III of this form to be completed prior to filing a City Planning application.

Screening Criteria (To be Determined by DCP staff)	Please Write: Yes or No
(a) The residential-only housing development project creates 2 units or more	No
(b) Mixed-use developments consisting of residential and nonresidential uses with at least two-thirds of the square footage designated for residential use.	Yes
(c) Transitional Housing	No
(d) Supportive Housing	No

NOTES:

DCP Staff Name and Title: Monica Lee, City Planning Associate DCP Staff Signature: Monica Lee Date: 10/1

Section III. Preliminary Zoning Assessment - To be completed by DBS Staff

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No. ¹	Comment/ Description/ Factor/ Ratio
1	Use	APARTMENT AND RETAIL MIXED USE WITH ATTACHED PARKING	APARTMENT AND RETAIL MIXED USE WITH ATTACHED PARKING	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.14	<input type="checkbox"/> Conditional Use (LAMC Sec. 12.24) for

¹ Per the applicable section of the Zoning Code, Specific Plan, Zoning Overlay, Ordinance, Bonus Program, Planning Case Condition.

CP-4064 Preliminary Zoning Assessment Referral Form DCP & DBS (1/3/2020)

Page 9 of 9

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
2	Height	92 FT	45 FT	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.22.A.23.D(1)	<input type="checkbox"/> Transitional Height applies (12.21.1-A.10) <input type="checkbox"/> Commercial Corner Development/Mini-Shopping Center height applies (12.22-A.23(a)(1)) EXEMPT FROM COMMERCIAL CORNER REQUIREMENTS PER 12.22.A.23.D(1)
3	No. of Stories	7	N/A	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.21.1 (if code prevails)	
4	Base FAR (Floor Area Ratio)	3.5:1	1.5:1	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.21.1	
5	Bonus FAR (Floor Area Ratio)	3.5:1	3.75:1	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.22.A.31	PER TOC TIER 3, A BASE INCENTIVE FOR FAR INCREASE TO 3.75:1 IS REQUESTED.
6	RFAR (Residential Floor Area Ratio)			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A		

CP-4064 Preliminary Zoning Assessment Referral Form DCP & DBS (1/3/2020)

Page 4 of 9

Item No.	Zoning Standard	Proposed	Required/Allowed	Standard Met	Applicable Section No.	Comment/ Description/ Factor/ Ratio
7	By-right Density	1/284 100 UNITS	1/400 71 UNITS	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> N/A	12.14	Density Factor: 1/400 BY RIGHT <input checked="" type="checkbox"/> Site Plan Review (16.05) / Major Project CUP (12.24-U.14)
8	Bonus Density	1/284 100 UNITS	1/234 121 UNITS	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.22.A.31	PER TOC TIER 3, A BASE INCENTIVE TO INCREASE THE DENSITY BY 70% IS REQUESTED.
9	Setback (Front)	1 FT	0 FT	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> N/A	12.14	Lot Line Location (Street): UNION AVE Lot Line Location (Street):
10	Setback (Side)	0 FT COMMERCIAL 5 FT RESIDENTIAL	0 FT COMMERCIAL 5 FT RESIDENTIAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.14 12.22.A.31	<input type="checkbox"/> Offset/plane break met (if applicable) PER TOC TIER 3, AN ADDITIONAL INCENTIVE IS REQUESTED TO UTILIZE RAS'S SETBACKS. NO YARD SETBACK IS REQUIRED FOR PORTIONS OF BUILDING THAT ARE RESIDENTIAL AND ABUTTING A STREET OR ALLEY PER 12.22.A.18
11	Setback (Rear)	0 FT COMMERCIAL 5 FT RESIDENTIAL	0 FT COMMERCIAL 5 FT RESIDENTIAL	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	12.14 12.22.A.31	PER TOC TIER 3, AN ADDITIONAL INCENTIVE IS REQUESTED TO UTILIZE RAS'S SETBACKS. NO YARD SETBACK IS REQUIRED FOR PORTIONS OF BUILDING THAT ARE RESIDENTIAL AND ABUTTING A STREET OR ALLEY PER 12.22.A.18
12	Building Line			<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A	Per Ordinance No.:	

CP-4064 Preliminary Zoning Assessment Referral Form DCP & DBS (1/3/2020)

Page 5 of 9

REFERRAL FORMS:

Preliminary Zoning Assessment

Referral between the Department of City Planning (DCP) and the Department of Building & Safety (DBS)

This form is to serve as an inter-agency referral for City Planning applications associated with Housing Development Projects consisting of residential-only development creating two or more dwelling units, Transitional Housing, Supportive Housing, or mixed-use development with at least two-thirds of the square footage dedicated to residential uses. This completed form shall be accompanied by plans signed by a DBS Plan Check engineer as part of a City Planning application.

INSTRUCTIONS: Preliminary Zoning Assessment Referrals

1. **Appointments:** Each involved agency may require appointments to complete individual portions of this referral form. Please inquire with individual agency staff to determine whether an appointment is required.

After receiving a completed Preliminary Zoning Assessment Referral Form, an appointment to file a City Planning application at the Development Services Centers is also required and must be made via the City Planning website: <http://planning.cityofla.org>.

2. **Review Materials:** Review of the referral form by staff is intended to identify and determine compliance with City zoning and land use requirements necessary to achieve the proposed project. Materials submitted for Project Screening and the Preliminary Zoning Assessment must comply with the respective agency's criteria for submittal. Please consult the respective agency for specific submittal requirements.

a. **Project Screening:** Projects must be screened to determine whether a Preliminary Zoning Assessment is required. Screening will be conducted by City Planning staff prior to completion of a zoning Plan Check with the Department of Building & Safety. A site plan and floor plans are required to complete the screening.

b. **Preliminary Zoning Assessment:** Applicants will need to submit for zoning Plan Check with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any zoning issues or necessary approvals associated with the project and site that should be resolved.

3. Contact Information:

DOWNTOWN OFFICES:	Department of Building and Safety, Metro Office 201 N. Figueroa St., 4 th Floor Los Angeles, CA 90012 Phone: (213) 473-3231 Website: http://www.ladbs.org	Department of City Planning, DSC Preliminary Application Review Program (PARP) Unit Figueroa Plaza 201 N. Figueroa St., 5 th Floor Los Angeles, CA 90012 Email: planning.PARP@cityofla.org Department of City Planning, DSC Metro Counter Figueroa Plaza 201 N. Figueroa St., 4 th Floor Los Angeles, CA 90012 http://planning.lapov.org
VALLEY OFFICES:	Department of Building and Safety, Van Nuys Office 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA 91401	Department of City Planning, DSC Valley Counter Marvin Emswiler Building 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA 91401 Phone: (818) 374-5050
WEST LA OFFICES:	Department of Building and Safety, West Los Angeles Office 1828 Sawtelle Blvd. Los Angeles, CA 90025	Department of City Planning, DSC West Los Angeles Counter 1828 Sawtelle Blvd., 2nd Floor West Los Angeles, CA 90025 Phone: (310) 231-2598

CP-4064 Preliminary Zoning Assessment Referral Form DCP & DBS (1/3/2020)

Page 1 of 9

Section I. Project Information - To be completed by applicant¹

1. **PROJECT LOCATION, ZONING & LAND USE JURISDICTION**
Project Address: 1709-1717 W. 6th Street
Project Name (if applicable): The Legacy
Assessor Parcel Number(s): 5153-004-013,024
Legal Description (Lot, Block, Tract): Lot 2 of W. Ellis Sub of part of Lot 6 Block 38, Lot 20,21,22 of Oscar B. Smith Crown Hill
Community Plan: Westlake
Current Zone(s) & Height District(s): C2-1
Number of Parcels: 4.00
Lot Area: 28,488 s.f.
Land Use Designation: Community Commercial
Alley in rear: ☐ Yes ☐ No
Coastal Zone: ☐ Yes ☐ No
Downtown Design Guide Area: ☐ Yes ☐ No
Enterprise Zone: ☐ Yes ☐ No
Greater Downtown Housing Incentive Area: ☐ Yes ☐ No
Hillside Area (Zoning): ☐ Yes ☐ No
Site contains Historical features: ☐ Yes ☐ No
Special Grading Area (BOE) Area: ☐ Yes ☐ No
Very High Fire Hazard Severity Zone Area: ☐ Yes ☐ No
☐ Specific Plan: N/A
☐ Historic Preservation Overlay Zone (HPOZ):
☐ Design Review Board (DRB):
☒ Redevelopment Project Area: Westlake Recovery
☐ Overlay Zone (CPIO/CDO/POD/NSO/RO/CUGU/etc.):
☐ Q-condition/ D-limitation/ T-classification (ordinance + subarea):
☐ Legal (Lot Cut Date)
☐ Related City Planning Cases
☐ Z1 State Enterprise Zone, Redevelopment Project Area: Westlake Recovery, Transit Priority Area in the City of LA
☐ Affidavits
☐ Easements
☒ TOC Tier (must be verified by City Planning, Housing Services) Tier 3

2. PROJECT DESCRIPTION

Project Description/Proposed Use: 100 Mixed Use Development

No. of Stories: 7.00 No. of Dwelling Units: 100 Floor Area: 105,620

Existing Use/No. of Units: 0

Permanent Supportive Housing (LAMC Sec. 14.00) ☐ Yes ☐ No UDU (LAMC Sec. 14.00) ☐ Yes ☐ No

3. APPLICANT INFORMATION

Name: Ugo Mbelu

Phone: (310) 986-5588

Email: ugo@iconarc.com

4. REPRESENTATIVE INFORMATION

Name:

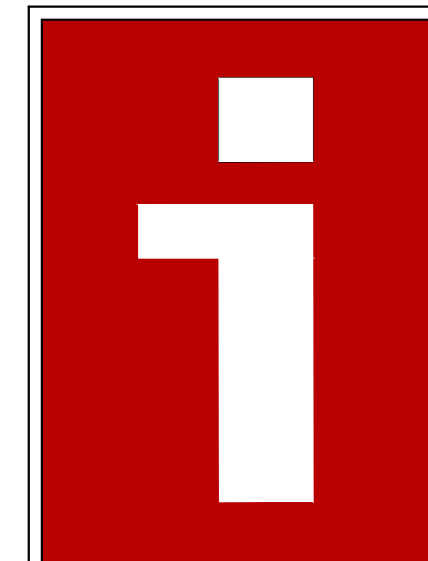
Phone:

Email:

¹ All fields in this form must be completed. If an item is not applicable, write N/A.

CP-4064 Preliminary Zoning Assessment Referral Form DCP & DBS (1/3/2020)

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PERMIT NO: DIR-2021-7344

-TOC-SPR-HCA

TITLE

PRELIMINARY ZONING ASSESSMENT

SHEET #

A - 006

NO. OF 100

PRELIMINARY ZONING ASSESSMENT

SCALE
NTS

1

SB 8 (TOC) Determination: 1701-1717 ½ W. 6th St. & 550 S. Union Ave.
Page 3

Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database, indicates a use code of “1100 – Commercial – Store – One Story” for the APN under APN 5153-004-024 on the Property.

Google Earth, Google Street View, and an Internet Search confirm that the Property contains two commercial buildings.

The Los Angeles Department of Building and Safety (LADBS) database indicates that the Owner has not applied for a Demolition Permit, but has applied for a Building Permit #20010-10000-04413 (permit not issued yet).

REPLACEMENT UNIT DETERMINATION:

LAHD has determined that since at least February 2017, the Property has been used for commercial purposes. Therefore, the proposed housing development does not require the demolition of any prohibited types of housing. Further, the provisions of SB 8 do not apply to commercial properties, therefore no SB 8 replacement affordable units are required.

Please note that this RUD will also apply if the proposed project is Density Bonus.

NOTE: This determination is provisional and is subject to verification by LAHD's Rent Division.

If you have any questions about this RUD, please contact Doris Kwok at doris.kwok@lacity.org.

cc: Los Angeles Housing Department File
Benbaroukh, LLC, a California limited liability company, Owner
Planning.PARP@lacity.org, Department of City Planning

MAC:dk

SB 8 Determination HIMs # 22-128830

EXHIBIT “A”
Page No. 9 of 27
Case No. DIR-2021-7344-TOC-SPR-HCA

Ann Sewill, General Manager
Tricia Keane, Executive Officer

Daniel Huynh, Assistant General Manager
Anna E. Ortega, Assistant General Manager
Luz C. Santiago, Assistant General Manager




City of Los Angeles
Eric Garcetti, Mayor

LOS ANGELES HOUSING DEPARTMENT
1200 West 7th Street, 9th Floor
Los Angeles, CA 90017
Tel: 213.928.9071
housing.lacity.org

DATE: March 16, 2022

TO: Benbaroukh, LLC, a California limited liability company, Owner

FROM: Marites Cunanan, Senior Management Analyst II 
Los Angeles Housing Department

SUBJECT: **Housing Crisis Act of 2019 (SB 8) (TOC) Replacement Unit Determination**
RE: 1715-1717 ½ W. 6th St., Los Angeles, CA 90017
1701-1709 W. 6th St. & 550 S. Union Ave., Los Angeles, CA 90017

Based on the SB 8 Application for a Replacement Unit Determination (RUD) submitted by Ugo Mbelu of Icon & Ikon, Inc. (Applicant) on behalf of Benbaroukh, LLC, a California limited liability company (Owner), for the above referenced property located at 1715-1717 ½ W. 6th St., 1701-1709 W. 6th St., and 550 S. Union Ave. (APN 5153-004-013, 5153-004-024) (Property) the Los Angeles Housing Department (LAHD) has determined that no units are subject to replacement pursuant to the requirements of the Housing Crisis Act of 2019 (SB 8). No unit(s) exist/existed on the property during the five (5) year lookback period

PROJECT SITE REQUIREMENTS:

The Housing Crisis Act of 2019, as amended by SB 8 (California Government Code Section 66300 et seq.), prohibits the approval of any proposed housing development project (“Project”) on a site (“Property”) that will require demolition of existing dwelling units or occupied or vacant “Protected Units” unless the Project replaces those units as specified below. The replacement requirements below apply to the following projects:

- Discretionary Housing Development Projects that receive a final approval from Los Angeles City Planning (LACP) on or after January 1, 2022,
- Ministerial On-Menu Density Bonus, SB 35 and AB 2162 Housing Development Projects that submit an application to LACP on or after January 1, 2022, and
- Ministerial Housing Development Projects that submit a complete set of plans to the Los Angeles Department of Building & Safety (LADBS) for Plan Check and permit on or after January 1, 2022.

Replacement of Existing Dwelling Units

The Project shall provide at least as many residential dwelling units as the greatest number of residential dwelling units that existed on the Property within the past 5 years.

Replacement of Existing or Demolished Protected Units

The Project must also replace all existing or demolished “Protected Units”. Protected Units are those residential dwelling units on the Property that are, or were, within the 5 years prior to the owner’s application for a SB 8 Replacement Unit Determination (SB 8 RUD): (1) subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of lower or very low income, (2) subject to any form of rent or price control through a public entity’s valid exercise of its police power within the 5 past years (3) occupied by lower or very low income households (an affordable Protected Unit), or (4) that were withdrawn from rent or lease per the Ellis Act, within the past 10 years.

Whether a unit qualifies as an affordable Protected Unit, is primarily measured by the INCOME level of the occupants (i.e. W-2 forms, tax return, pay stubs, etc.). The Los Angeles Housing Department (LAHD) will send

SB 8 Determination HIMs # 22-128830

SB 8 (TOC) Determination: 1701-1717 ½ W. 6th St. & 550 S. Union Ave.
Page 2

requests for information to each occupant of the existing project. Requests for information can take two (2) or more weeks to be returned. It is the owner’s responsibility to work with the occupants to ensure that the requested information is timely produced.

- In the absence of occupant income documentation:** Affordability will default to the percentage of extremely low, very low or low income renters in the jurisdiction as shown in the latest HUD Comprehensive Housing Affordability Strategy (CHAS) database, which as of October 1, 2021, is at 28% extremely low income, 18% very low income and 18% low income for Transit Oriented Communities (TOC) projects and 46% very low income and 18% low income for Density Bonus projects. In the absence of specific entitlements, the affordability will default to 46% very low income and 18% low income. The remaining 36% of the units are presumed above-low income. All replacement calculations resulting in fractional units shall be rounded up to the next whole number.

Replacement of Protected Units Subject to the Rent Stabilization Ordinance (RSO), Last Occupied by Persons or Families at Moderate Income or Above

The City has the option to require that the Project provide: (1) replacement units affordable to low income households for a period of 55 years (rental units subject to a recorded covenant), OR (2) require the units to be replaced in compliance with the RSO.

Relocation, Right to Return, Right to Remain:

All occupants of Protected Units (as defined in California Government Code Section 66300(d)(2)(F)(vi)) being displaced by the Project have the right to remain in their units until six (6) months before the start of construction activities with proper notice subject to Chapter 16 (Relocation Assistance) of Division 7, Title I of the California Government Code (“Chapter 16”). However, all **Lower Income Household** (as defined in California Health and Safety Code Section 50079.5) occupants of Protected Units are **also** entitled to: (a) Relocation benefits also subject to Chapter 16, and (b) the right of first refusal (“Right to Return”) to a comparable unit (same bedroom type) at the completed Project. If at the time of lease up or sale (if applicable) of a comparable unit, a returning occupant remains income eligible for an “affordable rent” (as defined in California Health and Safety Code Section 50053) or if for sale, an “affordable housing cost” (as defined in California Health and Safety Code Section 50052.5), owner must also provide the comparable unit at the “affordable rent” or “affordable housing cost”, as applicable. This provision does not apply to: (1) a Project that consists of a Single Family Dwelling Unit on a site where a Single Family Dwelling unit is demolished, and (2) a Project that consists of 100% lower income units except Manager’s Unit.

THE PROPOSED HOUSING DEVELOPMENT PROJECT:

Per the statement received by LAHD on February 28, 2022, the Owner plans to demolish the existing commercial buildings and construct a new one hundred (100) unit mixed-use new construction on the Property pursuant to additional incentives under the Transit Oriented Communities (TOC) Guidelines.

PROPERTY STATUS (AKA THE “PROJECT SITE”):

Owner was issued an AB 2556 determination on June 3, 2019, and submitted a SB 8 Application for an amended RUD for the Property on February 28, 2022. In order to comply with the required **5-year** look back period, LAHD collected and reviewed data from February 2017 to February 2022.

Review of Documents:

Pursuant to the Grant Deed, Owner acquired the Property on April 22, 1997.

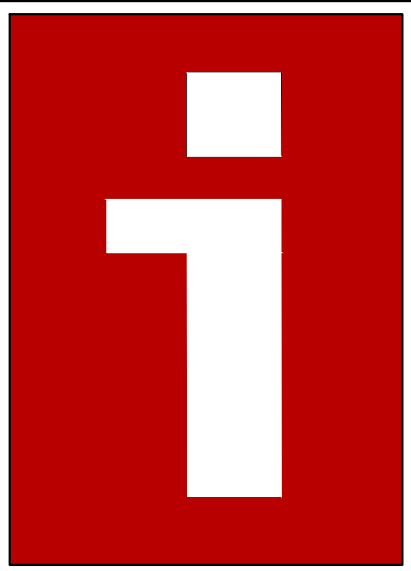
Department of City Planning (ZIMAS), County Assessor Parcel Information (LUPAMS), DataTree database, Billing Information Management System (BIMS) database, and the Code, Compliance, and Rent Information System (CRIS) database, indicates a use code of “2600 – Commercial – Auto, Recreation Equipment, Construction Equipment Sales and Service – One Story” for the APN under APN 5153-004-013 on the Property.

SB 8 Determination HIMs # 22-128830

SB-8 REPLACEMENT UNIT DETERMINATION

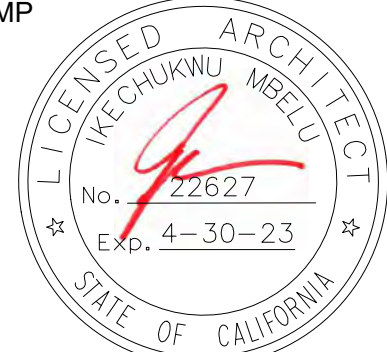
SCALE
NTS

1



ICON & IKON, INC.
ARCHITECTS AND PLANNERS
14623 HAWTHORNE BLVD. #306
LAWDALE, CALIFORNIA 90260
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STAMP



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OWNER / TENANT

BENBAROUKH, LLC.
319 S. ROBERTSON DR.
BEVERLY HILLS, CALIFORNIA, 90211
PH. 310-550-1012

THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT

PROJECT ADDRESS
550 S. UNION ST
1701, 09, 15, 17, 17 1/2 W. 6TH STREET
LOS ANGELES, CA 90017

REVISIONS		
NO.	DATE	DESCRIPTION
1	01-22-22	SITE PLAN REVIEW-RESUB
2	02-18-22	PRELIM ZONING ASSESS.
3	03-21-22	PRELIM ZONING ASSESS.
4	05-18-22	PLANNING CORRECTION.
5	06-10-22	SPR CORRECTION.
6	06-15-22	SPR CORRECTION.

DRAWN BY: IM

CHECKED BY: IM

PRINTED ON: JUN 16, 2022

PERMIT NO: DIR-2021-7344
-TOC-SPR-HCA

TITLE

SB 8
DETERMINATION

SHEET #

A - 007

NO. OF 100

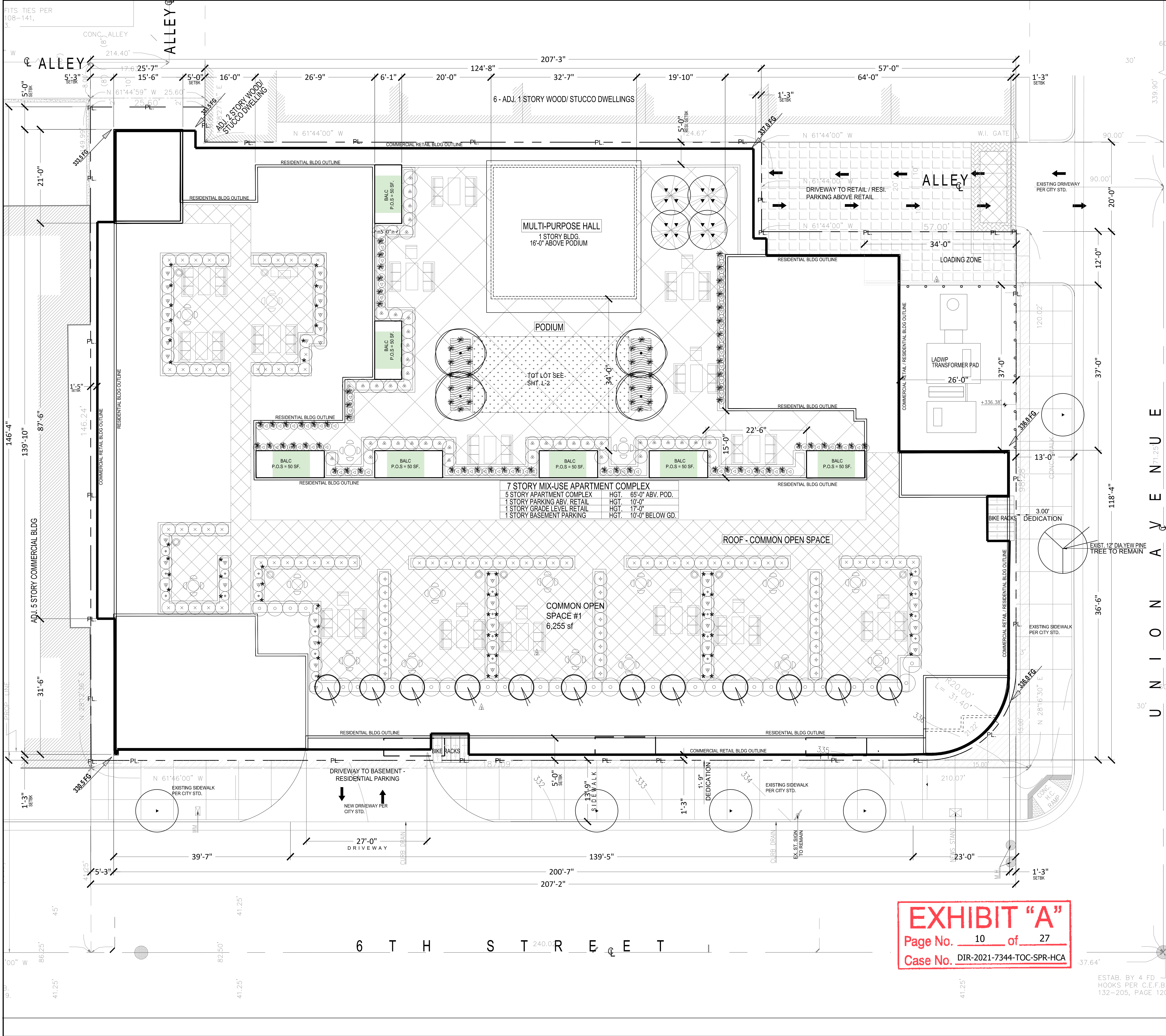


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ESTAB. BY 4 FD
HOOKS PER C.E.F.B.
132-205, PAGE 120.

SITE DESCRIPTION

PROJECT NAME:

THE LEGACY @ SIXTH-UNION
A 100 UNIT MIX-USE COMMERCIAL &
TOC RESIDENTIAL PROJECT.

JOB ADDRESS:

550 S. UNION STREET
1701, 1709, 1715, 1717 & 1717 1/2
6TH STREET LOS ANGELES, 90007

A.P.N.

5153-004-013, 024

LEGAL DESRP:

LOTS 20, 21 AND 22 OF OSCAR B. SMITH'S
CROWN HILL TRACT, M.B. 8, PAGE 169, AND
LOT 2 OF J.W. ELLIS' SUBDIVISION OF PART
OF LOT 6, BLOCK 36, HANCOCK'S SURVEY,
IN THE CITY OF LOS ANGELES, COUNTY OF
LOS ANGELES, STATE OF CALIFORNIA.
M.R. 10, PAGE 24.

ZONING

GENERAL COMMERCIAL (C2)

DISTRICT:

GENERAL COMMERCIAL (C2)

LAND USE:

COMMUNITY COMMERCIAL

SITE AREA:

SITE AREA BEFORE DEDICATION

28,488 SF

SITE AREA AFTER DEDICATION

27,600 SF

NET SITE AREA

27,600 SF

1/2 OF ALLEY

570 SF

SITE AREA FOR FAR

28,488 + 570 = 29,058 SF

FLOOR AREA RATIO: FAR

FAR BY RIGHT

= 1.5 : 1

FAR W/ TOC INCENTIVES

= 3.75 : 1

FAR BY RIGHT

= 43,587 SF

FAR W/ TOC

= 108,967.5 SF

BUILDABLE AREA:

	ALLOWED	PROPOSED
BUILDABLE AREA - COMM/RETAIL	21,004 SF	
BUILDABLE AREA - RESIDENTIAL	21,004 SF	
BUILDABLE AREA - COMM/RETAIL		24,904 SF
BUILDABLE AREA - RESIDENTIAL		18,048 SF

BUILDING HEIGHT

ALLOWED PER LAMC

UNLIMITED

PROPOSED

92'-0"

ALLOWABLE DENSITY

1: 400 SF

29,058 / 400 = 72 UNITS

ALLOWED BY RIGHT

= 72 UNITS

BASE DENSITY

= 73 UNITS

DENSITY BONUS

(LAMC 12.10.C.4)

ALLOWED

70% INCREASE TOC BONUS

= 52 UNITS

TOTAL UNITS ALLOWED PER TOC

= 125 UNITS

PROPOSED

36.98% INCREASE OF UNITS PROVIDED

= 28 UNITS

TOTAL UNITS PROPOSED/TOC

= 100 UNITS

LEVEL OF AFFORDABILITY

10% EXTREMELY LOW INCOME

= 10 UNITS

MARKET RATE UNITS

= 90 UNITS

SETBACKS:

COMMERCIAL RETAIL (1ST & 2ND FLR)

ITEM	ALLOWED	PROPOSED
FRONT	0'-0"	0'-0"
SIDES	0'-0"	0'-0"
REAR	0'-0"	0'-0"

RESIDENTIAL (3RD - 7TH FLR LEVELS)

ITEM	ALLOWED	PROPOSED
FRONT	15'-0"	0'-0"
SIDES	5'-0"	5'-0"
REAR	15'-0"	5'-3"

UNIT BREAKDOWN

2 BEDROOM UNIT

20 UNITS

1 BEDROOM UNIT

75 UNITS

STUDIO UNIT

5 UNITS

TOTAL UNITS

100 UNITS

FLOOR AREA

COMMERCIAL / LEASING / LOBBY

13,046 SF

TRASH / UTILITY / STAIRS

4,178 SF

RESIDENTIAL / COMM. HALL / GYM

88,398 SF

PARKING / MISC.

55,470 SF

TOTAL

161,092 SF

PARKING

ITEM	REQUIRED	TOC TIER 3	PROPOSED
COMM. RETAIL	25 STALLS	18 STALLS	22 STALLS
RESIDENTIAL	110 STALLS	50 STALLS	50 STALLS
LOADING AREA	1 STALL	1 STALL	1 STALL
GUEST	25 STALLS	0	0

ALL ASSIGNED STALLS: NO GUEST PARKING

ACCESSIBLE PARKING

ITEM	REQUIRED	TOC TIER 3	PROPOSED
RETAIL	2 STALLS	2 STALLS	2 STALLS
RESIDENTIAL	6 STALLS	2 STALLS	2 STALLS

EVSC (TIER 1)

ITEM	REQUIRED	PROPOSED
RETAIL	LAMC 3 STALLS	TOC TIER 3 2 STALLS
RESIDENTIAL	11 STALLS	5 STALLS

BICYCLE PARKING

ITEM	REQUIRED	PROVIDED
RETAIL (L&S)	12 RACKS	12 RACKS
RESIDENTIAL (L&S)	83 RACKS	83 RACKS

123 RACKS

OPEN SPACE

ITEM	REQUIRED	PROPOSED
RESIDENTIAL	10,500 SF	10,500 SF

16,478 SF

LANDSCAPE AREA

REQUIRED

25% = 2,921 SF

PROPOSED

2,921 SF

TOTAL # OF TREES

REQUIRED

25 TREES

PROPOSED

26 TREES

SOLAR PANEL AREA

REQUIRED

15% = 2,707 SF

PROPOSED

2,777 SF

RETAIL FRONTAGE CALCULATION

UNION STREET

58.12' / 137.3'

= 42% > 35%

6TH STREET

127.75' / 207'

= 62% > 35%

STREET DEDICATION

PRIVATE OPEN SPACE 50 SF BALC OR PATIO

ICON & IKON, INC.
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LAWNDALE, CALIFORNIA 90260
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OWNER / TENATE
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THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT

PROJECT ADDRESS
550 S. UNION STREET
1701, 09, 15, 17, 17 1/2 W. 6TH STREET
LOS ANGELES, CA 90017

PROJECT TITLE

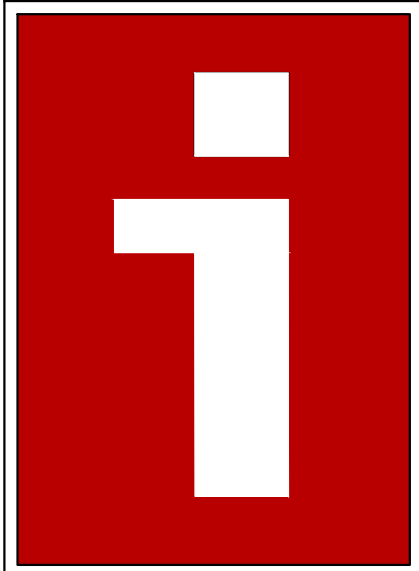
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7	06-27-22	SPR CORRECTION.
8	07-5-22	SPR CORRECTION.

DRAWN BY: I.M
CHECKED BY: I.M
PRINTED ON: JULY 5, 2022
PERMIT NO: DIR-2021-7344
-TOC-SPR-HCA

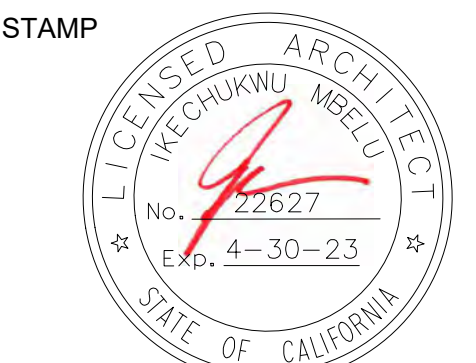
TITLE
PLOT PLAN

SHEET #
A - 100

NO. OF 100



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THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT
PROJECT ADDRESS 550 S. UNION STREET
1701, 09, 15, 17, 17 1/2 W. 6TH STREET
LOS ANGELES, CA 90017

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7	06-27-22	SPR CORRECTION
8	07-5-22	SPR CORRECTION

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-TOC-SPR-HCA

TITLE

SITE PLAN

SHEET #
A - 101

NO. OF 100

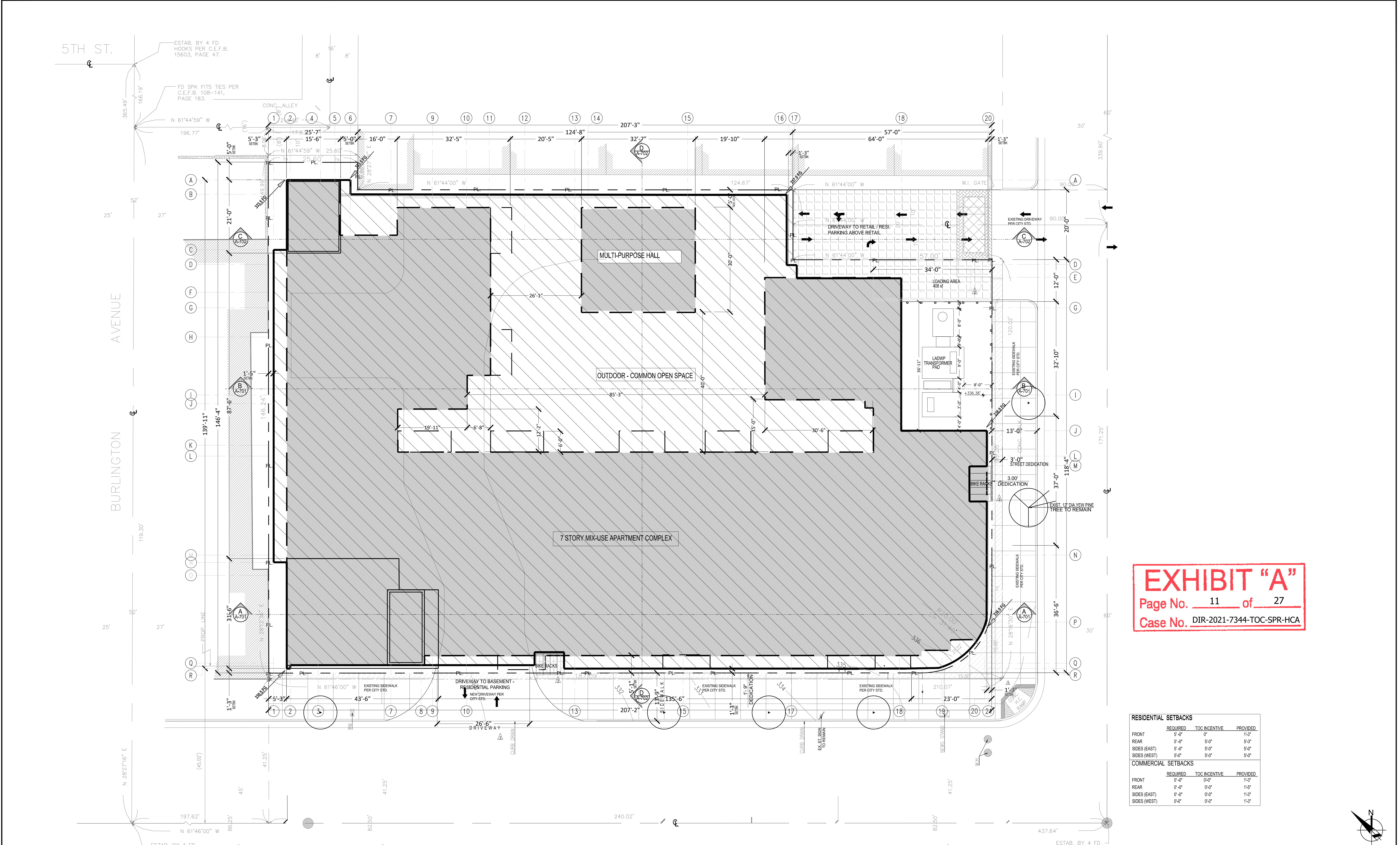
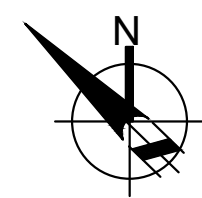





















































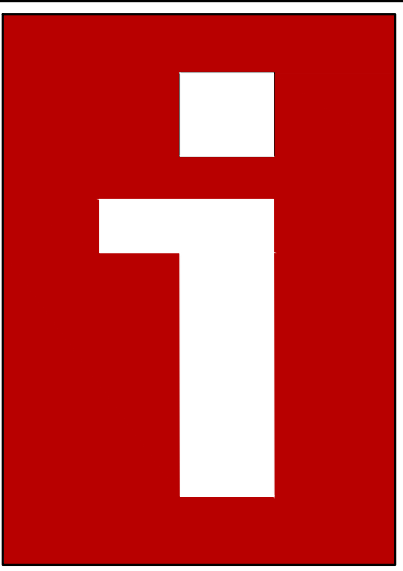
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RESIDENTIAL SETBACKS			
	REQUIRED	TOC INCENTIVE	PROVIDED
FRONT	5'-0"	0'	1'-0"
REAR	5'-0"	5'-0"	5'-0"
SIDES (EAST)	5'-0"	5'-0"	5'-0"
SIDES (WEST)	5'-0"	5'-0"	5'-0"

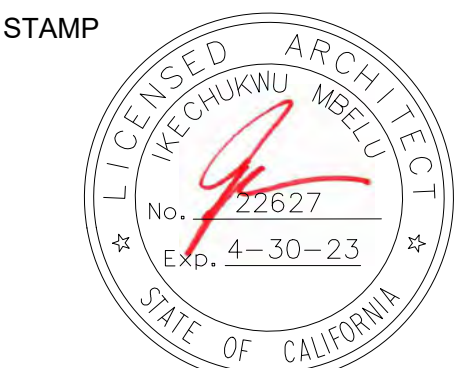
COMMERCIAL SETBACKS			
	REQUIRED	TOC INCENTIVE	PROVIDED
FRONT	0'-0"	0'-0"	1'-0"
REAR	0'-0"	0'-0"	1'-0"
SIDES (EAST)	0'-0"	0'-0"	1'-0"
SIDES (WEST)	0'-0"	0'-0"	1'-0"



SITE PLAN										SCALE 3/16"=1'-0"	1																																																												
DEMOLITION NOTES			DEMOLITION NOTES			SITE PLAN NOTES			SITE PLAN NOTES			SYMBOL NOTES			SITE PLAN SYMBOLS																																																								
<p>DEMOLITION REQUIREMENTS:</p> <p>H. UNLESS OTHERWISE INDICATED ON THE DRAWING, REMOVE TREES, SHRUBS, GRASS, OTHER VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION. REMOVAL INCLUDES LOGGING OR STUMPS PLACED IN THE DEPRESSION CAUSED BY CLEARING AND GRUBBING OPERATIONS ARE TO BE FILLED TO SUB-GRADE ELEVATION TO AVOID WATER POONING. SATISFACTORY FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 8 INCHES LOOSE DEPTH, AND THOROUGHLY COMPACTED PER FILL REQUIREMENTS.</p> <p>I. REMOVE GRASS TREES, PLANT LIFE, STUMPS AND ALL OTHER CONSTRUCTION DEBRIS FROM THE SITE TO A DUMP SITE THAT IS SUITABLE FOR HANDLING SUCH MATERIAL, ACCORDING TO STATE LAWS AND REGULATIONS.</p> <p>ASBESTOS REPORT:</p> <p>A. PROVIDE ASBESTOS REPORT TO CITY PRIOR TO DEMOLISHING PERMIT BEING ISSUED.</p>			<p>DEMOLITION REQUIREMENTS:</p> <p>A. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES OR PAVEMENTS.</p> <p>B. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION. DO NOT RESUME OPERATIONS UNTIL DIRECTED.</p> <p>C. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS. MAINTAIN ACCESS AND EGRESS AT ALL TIMES.</p> <p>D. OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS WHEN DEMOLITION EQUIPMENT WILL TRAVERSE, INFRINGE UPON OR LIMIT ACCESS TO THEIR PROPERTY.</p> <p>E. SPRINKLE WORK WITH WATER TO MINIMIZE DUST. PROVIDE HOSES AND WATER CONNECTIONS FOR THIS PURPOSE.</p> <p>F. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.</p> <p>G. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED DEMO OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF WORK.</p> <p>PROTECTION:</p> <p>A. LOCATE AND IDENTIFY EXISTING UTILITIES THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.</p> <p>B. PROTECT TREES, PLANT GROWTH AND FEATURES DESIGNATED TO REMAIN AS FINAL LANDSCAPE.</p> <p>C. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES AND FACILITIES. MAINTAIN ACCESS AND EGRESS AT ALL TIMES AND CLEAN OR SAVE ANY ROADWAYS ONLY OR AS REQUIRED BY THE GOVERNING AUTHORITY. AT SUCH TIMES AS DEEMED NECESSARY BY THE OWNER, DUST CONTROL SHALL BE PROVIDED WITH SPRINKLING SYSTEMS OR EQUIPMENT PROVIDED BY THE CONTRACTOR.</p> <p>D. PROTECT BENCHMARKS, PROPERTY CORNERS AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISAPPEARANCE. IF A MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY A LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY, BY THE SAME.</p> <p>E. PROVIDE TRAFFIC CONTROL, AS REQUIRED, IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AND THE STATE HIGHWAY DEPARTMENT REQUIREMENTS.</p> <p>F. CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND EXECUTION OF WORK.</p> <p>G. CLEARING TO BE PERFORMED IN ACCORDANCE WITH SOLS REPORT.</p>			<p>REGULATORY REQUIREMENTS:</p> <p>A. CONFORM TO APPLICABLE LOCAL CODE FOR DEMOLITION OF STRUCTURES, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, AND RUNOFF CONTROL.</p> <p>B. OBTAIN REQUIRED PERMITS AND LICENSES FROM AUTHORITIES. PAY ASSOCIATED FEES INCLUDING DISPOSAL CHARGES.</p> <p>C. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.</p> <p>D. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS OR HYDRANTS WITHOUT PERMITS.</p> <p>E. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS OR CONTAMINATED MATERIALS.</p> <p>F. INFORM OWNER AND CITY IMMEDIATELY IF BURIED TANKS ARE ENCOUNTERED.</p> <p>JOB CONDITIONS:</p> <p>A. STRUCTURES TO BE DEMOLISHED SHALL BE DISCONTINUED IN USE AND VACATED PRIOR TO START OF WORK.</p> <p>B. OWNER ASSUMES NO RESPONSIBILITY FOR CONDITION OF STRUCTURES TO BE DEMOLISHED.</p> <p>C. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER IN SO FAR AS PRACTICABLE. VARIATIONS WITHIN STRUCTURES MAY OCCUR BY OWNERS REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.</p> <p>D. EXPLOSIVES SHALL NOT BE BROUGHT TO SITE OR USED WITHOUT WRITTEN CONSENT OF AUTHORITIES HAVING JURISDICTION. SUCH WRITTEN CONSENT WILL NOT RELIEVE CONTRACTOR OF TOTAL RESPONSIBILITY FOR INJURY TO PERSONS OR FOR DAMAGE TO PROPERTY DUE TO BLASTING SHALL COMPLY WITH GOVERNING REGULATIONS.</p> <p>PREPARATION:</p> <p>A. PROTECT EXISTING LANDSCAPING MATERIALS, APPURTENANCES AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. REPAIR DAMAGE CAUSED BY DEMOLITION OPERATIONS AT NO COST TO OWNER.</p> <p>B. PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING.</p> <p>C. MARK LOCATION OF UTILITIES. PROTECT AND MAINTAIN IN SAFE AND OPERABLE CONDITION THE UTILITIES TO REMAIN. PREVENT INTERRUPTION OF EXISTING UTILITY SERVICE OCCUPIED OR USED BY FACILITIES. EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION, PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.</p>			<p>#10. FINISH GRADE AROUND THE STRUCTURE. SLOPE SHALL BE AWAY FROM THE FOUNDATION A MIN OF 5% (2%) FOR IMPERVIOUS SURFACES) FOR A MIN DISTANCE OF 10'-0".</p> <p>GREEN BUILDING NOTES:</p> <p>LANDSCAPE MATERIAL SHALL HAVE INITIAL SOLAR REFLECTANCE OF ATLEAST 30</p> <p>I. LANDSCAPE MATERIAL SHALL BE UNCOLORED CONCRETE WITH SMOOTH CEMENT FINISH.</p> <p>NOTES:</p> <p>CONSTRUCTION WASTE SHALL BE REDUCED BY 65% AND HAULED BY A CERTIFIED CITY OF LOS ANGELES TRUCK.</p> <p>NOTES:</p> <p>FOR PROJECTS THAT INCLUDE LANDSCAPING WORK, THE LANDSCAPE CERTIFICATION FORM OR 12 SHALL BE COMPLETED PRIOR TO FINAL INSPECTION AND APPROVAL.</p> <p>NOTES:</p> <p>LOTS SHALL BE GRADING TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MIN FALL OF 8 IN WITH IN THE FIRST 10 FEET. (R461.3)</p> <p>NOTES:</p> <p>VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R608.4</p> <p>NOTES:</p> <p>RETIENES SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.</p> <p>NOTES:</p> <p>PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R611.1 BY USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.</p> <p>NOTES:</p> <p>PROTECT ANTI-CRACK FINISH WITHIN THE FIRST 3 FEET MEASURED FROM GRADE AT WALLS AND DOORS. EXCEPTION: MAINTENANCE OF THE BUILDING AFFAIRS IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFTING WITHIN 7-DAYS OF THE GRAFTING BEING APPLIED. (B306)</p>			<p>ALL WORK DONE ON PUBLIC RIGHT-OF-WAY SHALL BE DONE PER CITY PUBLIC WORKS STANDARDS.</p> <p>ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRED SEPARATE PERMIT FOR ALL WORK.</p> <p>ALL UTILITIES, ELECTRICAL, GAS, WATER, TELEPHONE AND CABLE TELEVISION TO BE UNDERGROUND. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES.</p> <p>CONTACT "TOC ALERT" PRIOR TO ANY EXCAVATION OR TRENCHING. 1-800-422-4133</p> <p>PUBLIC WORKS REQUIREMENTS</p> <p>A CONSTRUCTION AND EXCAVATION PERMIT (CAE PERMIT) IS REQUIRED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT, ENGINEERING PERMITS AND RECORDS DIVISION, FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.</p>			<table><tr><td>1</td><td></td><td>WATER METER</td></tr><tr><td>2</td><td></td><td>GAS METER</td></tr><tr><td>3</td><td></td><td>NEW OR SOL BASED AUTOMATIC IRRIGATION CONTROLLER.</td></tr><tr><td>4</td><td></td><td>AREA OF PROPOSED BUILDING</td></tr><tr><td>5</td><td></td><td>NEW CONCRETE WITH SMOOTH CEMENT FINISH</td></tr><tr><td>6</td><td></td><td>LANDSCAPE AREA. 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THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT
550 S. UNION STREET
1701, 09, 15, 17, 17 1/2 W. 6TH STREET
LOS ANGELES, CA 90017

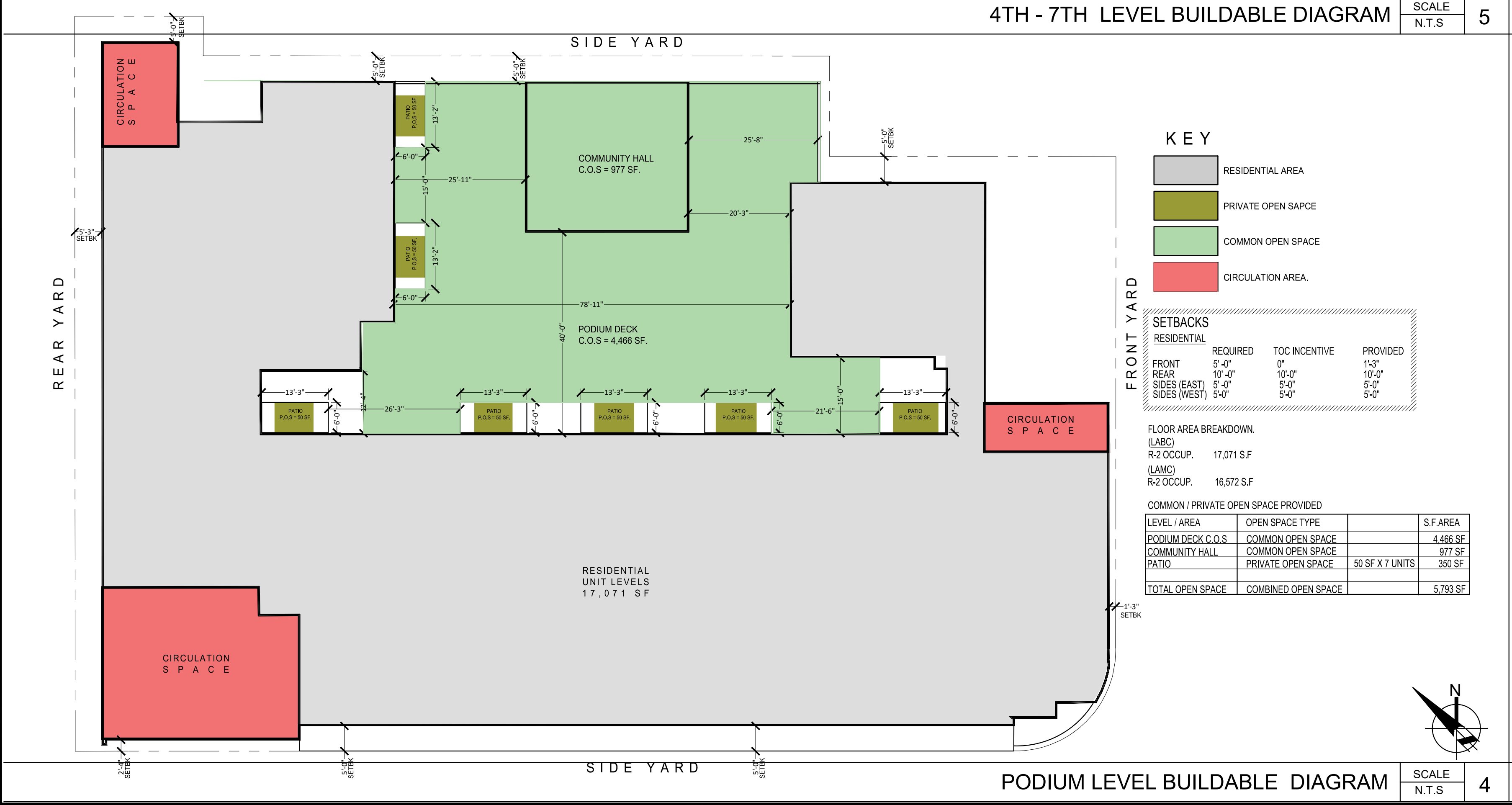
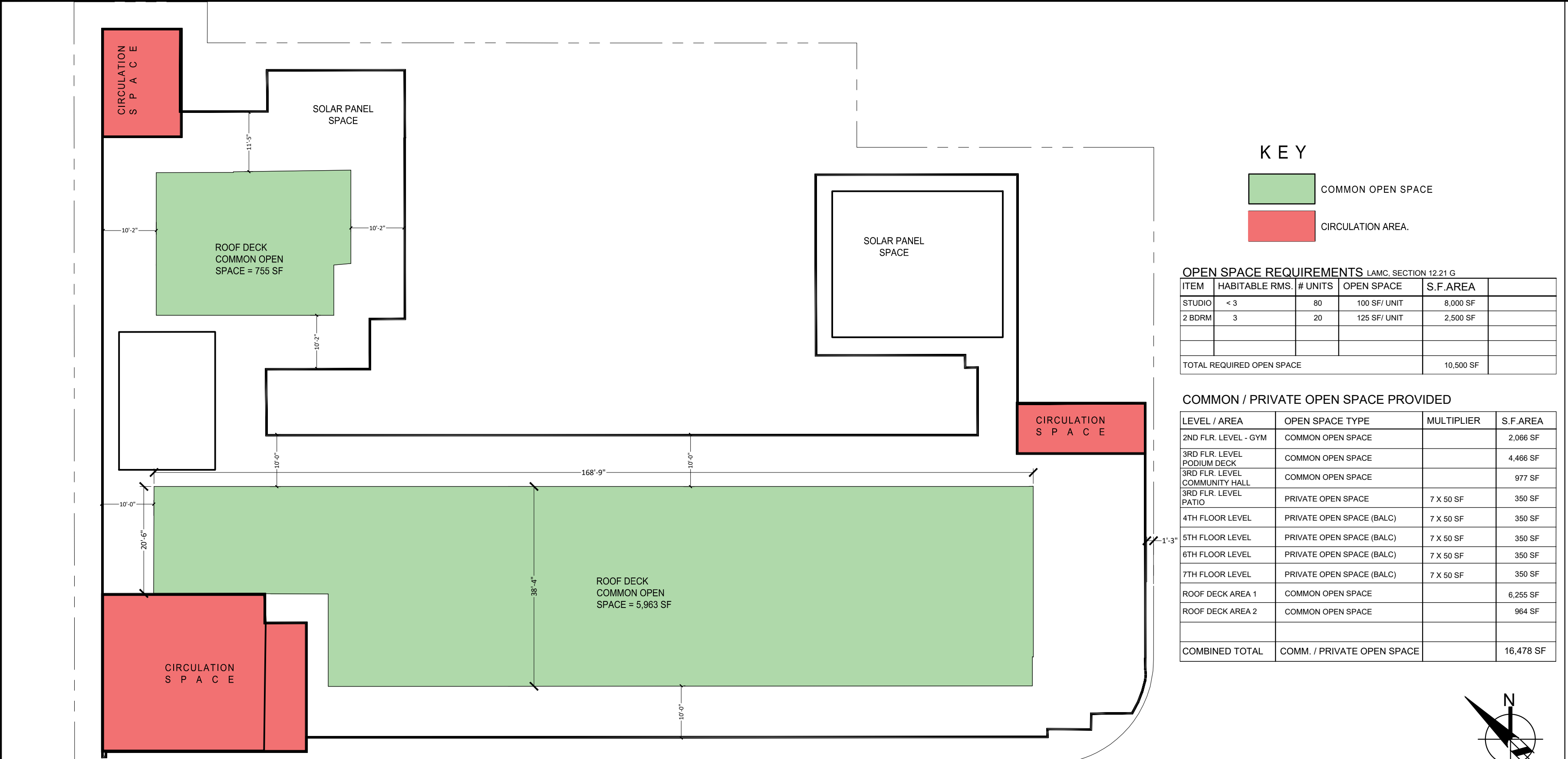
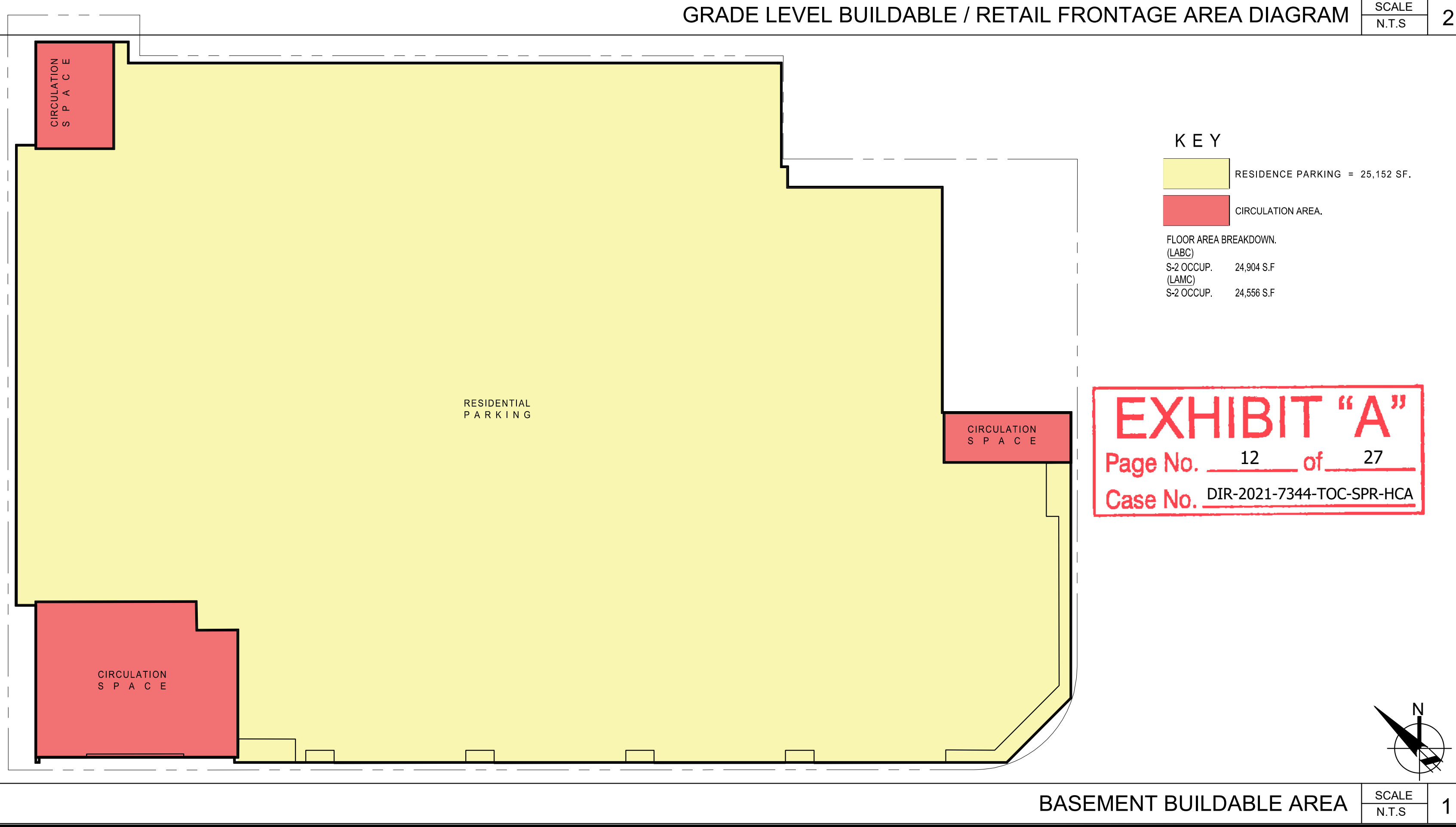
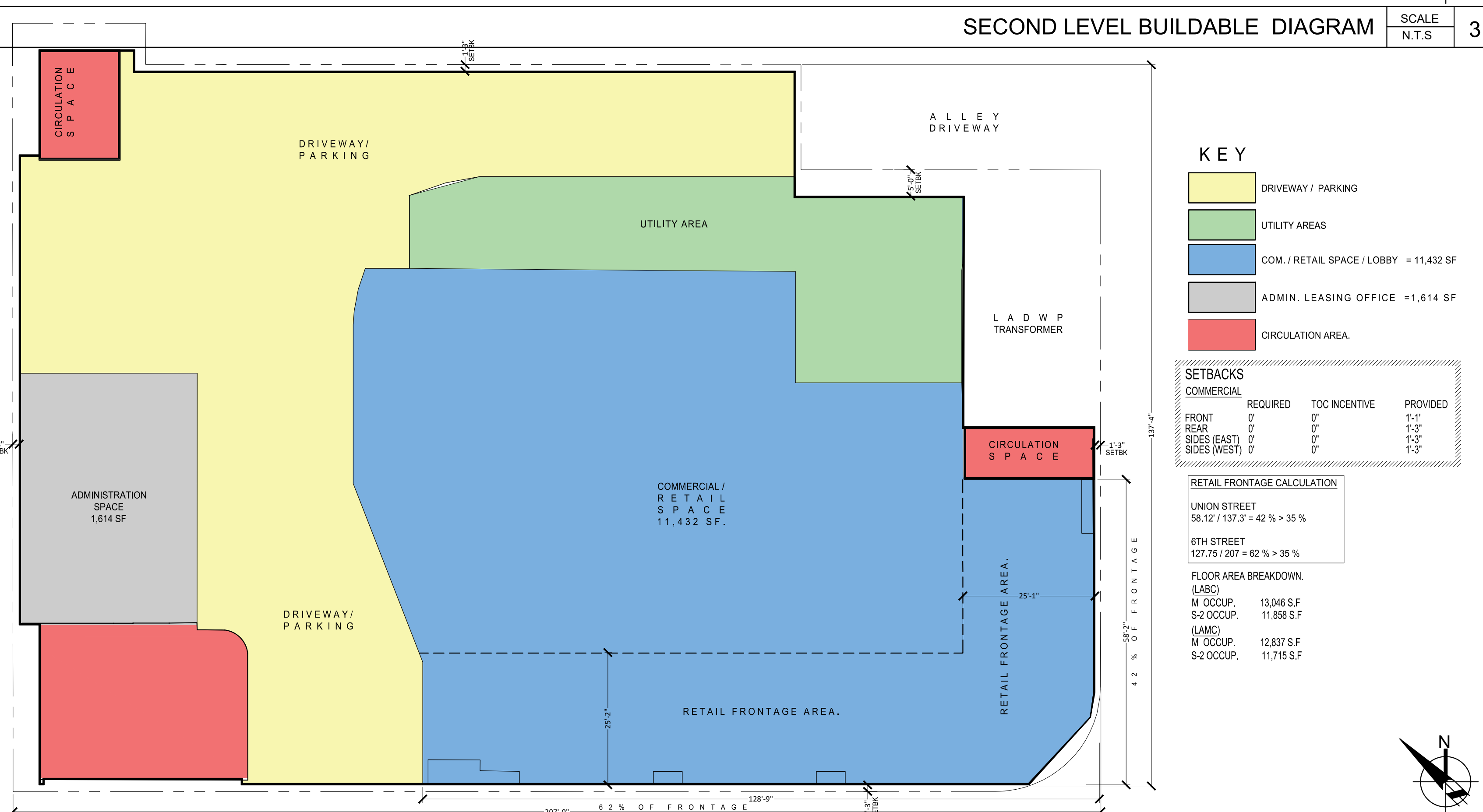
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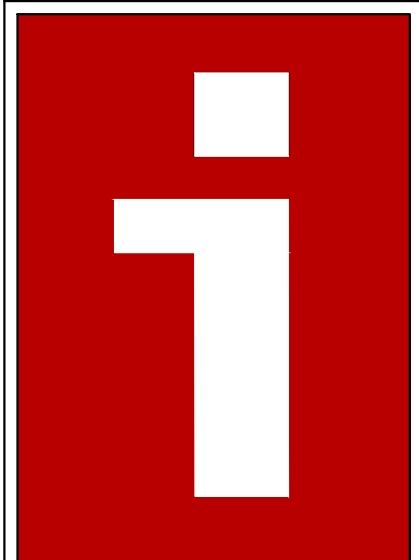
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BUILDABLE /
FRONTAGE
DIAGRAM

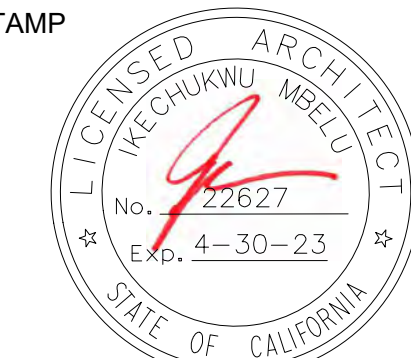
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PROJECT TITLE
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A MIX-USE RESIDENTIAL DEVELOPMENT
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1701, 09, 15, 17, 11/2 W. 6TH STREET
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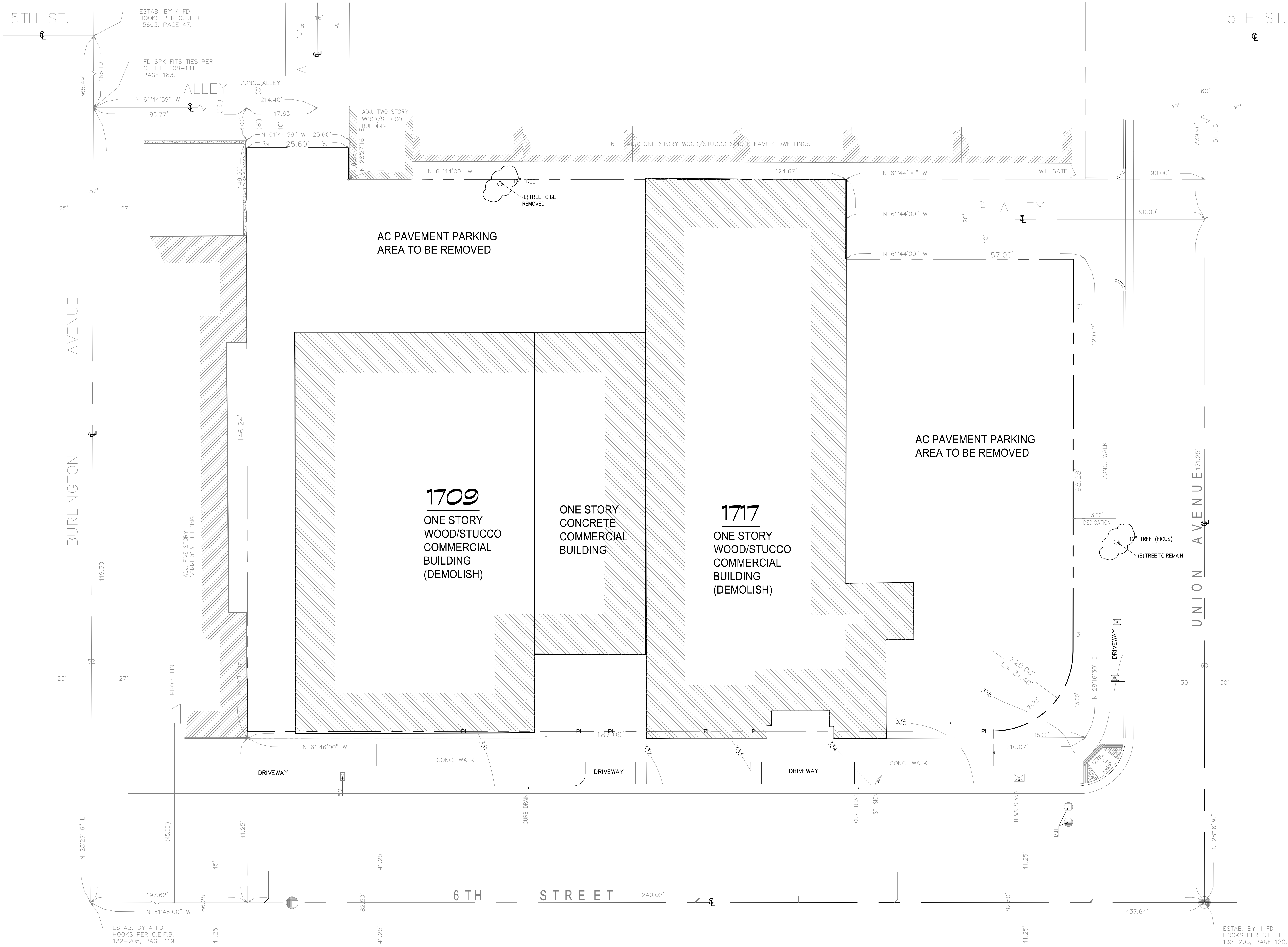
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TITLE
DEMOLITION PLAN

SHEET #
A - 201

NO. OF 100



DEMOLITION PLAN

SCALE
3/16"=1'-0"

1

DEMOLITION NOTES

DEMOLITION REQUIREMENTS:

- H. UNLESS OTHERWISE INDICATED ON THE DRAWING, REMOVE TREES, SHRUBS, GRASS, OTHER VEGETATION, IMPROVEMENTS, OR OBSTRUCTIONS INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION. REMOVAL INCLUDES DIGGING OUT STUMPS AND ROOTS, DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS ARE TO BE FILLED TO SUBGRADE ELEVATION TO AVOID WATER POOLING. SATISFACTORY FILL MATERIAL SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 8 INCHES LOOSE DEPTH, AND THOROUGHLY COMPACTED PER FILL REQUIREMENTS.
- I. REMOVE GRASS TREES, PLANT LIFE, STUMPS AND ALL OTHER CONSTRUCTION DEBRIS FROM THE SITE TO A DUMP SITE THAT IS SUITABLE FOR HANDLING SUCH MATERIAL, ACCORDING TO STATE LAWS AND REGULATIONS.
- ASBESTOS REPORT:
- A. PROVIDE ASBESTOS REPORT TO CITY PRIOR TO DEMOLISHING PERMIT BEING ISSUED.

DEMOLITION NOTES

DEMOLITION REQUIREMENTS:

- A. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES OR PAVEMENTS.
- B. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. NOTIFY AUTHORITY HAVING JURISDICTION, DO NOT RESUME OPERATIONS UNTIL DIRECTED.
- C. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESS, MAINTAIN ACCESS AND EGRESS AT ALL TIMES.
- D. OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS WHEN DEMOLITION EQUIPMENT WILL TRAVERSE, IMPROVE UPON OR LIMIT ACCESS TO THEIR PROPERTY.
- E. SPRINKLE WORK WITH WATER TO MINIMIZE DUST. PROVIDE HOSES AND WATER CONNECTIONS FOR THIS PURPOSE.
- F. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- G. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED DEMO. OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO START OF WORK.
- PROTECTION:
- A. LOCATE AND IDENTIFY EXISTING UTILITIES THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.
- B. PROTECT TREES, PLANT GROWTH AND FEATURES DESIGNATED TO REMAIN AS FINAL LANDSCAPE.
- C. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACCESSES AND FACILITIES. MAINTAIN ACCESS AND EGRESS AT ALL TIMES AND CLEAN OR SWEEP ANY ROADWAYS DAILY OR AS REQUIRED BY THE GOVERNING AUTHORITY. AT SUCH TIMES AS DEEMED NECESSARY BY THE OWNER, DUST CONTROL SHALL BE PROVIDED WITH SPRINKLING SYSTEMS OR EQUIPMENT PROVIDED BY THE CONTRACTOR.
- D. PROTECT BENCH MARKS, PROPERTY CORNERS AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISAPPEARANCE. IF A MARKER NEEDS TO BE REMOVED IT SHALL BE REFERENCED BY A LICENSED LAND SURVEYOR AND REPLACED, AS NECESSARY, BY THE SAME.
- E. PROVIDE TRAFFIC CONTROL AS REQUIRED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND THE STATE HIGHWAY DEPARTMENT REQUIREMENTS.
- F. CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND EXECUTION OF WORK.
- G. CLEARING TO BE PERFORMED IN ACCORDANCE WITH SOLS REPORT.

SYMBOL NOTES

ALL WORK DONE ON PUBLIC RIGHT-OF-WAY SHALL BE DONE PER CITY PUBLIC WORKS STANDARDS.

ALL WORK IN THE PUBLIC RIGHTS-OF-WAY SHALL REQUIRE SEPARATE PERMIT FOR ALL WORK.

ALL UTILITIES ELECTRICAL, GAS, WATER, TELEPHONE AND CABLE TELEVISION TO BE UNDERGROUND. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES.

CONTACT "BMS ALERT" PRIOR TO ANY EXCAVATION OR TRENCHING. 1-800-422-2133

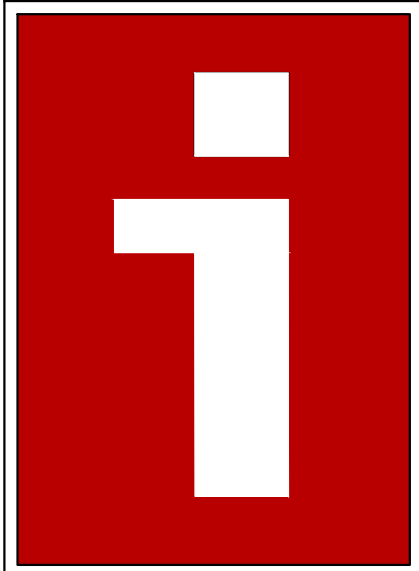
PUBLIC WORKS REQUIREMENTS

A CONSTRUCTION AND EXCAVATION PERMIT (C&E PERMIT) IS REQUIRED FROM THE COMMUNITY DEVELOPMENT DEPARTMENT, ENGINEERING PERMITS AND RECORDS DIVISION, FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY.

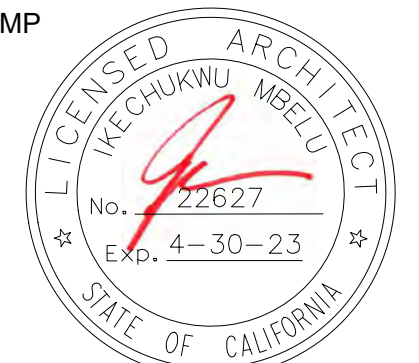
SITE PLAN SYMBOLS

- 1 WATER METER
- 2 GAS METER
- 3 200 AMP 120/208V SINGLE PHASE ELECTRIC METER WITH UNDERGROUND SERVICE.
- 4 WEATHER OR SOL BASED AUTOMATIC IRRIGATION CONTROLLER.
- 5 AREA OF PROPOSED BUILDING
- 6 NEW CONCRETE WITH SMOOTH CEMENT FINISH
- 7 LANDSCAPE AREA. ALL PLANTER AREAS SHALL BE INSTALLED WITH MIN 4" THICK MULCH AND DROUGHT TOLERANT PLANTS AND GROUND COVER.
- 8 CMU WALL 6" 0" HGT AT PL
- 9 6" HIGH WOOD FENCE / GATE
- 10 8" 0" WIDE COLORED CONC WALKWAY
- 11 NEW CONC DRIVEWAY APPROX PER PW STD.
- 12 EXISTING CONC SIDEWALK FIXED PER P.W. RECOMMENDATION.
- 13 CUSTOM 5'-0" HIGH X 42" WIDE WROUGHT IRON GATE AS APPROVED BY ARCH.
- 14 6" THICK STAMPED COLORED CONC 01 4" CRUSH BASE AT DRIVEWAY.
- 15 AREA OF PROPOSED STREET DEDICATION
- 16 COMMON RECREATION AREAS WITH TOT-LGT, BENCHES

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THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT
PROJECT ADDRESS 550 S. UNION STREET
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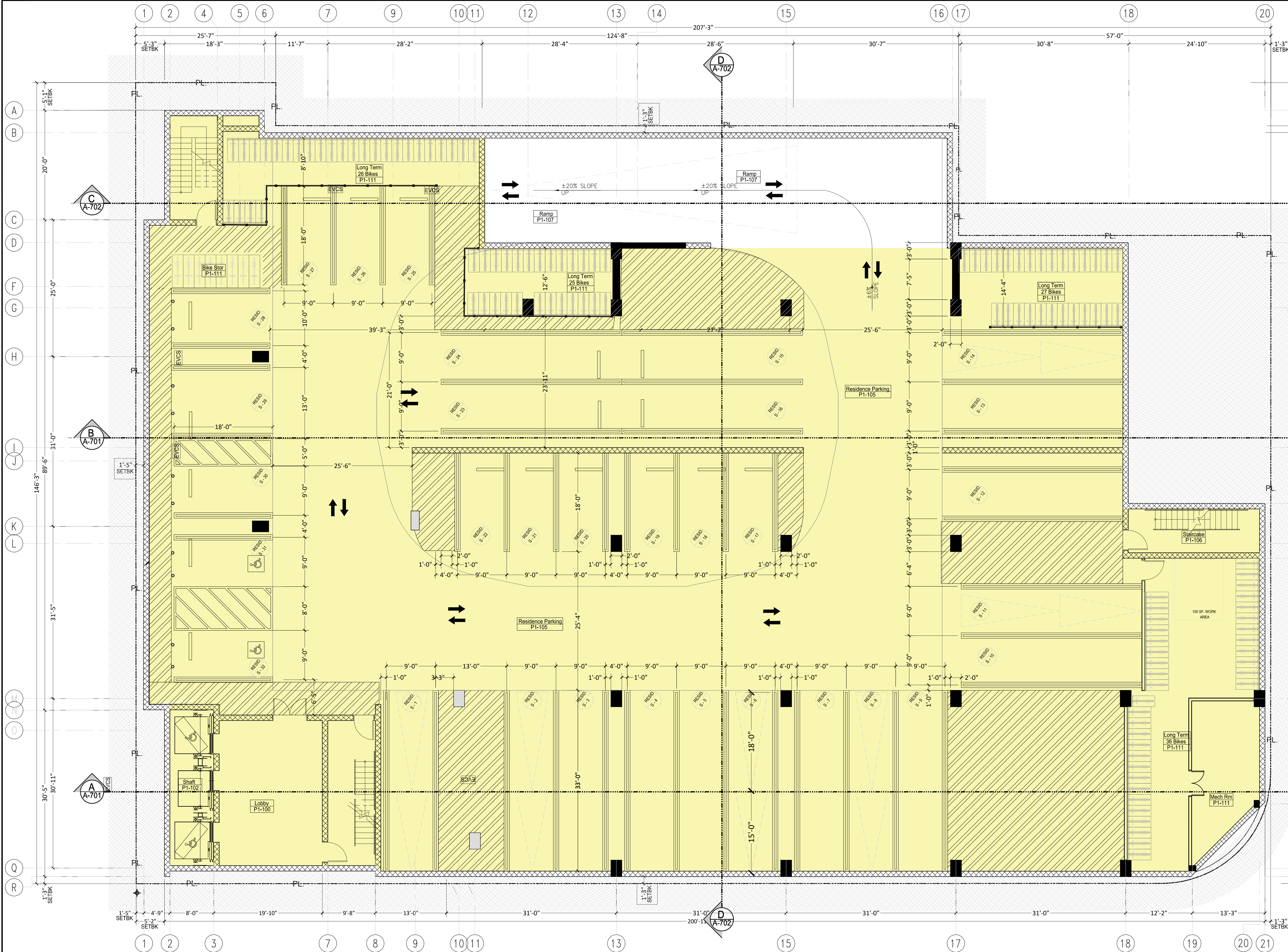
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TITLE
BASEMENT FLOOR PLAN

SHEET #
A - 301

NO. OF 100



RESIDENCE PARKING

BASEMENT LEVEL PARKING BREAKDOWN

RESIDENTIAL PARKING		
TYPE	REQ'D STALLS	PROVD STALLS
STD STALLS (1-24)	50	24
COMPACT STALLS	0	0
VAN ACCESSIBLE STALLS	3	3
EVCS STALLS	5	5

COMMERCIAL SETBACKS

	REQUIRED	TOC INCENTIVE	PROVIDED
FRONT	0'-0"	0'-0"	1'-3"
REAR	0'-0"	0'-0"	1'-5"
SIDES (EAST)	0'-0"	0'-0"	1'-3"
SIDES (WEST)	0'-0"	0'-0"	1'-3"



BASEMENT PARKING FLOOR PLAN

SCALE 1/8"=1'-0"

1

WALL SYMBOL LEGEND

- 1 HR FIRE RATED PARTY / UNIT SEPARATION WALL WITH 3/4" STUDS @ 16" O.C. STAGGERED ON AN 8" PLATE. INSTALL WITH MIN R-15 BATT INSULATION AND MIN 1 LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD AT 1 SIDE AND MIN 1/2" RESILIENT CHANNEL AND 5/8" TYPE 'X' GYPSUM WALL AT OPPOSITE SIDE.
- 2 X 6 EXTERIOR STUD WALL WITH MIN 5/8" GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" PORTLAND CEMENT STUCCO AT OVER WIRE MESH OVER TYVEK BUILDING WRAP OVER PLYWOOD SHEETING.
- 2" X 6" PLUMBING WALL WITH MIN 5/8" WATERPROOF GYPSUM WALL BOARD AT WET AREA SIDE OF WALL. INSTALL WITH MIN R-15 BATT INSULATION.
- 2" X 4" STUD WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT BOTH SIDES.
- EXTERIOR FURRING PER EXTERIOR ELEVATIONS.

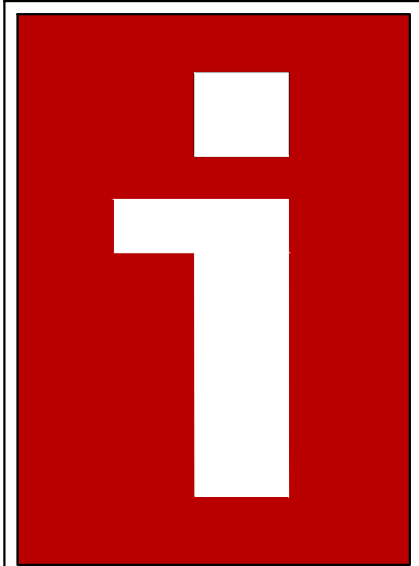
LONG TERM VERTICAL DBL. BIKE STORAGE RACK



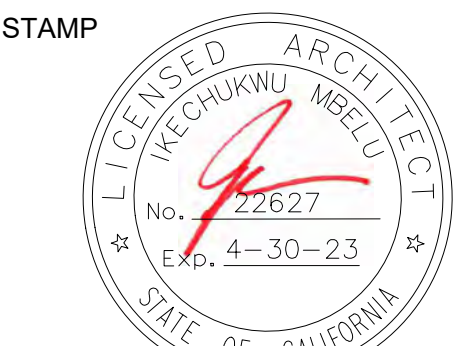
SHORT TERM BIKE STORAGE RACK



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TITLE
GRADE LEVEL - RETAIL - FLOOR PLAN
SHEET #
A - 302

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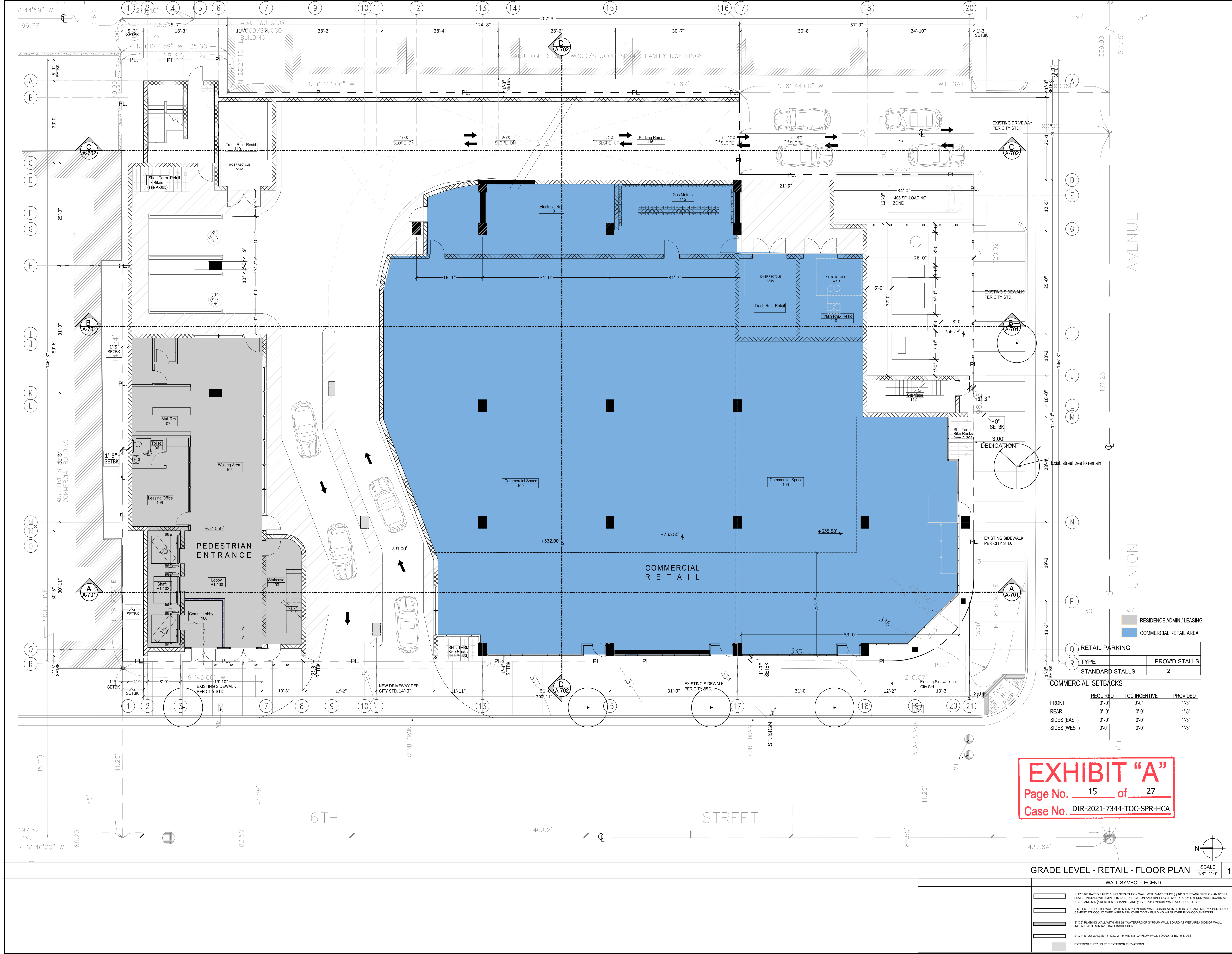
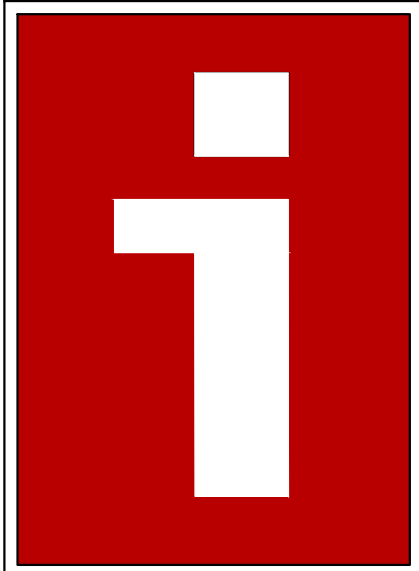
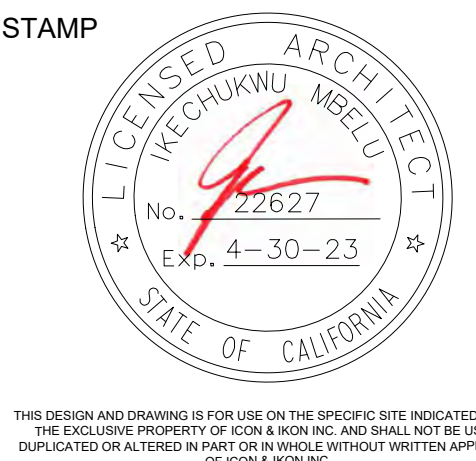


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LAWDALE, CALIFORNIA 90260
PH. 310-584-6749, 424-456-4811
WWW.ICONARC.COM



OWNER / TENANT
BENBAROUKH, LLC.
319 S. ROBERTSON DR.
BEVERLY HILLS, CALIFORNIA 90211
PH. 310-550-1012

THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT
PROJECT ADDRESS 550 S. UNION STREET
1701, 09, 15, 17, 17 1/2 W. 6TH STREET
LOS ANGELES, CA 90017

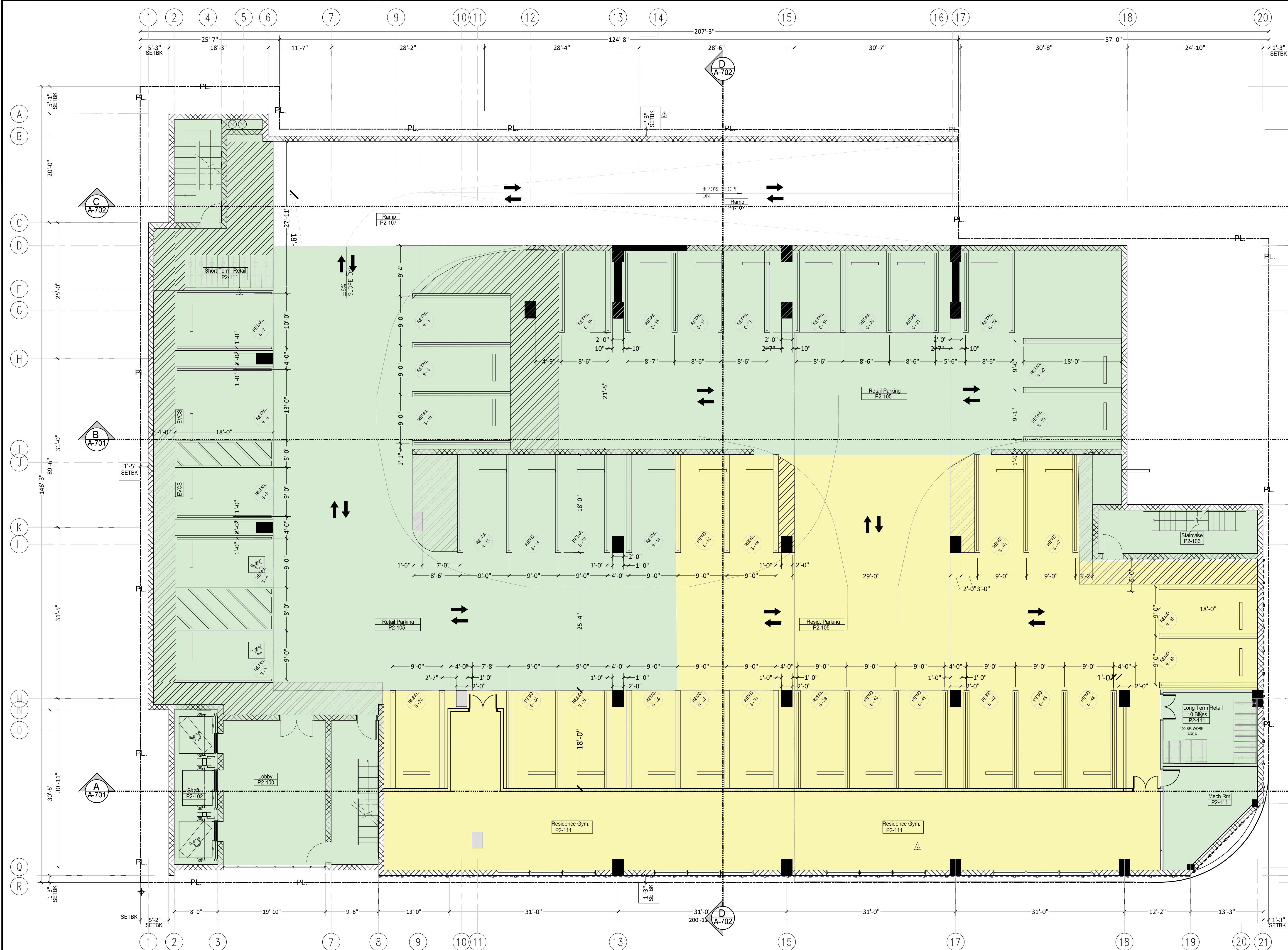
REVISIONS		
NO.	DATE	DESCRIPTION
1	01-22-22	SITE PLAN REVIEW-RESUB
2	02-18-22	PRELIM ZONING ASSESS.
3	03-21-22	PRELIM ZONING ASSESS.
4	05-18-22	PLANNING CORRECTION
5	06-10-22	SPR CORRECTION
6	06-15-22	SPR CORRECTION
7	06-27-22	SPR CORRECTION
8	07-5-22	SPR CORRECTION

DRAWN BY: IM
CHECKED BY: IM
PRINTED ON: JULY 5, 2022
PERMIT NO: DIR-2021-7344
-TOC-SPR-HCA

TITLE
SECOND LEVEL
FLOOR PLAN

SHEET #
A - 303

NO. OF 100



RESIDENCE PARKING / GYM
COMMERCIAL RETAIL PARKING

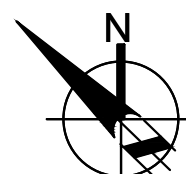
2ND LEVEL PARKING BREAKDOWN

RESIDENTIAL PARKING		
TYPE	REQ'D STALLS	PROV'D STALLS
STD. STALLS (33 - 51)	50	19
RETAIL PARKING		
TYPE	REQ'D STALLS	PROV'D STALLS
STANDARD STALLS	10	8 + 2
COMPACT STALLS	4	8
VAN ACCESSIBLE STALLS	2	2
EVCS STALLS	2	2
LOADING	1	1

COMMERCIAL SETBACKS

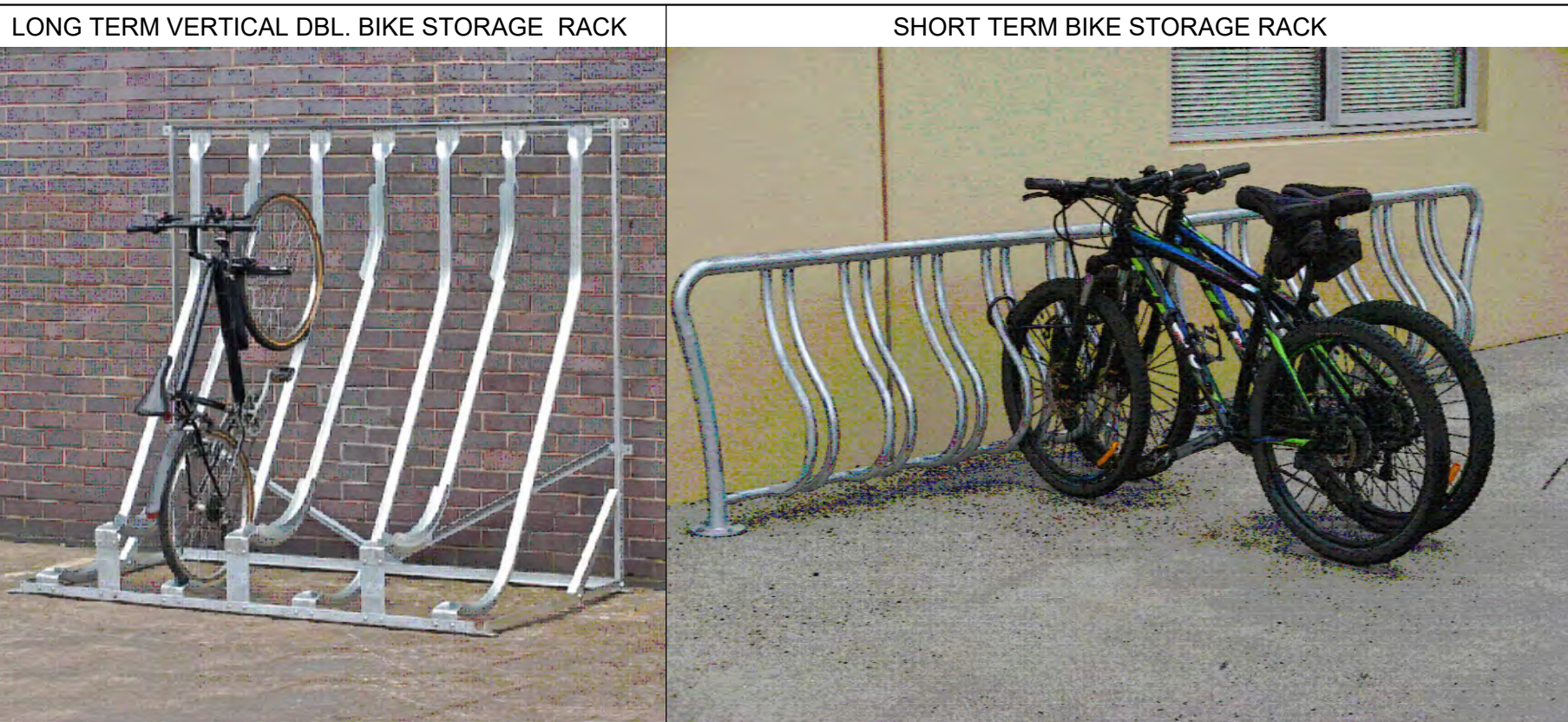
	REQUIRED	TOC INCENTIVE	PROVIDED
FRONT	0'-0"	0'-0"	1'-3"
REAR	0'-0"	0'-0"	1'-5"
SIDES (EAST)	0'-0"	0'-0"	1'-3"
SIDES (WEST)	0'-0"	0'-0"	1'-3"

EXHIBIT "A"
Page No. 16 of 27
Case No. DIR-2021-7344-TOC-SPR-HCA

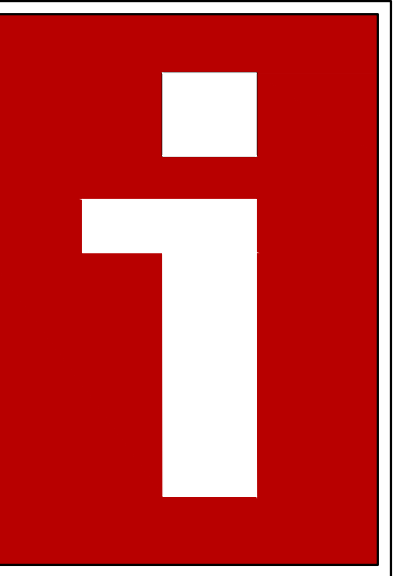


SECOND LEVEL - RETAIL PARKING - FLOOR PLAN

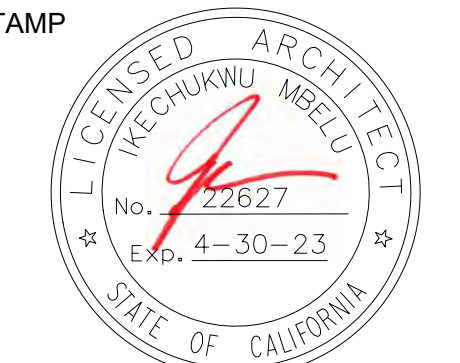
SCALE 1/8"=1'-0" 1



WALL SYMBOL LEGEND	
	1 HR FIRE RATED PARTY / UNIT SEPARATION WALL WITH 3-1/2" STUDS @ 16" O.C. STAGGERED ON AN 8" DILL PLATE. INSTALL WITH MIN R-15 BATT INSULATION AND MIN 1 LAYER 5/8" TYPE "X" GYPSUM WALL BOARD AT 1 SIDE AND MIN 5/8" RESILIENT CHANNEL AND 1/2" TYPE "X" GYPSUM WALL AT OPPOSITE SIDE.
	2 X 6 EXTERIOR STRUCTURAL WALL WITH MIN 5/8" GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" PORTLAND CEMENT STUCCO AT OVER WIRE MESH OVER TYVEK BUILDING WRAP OVER PLYWOOD SHEETING.
	2" X 6" PLUMBING WALL WITH MIN 5/8" WATERPROOF GYPSUM WALL BOARD AT WET AREA SIDE OF WALL. INSTALL WITH MIN R-15 BATT INSULATION.
	2" X 4" STUD WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT BOTH SIDES.
	EXTERIOR FURRING PER EXTERIOR ELEVATIONS.



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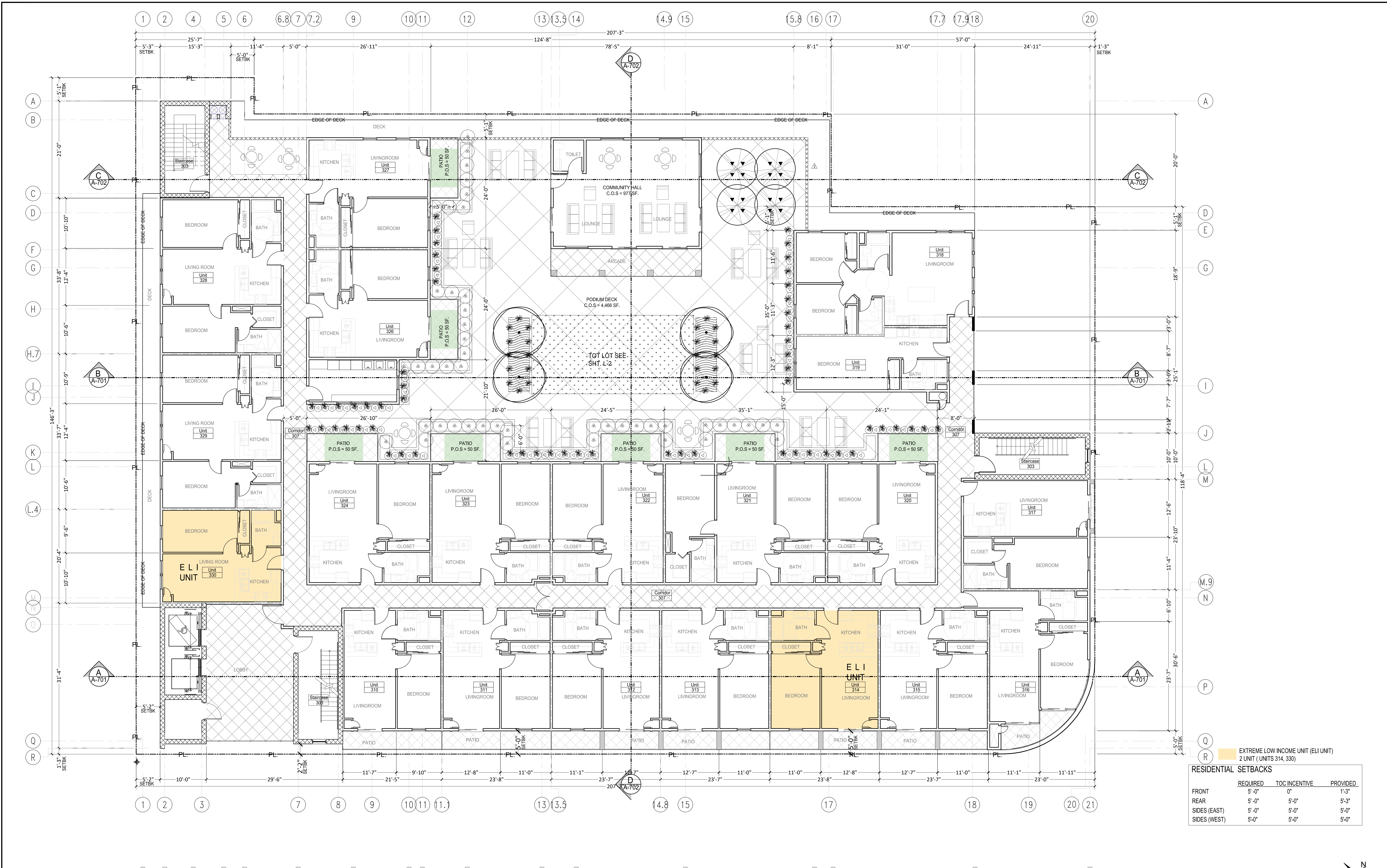
REVISIONS	
NO.	DESCRIPTION
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4	05-18-22 PLANNING CORRECTION
5	06-10-22 SPR CORRECTION
6	06-15-22 SPR CORRECTION
7	06-27-22 SPR CORRECTION
8	07-5-22 SPR CORRECTION

DRAWN BY: I.M
CHECKED BY: I.M
PRINTED ON: JULY 5, 2022
PERMIT NO: DIR-2021-7344
-TOC-SPR-HCA

TITLE
PODIUM LEVEL
FLOOR PLAN

SHEET #
A - 304

NO. OF 100



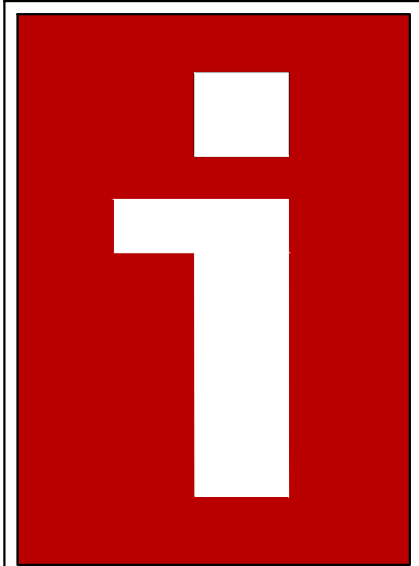
RESIDENTIAL SETBACKS			
	REQUIRED	TOC INCENTIVE	PROVIDED
FRONT	5'-0"	0"	1'-3"
REAR	5'-0"	5'-0"	5'-3"
SIDES (EAST)	5'-0"	5'-0"	5'-0"
SIDES (WEST)	5'-0"	5'-0"	5'-0"

PODIUM (3RD) LEVEL - RESIDENTIAL - FLOOR PLAN SCALE 1/8"=1'-0" 1

EXHIBIT "A"
Page No. 17 of 27
Case No. DIR-2021-7344-TOC-SPR-HCA

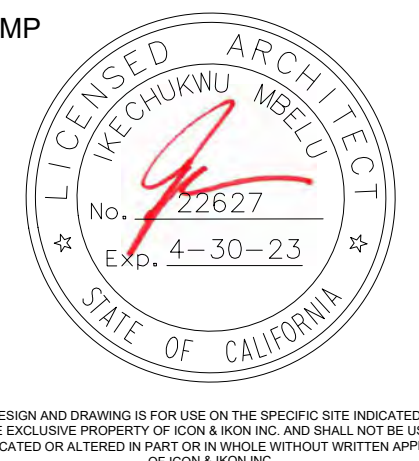
PODIUM (3RD) FLOOR AREA BREAKDOWN							PODIUM FLOOR AREA BREAKDOWN (CONT.)										
UNIT	AREA (LABC)	HABITABLE RM	OPEN SPACE		WHERE PROVIDED	REMARK	EXTREME LOW INCOME	UNIT	AREA	HABITABLE RM	OPEN SPACE		WHERE PROVIDED	REMARK	EXTREME LOW INCOME		
			REQ'D.	PROVIDED							REQ'D.	PROVIDED					
310	575 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM	E.L.I.UNIT	300	559 SF	N/A							
311	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		302	304 SF	N/A							
312	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		304	740 SF	N/A							
313	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		307	1,564 SF	N/A							
314	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		LIV. AREA		17,071 SF		2,675 SF	350 SF				
315	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		PROVIDED OPEN SPACE BREAKDOWN									
316	620 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		PODIUM DECK			4,466 SF (C.O.S)			PODIUM LEVEL			
317	673 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		COMMUNITY HALL			977 SF (C.O.S)			PODIUM LEVEL			
318	975 SF	4	175 SF	175 SF	C.O.S	ROOF/PODIUM		BALCONY AREAS			350 SF (P.O.S)			BALCONIES			
319	440 SF	2	100 SF	100 SF	C.O.S	ROOF/PODIUM		ROOF DECK AREA 1			6,255 SF (C.O.S)			ROOF LEVEL			
320	642 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF	ROOF DECK AREA 2			964 SF (C.O.S)			ROOF LEVEL				
321	934 SF	4	175 SF	50 SF/125 SF	P.O.S/C.O.S	BALC/POD/ROOF	E.L.I.UNIT										
322	650 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
323	694 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
324	714 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
325	198 SF	LAUNDRY	N/A														
326	643 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
327	643 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
328	901 SF	4	175 SF	175 SF	C.O.S	ROOF/PODIUM											
329	901 SF	4	175 SF	175 SF	C.O.S	ROOF/PODIUM											
330	551 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM											

WALL SYMBOL LEGEND	
	1 HR FIRE RATED PARTY UNIT SEPARATION WALL WITH 3/4" STUDS @ 16" O.C. STAGGERED ON AN 8" GILL PLATE. INSTALL WITH MIN R-15 BATT INSULATION AND MIN 1/2" TYPE 'X' GYPSUM WALL BOARD AT 1 SIDE AND MIN 5/8" RESILIENT CHANNEL, AND 7/8" TYPE 'X' GYPSUM WALL AT OPPOSITE SIDE.
	2 X 6 EXTERIOR STUCCO WALL WITH MIN 5/8" WATERPROOF GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" PORTLAND CEMENT STUCCO AT OVER WIRE MESH OVER TYVEK BUILDING WRAP OVER PLYWOOD SHEETING.
	2" X 4" PLUMBING WALL WITH MIN 5/8" WATERPROOF GYPSUM WALL BOARD AT WET AREA SIDE OF WALL. INSTALL WITH MIN R-15 BATT INSULATION.
	2" X 4" STUD WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT BOTH SIDES.
	EXTERIOR FURRING PER EXTERIOR ELEVATIONS.



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PROJECT ADDRESS 550 S. UNION STREET
1701, 09, 15, 17, 17 1/2 W. 6TH STREET
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REVISIONS	
NO.	DATE
1	01-22-22
2	02-18-22
3	03-21-22
4	05-18-22
5	06-10-22
6	06-15-22
7	06-27-22
8	07-5-22

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CHECKED BY: I.M.
PRINTED ON: JULY 5, 2022
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-TOC-SPR-HCA

TITLE
FOURTH LEVEL
FLOOR PLANS

SHEET #
A - 305

NO. OF 100

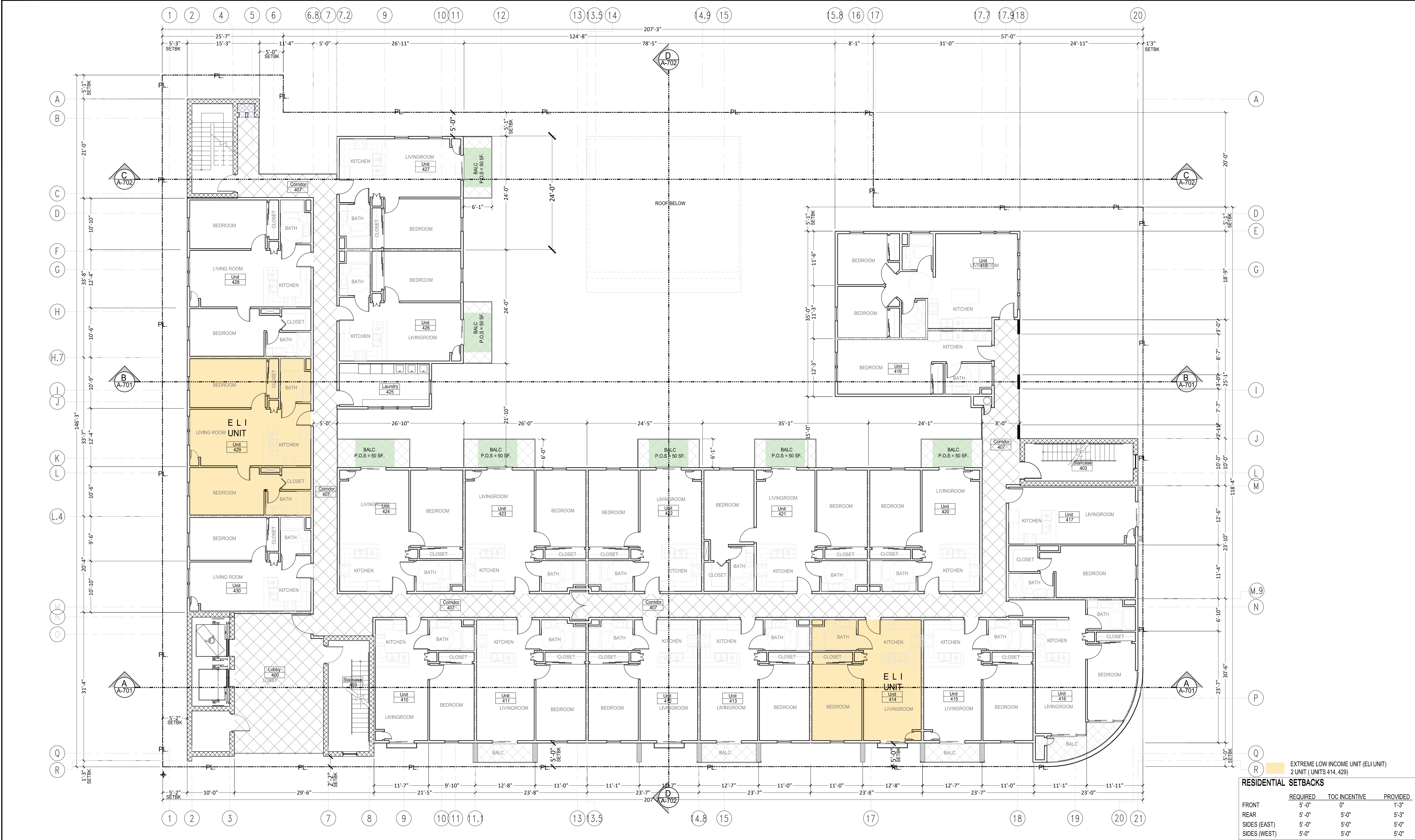
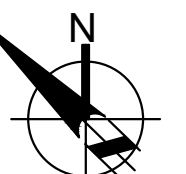
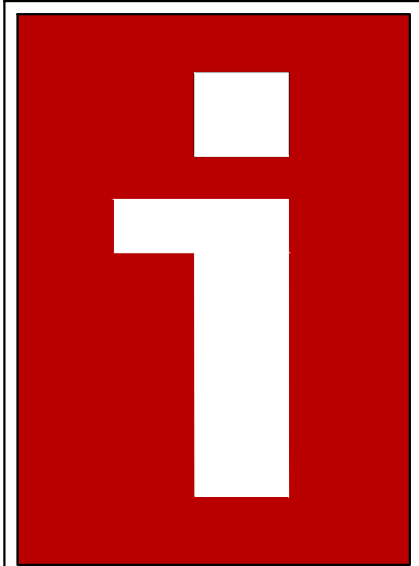


EXHIBIT "A"
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Case No. DIR-2021-7344-TOC-SPR-HCA

4TH FLOOR AREA BREAKDOWN						4TH FLOOR AREA BREAKDOWN (CONT.)											
UNIT	AREA (LABC)	HABITABLE RM.	OPEN SPACE		WHERE PROVIDED	REMARK	EXTREME LOW INCOME	UNIT	AREA	HABITABLE RM.	OPEN SPACE		WHERE PROVIDED	REMARK	EXTREME LOW INCOME		
			REQ'D.	PROVIDED							REQ'D.	PROVIDED					
410	575 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM	E.L.I UNIT	400	559 SF	N/A							
411	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		402	304 SF	N/A							
412	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		404	740 SF	N/A							
413	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		407	1,564 SF	N/A							
414	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		LIV. AREA 17,071 SF									
415	630 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		2,675 SF 350 SF									
416	620 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		PROVIDED OPEN SPACE BREAKDOWN									
417	673 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM		PODIUM DECK								4,466 SF (C.O.S)	PODIUM LEVEL
418	975 SF	4	175 SF	175 SF	C.O.S	ROOF/PODIUM		COMMUNITY HALL								977 SF (C.O.S)	PODIUM LEVEL
419	440 SF	2	100 SF	100 SF	C.O.S	ROOF/PODIUM		BALCONY AREAS								350 SF (P.O.S)	BALCONIES
420	642 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF	ROOF DECK AREA 1								6,255 SF (C.O.S)	ROOF LEVEL	
421	934 SF	4	175 SF	50 SF/125 SF	P.O.S/C.O.S	BALC/POD/ROOF	ROOF DECK AREA 2								964 SF (C.O.S)	ROOF LEVEL	
422	650 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
423	694 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
424	714 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
425	198 SF	LAUNDRY	N/A														
426	643 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
427	643 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/POD/ROOF											
428	901 SF	4	175 SF	175 SF	C.O.S	ROOF/PODIUM	E.L.I UNIT										
429	901 SF	4	175 SF	175 SF	C.O.S	ROOF/PODIUM											
430	551 SF	3	125 SF	125 SF	C.O.S	ROOF/PODIUM											

FOURTH LEVEL - RESIDENTIAL - FLOOR PLAN





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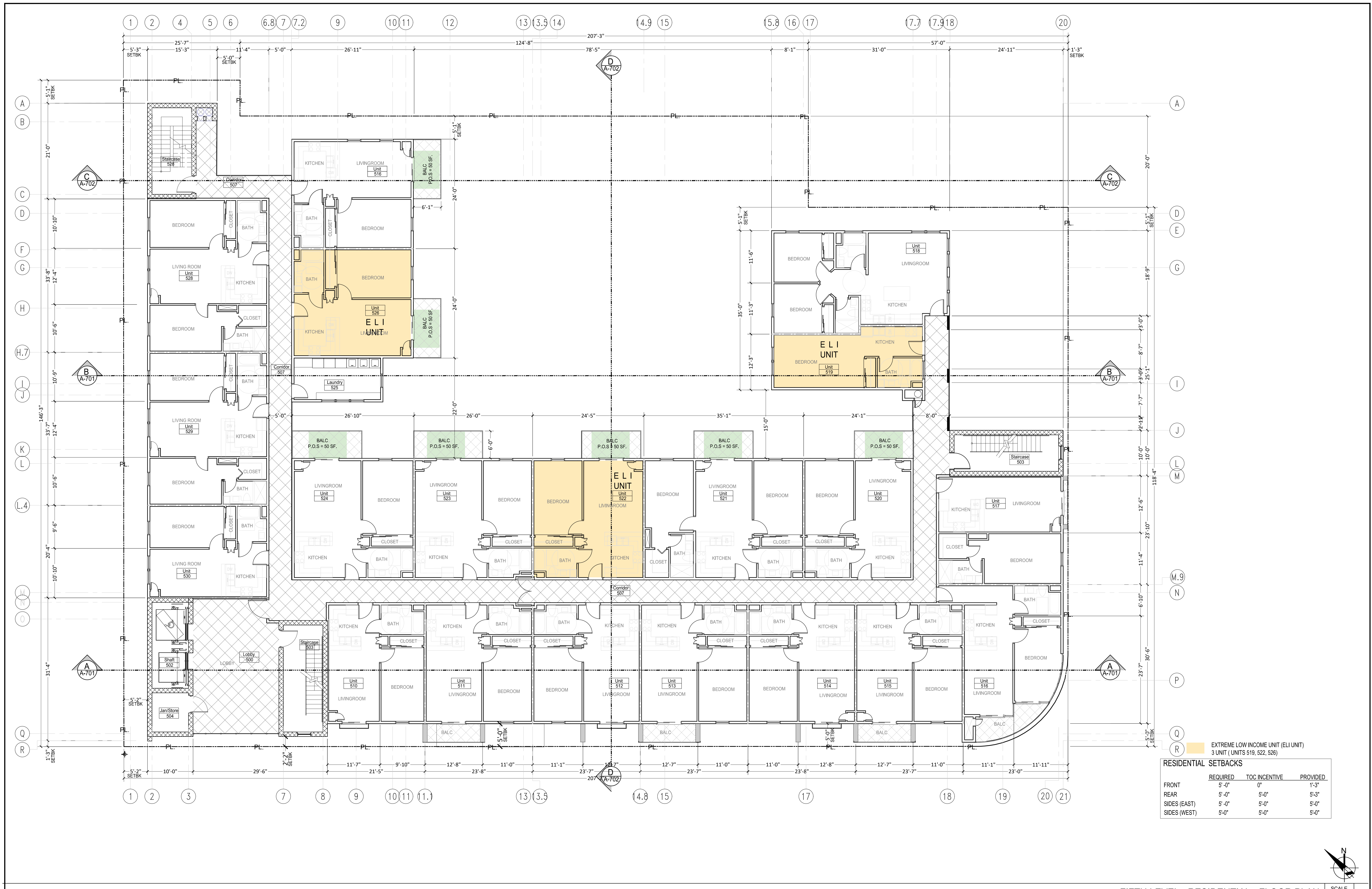
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TITLE
FIFTH LEVEL
FLOOR PLAN

SHEET #
A - 306

NO. OF 100



EXTREME LOW INCOME UNIT (ELI UNIT)
3 UNIT (UNITS 510, 522, 526)

RESIDENTIAL SETBACKS

	REQUIRED	TOC INCENTIVE	PROVIDED
FRONT	5'-0"	0"	1'-3"
REAR	5'-0"	5'-0"	5'-3"
SIDES (EAST)	5'-0"	5'-0"	5'-0"
SIDES (WEST)	5'-0"	5'-0"	5'-0"

FIFTH LEVEL - RESIDENTIAL - FLOOR PLAN

SCALE
1/8"=1'-0"

5TH FLOOR AREA BREAKDOWN							5TH FLOOR AREA BREAKDOWN (CONT.)						
UNIT	AREA (L.A.S.C.)	HABITABLE RM.	OPEN SPACE REQ'D.	PROVIDED	WHERE PROVIDED	REMARK	UNIT	AREA	HABITABLE RM.	OPEN SPACE REQ'D.	PROVIDED	WHERE PROVIDED	REMARK
510	575 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK	500	559 SF	N/A				
511	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK	502	304 SF	N/A				
512	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK	504	740 SF	N/A				
513	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK	507	1,964 SF	N/A				
514	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK							
515	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK	LIV. AREA	17,071 SF		2,675 SF	350 SF		
516	620 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK							
517	673 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK							
518	975 SF	4	175 SF	175 SF	C.O.S.	ROOF DECK							
519	440 SF	2	100 SF	100 SF	C.O.S.	ROOF DECK							
520	642 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF							
521	934 SF	4	175 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF							
522	650 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF							
523	684 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF							
524	714 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF							
525	198 SF		N/A										
526	643 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF							
527	643 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF							
528	901 SF	4	175 SF	175 SF	C.O.S.	ROOF DECK							
529	901 SF	4	175 SF	175 SF	C.O.S.	ROOF DECK							
530	551 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK							






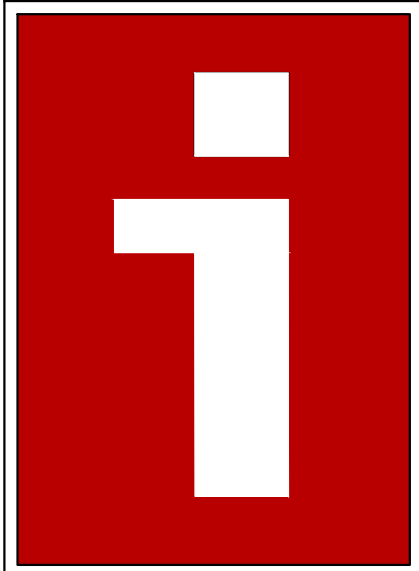
WALL SYMBOL LEGEND	
	1 HR FIRE RATED PARTY UNIT SEPARATION WALL WITH 3-1/2" STUDS @ 16" O.C. STAGGERED ON AN 8" DILL PLATE. INSTALL WITH MIN R-15 BATT INSULATION AND MIN 1 LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD AT 1 SIDE AND MIN 1/2" RESILIENT CHANNEL AND 1 TYPE 'X' GYPSUM WALL AT OPPOSITE SIDE.
	2 X 8 EXTERIOR STUD WALL WITH MIN 5/8" GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" PORTLAND CEMENT STUCCO AT OVER WIRE MESH OVER TYVEK BUILDING WRAP OVER PLYWOOD SHEETING.
	2" X 6 PLUMBING WALL WITH MIN 5/8" WATERPROOF GYPSUM WALL BOARD AT INTERIOR SIDE AND MIN 7/8" PORTLAND CEMENT STUCCO AT OVER WIRE MESH OVER TYVEK BUILDING WRAP OVER PLYWOOD SHEETING.
	2" X 4" STUD WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT BOTH SIDES.
	EXTERIOR FURRING PER EXTERIOR ELEVATIONS.

EXHIBIT "A"
Page No. 19 of 27
Case No. DIR-2021-7344-TOC-SPR-HCA



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PROJECT TITLE

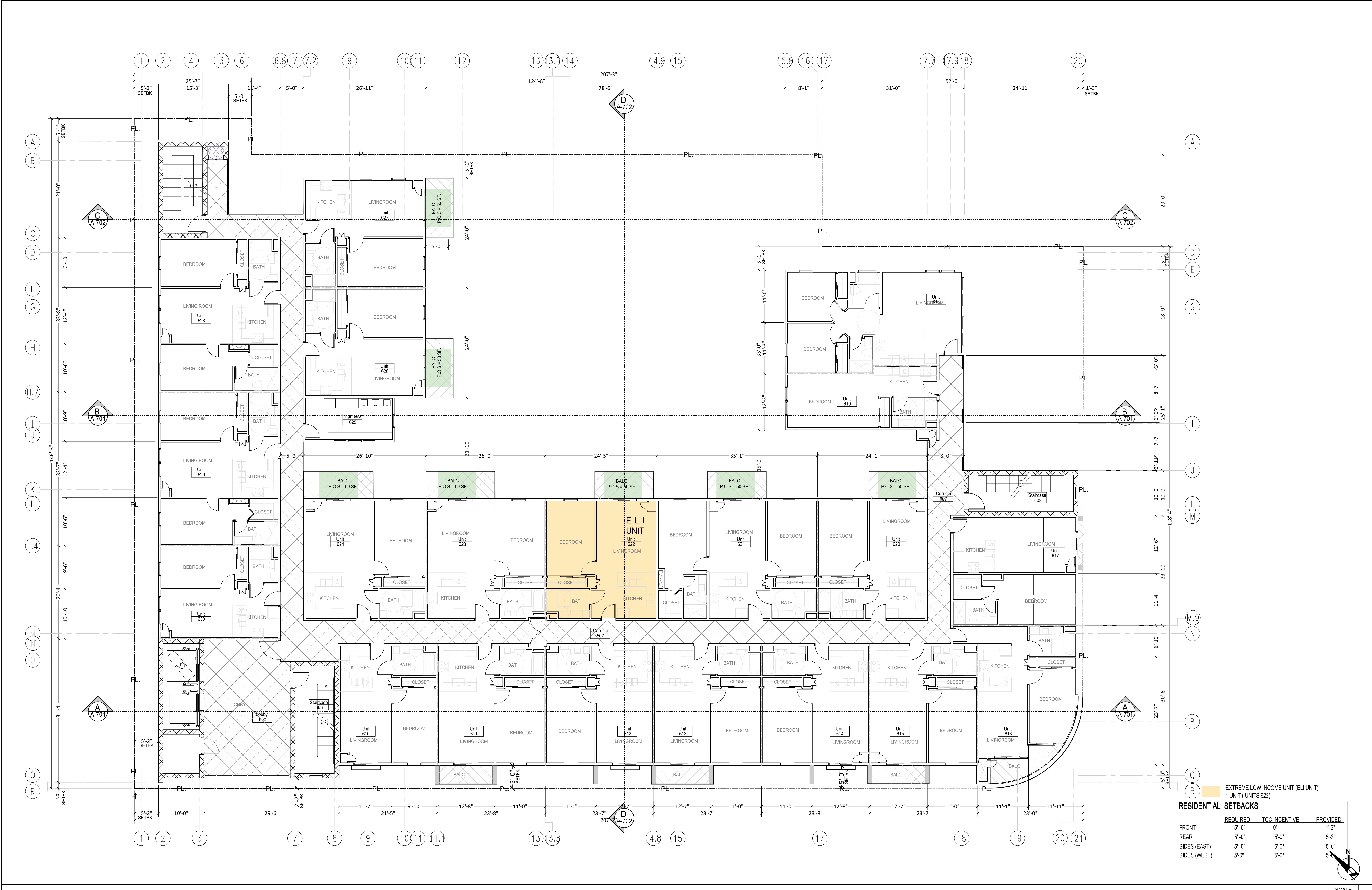
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TITLE
SIXTH LEVEL
FLOOR PLAN

SHEET #
A - 307

NO. OF 100



RESIDENTIAL SETBACKS			
	REQUIRED	TOC INCENTIVE	PROVIDED
FRONT	5'-0"	0"	1'-3"
REAR	5'-0"	5'-0"	5'-3"
SIDES (EAST)	5'-0"	5'-0"	5'-0"
SIDES (WEST)	5'-0"	5'-0"	5'-0"

SIXTH LEVEL - RESIDENTIAL - FLOOR PLAN

SCALE 1/8"=1'-0"

1

5TH FLOOR AREA BREAKDOWN							5TH FLOOR AREA BREAKDOWN (CONT.)									
UNIT	AREA (LABC)	HABITABLE RM.	OPEN SPACE		WHERE PROVIDED	REMARK	EXTREME LOW INCOME	UNIT	AREA	HABITABLE RM.	OPEN SPACE		WHERE PROVIDED	REMARK	EXTREME LOW INCOME	
			REQ'D.	PROVIDED							REQ'D.	PROVIDED				
610	575 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK	E.L.I. UNIT	600	559 SF	N/A					E.L.I. UNIT	
611	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK		602	304 SF	N/A						
612	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK		604	740 SF	N/A						
613	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK		607	1,564 SF	N/A						
614	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK										
615	630 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK		LIV. AREA	17,071 SF		2,675 SF	350 SF				
616	620 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK		PROVIDED OPEN SPACE BREAKDOWN								
617	673 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK										
618	975 SF	4	175 SF	175 SF	C.O.S.	ROOF DECK										
619	440 SF	2	100 SF	100 SF	C.O.S.	ROOF DECK										
620	642 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF						4,466 SF (C.O.S.)				PODIUM LEVEL
621	934 SF	4	175 SF	50 SF/125 SF	P.O.S./C.O.S.	BALC/ROOF						977 SF (C.O.S.)				PODIUM LEVEL
622	650 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF						350 SF (P.O.S.)				BALCONIES
623	694 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF						6,255 SF (C.O.S.)				ROOF LEVEL
624	714 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF						964 SF (C.O.S.)				ROOF LEVEL
625	198 SF	LAUNDRY	N/A													
626	643 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF										
627	643 SF	3	125 SF	50 SF/75 SF	P.O.S./C.O.S.	BALC/ROOF										
628	901 SF	4	175 SF	175 SF	C.O.S.	ROOF DECK										
629	901 SF	4	175 SF	175 SF	C.O.S.	ROOF DECK										
630	551 SF	3	125 SF	125 SF	C.O.S.	ROOF DECK										






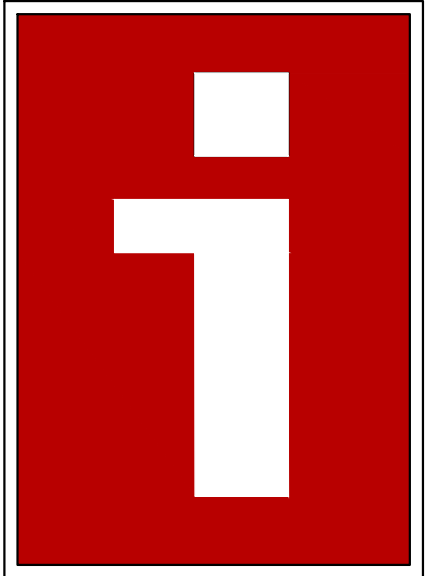
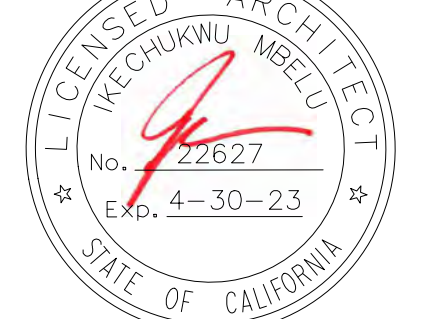
	1 HR FIRE RATED PARTY UNIT SEPARATION WALL WITH 3-1/2" STUDS @ 16" O.C. STAGGERED ON AN 8" DILL PLATE. INSTALL WITH MIN R-15 BATT INSULATION AND MIN 1 LAYER 5/8" TYPE "X" GYPSUM WALL BOARD AT 1 SIDE AND MIN 1/2" RESILIENT CHANNEL AND 1/2" TYPE "X" GYPSUM WALL AT OPPOSITE SIDE.
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	2" X 4" STUD WALL @ 16" O.C. WITH MIN 5/8" GYPSUM WALL BOARD AT BOTH SIDES.
	EXTERIOR FURRING PER EXTERIOR ELEVATIONS.

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Case No. DIR-2021-7344-TOC-SPR-HCA



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A MIX-USE RESIDENTIAL DEVELOPMENT
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PROJECT TITLE

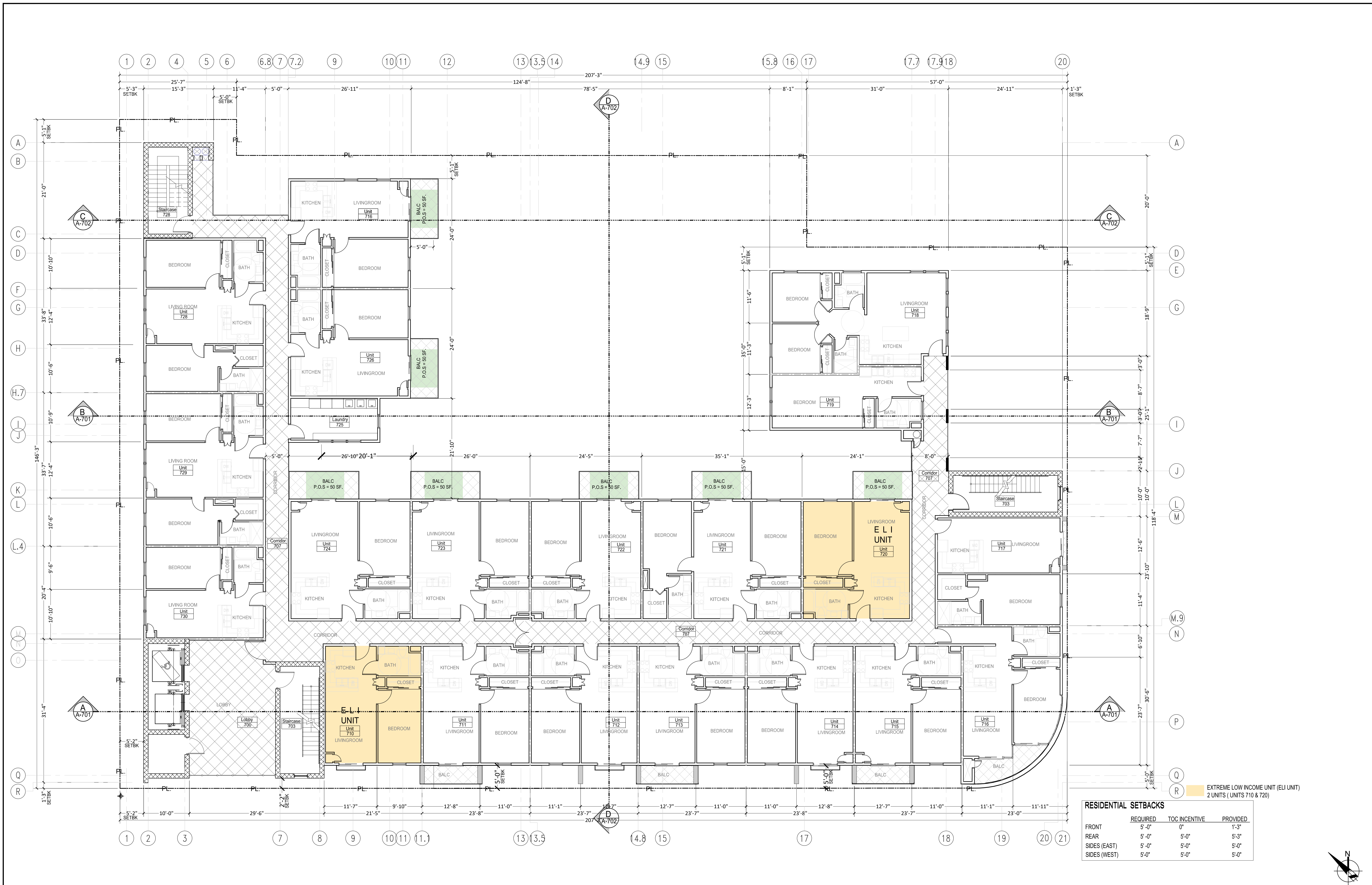
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TITLE
SEVENTH LEVEL
FLOOR PLAN

SHEET #
A - 308

NO. OF 100



RESIDENTIAL SETBACKS			
	REQUIRED	TOC INCENTIVE	PROVIDED
FRONT	5'-0"	0"	1'-3"
REAR	5'-0"	5'-0"	5'-3"
SIDES (EAST)	5'-0"	5'-0"	5'-0"
SIDES (WEST)	5'-0"	5'-0"	5'-0"

SEVENTH LEVEL - RESIDENTIAL - FLOOR PLAN

SCALE
1/8"=1'-0"

1

5TH FLOOR AREA BREAKDOWN								5TH FLOOR AREA BREAKDOWN (CONT.)							
UNIT	AREA (LABC)	HABITABLE RM.	OPEN SPACE		WHERE PROVIDED	REMARK	EXTREME LOW INCOME E.L.I UNIT	UNIT	AREA	HABITABLE RM.	OPEN SPACE		WHERE PROVIDED	REMARK	EXTREME LOW INCOME
			REQ'D.	PROVIDED							REQ'D.	PROVIDED			
710	575 SF	3	125 SF	125 SF	C.O.S	ROOF DECK	E.L.I UNIT	700	559 SF	N/A					
711	630 SF	3	125 SF	125 SF	C.O.S	ROOF DECK		702	304 SF	N/A					
712	630 SF	3	125 SF	125 SF	C.O.S	ROOF DECK		704	740 SF	N/A					
713	630 SF	3	125 SF	125 SF	C.O.S	ROOF DECK		707	1,564 SF	N/A					
714	630 SF	3	125 SF	125 SF	C.O.S	ROOF DECK									
715	630 SF	3	125 SF	125 SF	C.O.S	ROOF DECK		LIV. AREA	17,071 SF		2,675 SF	350 SF			
716	620 SF	3	125 SF	125 SF	C.O.S	ROOF DECK									
717	673 SF	3	125 SF	125 SF	C.O.S	ROOF DECK									
718	976 SF	4	175 SF	175 SF	C.O.S	ROOF DECK									
719	440 SF	2	100 SF	100 SF	C.O.S	ROOF DECK									
720	642 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/ROOF									
721	934 SF	4	175 SF	50 SF/125 SF	P.O.S/C.O.S	BALC/ROOF									
722	650 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/ROOF									
723	694 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/ROOF									
724	714 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/ROOF									
725	198 SF	LAUNDRY	N/A												
726	643 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/ROOF									
727	643 SF	3	125 SF	50 SF/75 SF	P.O.S/C.O.S	BALC/ROOF									
728	901 SF	4	175 SF	175 SF	C.O.S	ROOF DECK									
729	901 SF	4	175 SF	175 SF	C.O.S	ROOF DECK									
730	551 SF	3	125 SF	125 SF	C.O.S	ROOF DECK									






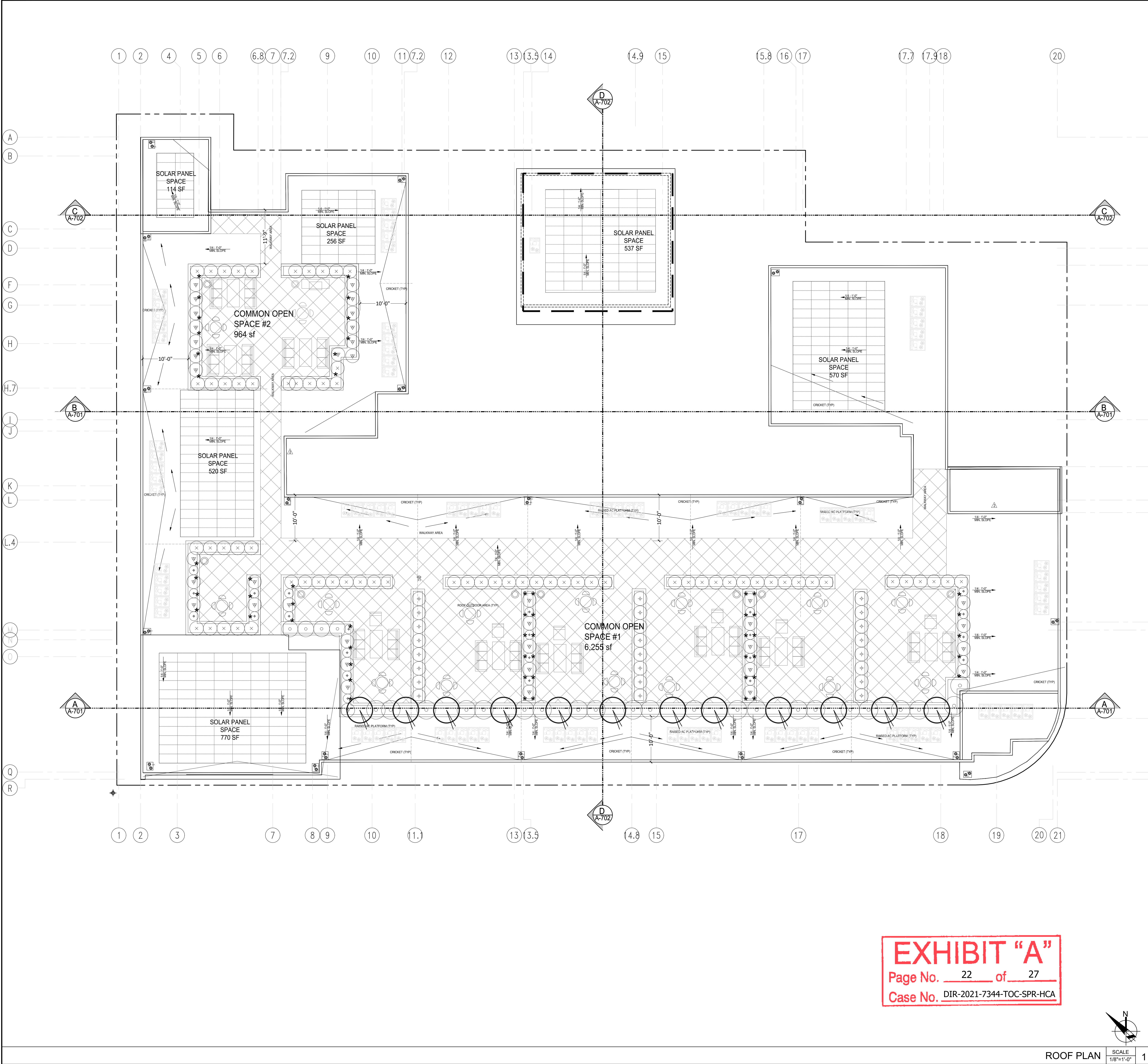
WALL SYMBOL LEGEND	
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	EXTERIOR FURRING PER EXTERIOR ELEVATIONS.

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ROOFING GENERAL INFORMATION

ROOF MATERIAL:
ASPHALT/FLT-UP ROOFING CLASS 7" MIN. OVER 30 LB FLT PAPER OVER PLYWOOD SHEATHING OVER 2X WOOD FRAMING. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION. (ICC ESR-1388)

MIN. SOLAR ZONE AREA REQUIRED:
15% TOTAL ROOF AREA REQUIRED TO BE DEDICATED TO FUTURE SOLAR AREA
17,300 SF. ROOF AREA 15% = 2,595 SF. SOLAR AREA PROVIDED:
2,963 SF. SOLAR AREA PROVIDED

(B) 1505.1 GENERAL

ROOF ASSEMBLIES SHALL BE DIVIDED INTO THE CLASSES DEFINED BELOW. CLASS A, B AND C ROOF ASSEMBLIES AND ROOF COVERINGS REQUIRED TO BE LISTED BY THIS SECTION SHALL BE TESTED IN ACCORDANCE WITH ASTM E 816. CLASS D, IN ADDITION, COVERINGS INSTALLED ON BUILDINGS SHALL COMPLY WITH TABLE 1505.1 BASED ON THE TYPE OF CONSTRUCTION OF THE BUILDING.

EXCEPTION: SKYLIGHTS AND SLOPED GLAZING THAT COMPLY WITH CHAPTER 24 OR SECTION 2610.

TABLE 1505.1A

MINIMUM ROOF COVERING CLASSIFICATION FOR TYPES OF CONSTRUCTION

A	B	IA	IB	IIA	IV	VA	VB
B	B	B	C	B	C	B	C

FOR SI: 1 FOOT = 304.8 MM, 1 SQUARE FOOT = 0.0929 M2.
UNLESS OTHERWISE REQUIRED IN ACCORDANCE WITH CHAPTER 7A.

DECK WATER-PROOFING - LATH-CRETE: HCRD-BAN WATERPROOF MEMBRANE ICC ESR 2417

ROOF PLAN KEY NOTES

1000 CLASS 7" BUILT-UP COMPOSITION ROOFING OVER TWO LAYERS 3/8" FLT PAPER.
1001 CLASS 7" 3-DIMENSIONAL ASPHALT SHINGLE (ARCHITECT 80 OR BETTER) BY GAF OJ.
1002 LIGHT-WEIGHT EAGLE-LITE S-SHAPED CONCRETE ROOF TILE C-30M FLT PAPER INSTALLED PER MANUF. SPEC.
1003 22 GAUGE CORRUGATED METAL PAN ROOFING OI TYVEK OI PLYWOOD

FASCIA

2000 2X FASCIA BOARD INSTALLED WITH MIN 3 HOT DIPPED GALVANIZED 16d NAILS @ EACH JOINT.
2001 1" X 1" HARD-BOARD FASCIA

SKYLIGHT / MISC.

3000 2' x 4' SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
3001 14" X 30" SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
3002 8" DIA SOLAR TUBE SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
3003 ROOF MOUNTED A/C UNIT - PROVIDE GAS VALVE AND LIGHT SWITCH, 115-220V (RECEPTACLE, MINIMUM 30" W/ PLYWOOD WORKING PLATFORM AND PASSAGEWAY PER 2019 I.C.C.
3004 ROOF ACCESS WITH LADDER
3005 PARAPET WALL WITH 22 GAUGE METAL CAP
3006 2 X REDWOOD TRELLIS @ 12" O.C. (PAINT FINISH)
3007 12" SQ. DOME ATTIC VENT INSTALLED PER MANUF. SPEC.
3008 VAULTED ROOF - LINEAR ROOF VENT INSTALL PER MANUF. SPEC.
3009 SOLAR PANEL ZONE

ROOF PLAN GEN. NOTES

1. REFER TO ALL SPECIFICATIONS AND GENERAL NOTES FOR ADDITIONAL INFORMATION.
2. FOR TYPICAL ROOFING DETAILS, REFER TO SHEET A-4.0. FINAL ROOFING DETAILS REQUIRES REVIEW AND APPROVAL OF THE ROOFING MANUFACTURER PRIOR TO INSTALLATION.
3. THE CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF ALL ROOF OPENINGS AND EQUIPMENT PLATFORMS REQUIRED. OPENING SIZES SHALL BE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTOR.
4. REFER TO MECHANICAL DRAWINGS FOR ALL ROOF TOP EQUIPMENT AND RELATED INFORMATION.
5. REFER TO PLUMBING DRAWINGS FOR ALL VENTS AND PIPES THROUGH ROOF WHICH MAY NOT BE SHOWN ON ROOF PLAN.
6. PROVIDE ROOF TRAFFIC PASSAGEWAYS FROM THE ROOF ACCESS TO ALL ROOF TOP UNITS, ALL ROOF DRAINS, ROOF EQUIPMENT. CONSTRUCTED WITH SAME ROOFING MATERIALS AS PER ROOFING MANUFACTURER.

SOLAR ZONE / PHOTOVOLTAIC NOTES

A SOLAR ZONE AREA IS DESIGNED WITH NO PENETRATIONS, OBSTRUCTIONS OR SIGNIFICANT SHADE. THE SOLAR ZONE MUST COMPLY WITH THE ACCESS, PATHWAY, SMOKE VENTILATION, AND SPACING REQUIREMENTS IN TITLE 24 PART 9.

THE SOLAR ZONE CAN BE LOCATED AT ANY OF THE FOLLOWING LOCATIONS:

- 1. ROOF OF BUILDING.
- 2. OVERHANG OF THE BUILDING.
- 3. COVERED PARKING INSTALLED WITH THE BUILDING PROJECT.
- 4. ROOF OF ANOTHER STRUCTURE LOCATED WITHIN 250 FEET (75 METERS) OF THE PRIMARY BUILDING.
- 5. OVERHANG OF ANOTHER STRUCTURE WITHIN 250 FEET (75 METERS) OF THE PRIMARY BUILDING.

SOLAR ZONE MINIMUM AREA AND EXCEPTIONS

TOTAL AREA:
THE SOLAR ZONE MUST HAVE A TOTAL AREA OF AT LEAST 15% OF THE TOTAL ROOF AREA, AFTER SUBTRACTING ANY SKYLIGHTS.

MULTIPLE AREAS:
THE SOLAR ZONE MAY BE COMPOSED OF MULTIPLE SUB-AREAS IF THEY MEET THE FOLLOWING MINIMUM SIZE SPECIFICATIONS:

1. EACH SUB-AREA DIMENSION MUST BE AT LEAST FIVE FEET.
2. IF THE TOTAL ROOF AREA IS EQUAL TO OR LESS THAN 10,000 SQUARE FEET, EACH SUB-AREA MUST BE AT LEAST 80 SQUARE FEET.
3. IF THE TOTAL ROOF AREA IS GREATER THAN 10,000 SQUARE FEET, EACH SUB-AREA MUST BE AT LEAST 160 SQUARE FEET.

8.4.3 SOLAR ZONE STRUCTURAL DESIGN LOADS

THE STRUCTURAL DESIGN LOAD REQUIREMENTS APPLY IF ANY PORTION OF THE SOLAR ZONE IS LOCATED ON THE ROOF OF THE BUILDING. FOR THE AREA OF THE ROOF DESIGNATED AS THE SOLAR ZONE, THE STRUCTURAL DESIGN LOADS FOR ROOF DEAD LOAD AND ROOF LIVE LOAD SHALL BE CLEARLY INDICATED ON THE CONSTRUCTION DOCUMENTS. THIS IS REQUIRED SO THAT THE STRUCTURAL LOADS ARE KNOWN IF A SOLAR ENERGY SYSTEM IS INSTALLED IN THE FUTURE. THE ENERGY STANDARDS DO NOT REQUIRE ESTIMATING THE LOADS OF POSSIBLE FUTURE SOLAR EQUIPMENT.

8.5 INTERCONNECTION PATHWAYS

§110.100.1
ALL BUILDINGS THAT INCLUDE A SOLAR ZONE MUST ALSO INCLUDE A PLAN FOR CONNECTING A PV OR SWH SYSTEM TO THE ELECTRICAL OR PLUMBING SYSTEM OF THE BUILDING. THE CONSTRUCTION DOCUMENTS MUST INDICATE:

1. A LOCATION FOR INVERTERS AND METERING EQUIPMENT FOR FUTURE SOLAR ELECTRIC SYSTEMS. THE ALLOCATED SPACE SHOULD BE APPROPRIATELY SIZED FOR A PV SYSTEM THAT COULD COVER THE ENTIRE SOLAR ZONE.
2. A PATHWAY FOR ROUTING CONDUIT FROM THE SOLAR ZONE TO THE POINT OF INTERCONNECTION WITH THE ELECTRICAL SERVICE. THE DESIGN DRAWINGS MUST SHOW WHERE THE CONDUIT WOULD BE INSTALLED IF A SYSTEM WERE INSTALLED AT A FUTURE DATE. THERE IS NO ROOF ROOF COVERING SHALL BE TESTED IN ACCORDANCE WITH ASTM D108. THE MINIMUM ROOF COVERING SHALL BE TESTED IN ACCORDANCE WITH ASTM D108. THE MINIMUM ROOF COVERING SHALL BE TESTED IN ACCORDANCE WITH ASTM D108.
3. A PATHWAY FOR ROUTING PLUMBING FROM THE SOLAR ZONE TO THE WATER-HEATING SYSTEM CONNECTION. THE DESIGN DRAWINGS MUST SHOW WHERE THE PLUMBING WOULD BE INSTALLED IF A SWH SYSTEM WERE INSTALLED AT A FUTURE DATE. THERE IS NO REQUIREMENT TO INSTALL PIPING.

THIS REQUIREMENT IS NOT APPLICABLE IF COMPLIANCE IS ACHIEVED BY USING EXCEPTIONS 1.2, 4 AND 5 IN LIEU OF A DESIGNATED SOLAR ZONE.

8.6 DOCUMENTATION FOR THE BUILDING OCCUPANT

A COPY OF THE CONSTRUCTION DOCUMENTS THAT SHOW THE SOLAR ZONE, THE STRUCTURAL DESIGN LOADS, AND THE INTERCONNECTION PATHWAYS MUST BE PROVIDED TO THE BUILDING OCCUPANT. THE BUILDING OCCUPANT MUST ALSO RECEIVE A COPY OF COMPLIANCE DOCUMENT NEEDED. THE DOCUMENT COPIES ARE REQUIRED SO THAT THE SOLAR READY INFORMATION IS AVAILABLE IF THE OCCUPANT DECIDES TO INSTALL A SOLAR ENERGY SYSTEM IN THE FUTURE. THIS PAGE IS SOLAR READY. ADDITION 2019 NONRESIDENTIAL COMPLIANCE MANUAL JANUARY 2019 REQUIREMENT IS NOT APPLICABLE IF COMPLIANCE IS ACHIEVED BY USING EXCEPTIONS 1.2, 4 AND 5 IN LIEU OF A DESIGNATED SOLAR ZONE.

ROOF PLAN SYMBOLS

FAN COIL HVAC UNIT. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

ROOF SCUPPER/LADDER AND OVERFLOW DRAINS. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.

GALVANIZED SHEET METAL SPLASH PAN

LINE OF WALL BELOW

ROOF SLOPE FLOW LINE

CRICKET SLOPE DIRECTION

TOP OF PARAPET, TYPICAL U/I/O

TOP OF SHEATHING, TYPICAL U/I/O

ROOF TOP HVAC UNIT. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.

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THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT

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LOS ANGELES, CA 90017

PROJECT TITLE

REVISIONS

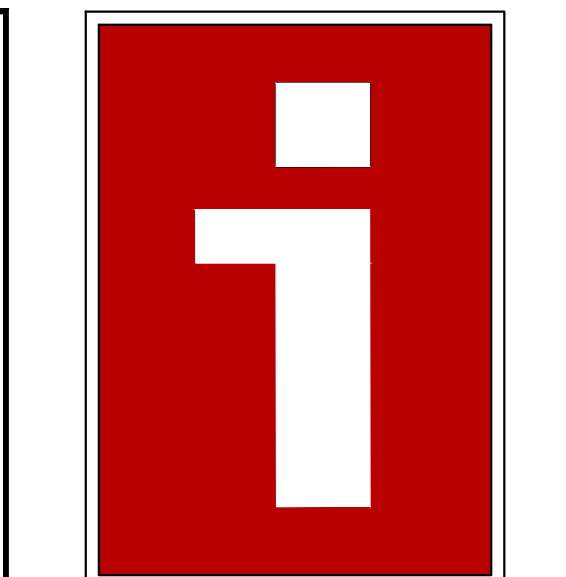
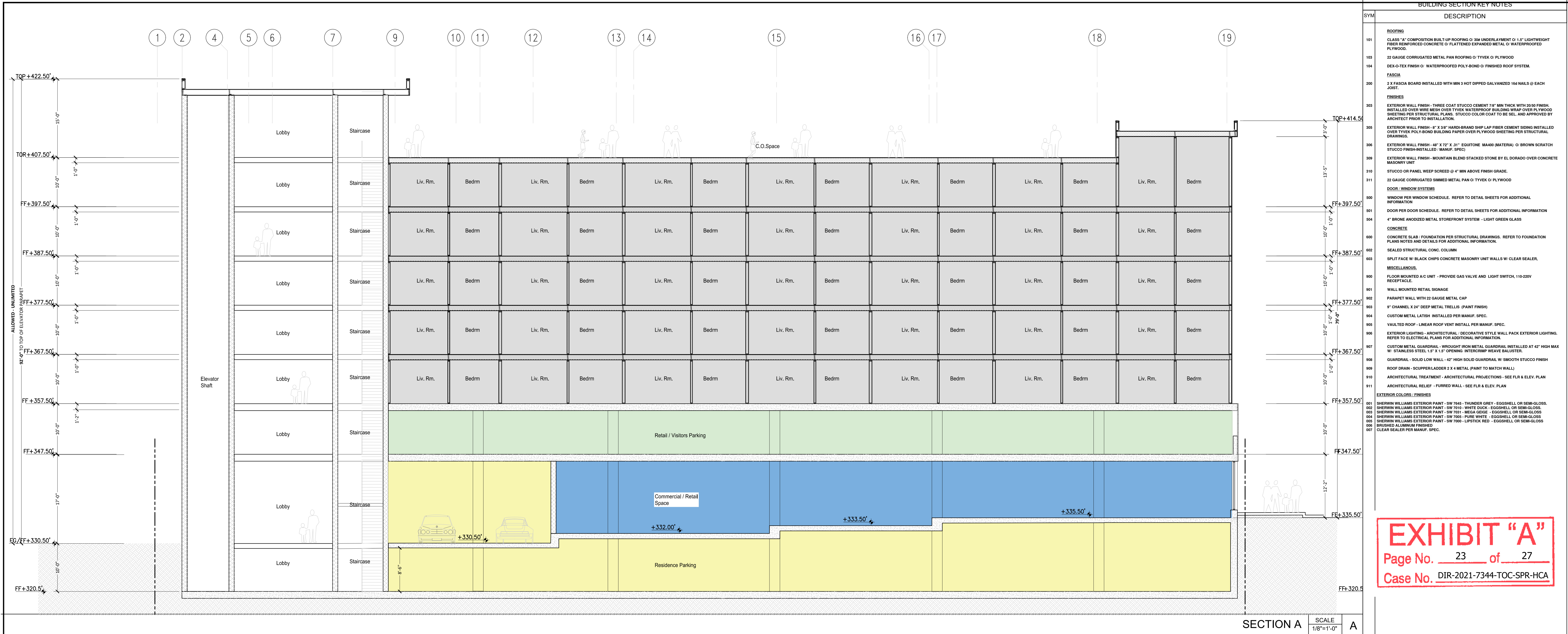
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TITLE
ROOF PLAN

SHEET #
A - 601

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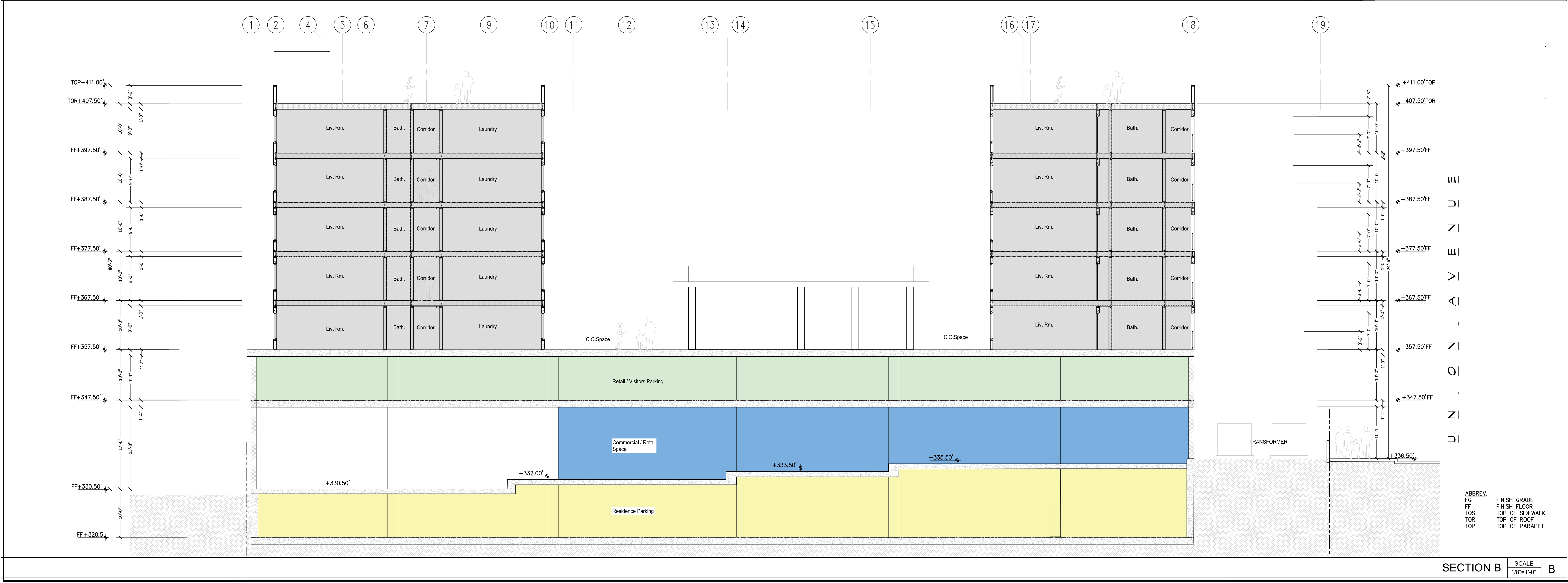


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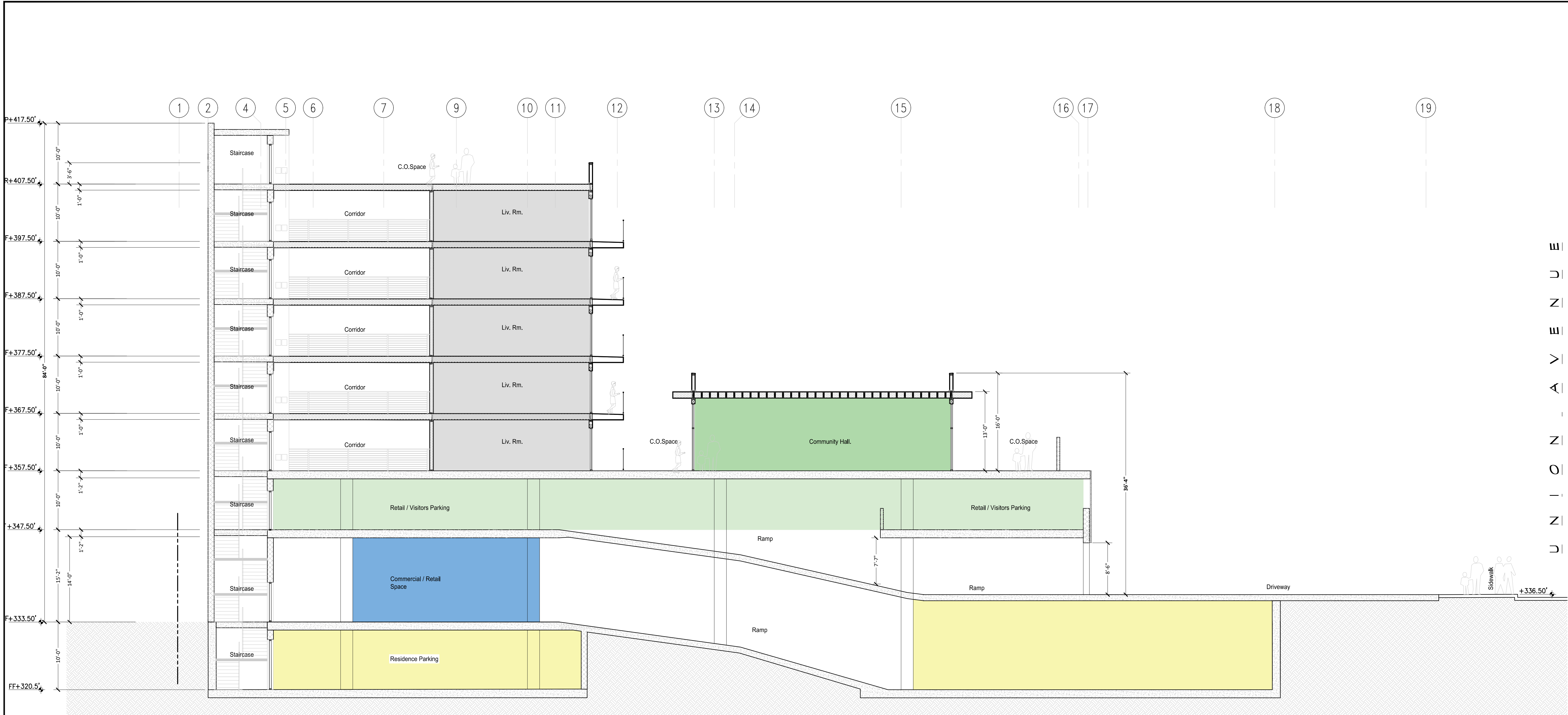
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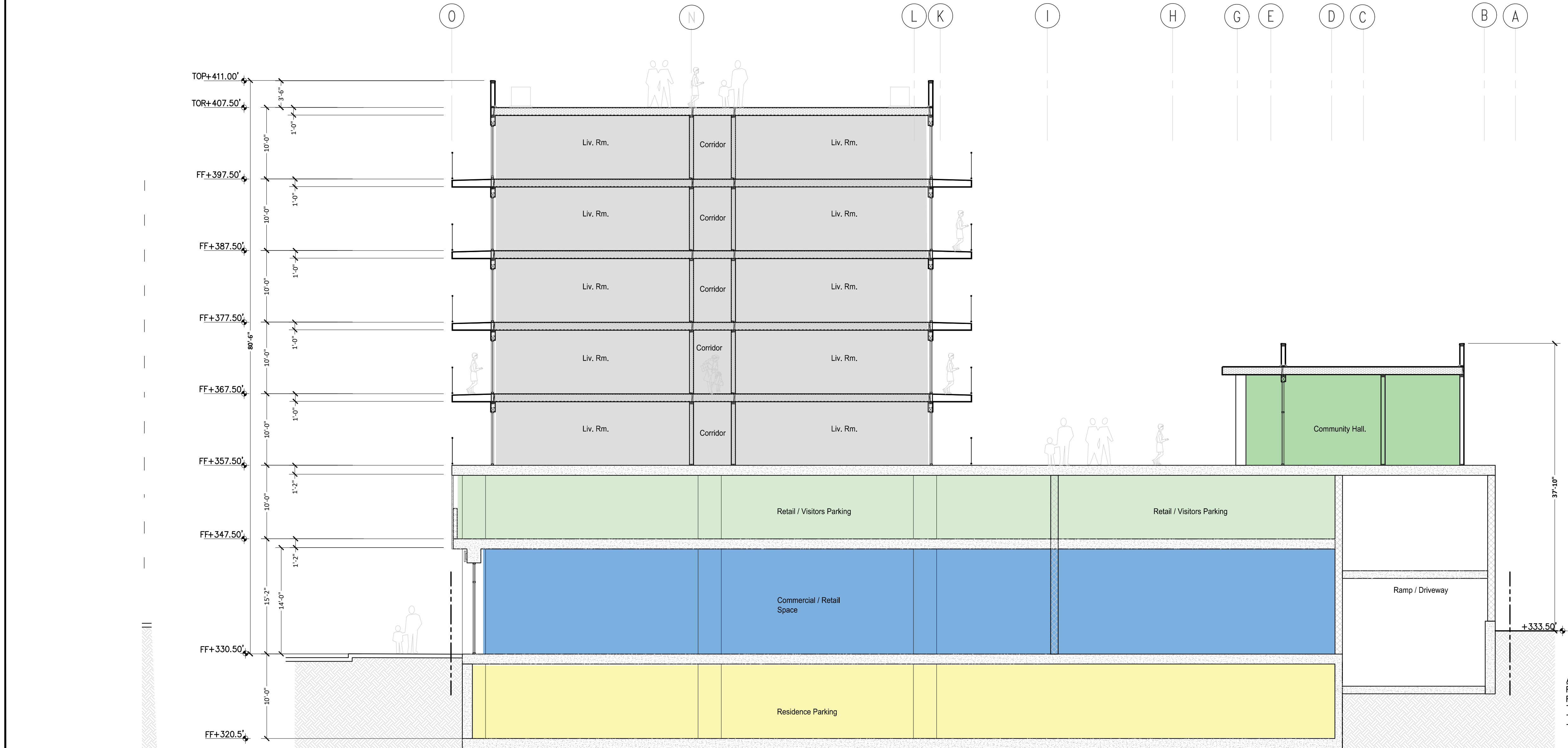
TITLE
SECTIONS A-A
B-B
SHEET #
A - 701
NO. OF 100



SECTION A

SCALE
1/8"=1'-0"

C



ABBREV.
FG
FF
TOS
TOR
TOP

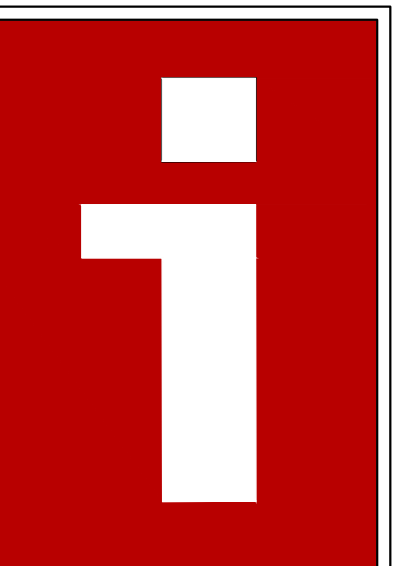
FINISH GRADE
FINISH FLOOR
TOP OF SIDEWALK
TOP OF ROOF
TOP OF PARAPET

SECTION B

SCALE
1/8"=1'-0"

D

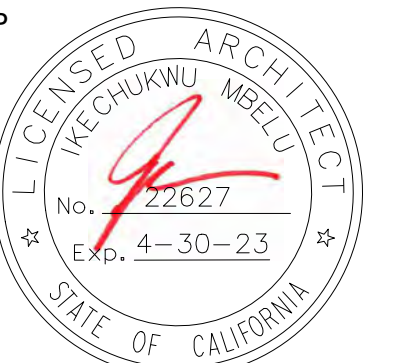
BUILDING SECTION KEY NOTES	
SYM	DESCRIPTION
ROOFING	
100	CLASS "B" BUILT-UP COMPOSITION ROOFING OVER TWO LAYERS 30# FELT PAPER.
101	CLASS "B" 3-DIMENSIONAL ASPHALT SHINGLE (ARCHITECT 80 OR BETTER) BY GAF O/ 30# FELT PAPER.
102	LIGHT-WEIGHT EAGLE-LITE S-SHAPED CONCRETE ROOF TILE O/ 30# FELT PAPER INSTALLED PER MANUF. SPEC.
103	22 GAUGE CORRUGATED METAL PAN ROOFING O/ TYVEK O/ PLYWOOD
FASCIA	
200	2X FASIA BOARD INSTALLED WITH MIN 3 HOT DIPPED GALVANIZED 16# NAILS @ EACH JOIST.
201	1" X HARD-BOARD FASCIA
FINISHES	
300	INTERIOR WALL FINISH - 5/8" THICK TYPE "X" GYPSUM BOARD.
301	INTERIOR WALL FINISH - 5/8" THICK GYPSUM BOARD (GREEN BOARD)
302	INTERIOR WALL FINISH - PORCELAIN TILE AS SELECTED BY ARCHITECT.
303	EXTERIOR WALL FINISH - THREE COAT STUCCO CEMENT 70# MIN THICK WITH 2000 FINISH. INSTALLED OVER WIRE MESH OVER TYVEK WATERPROOF BUILDING WRAP OVER PLYWOOD SHEETING PER STRUCTURAL PLANS. STUCCO COLOR COAT TO BE SEL. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
304	EXTERIOR WALL FINISH - 1/2" X 3/8" HAND-BRAND SHIP LAP FIBER CEMENT BOARD INSTALLED OVER TYVEK FAS-BOARD BUILDING PAPER OVER PLYWOOD SHEETING PER STRUCTURAL DRAWINGS.
305	EXTERIOR WALL FINISH - 1/2" X 3/8" EQUITONE (MATERIAL) O/ BROWN SCRATCH STUCCO FINISH-INSTALLED/ MANUF. SPEC.
306	DECORATIVE WALL TREATMENT - 24" X 48" PORCELAIN TILE O/ BROWN SCRATCH STUCCO FINISH-INSTALLED/ MANUF. SPEC.
307	EXTERIOR WALL FINISH - THIN BRICK VENEER OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
308	EXTERIOR WALL FINISH - MOUNTAIN BLEND STACKED STONE BY EL DORADO OVER CEMENT STUCCO SCRATCH COAT OVER TYVEK WEATHERPROOF BUILDING PAPER OVER PLYWOOD SHEETING.
MEMBERS	
400	DOUBLE 2" X 4" TOP PLATE
401	2 X WALL WITH STUDS @ MIN 16" O.C. INSTALL ON PRESSURE TREATED BILL PLATE
402	PRESSURE TREATED BILL PLATE PER STRUCTURAL DRAWINGS OR PER STRUCTURAL SHEAR WALL SCHEDULE
403	EXTERIOR PLYWOOD SHEETING PER STRUCTURAL DRAWINGS.
504	BEAM TO PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.
405	HEADER PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
406	FLOOR JOIST PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.
407	ROOF Rafter / CLG JOIST PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
408	MIN 1/2" PLYWOOD ROOF SHEETING PER STRUCTURAL DRAWINGS.
DOOR / WINDOW SYSTEMS	
500	WINDOW PER WINDOW SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
501	DOOR PER DOOR SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION.
502	2" X 4" SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
503	14" X 36" SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
504	12" DIA. SOLAR TUBE SELF FLASHING SKYLIGHT (CLEAR) BY VELUX OR EQ. INSTALLED PER MANUF. SPEC.
CONCRETE	
600	CONCRETE SLAB / FOUNDATION PER STRUCTURAL DRAWINGS. REFER TO FOUNDATION PLANS NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
601	CONCRETE FOOTING PER FOUNDATION PLAN. REFER FOUNDATION PLAN, NOTES AND DETAILS FOR ADDITIONAL INFORMATION.
INSULATION	
700	EXT. WALLS - R-15 BATT INSULATION PER TITLE-24 ENERGY COMPLIANCE FORMS
701	INT. WALLS - R-13 BATT INSULATION PER TITLE-24 ENERGY COMPLIANCE FORMS
702	RAISED FLOOR - R-19 BATT INSULATION PER TITLE-24 ENERGY COMPLIANCE FORMS
703	ROOF - R-38 BATT INSULATION PER TITLE-24 ENERGY COMPLIANCE FORMS
FINISH FLOOR	
800	EXT. DECK - DEK-G-TEX FINISH PER MANUF. SPEC. (ICC-ESP#)
801	INT. FLOOR - PORCELAIN TILE O/ LIGHT WEIGHT CONC. PER MANUF. SPEC.
802	INT. FLOOR - RIGID CORE VANTAGE 6 MM THICK 8" X 48" VINYL TILE O/ POLYETHYLENE ACQUETIC PAD O/ PLYWOOD OR CONC. PER MANUF. SPEC. (W/MBSTRONG FLOORING OR EQUAL)
803	INT. FLOOR - OAK OR ENGINEERED WOOD FLOORING TILE O/ POLYETHYLENE ACQUETIC PAD O/ PLYWOOD OR CONC. PER MANUF. SPEC.
MISCELLANEOUS	
900	ROOF MOUNTED A/C UNIT - PROVIDE GAS VALVE AND LIGHT SWITCH, 110-220V RECEPTACLE, MINIMUM 30" W/ PLYWOOD WORKING PLATFORM AND PASSAGEWAY PER 2019 I.C.C.
901	ROOF ACCESS WITH LADDER
902	PARAPET WALL WITH 22 GAUGE METAL CAP
903	2 X REDWOOD TRELLIS @ 12" O.C. (PAINT FINISH)
904	12" SQ. DORMER ATTIC VENT INSTALLED PER MANUF. SPEC.
905	VALUED ROOF - LINEAR ROOF VENT INSTALL PER MANUF. SPEC.



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THE LEGACY @ SIXTH-UNION
A MIX-USE RESIDENTIAL DEVELOPMENT

PROJECT ADDRESS
550 S. UNION STREET
1701, 09, 15, 17, 17 1/2 W. 6TH STREET
LOS ANGELES, CA 90017

REVISIONS		
NO.	DATE	DESCRIPTION
1	01-22-22	SITE PLAN REVIEW-RESUB
2	02-18-22	PRELIM ZONING ASSESS.
3	03-21-22	PRELIM ZONING ASSESS.
4	05-18-22	PLANNING CORRECTION.
5	06-10-22	SPR CORRECTION.
6	06-15-22	SPR CORRECTION.
7	06-27-22	SPR CORRECTION.
8	07-5-22	SPR CORRECTION.

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-TOC-SPR-HCA

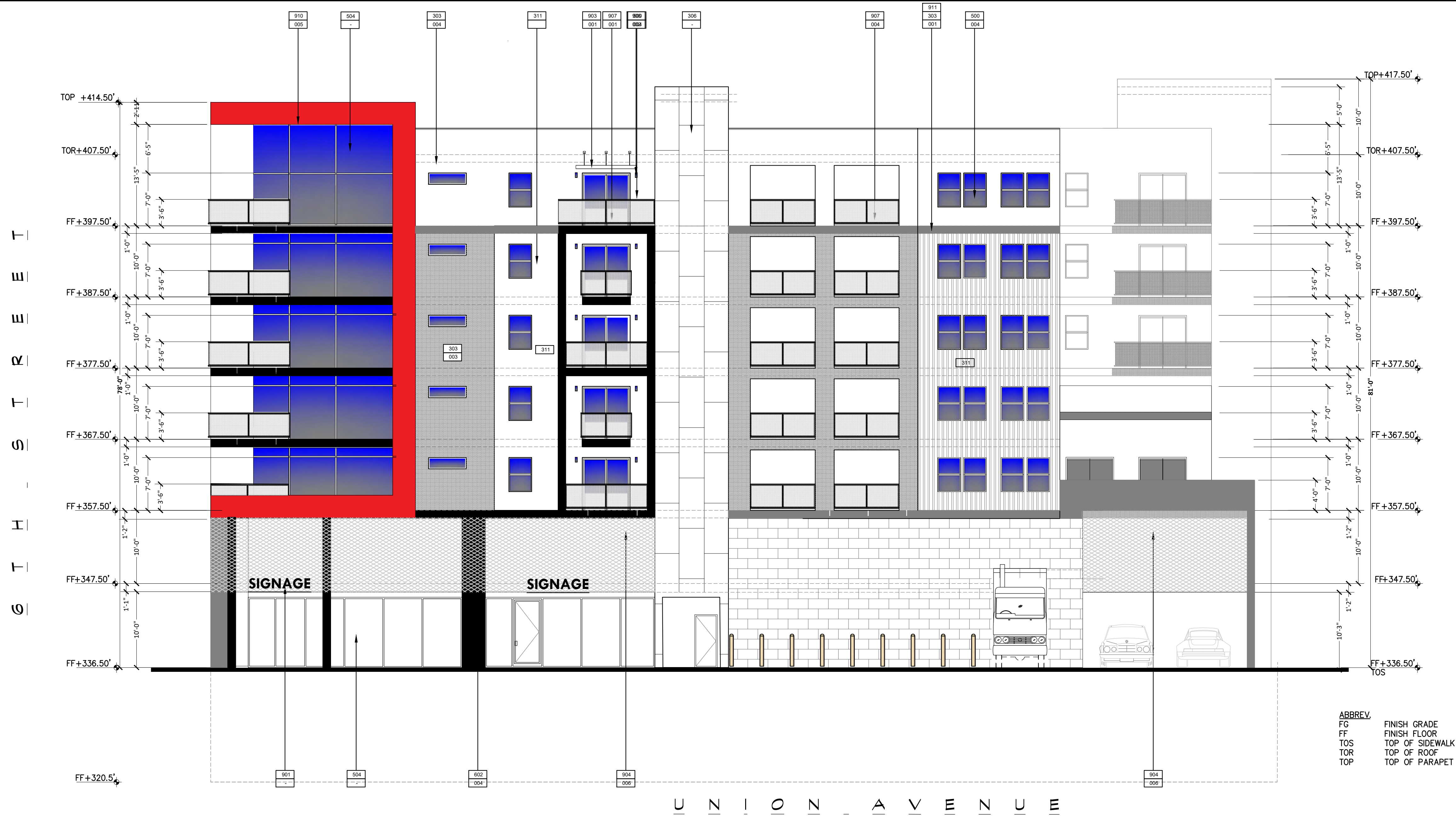
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SECTIONS C-C
D-D

SHEET #

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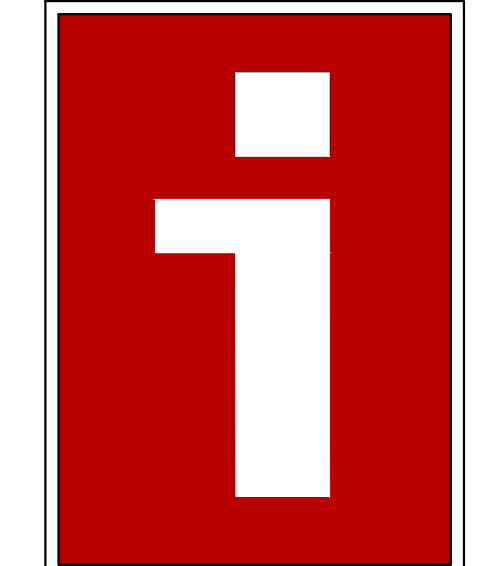


SOUTH ELEVATIONS

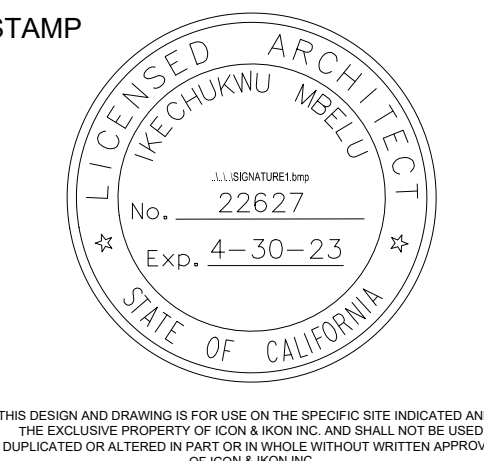
SCALE
1/8"=1'-0"

1

ELEVATION KEY NOTES	
SYM.	DESCRIPTION
101	ROOFING
102	CLASS 7-A COMPOSITION BUILT-UP ROOFING @ 20# UNDERLAYMENT @ 1" LIGHTWEIGHT FIBER REINFORCED CONCRETE @ FLATTENED EXPANDED METAL @ WATERPROOFED PLYWOOD.
103	22 GAUGE CORRUGATED METAL PAN ROOFING @ TYVEK @ PLYWOOD
104	DEX-O-TEX FINISH @ WATERPROOFED POLY-BOND @ FINISHED ROOF SYSTEM.
200	FASIA
201	2 X 2 FASIA BOARD INSTALLED WITH MIN 3 HOT DIPPED GALVANIZED 16# NAILS @ EACH JOIST.
300	FINISHES
301	EXTERIOR WALL FINISH - THREE COAT STUCCO CEMENT 7/8" MIN THICK WITH 20# FINISH. INSTALLED OVER WIRE MESH OVER TYVEK WATERPROOF BULGONS WRAP OVER PLYWOOD SHEETING PER STRUCTURAL PLANS. STUCCO COLOR COAT TO BE SEL. AND APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
302	EXTERIOR WALL FINISH - 48" X 72" X 3/4" EQUITONE (MATERIAL) @ BROWN SCRATCH STUCCO FINISH-INSTALLED (MANUF. SPEC)
303	EXTERIOR WALL FINISH - MOUNTAIN BLEND STACKED STONE BY EL. DORADO OVER CONCRETE MASONRY UNIT
304	STUCCO OR PANEL WEEP SCREED @ 4" MIN ABOVE FINISH GRADE.
310	22 GAUGE CORRUGATED SIMMED METAL PAN @ TYVEK @ PLYWOOD
500	DOOR / WINDOW SYSTEMS
501	WINDOW PER WINDOW SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION
502	DOOR PER DOOR SCHEDULE. REFER TO DETAIL SHEETS FOR ADDITIONAL INFORMATION
600	CONCRETE
601	CONCRETE SLAB / FOUNDATION PER STRUCTURAL DRAWINGS. REFER TO FOUNDATION PLANS NOTES AND DETAILS FOR ADDITIONAL INFORMATION
602	SEALED STRUCTURAL CONC. COLUMN
603	SPLIT FACE W/ BLACK CHIPS CONCRETE MASONRY UNIT WALLS W/ CLEAR SEALER.
604	MISCELLANEOUS
901	WALL MOUNTED RETAIL SIGNAGE
902	PARAPET WALL WITH 22 GAUGE METAL CAP
903	8" CHANNEL X 24" DEEP METAL TRELLIS (PAINT FINISH)
904	CUSTOM METAL LATISH INSTALLED PER MANUF. SPEC.
905	EXTERIOR LIGHTING - ARCHITECTURAL / DECORATIVE STYLE WALL PACK EXTERIOR LIGHTING. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION
906	CUSTOM METAL GUARDRAIL - 2" WIDE X 1 1/2" THK SOLID BAR W/ROUGHT IRON METAL CAGE GUARDRAIL. INSTALLED AT 42" HIGH MAX W/ CARBON STEEL 1/2" X 1/2" X 20# DA. INTERCOMP WEAVE SQUARE OPENING WOVEN WIRE MESH, BY MANICHOLES.
907	GUARDRAIL - SOLID LOW WALL - 42" HIGH SOLID GUARDRAIL W/ SMOOTH STUCCO FINISH
908	ROOF DRAIN - SCUPPER/LADDER 2 X 4 METAL (PAINT TO MATCH WALL)
910	BOXED ARCHITECTURAL TREATMENT - ARCHITECTURAL PROJECTIONS - SEE FLR & ELEV. PLAN
911	4 X 12 ARCHITECTURAL RELIEF - FURRED WALL - SEE FLR & ELEV. PLAN
EXTERIOR COLORS / FINISHES	
801	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7005 - TANNED GREY - EGGSHELL OR SEMI-GLOSS.
802	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7010 - WHITE DUCK - EGGSHELL OR SEMI-GLOSS.
803	SHERWIN WILLIAMS EXTERIOR PAINT - SW 9111 - URBAN JUNGLE - EGGSHELL OR SEMI-GLOSS.
804	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7006 - PURE WHITE - EGGSHELL OR SEMI-GLOSS.
805	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7006 - PURE WHITE - EGGSHELL OR SEMI-GLOSS.
806	SHERWIN WILLIAMS EXTERIOR PAINT - SW 7006 - PURE WHITE - EGGSHELL OR SEMI-GLOSS.
807	BRUSHED ALUMINUM FINISHES
808	CLEAR SEALER PER MANUF. SPEC.



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LOS ANGELES, CA 90017

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ELEVATIONS

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A - 801

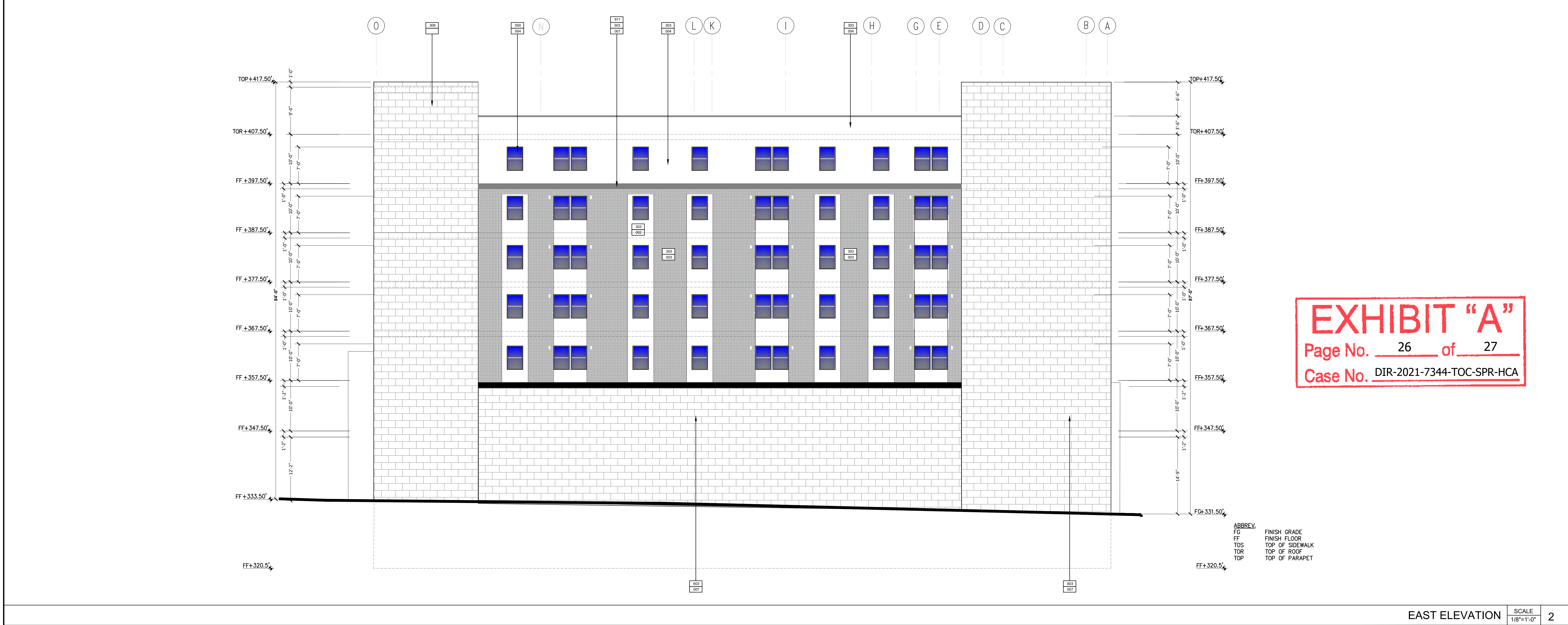
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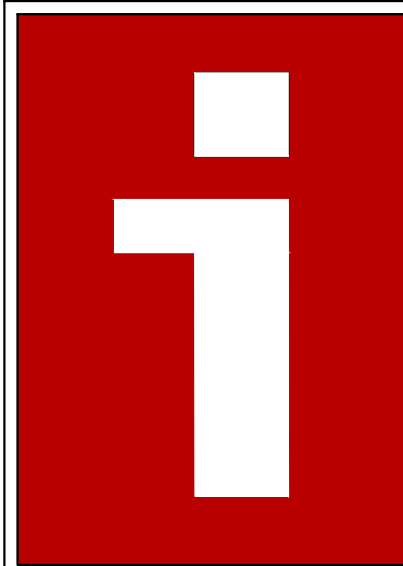
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Case No. DIR-2021-7344-TOC-SPR-HCA

WEST ELEVATION

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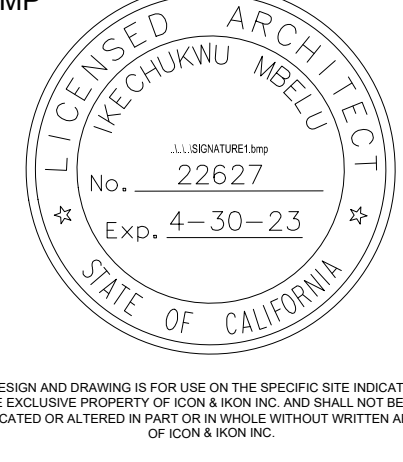
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SIXTH-UNIT



SPLIT FACED CMU



STUCCO FINISH - 20 / 50 FINISH



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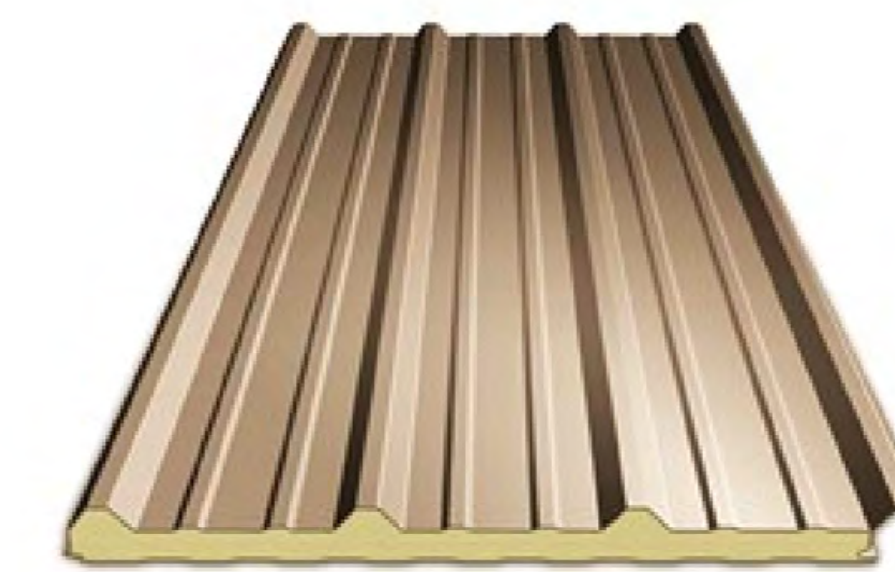
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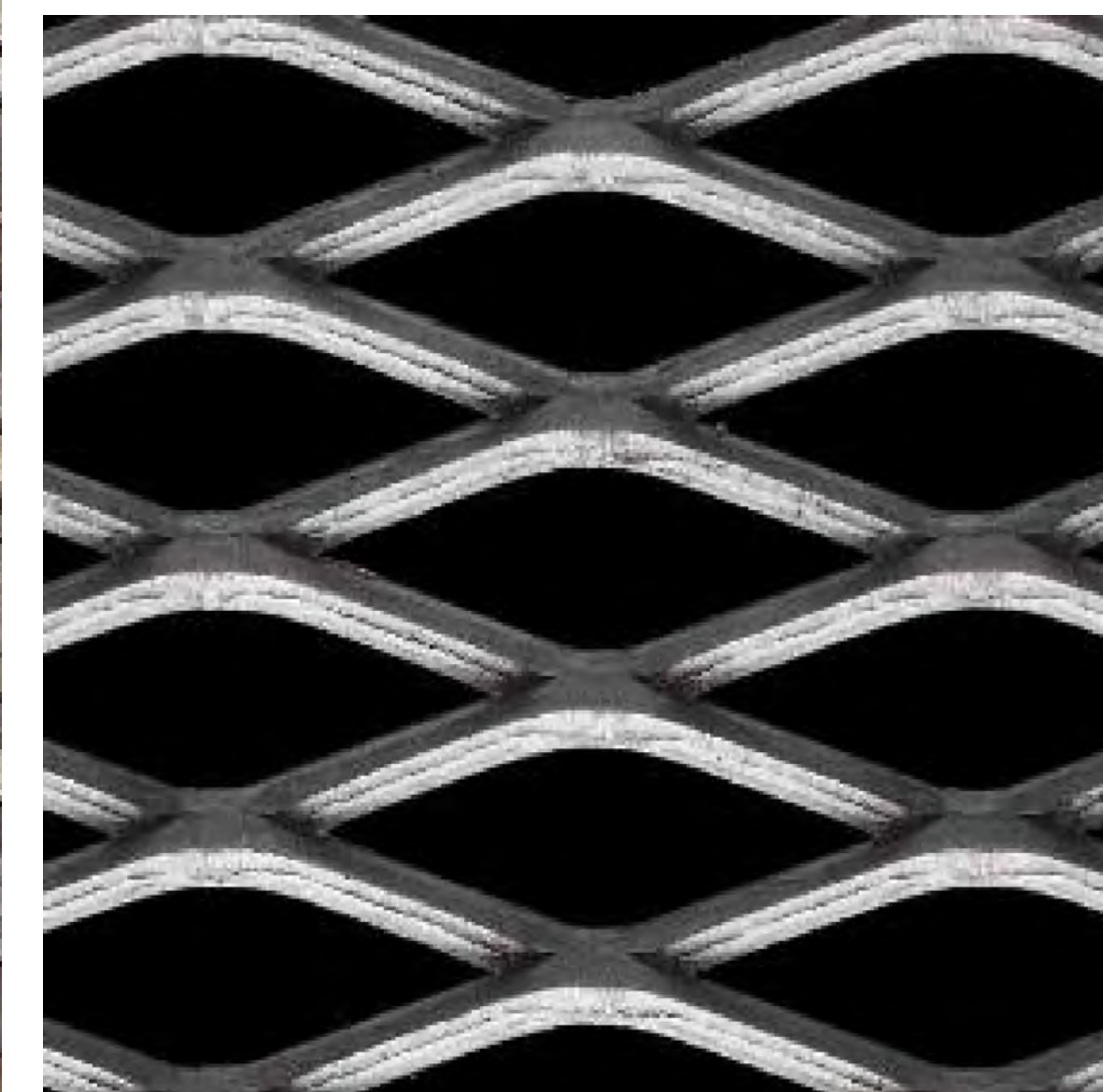
DEVELOPER:

BENBAROUKH, LLC

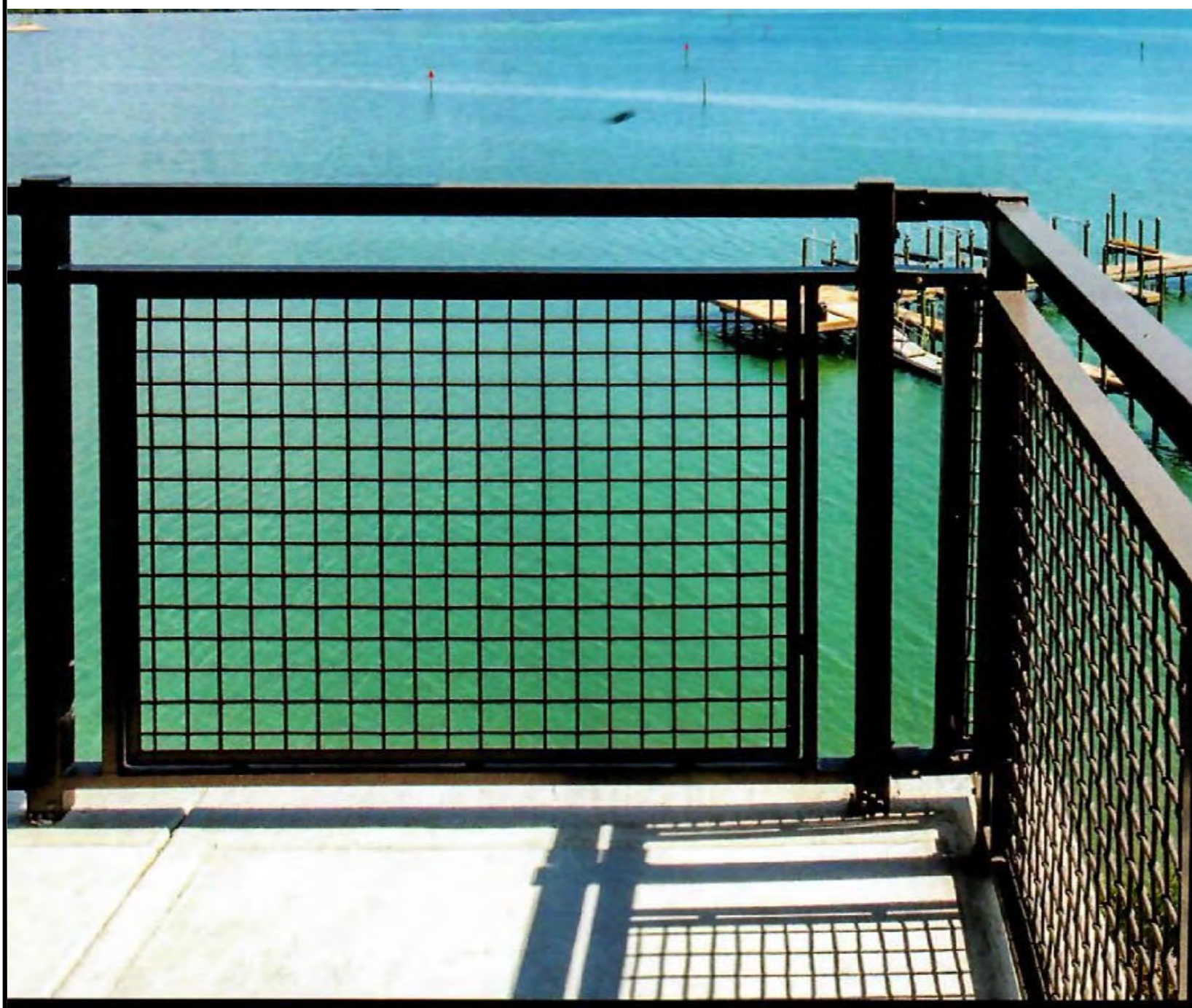
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CORRUGATED METAL PANEL- GALVANIZED.



METAL SCREEN @ GARAGE LEVEL



GUARDRAIL - WELDED WIRE MESH

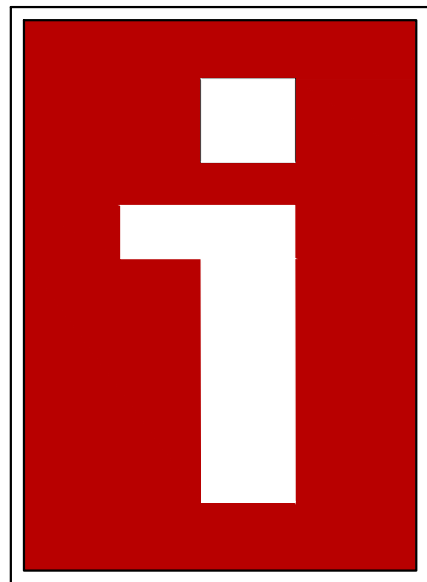


STUCCO FINISH - SMOOTH FINISH



STACKED STONE

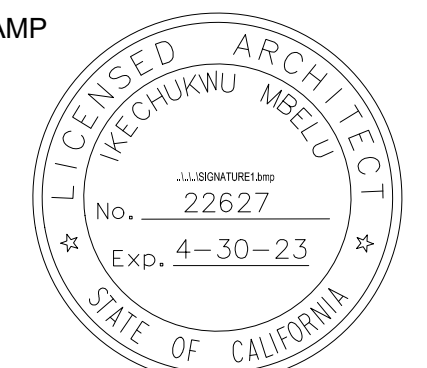
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