





LEGEND

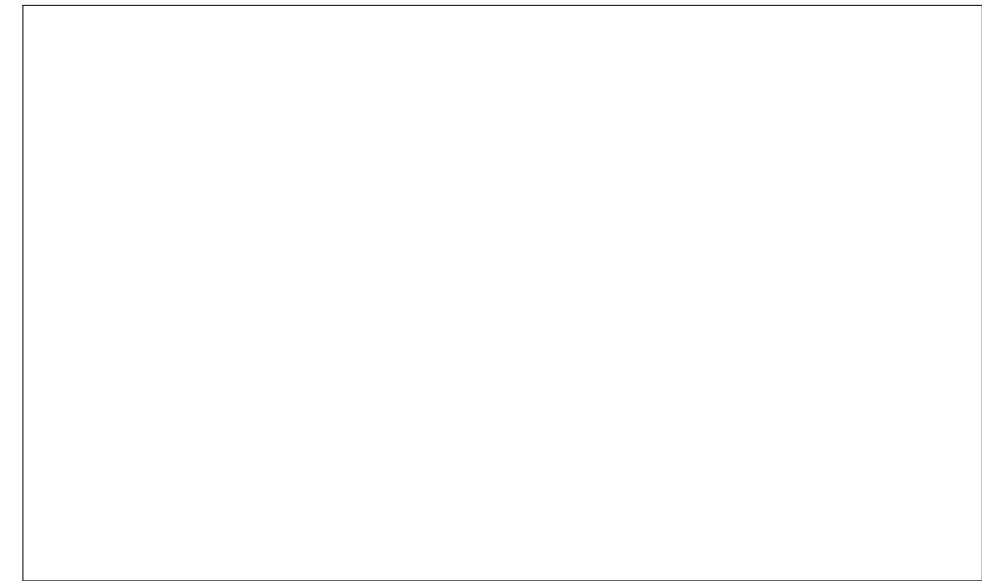
- 1 PROPOSED 2-STORY SINGLE FAMILY DWELLING
- 2 BUILDING ENTRANCE
- 3 DRIVEWAY
- [E] 1-STORY SINGLE FAMILY DWELLING TO BE REMODELED
- PROPOSED SUBDIVISION LOT LINE
- RIGHT-OF-WAY DEDICATION

NOTES

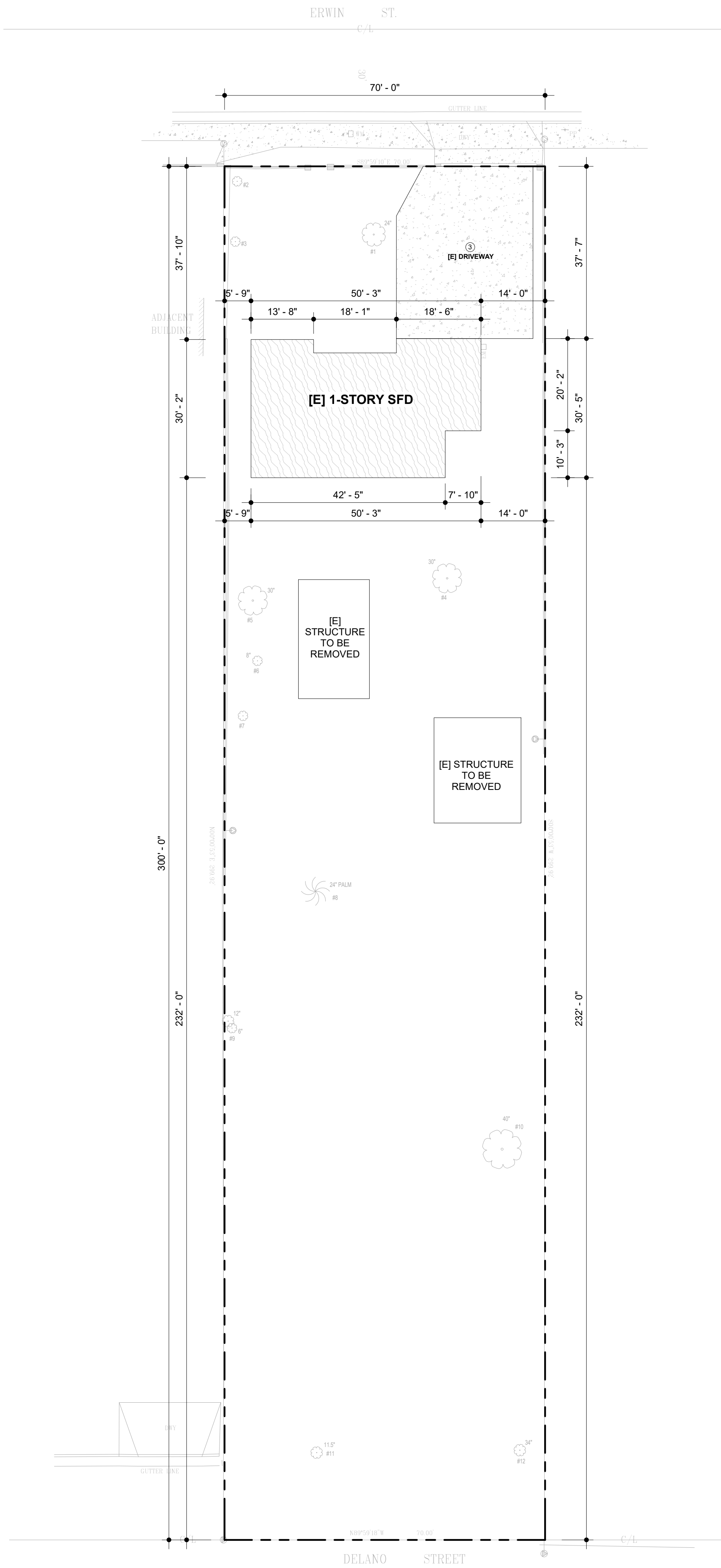
1. EQUIPMENT, ANY EXTERIOR EQUIPMENT (ELECTRICAL TRANSFORMERS, MECHANICAL UNITS, WATER METERS) MUST BE SCREENED FROM PUBLIC VIEW.

AREA TABLE

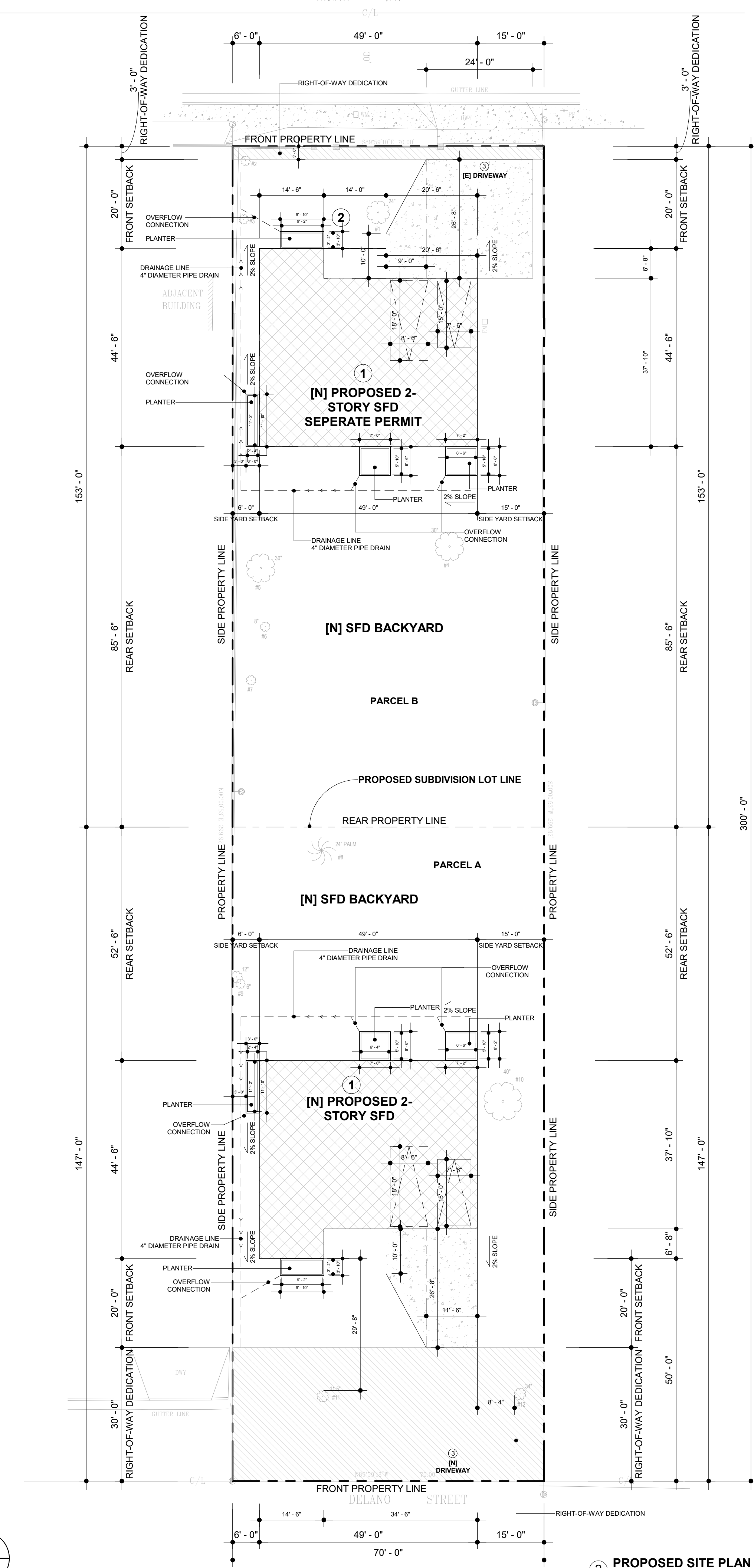
LOT SIZE	18,685	SF
PARCEL "A"	8,188	SF
PARCEL "B"	10,497	SF



ALL PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.



1 EXISTING SITE PLAN  
1/16" = 1'-0"



2 PROPOSED SITE PLAN  
1/16" = 1'-0"

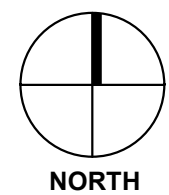


EXHIBIT "A"  
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Case No. APCSV-2023-4402-ZC-HCA

COMPLETE PACKAGE DRAFTING

CPdrafting.com

22815 Ventura Blvd. #227  
Woodland Hills, CA 91364  
Tel: (818) 493-1121  
info@CPdrafting.com

PROJECT

17820 W ERWIN ST -  
PROPERTY ADDRESS  
17820 W ERWIN ST,  
ENCINO, CA 91316

SHEET NAME

SHEET NAME  
SITE PLAN  
SCALE  
1/16" = 1'-0"

SCALE

1/16" = 1'-0"

DATE

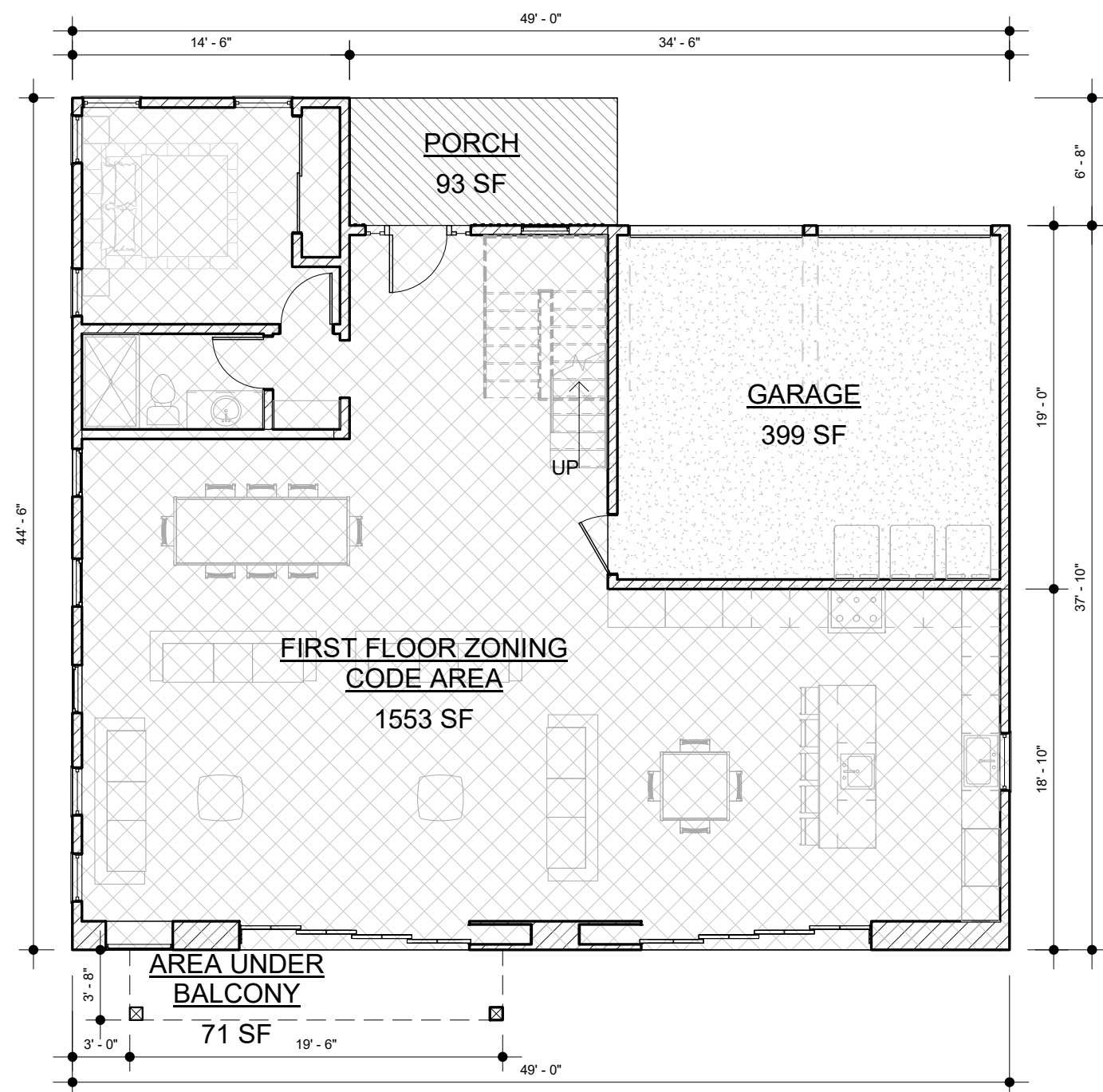
MARS 12 - 2024

SHEET TITLE

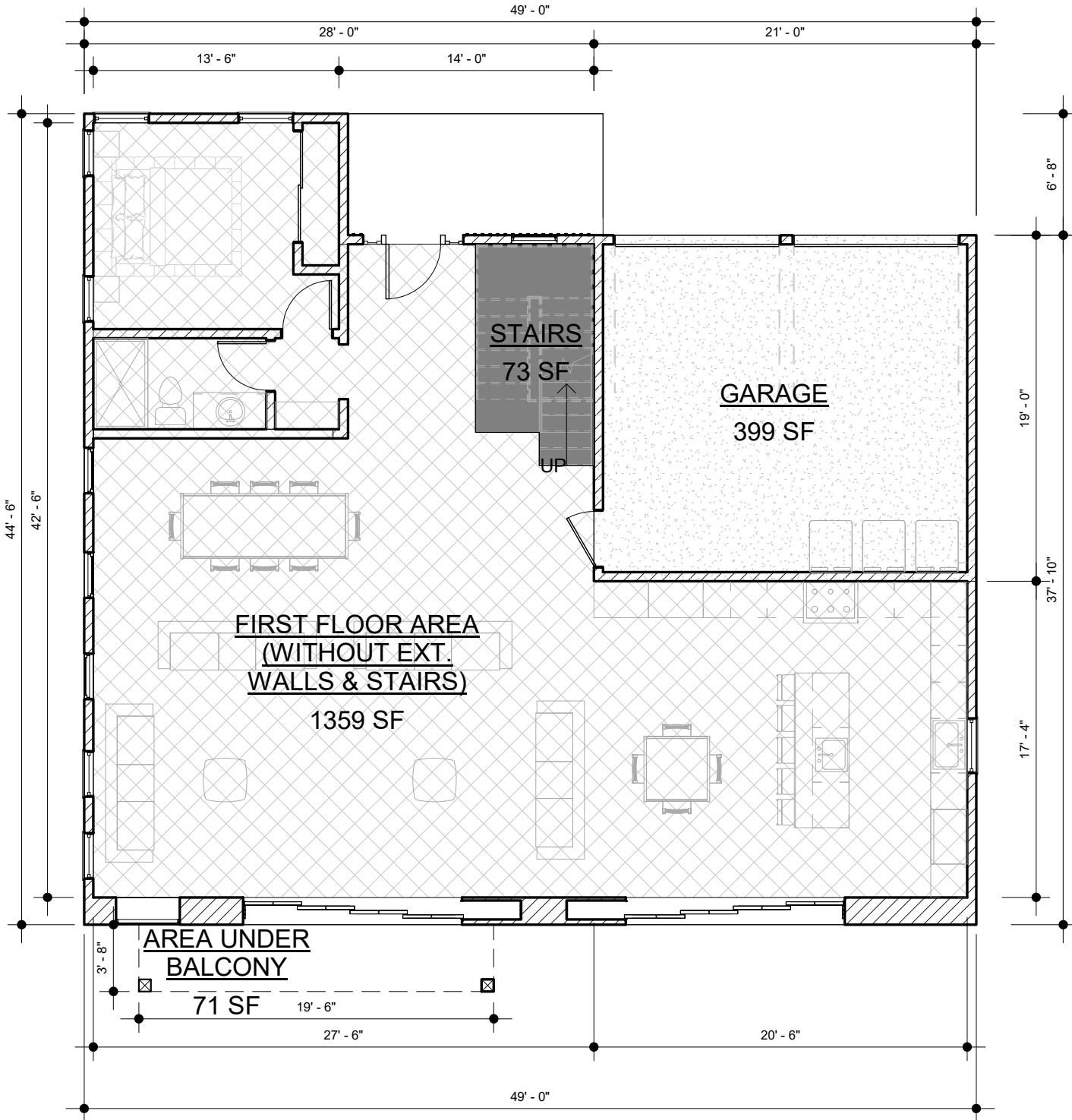
SITE PLAN

A0.1

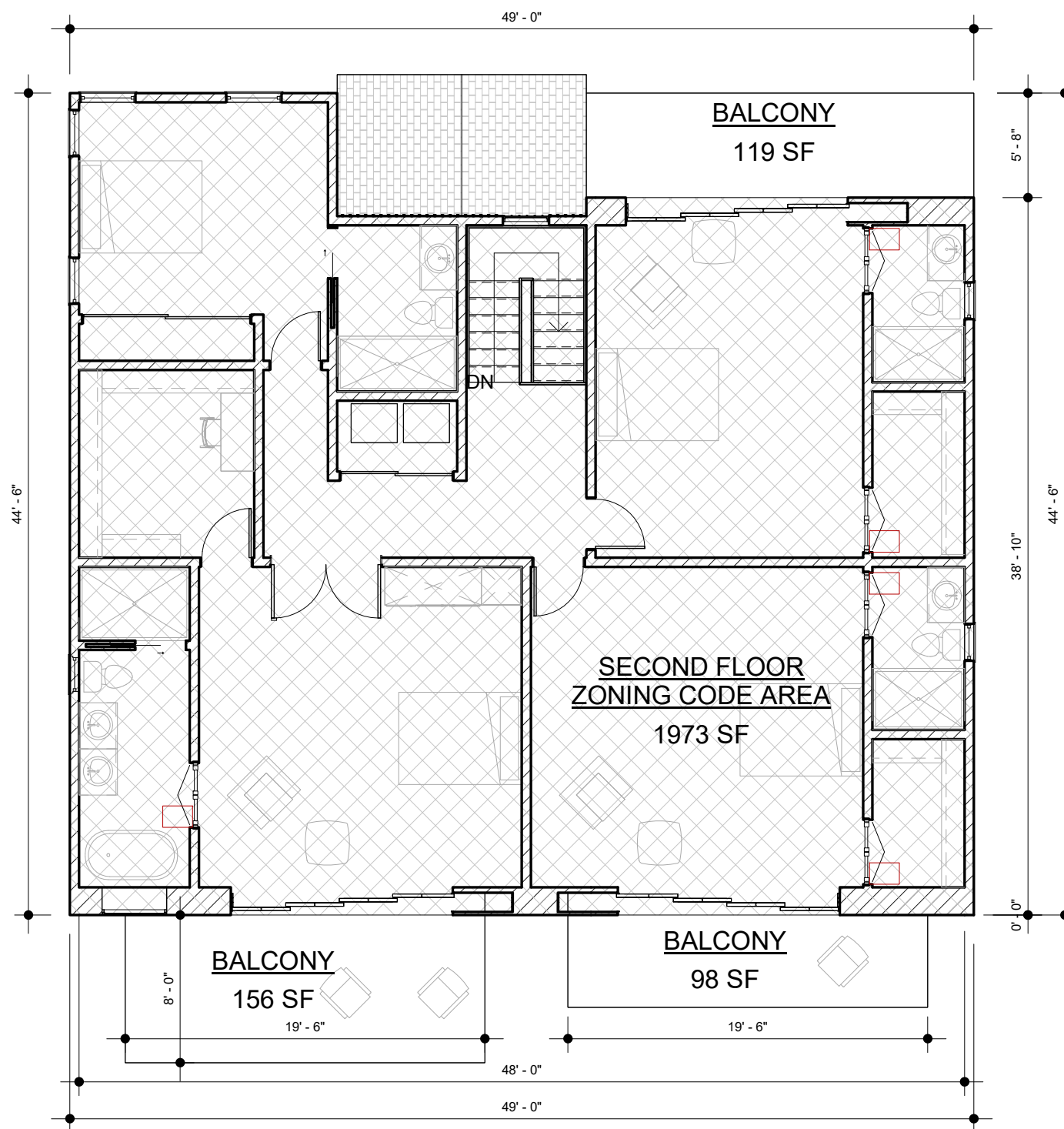




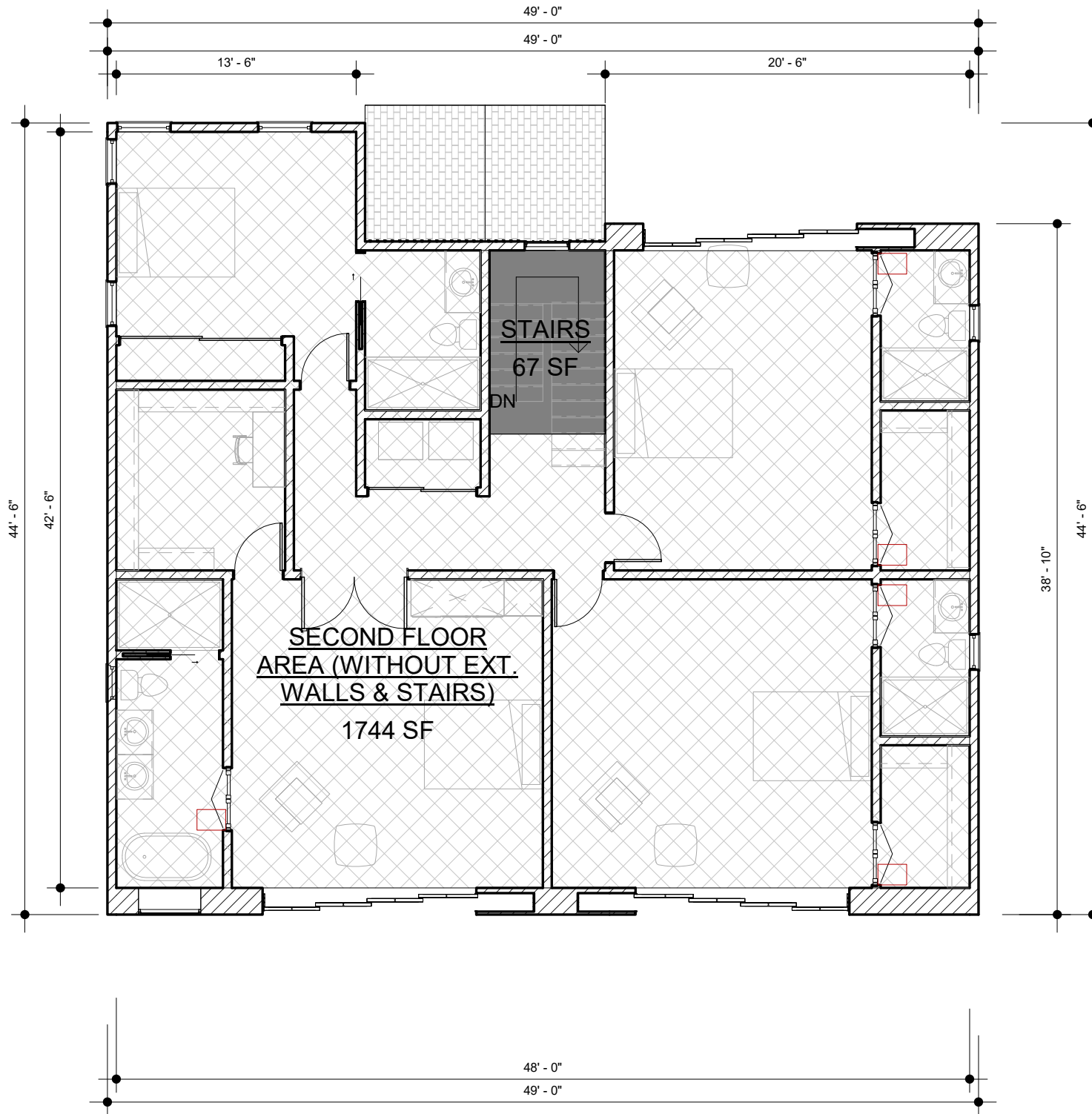
1 FIRST FLOOR - BUILDING CODE AREA  
1/8" = 1'-0"



3 FIRST FLOOR - RFA  
1/8" = 1'-0"



2 SECOND FLOOR - BUILDING CODE AREA  
1/8" = 1'-0"



4 SECOND FLOOR - RFA  
1/8" = 1'-0"

BUILDING CODE FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,553
FRONT PORCH	93
AREA UNDER THE BALCONY	71
GARAGE	399
SECOND FLOOR	1,973
TOTAL BUILDING CODE AREA	4,089

RESIDENTIAL FLOOR AREA AND SCHOOL FEE	
LEVEL	SF
FIRST FLOOR	1,359
FRONT PORCH	93
AREA UNDER THE BALCONY	71
STAIRS AT FIRST FLOOR	73
SECOND FLOOR	1,744
GARAGE ( -200 SF EXEMPTION )	199
TOTAL RFA & SCHOOL FEE AREA	3,539

U OCCUPANCY FLOOR AREA	
LEVEL	SF
GARAGE	399
TOTAL	399
R3 OCCUPANCY FLOOR AREA	
FIRST FLOOR	1,596
SECOND FLOOR	1,943
TOTAL	3,539



EXHIBIT "A"  
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SHEET NAME  
SHEET NAME  
AREA ANALYSIS  
SCALE  
1/8" = 1'-0"

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1/8" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
AREA ANALYSIS

A0.2



KEY MAP



PREVAILING SETBACK CALCULATION :

NUMBER OF LOTS: 17

PREVAILING SETBACK: 19.83 FT

TOTAL NO OF LOTS ENTERED: 17

TOTAL FRONTAGE ENTERED: 1120.54 FT

40% FROM TOTAL FRONTAGE ENTERED: 448.22 FT

NO OF LOTS USED IN THE CALCULATION: 12

SETBACK RANGE USED: 19.00 FT - 20.50 FT

TOTAL FRONTAGE USED IN THE CALCULATION: 730.73 FT

Add Lot

Enter the Lot Information after adding rows:

Lot	Frontage (ft)	Setback (ft)
1	99.41	30.5
2	92.2	19.3
3	52.98	20.2
4	72.6	2.5
5	72.6	0
6	72.6	20
7	72.6	20
8	48.4	20.4
9	48.4	19.8
10	48.4	20
11	75	19
12	70	19.2
13	70	68.2
14	75.2	72.8
15	50	19.8
16	50	20.5
17	50.15	19.7

Clear

Calculate

Results

Number of lots: 17

Prevailing Setback: 19.83 ft

Calculation

Total no of lots entered: 17

Total frontage entered: 1120.54 ft

40% from total frontage entered: 448.22 ft

No of lots used in the calculation: 12

Setback range used: 19.00 ft - 20.50 ft

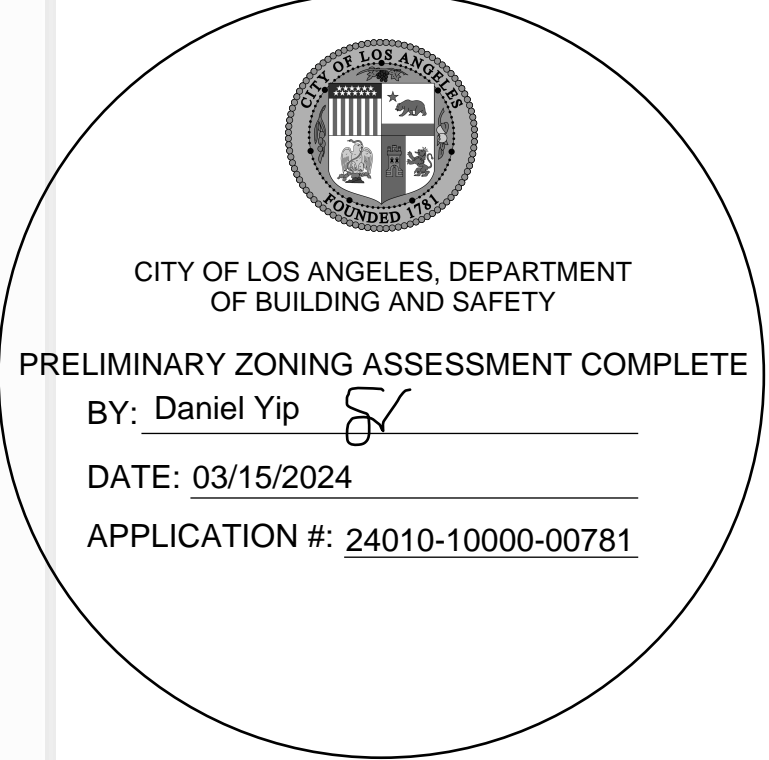
Total frontage used in the calculation: 730.73 ft

Lots Used

Lot	Frontage (ft)	Setback (ft)
2	92.20	19.30
3	52.98	20.20
6	72.60	20.00
7	72.60	20.00
8	48.40	20.40
9	48.40	19.80
10	48.40	20.00
11	75.00	19.00
12	70.00	19.20
15	50.00	19.80
16	50.00	20.50
17	50.15	19.70

View Calculation Details

EXHIBIT "A"



Setback Range Used (ft)	No Lots Used	Lots Designation	Frontages Used (ft)	Total Frontage (ft)	Setbacks Used (ft)	Total Setback (ft)
19.00 - 20.50	12	2, 3, 6, 7, 8, 9, 10, 11, 12, 15, 16, 17	92.20, 52.98, 72.60, 72.60, 48.40, 48.40, 48.40, 75.00, 70.00, 50.00, 50.00, 50.15	730.73	19.30, 20.20, 20.00, 20.00, 20.40, 19.80, 20.00, 19.00, 19.20, 19.80, 20.50, 19.70	237.90

COMPLETE PACKAGE DRAFTING

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PROPERTY ADDRESS  
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ENCINO, CA 91316

SHEET NAME

SHEET NAME  
PREVAILING SETBACK  
CALCULATION  
SCALE  
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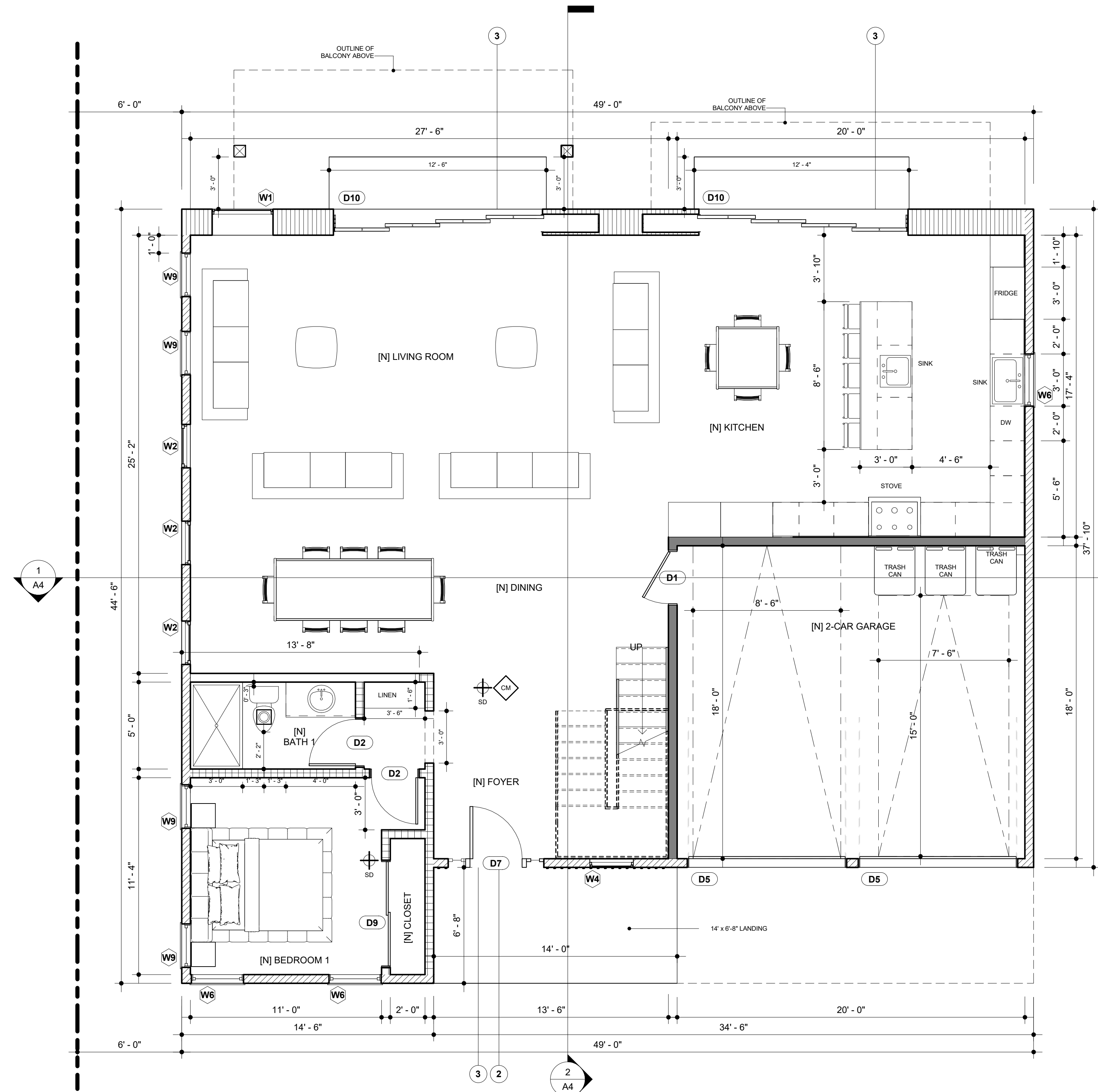
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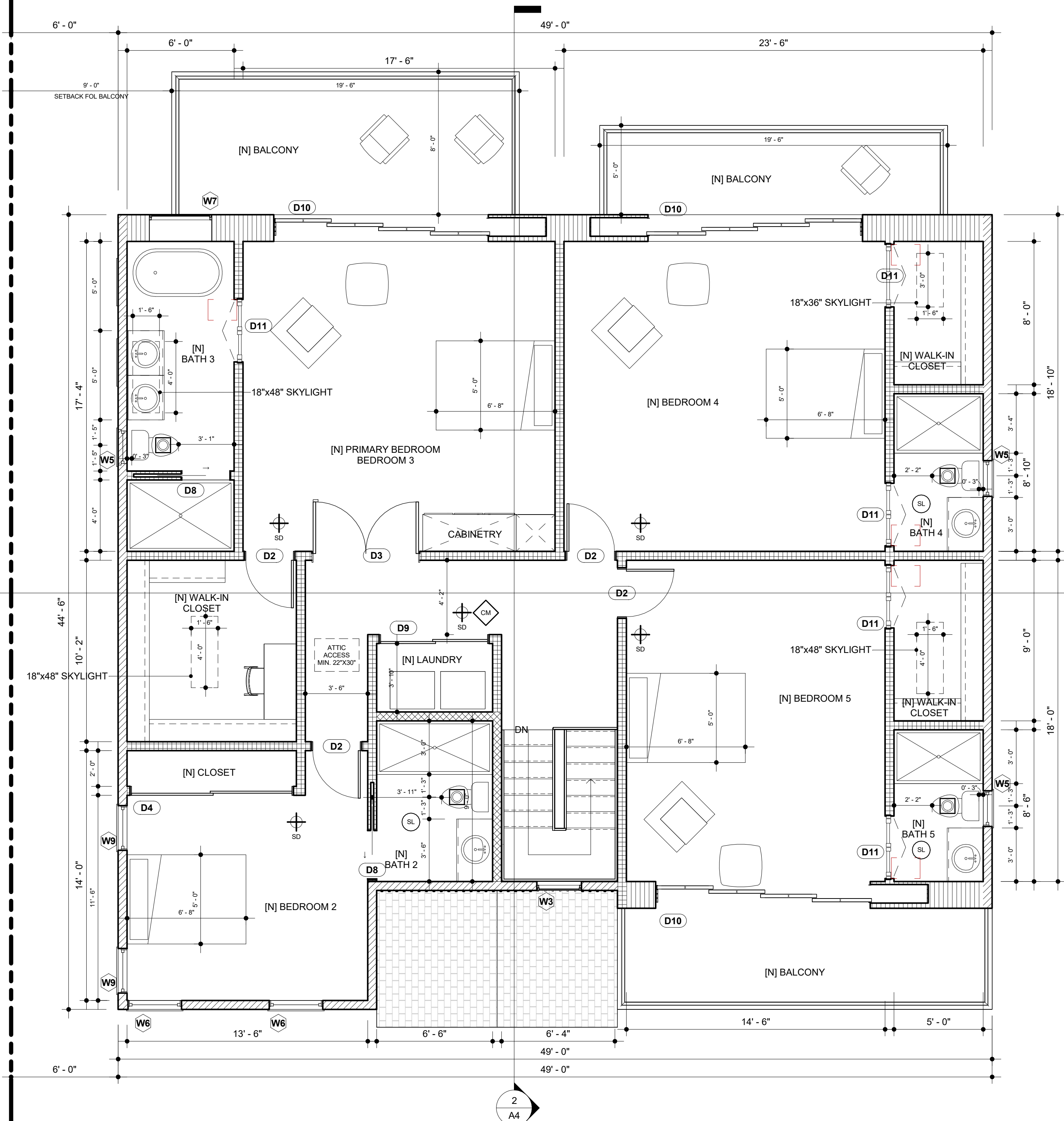
SHEET TITLE  
PREVAILING  
SETBACK  
CALCULATION

A0.3





1 PROPOSED FIRST FLOOR PLAN - SFD A  
1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN - SFD A  
1/4" = 1'-0"

#### LEGEND



HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP  
CARBON MONOXIDE - HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP  
SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3

MECHANICAL VENT, 7 1/2 CFM AIR CHANGE PER PERSON, ENERGY STAR, EXHAUST FANS COMPLY WITH THE FOLLOWING:

- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- MIN. 50 CFM.

	2x4 EXISTING MODIFIED WALL		1-HR FIRE RATED & 50 STC SOUNDPROOFING WALL PER LABDS P/B/C 2020-069 ON SHEET N4.
	2x6 NEW EXTERIOR WALL		NEW OVERSIZED WALL FOR BIFOLD DOORS
	2x6 NEW PLUMBING WALL		2x4 NEW INTERIOR WALL

WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	TYPE	TEMPERED	NOTES
W1	3' - 6"	6' - 6"	FIXED		
W2	2' - 6"	7' - 0"	TRIPLE HUNG		
W3	2' - 6"	6' - 0"	FIXED		
W4	2' - 6"	2' - 6"	FIXED		
W5	2' - 0"	4' - 0"	HUNG	YES	
W6	3' - 0"	5' - 0"	HUNG		
W7	3' - 6"	4' - 0"	FIXED	YES	
W9	2' - 6"	5' - 0"	HUNG		

EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENING WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):

- MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMAWDMACSA 101/1.5.2/A40.
- MINIMUM 20-MIN FIRE-RESISTANCE-RATED.
- MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	NOTES
D1	3' - 0"	7' - 0"	SWINGING	
D2	2' - 8"	7' - 0"	SWINGING	
D3	6' - 0"	7' - 0"	SWINGING	
D4	9' - 0"	7' - 0"	SLIDING	
D5	9' - 0"	7' - 0"	ROLLING	
D7	3' - 0"	8' - 0"	SWINGING	
D8	2' - 8"	7' - 0"	SLIDING	
D9	6' - 0"	7' - 0"	SLIDING	
D10	12' - 0"	8' - 0"		
D11	3' - 6"	7' - 0"	FOLD	

EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):

- EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
- SOLID CORE WOOD COMPLYING WITH THE FOLLOWING:
  - STILES AND RAILS MINIMUM 1-3/8 INCHES THICK.
  - RAISED PANELS MINIMUM 1-1/4 INCHES THICK.
  - EXCEPTION: EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8 INCHES THICK.
- MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 262.
- MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

#### KEY NOTES:

- THE INTERIOR WALLS CAN BE 2x4 STUDS.
- THE ENTRY DOOR NEEDS TO BE RECESSED BY 3".
- EXTERIOR SIDE OF THE DOOR SHALL NOT EXCEED 1.5 INCHES IF IT SWINGS OVER A LANDING OR 7.67 INCHES IF IT DOES NOT SWING OVER A LANDING.

#### NOTES FOR PLANNING:

- THE NEW LOT FACING DELANDER WILL HAVE THE SAME FLOOR PLAN BUT DIFFERENT ORIENTATION (AS ATTACHED PER PLAN ), AND IT WILL NOT BE AN EXISTING WALL TO REMAIN.
- PRELIMINARY ZONING ASSESSMENT BY: Daniel Yip
- DATE: 03/15/2024
- APPLICATION #: 24010-10000-0699

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#### FIRE PROTECTION NOTES

- SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING ROOM, ON THE CEILING OR WALL IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ON STORY (907.2.11.1, R314.3).
- THE POWER SOURCE FOR SMOKE DETECTORS SHALL BE AS FOLLOWS:
  - IN NEW CONSTRUCTION SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK UP (907.2.11.1, R314.4).
  - IN EXISTING SFD, SMOKE DETECTORS MAY BE BATTERY OPERATED (907.2.11.1, R314.4).
- CARBON MONOXIDE ALARM IS REQUIRED PER SECTION 420.4, R316).
- SPRINKLER SYSTEM SHALL BE REQUIRED FOR ADU IF THE EXISTING DWELING HAS DIFFERENT ORIENTATION AS ATTACHED PER PLAN AND SAFETY EXISTING WALL TO REMAIN.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLICATIONS ARE INSTALLED AND DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SERIATE DWELLING UNITS SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF DWELLING UNIT INCLUDING BASEMENTS (R316).
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE (R303.9).
- DOORS:
  - DOORS AND ENCLOSURE FOR HOT TUB, BATHUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING) THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE.
  - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR WITHIN 6' OF STANDING SURFACE.
  - IN WALL ENCLOSING STAIRWAY LANDING.
  - GUARD AND HANDRAILS.



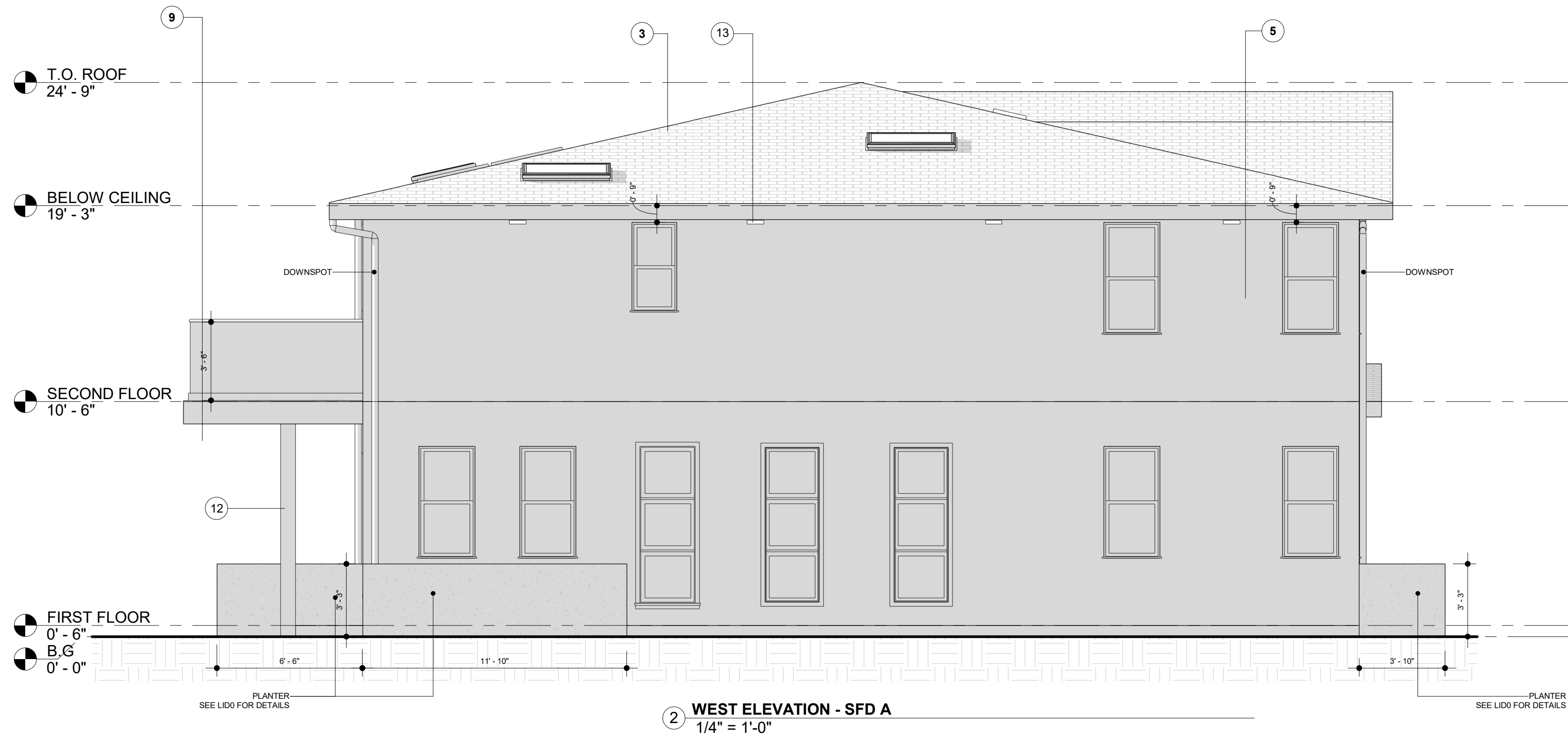
PROJECT  
17820 W ERWIN ST.  
PROPERTY ADDRESS  
17820 W ERWIN ST.  
ENCINO, CA 91316

SHEET NAME  
PROPOSED FLOOR PLAN - SFD A  
SHEET NUMBER  
17820 W ERWIN ST.  
SCALE  
1/4" = 1'-0"

SCALE  
1/4" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
PROPOSED  
FLOOR PLAN -  
SFD A

A1





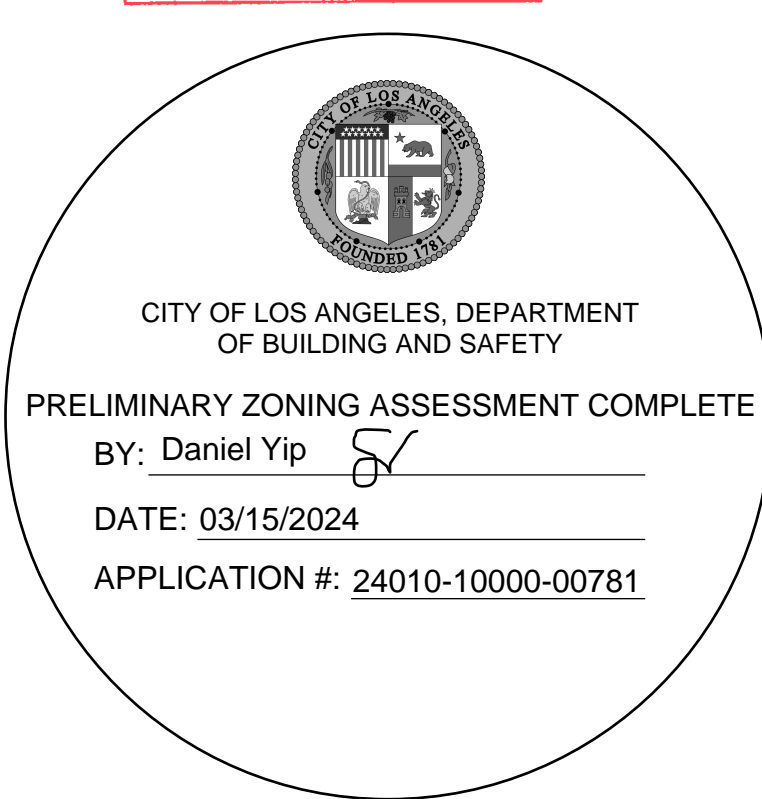
#### SECTION NOTES & ELEVATION

- WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS.  
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS
- CEILING INSULATION: R-30 PER TITLE 24.
- ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD -. COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.  
ROOF INSULATION: R-19 PER TITLE 24.
- FLOOR JOIST PER STRUCTURAL PLAN.  
INSULATION: R-30 PER TITLE 24.
- EXTERIOR WALL/PLUMBING WALL: 2x6 STUD WALL.
- INTERIOR WALL: 2x4 STUD WALL.
- ATTIC VENT.
- EXISTING / NEW FOUNDATION.
- 7/8" NON-REFLECTIVE ARTMESIA EARTH TONE COLOR, 2 LAYERS OF GRADE D (ASTM E2556, TYPE1) PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH [2510.6, R703.7.3].  
OR MARBLE STONE LOOK WALL TILE (6 SQ. FT./CASE), BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
- THE HEIGHT BETWEEN FLOOR AND CELLING ON ALL FLOORS MUST BE EQUAL.
- BUILDER TO COUNT FOR STACK UP TOLERANCE, SOFFIT, AND DROP CEILINGS AND SUBMIT SHOP DRAWINGS TO OWNER OR DESIGNER.
- POST PER STRUCTURAL PLAN.
- EXTERIOR LIGHTING, NO POINTING TO OUTSIDE.
- FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

#### NOTES FOR PLANNING:

- THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN ).

**EXHIBIT "A"**  
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#### PROJECT

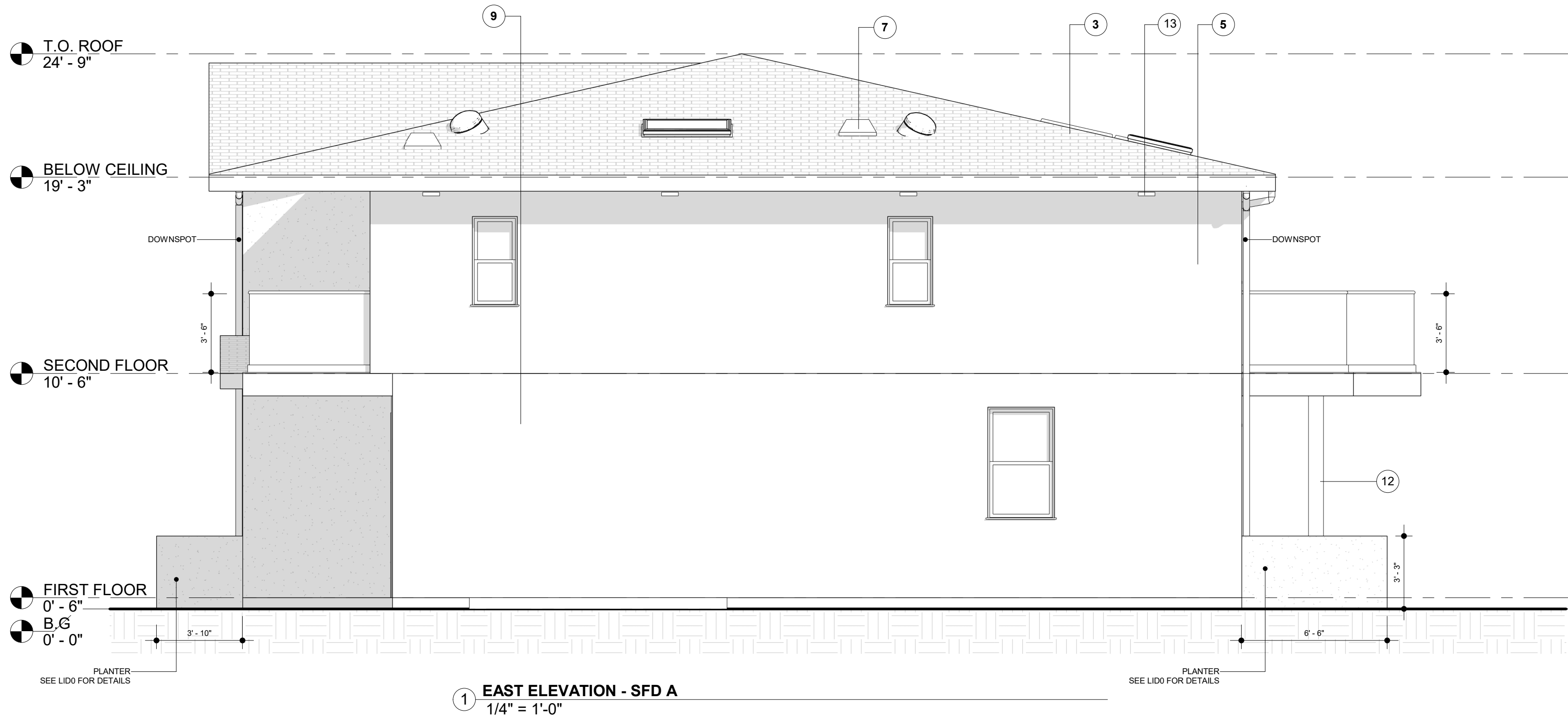
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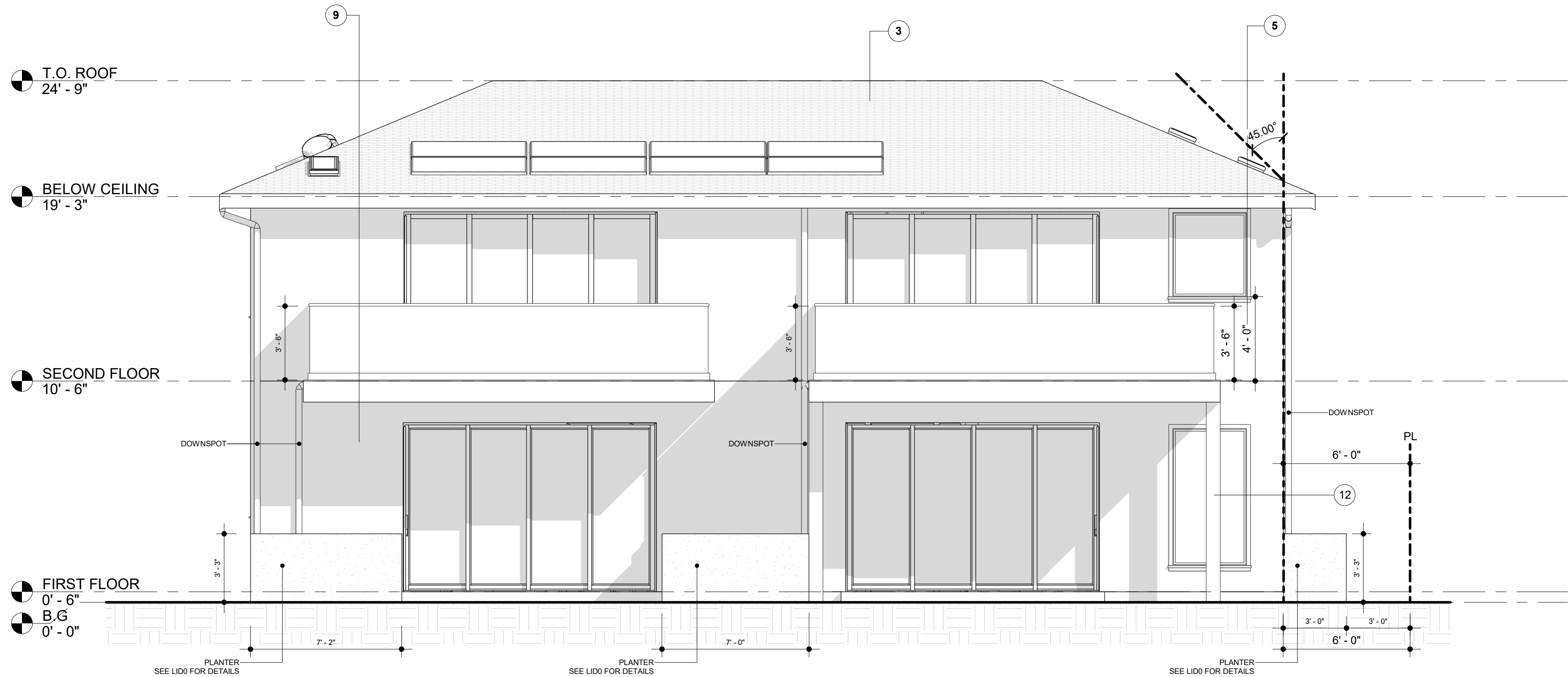
SHEET NAME  
ELEVATIONS - SFD A  
SCALE  
1/4" = 1'-0"

SCALE  
1/4" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
ELEVATIONS -  
SFD A

A2



1 EAST ELEVATION - SFD A  
1/4" = 1'-0"



2 NORTH ELEVATION - SFD A  
1/4" = 1'-0"

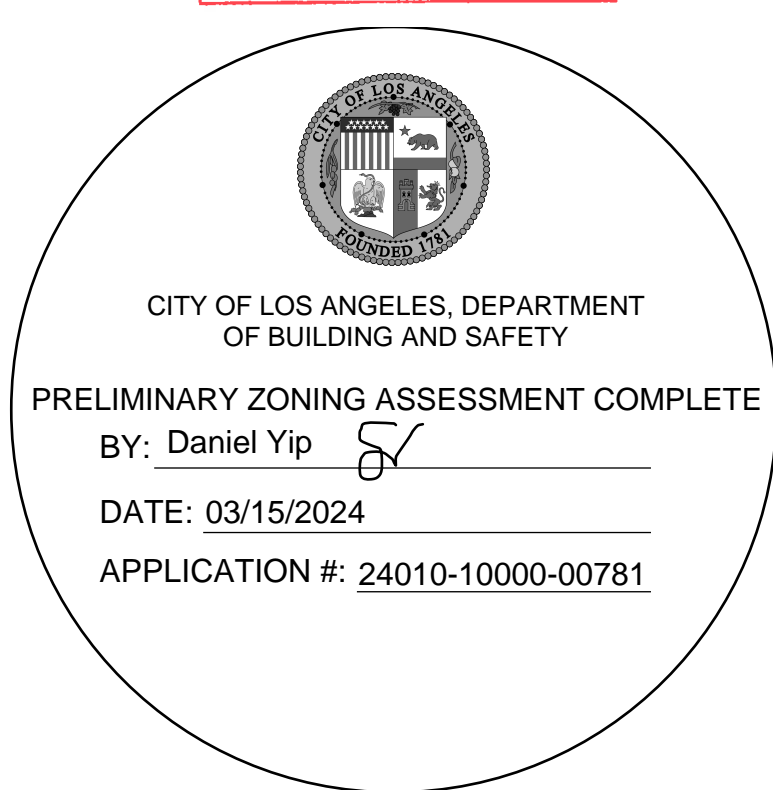
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9. 7/8" NON-REFLECTIVE ARTMESIA EARTH TONE COLOR, 2 LAYERS OF GRADE D (ASTM E2556, TYPE1) PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH [2510.6, R703.7.3].  
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10. THE HEIGHT BETWEEN FLOOR AND CELLING ON ALL FLOORS MUST BE EQUAL.
11. BUILDER TO COUNT FOR STACK UP TOLERANCE, SOFFIT, AND DROP CEILINGS AND SUBMIT SHOP DRAWINGS TO OWNER OR DESIGNER.
12. POST PER STRUCTURAL PLAN.
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SHEET TITLE  
ELEVATIONS -  
SFD A

A3





PROJECT

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17820 W ERWIN ST.  
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SHEET NAME

SHEET NAME  
SECTIONS - SFD A  
SCALE  
1/4" = 1'-0"

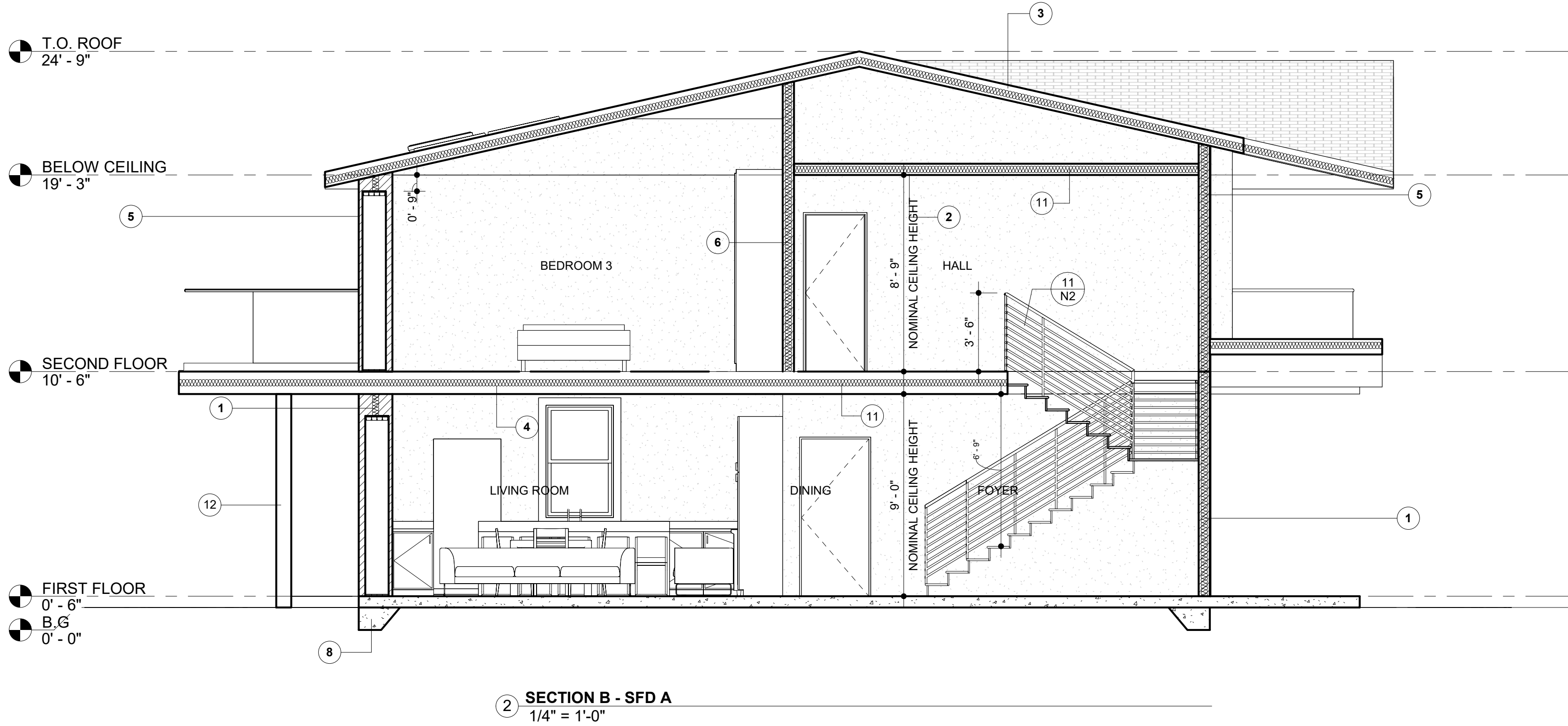
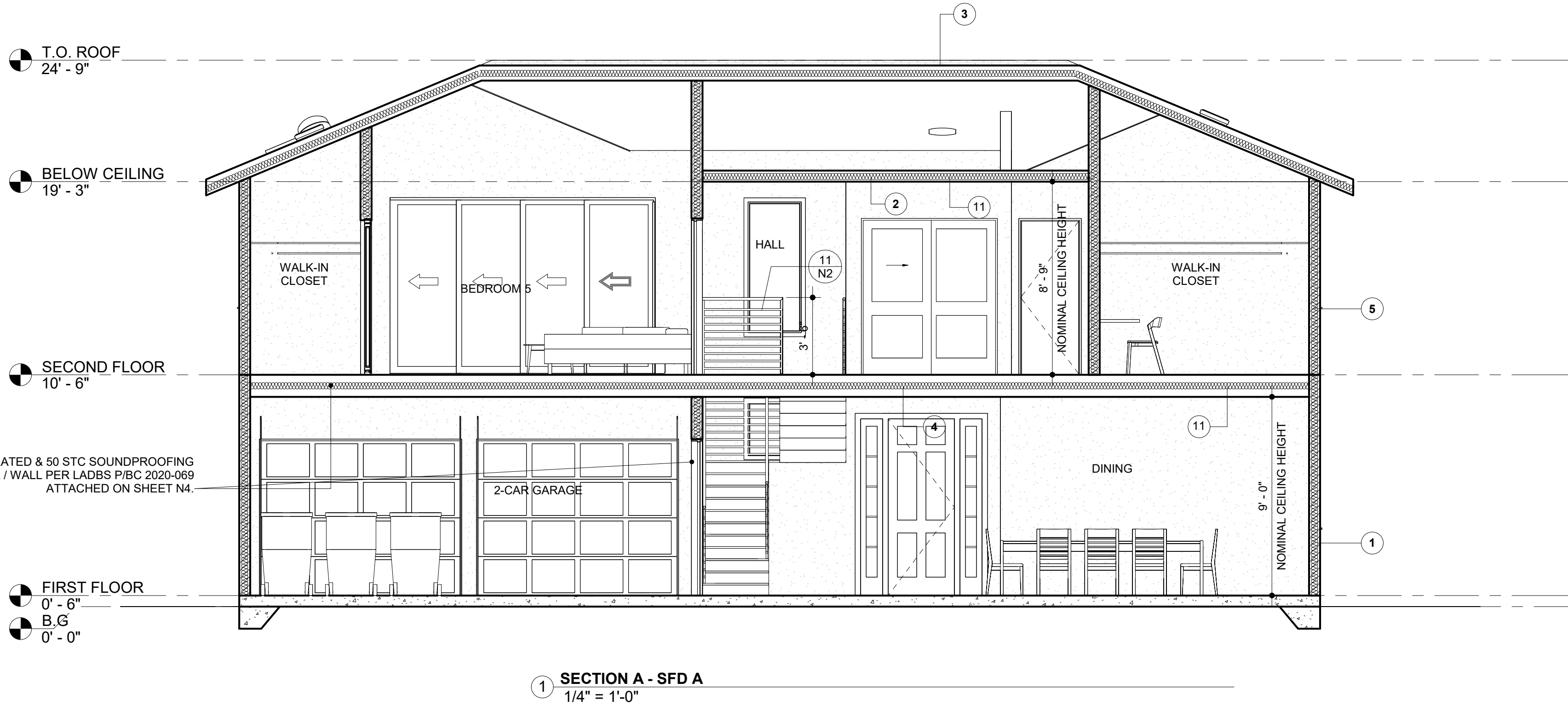


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- BUILDER TO COUNT FOR STACK UP TOLERANCE, SOFFIT, AND DROP CEILINGS AND SUBMIT SHOP DRAWINGS TO OWNER OR DESIGNER.
- POST PER STRUCTURAL PLAN.
- EXTERIOR LIGHTING, NO POINTING TO OUTSIDE.
- FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR, BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

NOTES FOR PLANNING:

- THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN ).

NOTES

- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
- OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).
- THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)
- MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)

SCALE  
1/4" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
SECTIONS - SFD  
A

A4

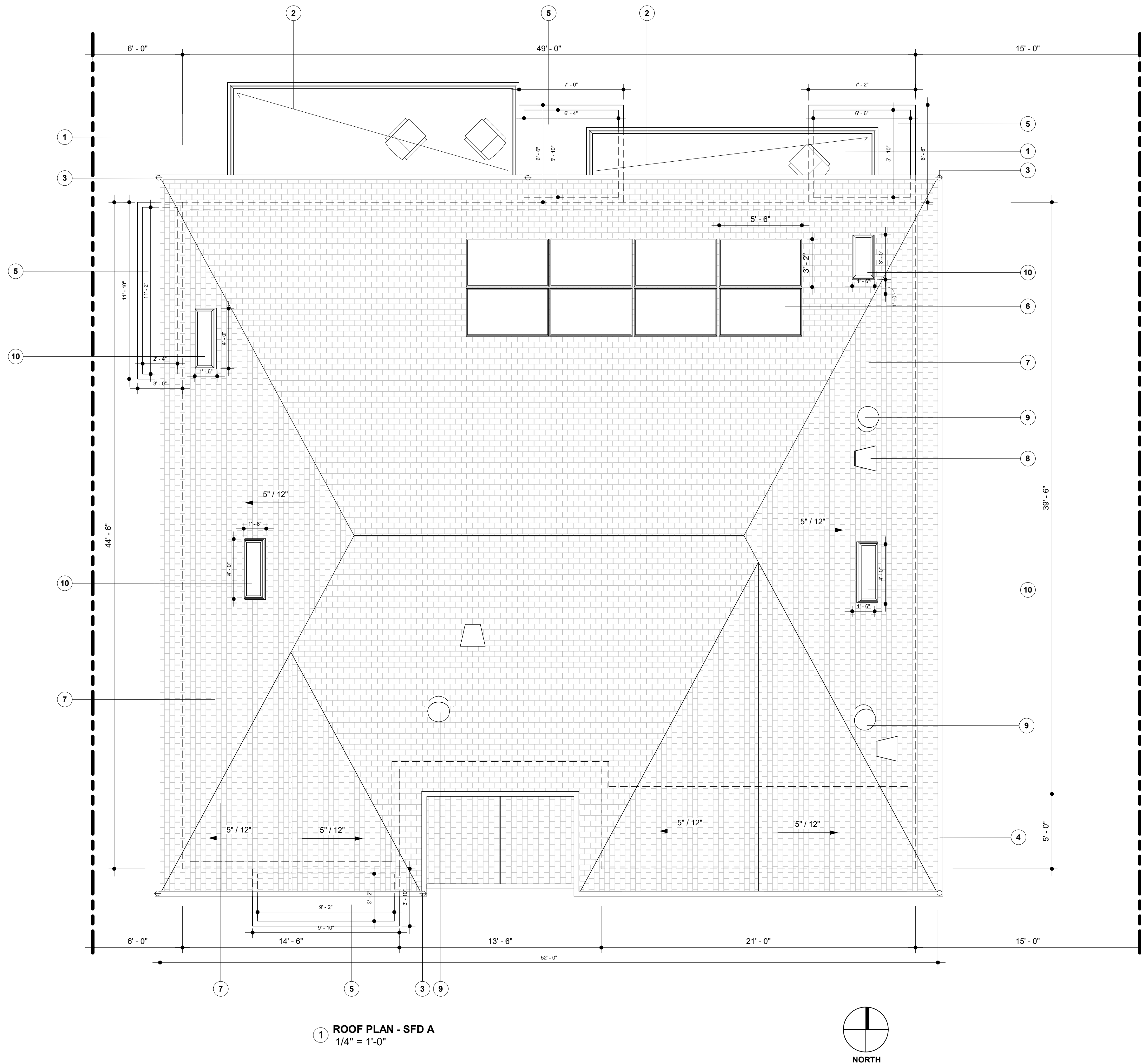




**EXHIBIT "A"**  
Page No. 9 of 19  
Case No. APCS-2023-4402-ZC-HCA



CITY OF LOS ANGELES, DEPARTMENT  
OF BUILDING AND SAFETY  
PRELIMINARY ZONING ASSESSMENT COMPLETE  
BY: Daniel Yip  
DATE: 03/15/2024  
APPLICATION #: 24010-10000-00781



1 ROOF PLAN - SFD A  
1/4" = 1'-0"

**ROOF NOTES**

- PROPERTY LINE  
GUTTER DOWNSPOUT WITH SCREEN

DESCRIPTION	QUANTITY	UNIT
2ND FLOOR ROOF	2,303	SF
1ST FLOOR ROOF	69	SF
TOTAL ROOF	2,372	SF

**ATTIC VENT CALCULATION:**

ATTIC AREA OVER HALLWAY & BATH 2 : 280.7 SQ.FT.  
280.7 / 150 = 1.87 SQ.FT. REQUIRED

ATTIC AREA OVER BATH 4 : 45 SQ.FT.  
45 / 150 = 0.3 SQ.FT. REQUIRED

ATTIC AREA OVER BATH 5 : 50 SQ.FT.  
50 / 150 = 0.33 SQ.FT. REQUIRED

PROVIDED: 3 x 2.2 = 6.6 SQ.FT.

PROVIDED > REQUIRED

**SEE SHEET A2 & A3 FOR VENTS SIZES AND LOCATIONS.**

**SOLAR PANEL CALCULATION:**

3.07 KW REQUIRED PER TITLE 24

(3.07 x 1000) / 430 = 7.13 MIN. NUMBER OF SOLAR PANEL  
REQUIRED

PROVIDED: 8.

PROVIDED > REQUIRED

**SEE SOLAR PANEL SPEC. SHEET ON SHEET N3.**

**NOTES**

- APPLY WATERPROOFING, SEE ATTACHED ESR-1757 ON SHEET N3.
- SLOPE : 1/4" PER EACH FEET WITH DRAINAGE ROUTED ALL THE WAY DOWN TO THE GROUND LEVEL / PLANTER.
- BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR ROOF SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
- INNER DRAINS, SCUPPERS, OR SIPHONIC ROOF DRAIN IS REQUIRED PRIOR FOR DOWNSPOT.
- PLANTER PER DETAILS ON SHEET LID0.
- SOLAR PANEL PER ATTACHED SPEC. SHEET ON SHEET N3.
- ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD - TO MATCH EXISTING. COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.
- HALF DOME VENT, MIN. 2.2 SQ.FT NET VENT AREA. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR VENT. DESIGNER OR OWNER APPROVAL IS REQUIRED.
- SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3.
- SKYLIGHT. ESR-4108 ATTACHED ON SHEET N3.

**NOTES FOR PLANNING:**

- THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN ).







LEGEND

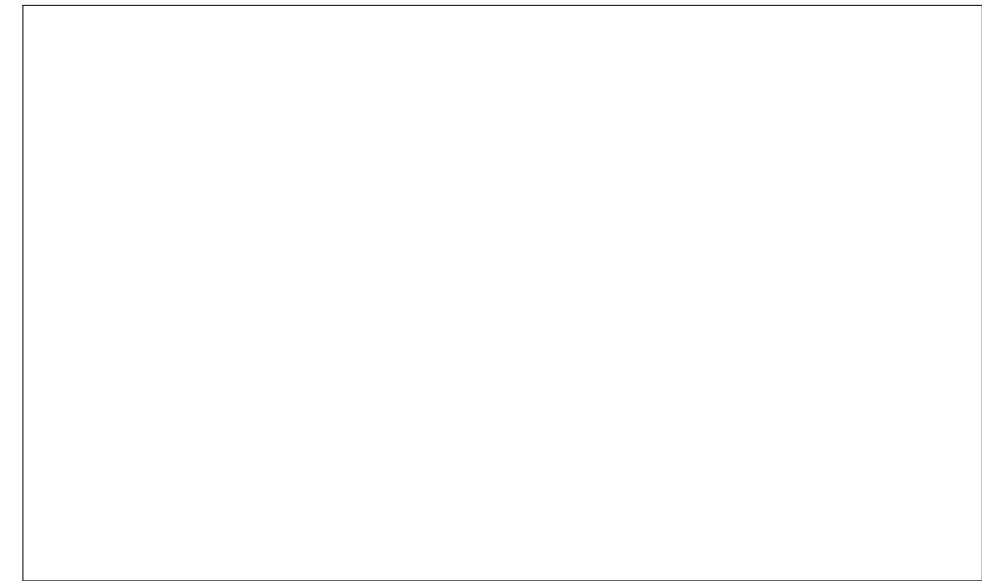
- 1 PROPOSED 2-STORY SINGLE FAMILY DWELLING
- 2 BUILDING ENTRANCE
- 3 DRIVEWAY
- [E] 1-STORY SINGLE FAMILY DWELLING TO BE REMODELED
- PROPOSED SUBDIVISION LOT LINE
- RIGHT-OF-WAY DEDICATION

NOTES

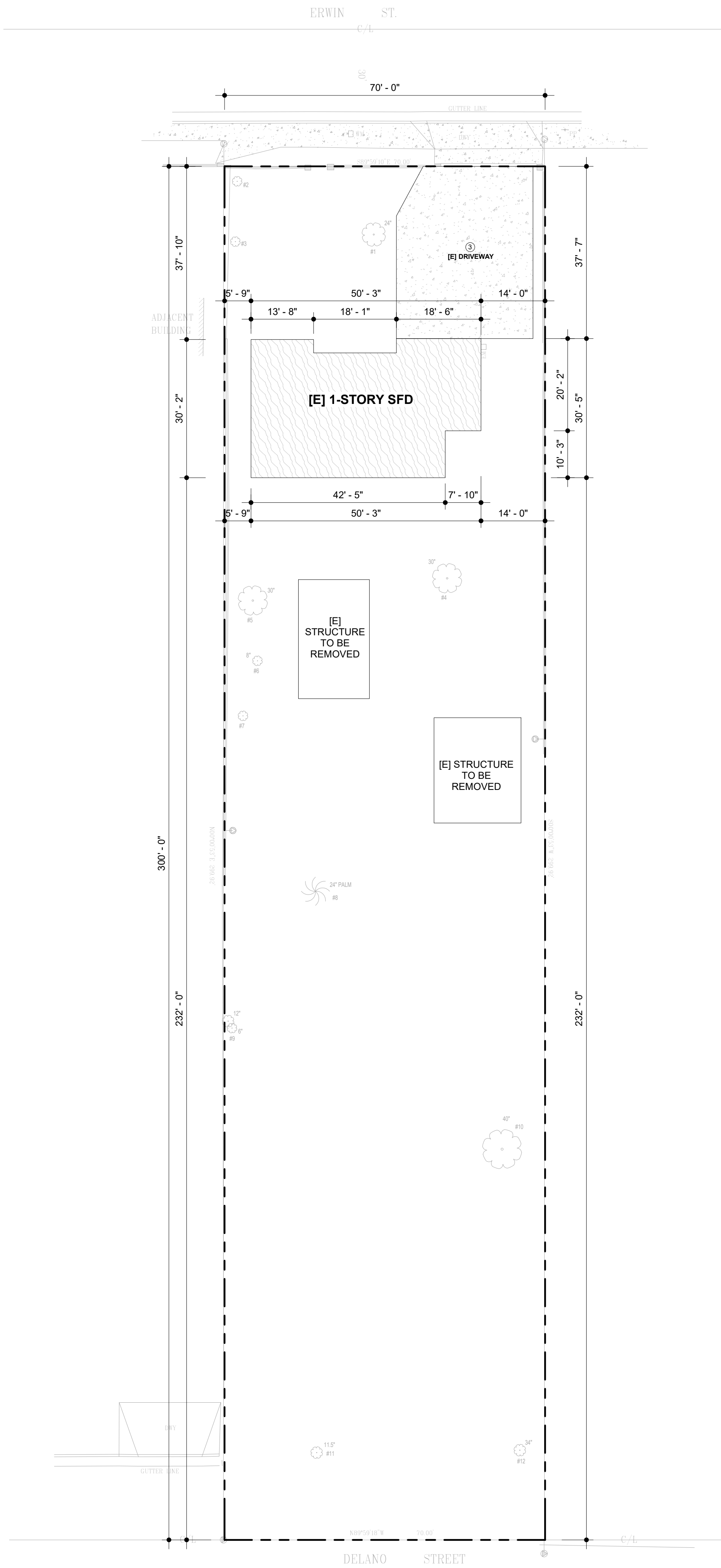
1. EQUIPMENT, ANY EXTERIOR EQUIPMENT (ELECTRICAL TRANSFORMERS, MECHANICAL UNITS, WATER METERS) MUST BE SCREENED FROM PUBLIC VIEW.

AREA TABLE

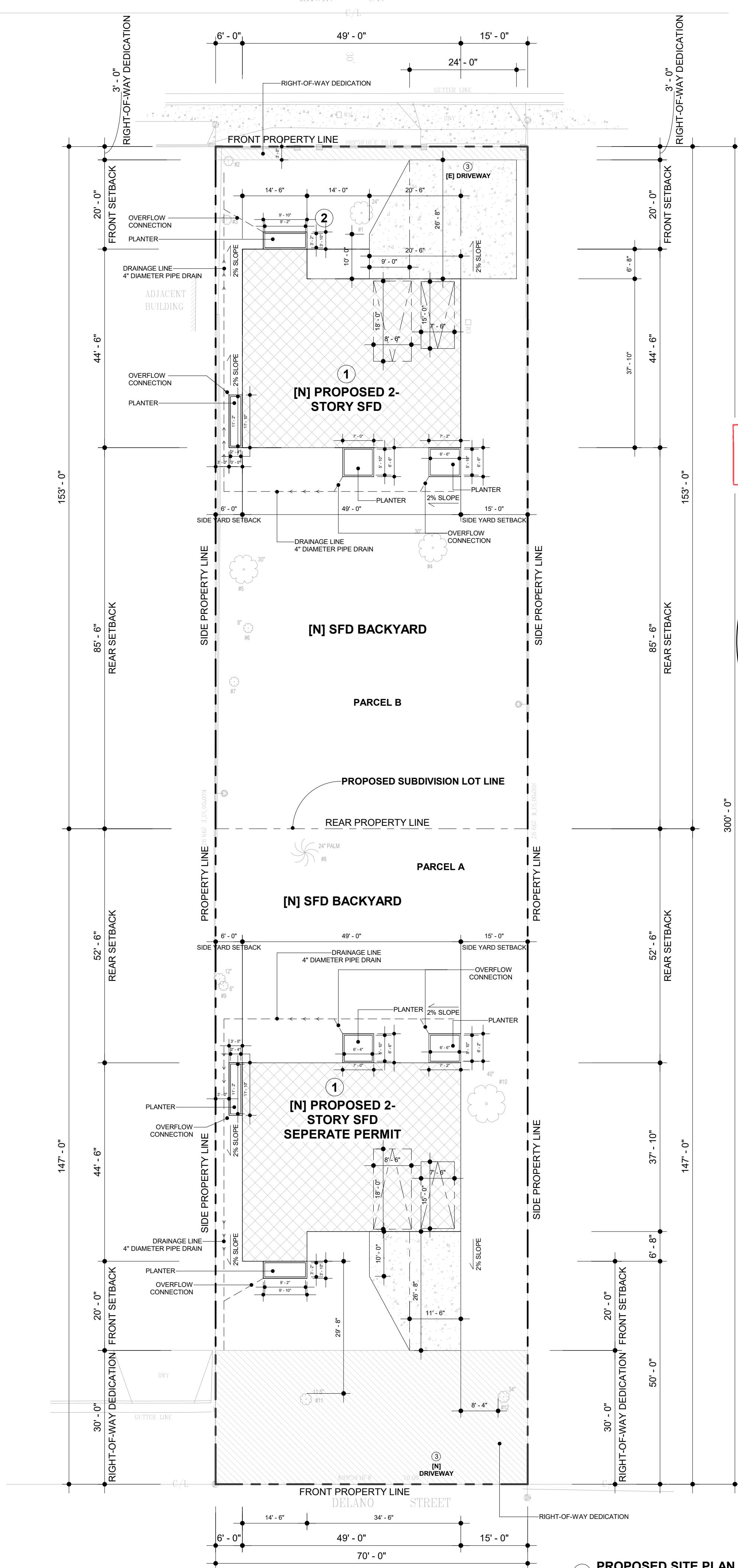
LOT SIZE	18,685	SF
PARCEL "A"	8,188	SF
PARCEL "B"	10,497	SF



ALL PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.



1 EXISTING SITE PLAN  
1/16" = 1'-0"



2 PROPOSED SITE PLAN  
1/16" = 1'-0"

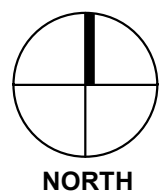


EXHIBIT "A"  
Page No. 11 of 19  
Case No. APCSV-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
PRELIMINARY ZONING ASSESSMENT COMPLETE  
BY: Daniel Yip  
DATE: 03/15/2024  
APPLICATION #: 23016-10000-28628



COMPLETE PACKAGE DRAFTING  
CPdrafting.com  
22815 Ventura Blvd. #227  
Woodland Hills, CA 91364  
Tel: (818) 493-1121  
info@CPdrafting.com



PROJECT

PROJECT  
17820 W ERWIN ST.  
PROPERTY ADDRESS  
17820 W ERWIN ST.  
ENCINO, CA 91316

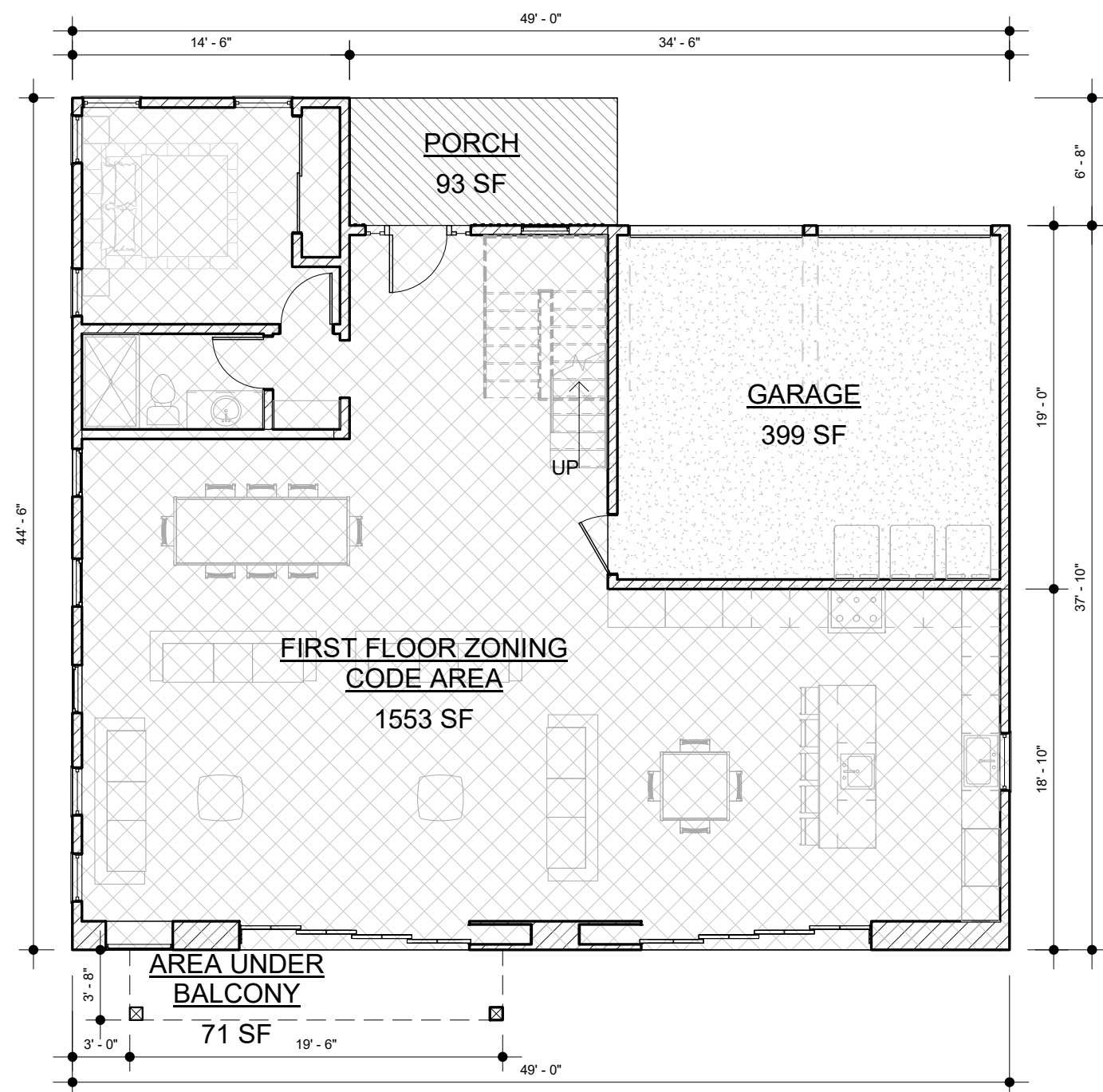
SHEET NAME

SHEET NAME  
SITE PLAN  
SCALE  
1/16" = 1'-0"

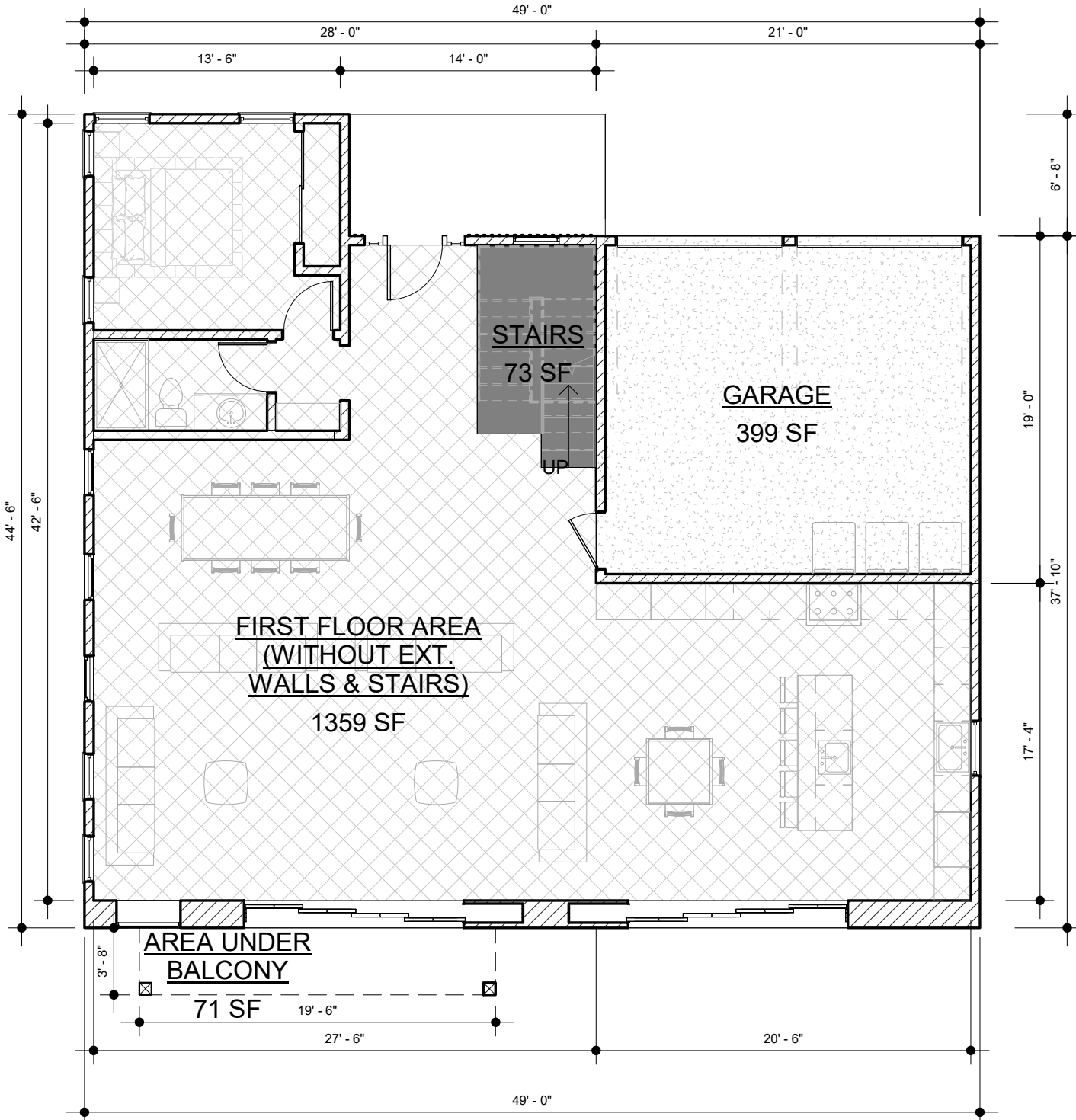
SCALE  
1/16" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
SITE PLAN

A0.1

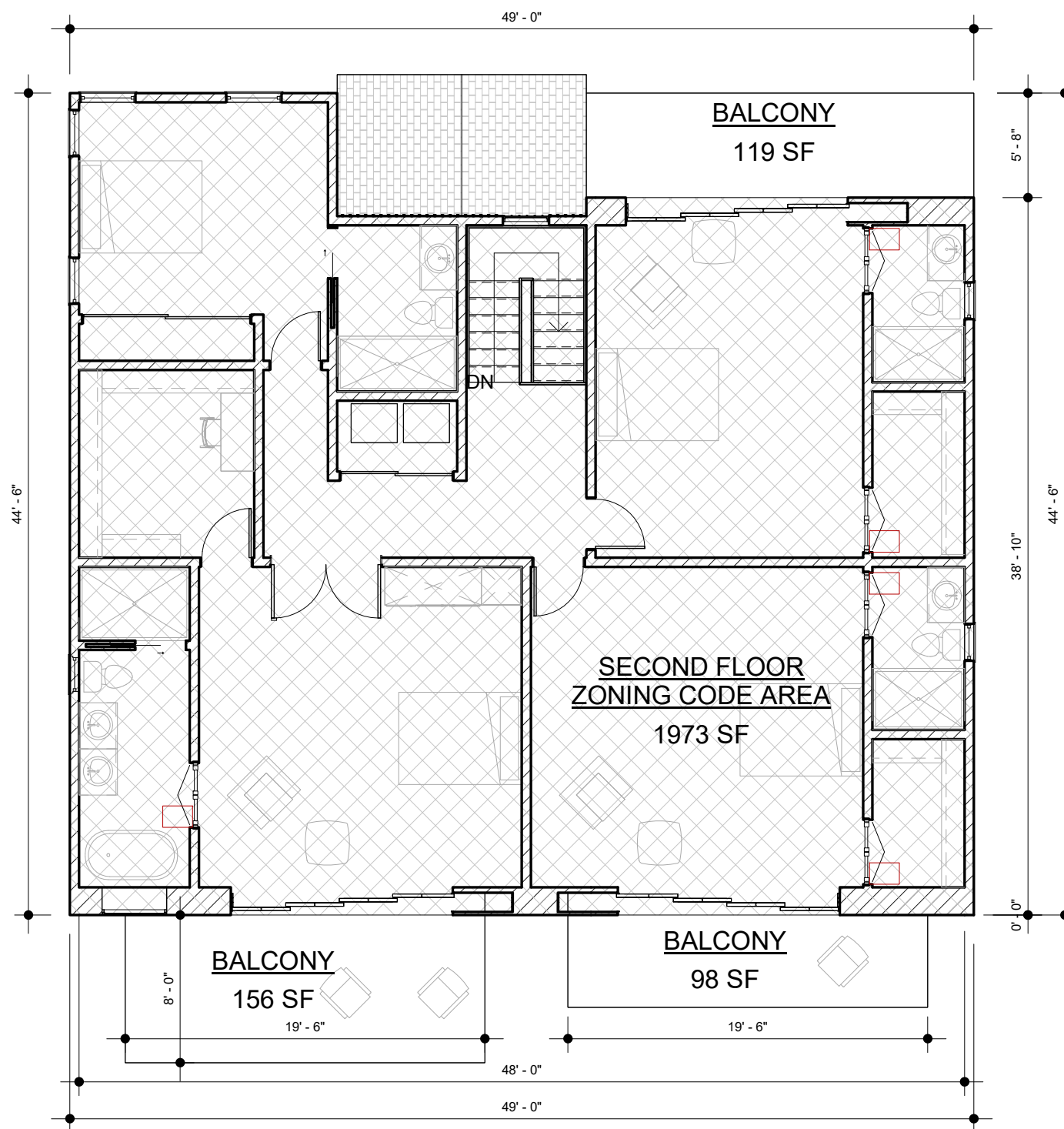




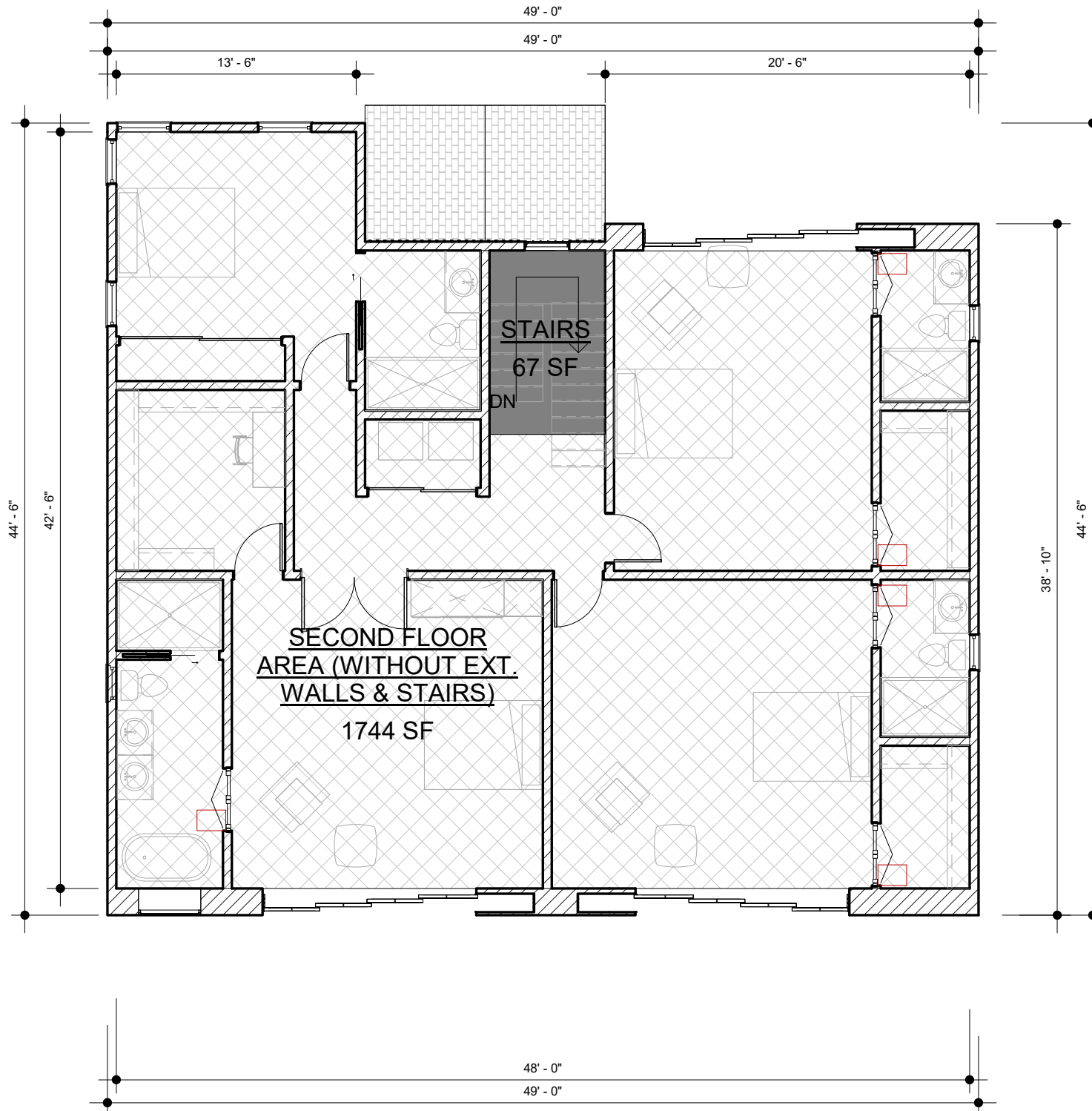
1 FIRST FLOOR - BUILDING CODE AREA  
1/8" = 1'-0"



3 FIRST FLOOR - RFA  
1/8" = 1'-0"



2 SECOND FLOOR - BUILDING CODE AREA  
1/8" = 1'-0"



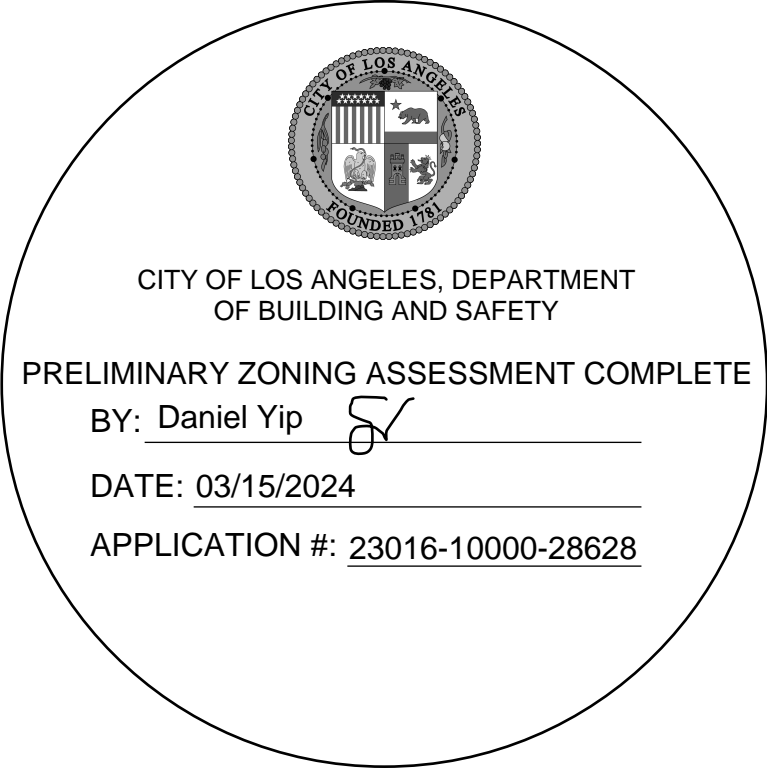
4 SECOND FLOOR - RFA  
1/8" = 1'-0"

BUILDING CODE FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,553
FRONT PORCH	93
AREA UNDER THE BALCONY	71
GARAGE	399
SECOND FLOOR	1,973
TOTAL BUILDING CODE AREA	4,089

RESIDENTIAL FLOOR AREA AND SCHOOL FEE	
LEVEL	SF
FIRST FLOOR	1,359
FRONT PORCH	93
AREA UNDER THE BALCONY	71
STAIRS AT FIRST FLOOR	73
SECOND FLOOR	1,744
GARAGE ( -200 SF EXEMPTION )	199
TOTAL RFA & SCHOOL FEE AREA	3,539

U OCCUPANCY FLOOR AREA	
LEVEL	SF
GARAGE	399
TOTAL	399
R3 OCCUPANCY FLOOR AREA	
FIRST FLOOR	1,596
SECOND FLOOR	1,943
TOTAL	3,539

EXHIBIT "A"  
Page No. 12 of 19  
Case No. APCSV-2023-4402-ZC-HCA



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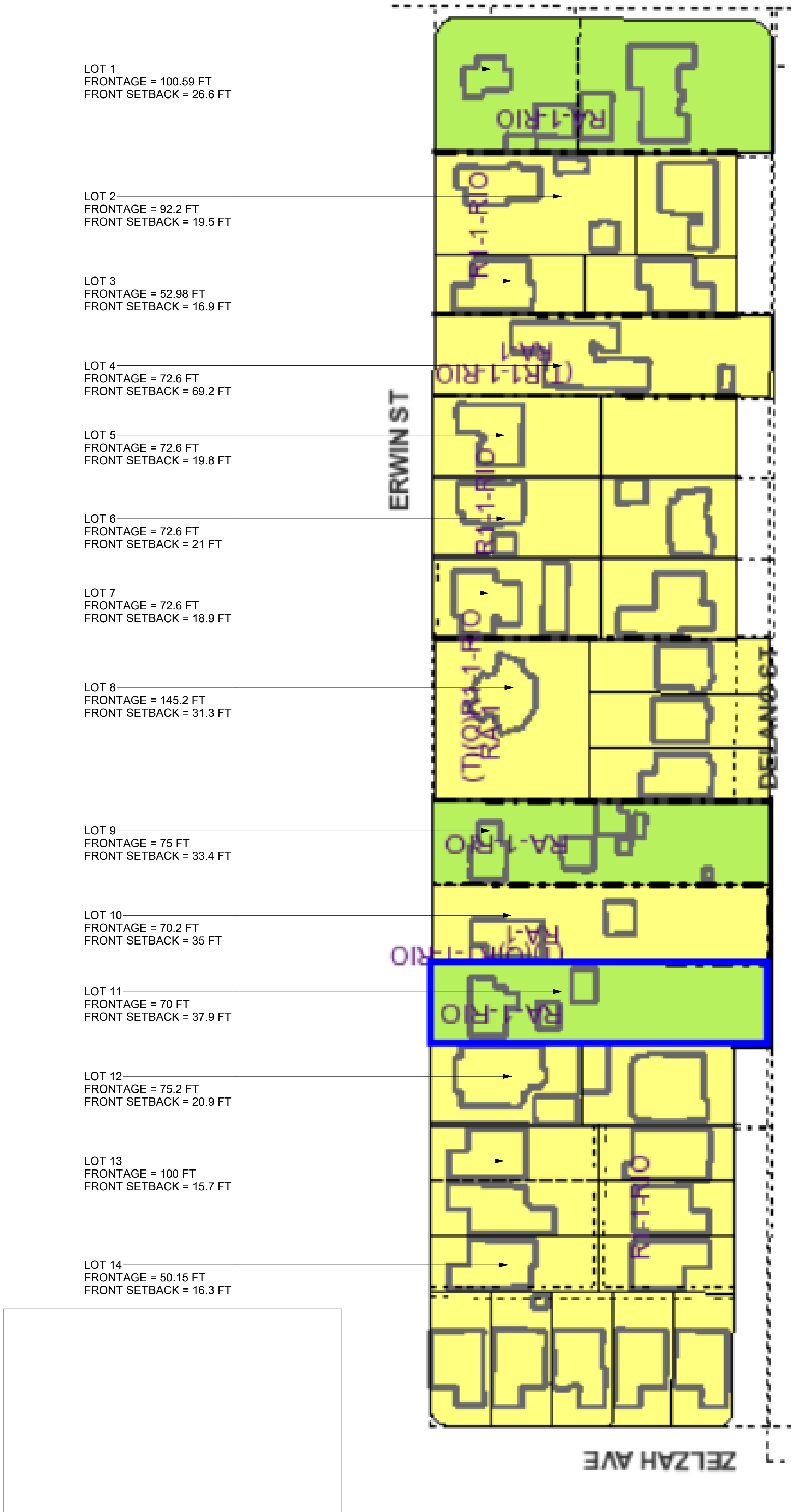
SHEET NAME  
SHEET NAME  
AREA ANALYSIS  
SCALE  
1/8" = 1'-0"

SCALE  
1/8" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
AREA ANALYSIS

A0.2



KEY MAP



PREVAILING SETBACK CALCULATION :

NUMBER OF LOTS: 14

PREVAILING SETBACK: 18.63 FT

TOTAL NO OF LOTS ENTERED: 14

TOTAL FRONTAGE ENTERED: 1121.92 FT

40% FROM TOTAL FRONTAGE ENTERED: 448.77 FT

NO OF LOTS USED IN THE CALCULATION: 8

SETBACK RANGE USED: 15.70 FT - 21.00 FT

TOTAL FRONTAGE USED IN THE CALCULATION: 588.33 FT

Add Lot

Enter the Lot Information after adding rows:

Lot	Frontage (ft)	Setback (ft)
1	100.59	26.6
2	92.2	19.5
3	52.98	16.9
4	72.6	69.2
5	72.6	19.8
6	72.6	21
7	72.6	18.9
8	145.2	31.3
9	75	33.4
10	70.2	35
11	70	37.9
12	75.2	20.9
13	100	15.7
14	50.15	16.3

Clear

Calculate

Results

Number of lots: 14

Prevailing Setback: 18.63 ft

Calculation

Total no of lots entered: 14

Total frontage entered: 1121.92 ft

40% from total frontage entered: 448.77 ft

No of lots used in the calculation: 8

Setback range used: 15.70 ft - 21.00 ft

Total frontage used in the calculation: 588.33 ft

Lots Used

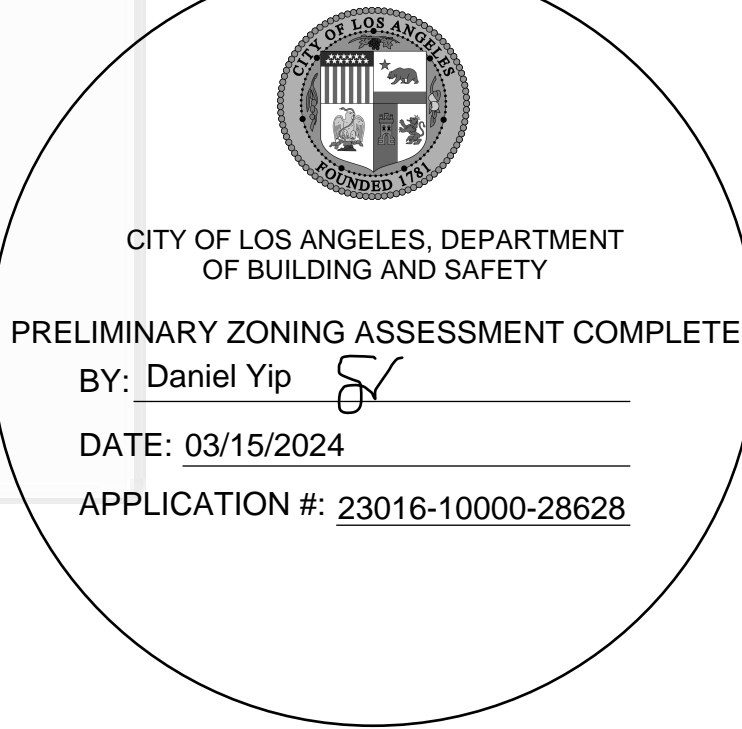
Lot	Frontage (ft)	Setback (ft)
2	92.20	19.50
3	52.98	16.90
5	72.60	19.80
6	72.60	21.00
7	72.60	18.90
12	75.20	20.90
13	100.00	15.70
14	50.15	16.30

View Calculation Details

Calculation Details

Setback Range Used (ft)	No Lots Used	Lots Designation	Frontages Used (ft)	Total Frontage (ft)	Setbacks Used (ft)	Total Setback (ft)
15.70 - 21.00	8	2, 3, 5, 6, 7, 12, 13, 14	92.20, 52.98, 72.60, 72.60, 72.60, 75.20, 100.00, 50.15	588.33	19.50, 16.90, 19.80, 21.00, 18.90, 20.90, 15.70, 16.30	149.00

EXHIBIT "A"



COMPLETE PACKAGE DRAFTING



PROJECT  
17820 W ERWIN ST.  
PROPERTY ADDRESS  
17820 W ERWIN ST,  
ENCINO, CA 91316

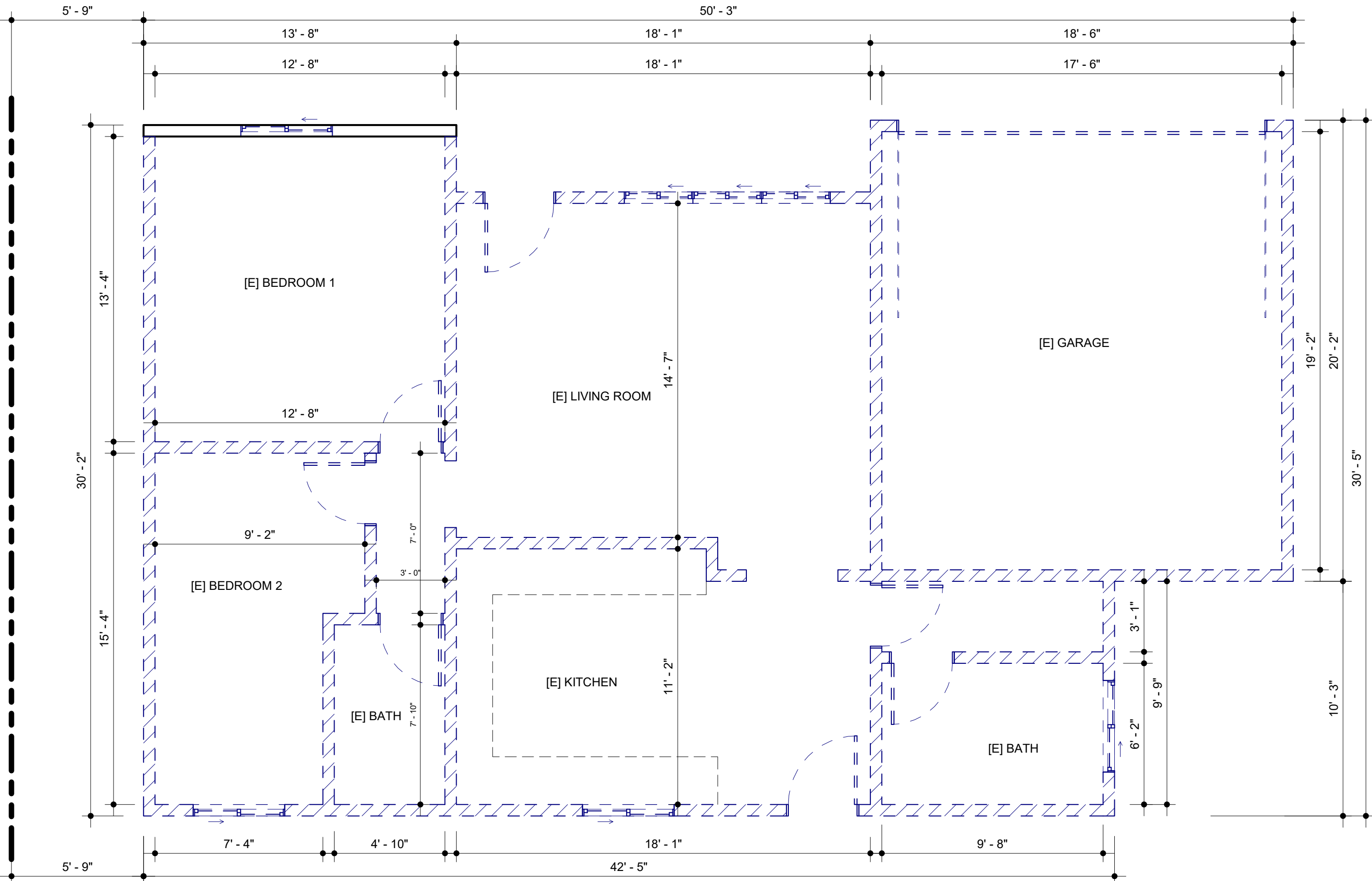
SHEET NAME  
PREVAILING SETBACK  
CALCULATION  
SCALE  
1/4" = 1'-0"

SCALE  
1/4" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
PREVAILING  
SETBACK  
CALCULATION

A0.3



BUILDER MUST KEEP ONE  
WALL IN ORDER TO QUALIFY  
FOR REMODELING / ADDITION



1 EXISTING FLOOR PLAN  
1/4" = 1'-0"



LEGEND

- EXISTING WALL TO BE MODIFIED
- EXISTING WALL TO BE REMOVED

NOTES FOR PLANNING:

- THE NEW LOT FACING DELANO ST IS VACANT AND THERE'S NO EXISTING FLOOR PLAN FOR IT.

EXHIBIT "A"  
Page No. 14 of 19  
Case No. APCSV-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY

PRELIMINARY ZONING ASSESSMENT COMPLETE

BY: Daniel Yip *DY*

DATE: 03/15/2024

APPLICATION #: 23016-10000-28628



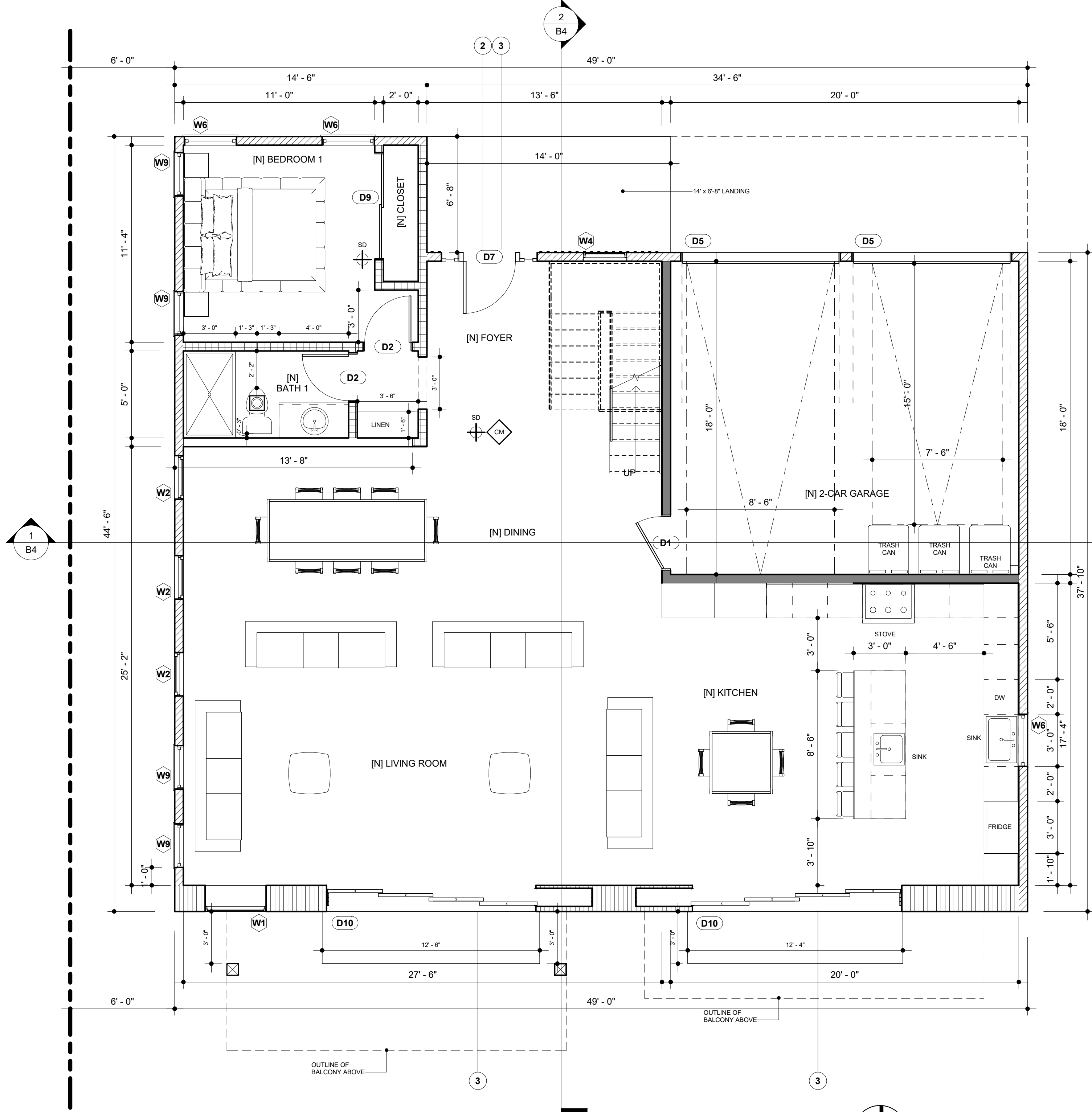
PROJECT  
17820 W ERWIN ST.  
PROPERTY ADDRESS  
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ENCINO, CA 91316

SHEET NAME  
EXISTING FLOOR PLAN  
SCALE  
1/4" = 1'-0"

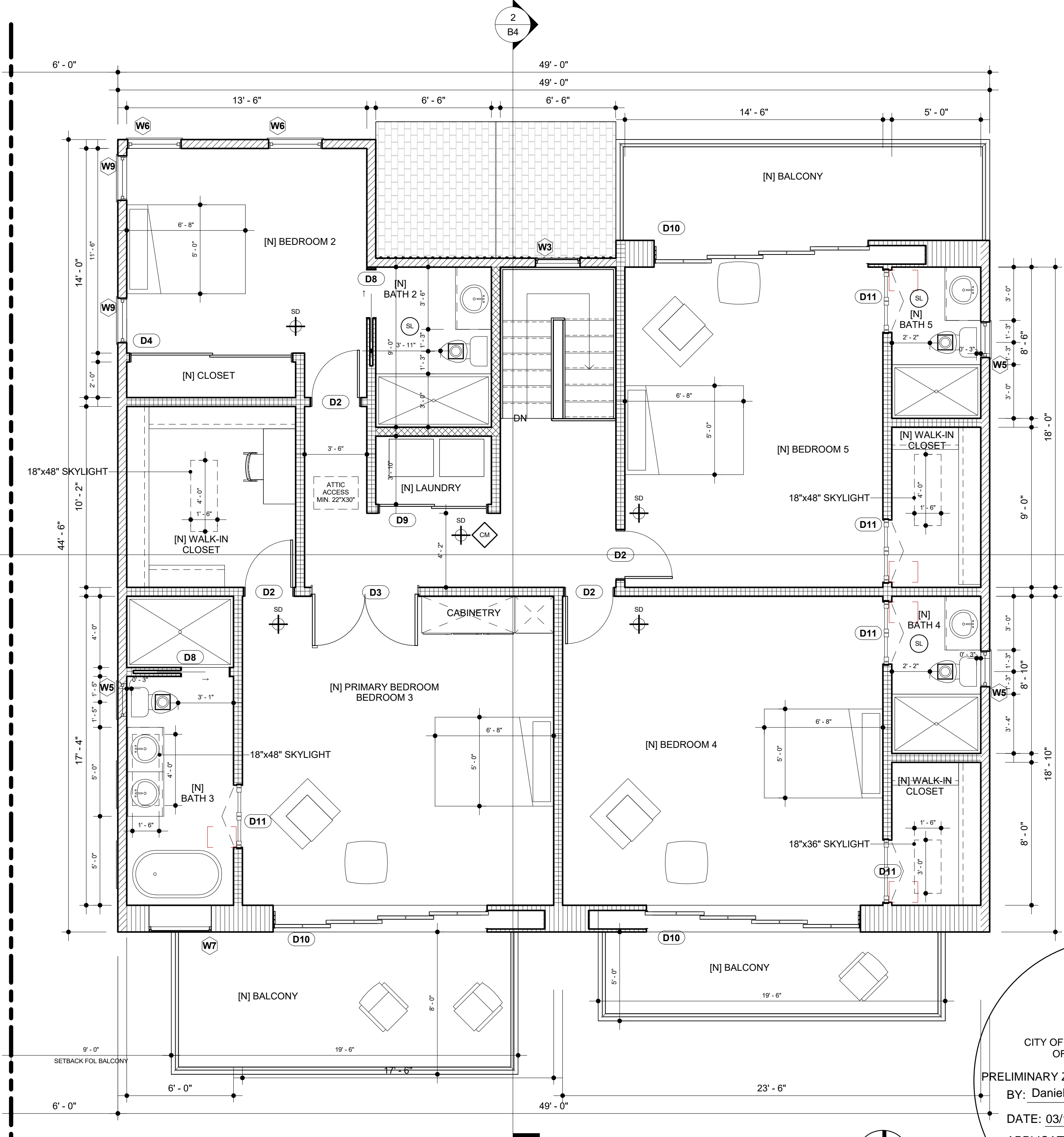
SCALE  
1/4" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
EXISTING FLOOR PLAN

B1.0





1 PROPOSED FIRST FLOOR PLAN - SFD B  
1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN - SFD B  
1/4" = 1'-0"

#### LEGEND

- SD  
CM  
SL
- HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
- CARBON MONOXIDE - HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
- SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3
- MECHANICAL VENT, 7 1/2 CFM AIR CHANGE PER PERSON, ENERGY STAR, EXHAUST FANS COMPLY WITH THE FOLLOWING:

- FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- MIN. 50 CFM.

	2x4 EXISTING MODIFIED WALL		1-HR FIRE RATED & 50 STC SOUNDPROOFING WALL PER LADBS P/B 2020-069 ON SHEET N4, 2x6 STUD
	2x6 NEW EXTERIOR WALL		NEW OVERSIZED WALL FOR BIFOLD DOORS
	2x6 NEW PLUMBING WALL		2x4 NEW INTERIOR WALL

WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	TYPE	TEMPERED	NOTES
W1	3' - 6"	6' - 6"	FIXED		
W2	2' - 6"	7' - 0"	TRIPLE HUNG		
W3	2' - 6"	6' - 0"	FIXED		
W4	2' - 6"	2' - 6"	FIXED		
W5	2' - 0"	4' - 0"	HUNG	YES	
W6	3' - 0"	5' - 0"	HUNG		
W7	3' - 6"	4' - 0"	FIXED	YES	
W9	2' - 6"	5' - 0"	HUNG		

EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENING WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):

- MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMAWDMACSA 10111.5.2/A40.
- MINIMUM 20-MIN FIRE-RESISTANCE-RATED.
- MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	NOTES
D1	3' - 0"	7' - 0"	SWINGING	
D2	2' - 8"	7' - 0"	SWINGING	
D3	6' - 0"	7' - 0"	SWINGING	
D4	9' - 0"	7' - 0"	SLIDING	
D5	9' - 0"	7' - 0"	ROLLING	
D7	3' - 0"	8' - 0"	SWINGING	
D8	2' - 8"	7' - 0"	SLIDING	
D9	6' - 0"	7' - 0"	SLIDING	
D10	12' - 0"	8' - 0"	SLIDING	
D11	3' - 6"	7' - 0"	FOLD	

EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):

- EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
- SOLID CORE WOOD COMPLYING WITH THE FOLLOWING:
  - STILES AND RAILS MINIMUM 1-3/8 INCHES THICK.
  - RAISED PANELS MINIMUM 1-1/4 INCHES THICK.
  - EXCEPTION: EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8 INCHES THICK.
- MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 262.
- MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

#### KEY NOTES:

- THE INTERIOR WALLS CAN BE 2x4 STUDS.
- THE ENTRY DOOR NEEDS TO BE RECESSED BY 3".
- EXTERIOR SIDE OF THE DOOR SHALL NOT EXCEED 1.5 INCHES IF IT SWINGS OVER A LANDING OR 7.57 INCHES IF IT DOES NOT SWING OVER A LANDING.

#### NOTES FOR PLANNING:

- THE NEW LOT FACING DELANO ST WILL HAVE THE SAME FLOOR PLAN BUT DIFFERENT DIRECTION (SEE THE SITE PLAN), AND IT WILL NOT HAVE THE EXISTING WALL TO REMAIN.

#### FIRE PROTECTION NOTES

- SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING ROOM, ON THE CEILING OR WALL IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY (907.2.11.1, R314.3).
- THE POWER SOURCE FOR SMOKE DETECTORS SHALL BE AS FOLLOWS:
  - IN NEW CONSTRUCTION SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK UP (907.2.11.1, R314.4).
  - IN EXISTING SFD, SMOKE DETECTORS MAY BE BATTERY OPERATED (907.2.11.1, R314.4).
- CARBON MONOXIDE ALARM IS REQUIRED PER SECTION 420.4, R316).
- SPRINKLER SYSTEM SHALL BE REQUIRED FOR ADU IF THE EXISTING DWELING HAS A SPRINKLER SYSTEM.
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLICATIONS ARE INSTALLED AND DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNITS SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF DWELLING UNIT INCLUDING BASEMENTS (R316).
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 60 °F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE (R303.9).
- DOORS:
  - DOORS AND ENCLOSURE FOR HOT TUB, BATHUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING) THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE.
  - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR WITHIN 6' OF STANDING SURFACE.
  - IN WALL ENCLOSING STAIRWAY LANDING.
  - GUARD AND HANDRAILS.

EXHIBIT "A"  
Page No. 15 of 19  
Case No. APCSV-2023-4402-ZC-HCA

SCALE  
1/4" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
PROPOSED  
FLOOR PLAN -  
SFD B  
B1.1

COMPLETE PACKAGE DRAFTING  
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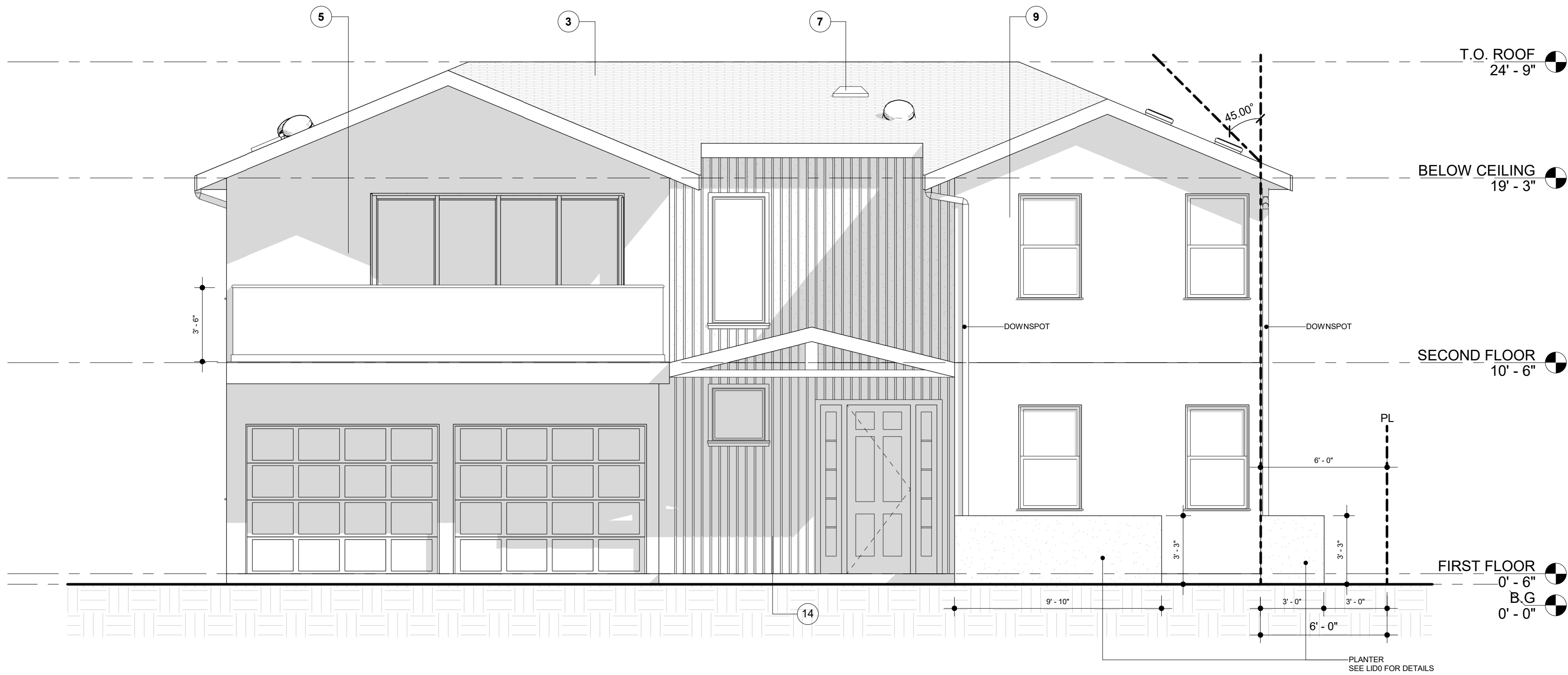
PROJECT  
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SHEET NAME  
PROPOSED FLOOR PLAN - SFD B  
SCALE  
1/4" = 1'-0"

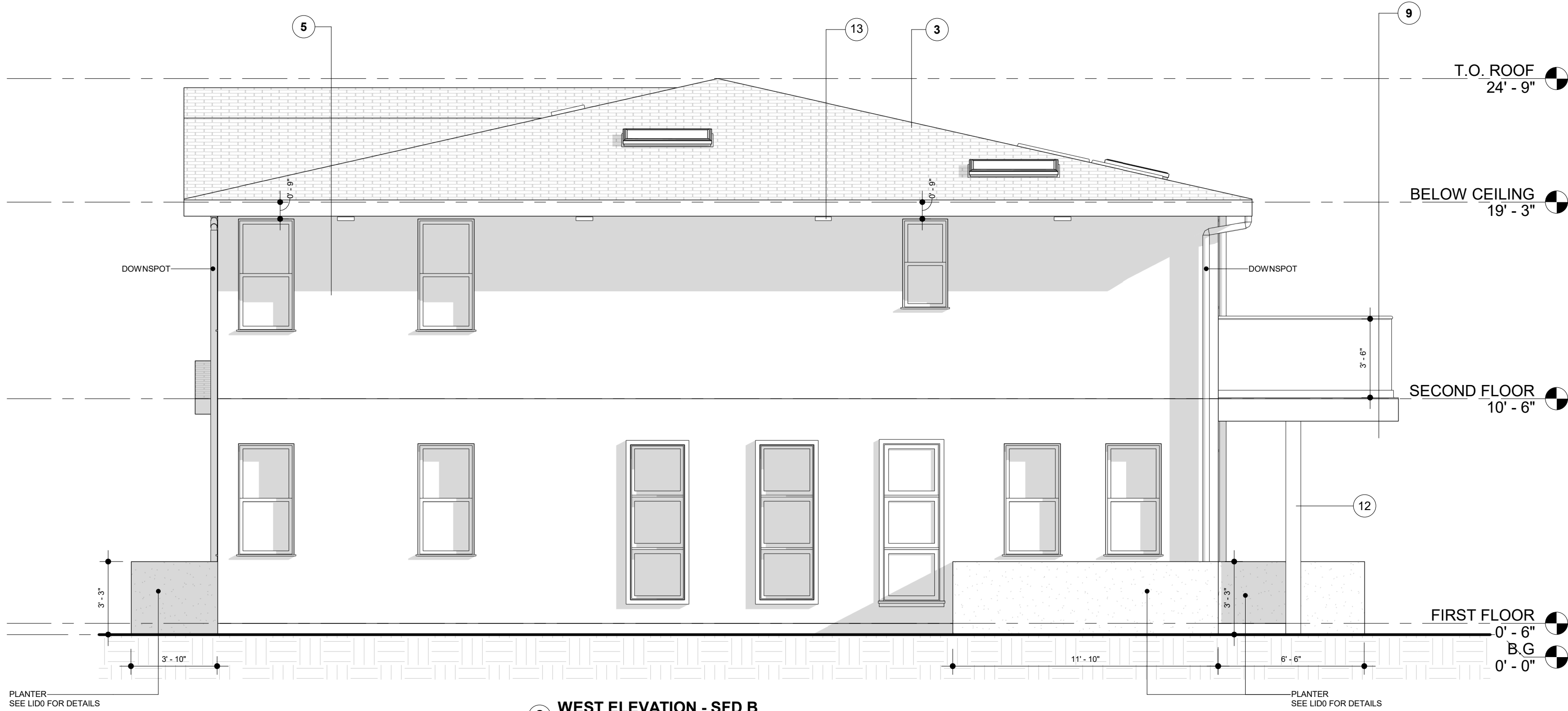


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BY: Daniel Yip  
DATE: 03/15/2024  
APPLICATION #: 23016-10000-28628





1 NORTH ELEVATION - SFD B  
1/4" = 1'-0"



2 WEST ELEVATION - SFD B  
1/4" = 1'-0"

#### SECTION NOTES & ELEVATION

1. WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS.  
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS
2. CEILING INSULATION: R-30 PER TITLE 24.
3. ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD -. COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.  
ROOF INSULATION: R-19 PER TITLE 24.
4. FLOOR JOIST PER STRUCTURAL PLAN.  
INSULATION: R-30 PER TITLE 24.
5. EXTERIOR WALL/PLUMBING WALL: 2x6 STUD WALL.
6. INTERIOR WALL: 2x4 STUD WALL.
7. ATTIC VENT.
8. EXISTING / NEW FOUNDATION.
9. 7/8" NON-REFLECTIVE ARTMESIA EARTH TONE COLOR, 2 LAYERS OF GRADE D (ASTM E2556, TYPE1) PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH (2510.6, R703.7.3)  
OR MARBLE STONE LOOK WALL TILE (6 SQ. FT./CASE), BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP.  
DESIGNER OR OWNER APPROVAL IS REQUIRED.
10. THE HEIGHT BETWEEN FLOOR AND CELLING ON ALL FLOORS MUST BE EQUAL.
11. BUILDER TO COUNT FOR STACK UP TOLERANCE, SOFFIT, AND DROP CEILINGS AND SUBMIT SHOP DRAWINGS TO OWNER OR DESIGNER.
12. POST PER STRUCTURAL PLAN.
13. EXTERIOR LIGHTING, NO POINTING TO OUTSIDE.
14. FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR, BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

#### NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN ).

**EXHIBIT "A"**  
Page No. 16 of 19  
Case No. APCSV-2023-4402-ZC-HCA



CITY OF LOS ANGELES, DEPARTMENT  
OF BUILDING AND SAFETY

PRELIMINARY ZONING ASSESSMENT COMPLETE

BY: Daniel Yip

DATE: 03/15/2024

APPLICATION #: 23016-10000-28628



COMPLETE PACKAGE DRAFTING

CPdrafting.com

22815 Ventura Blvd. #227  
Woodland Hills, CA 91364

Tell: (818) 493-1121  
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#### PROJECT

PROJECT  
17820 W ERWIN ST.

PROPERTY ADDRESS  
17820 W ERWIN ST,  
ENCINO, CA 91316

#### SHEET NAME

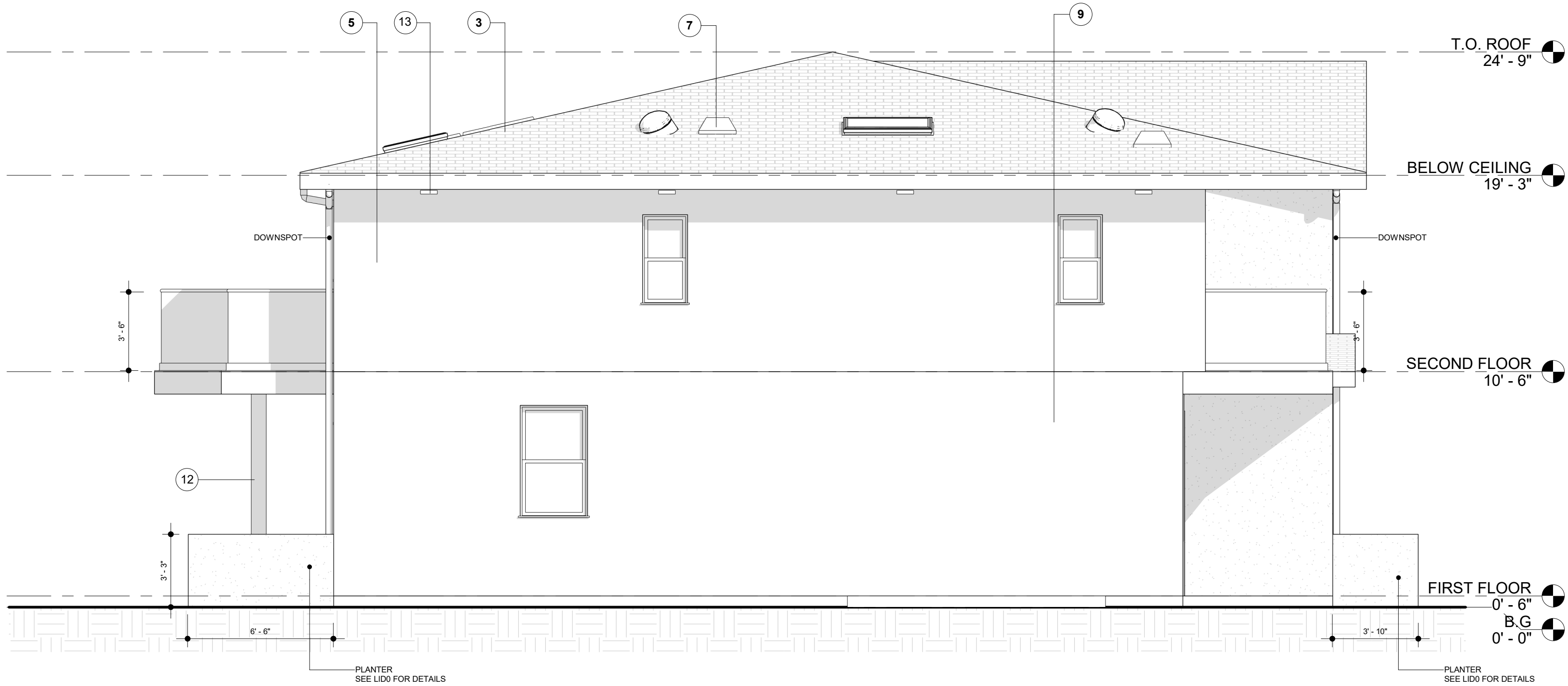
SHEET NAME  
ELEVATIONS - SFD B

SCALE  
1/4" = 1'-0"

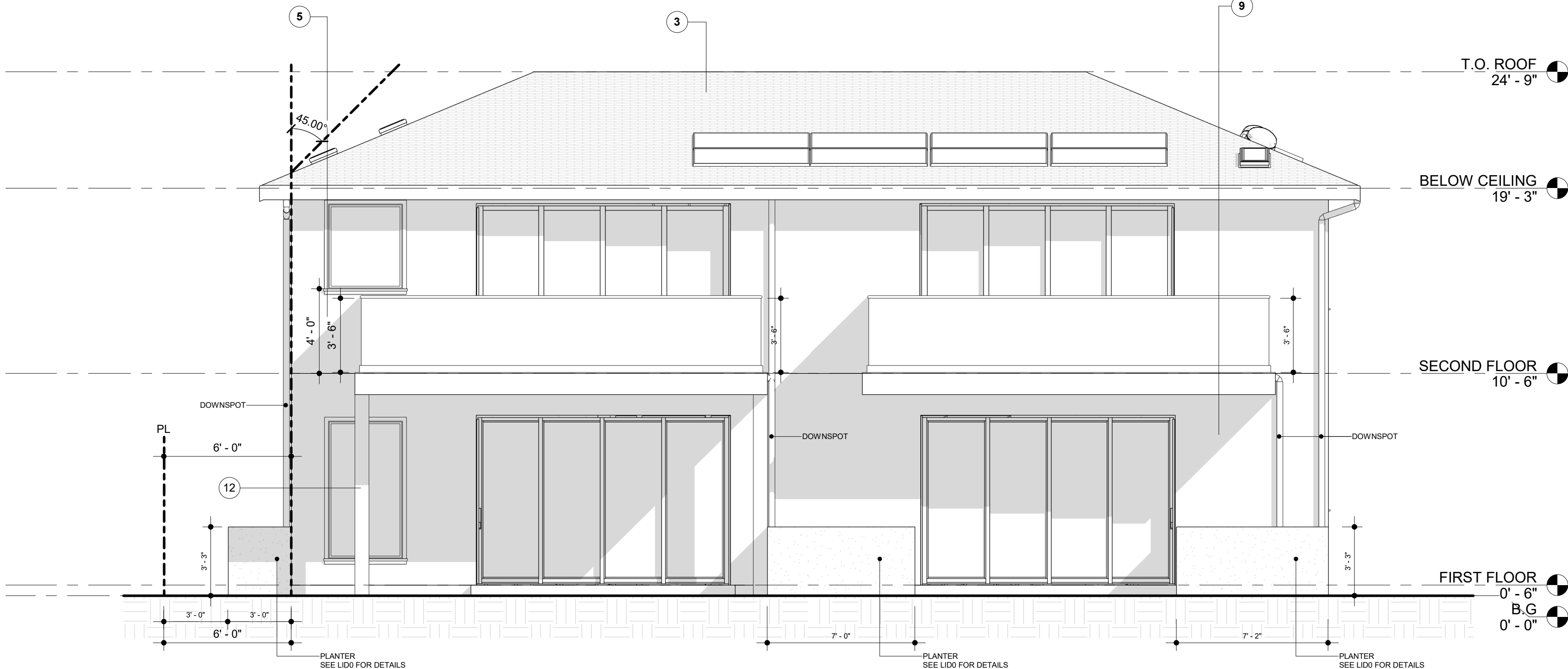
SCALE  
1/4" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
ELEVATIONS -  
SFD B

**B2**





1 EAST ELEVATION - SFD B  
1/4" = 1'-0"



2 SOUTH ELEVATION - SFD B  
1/4" = 1'-0"

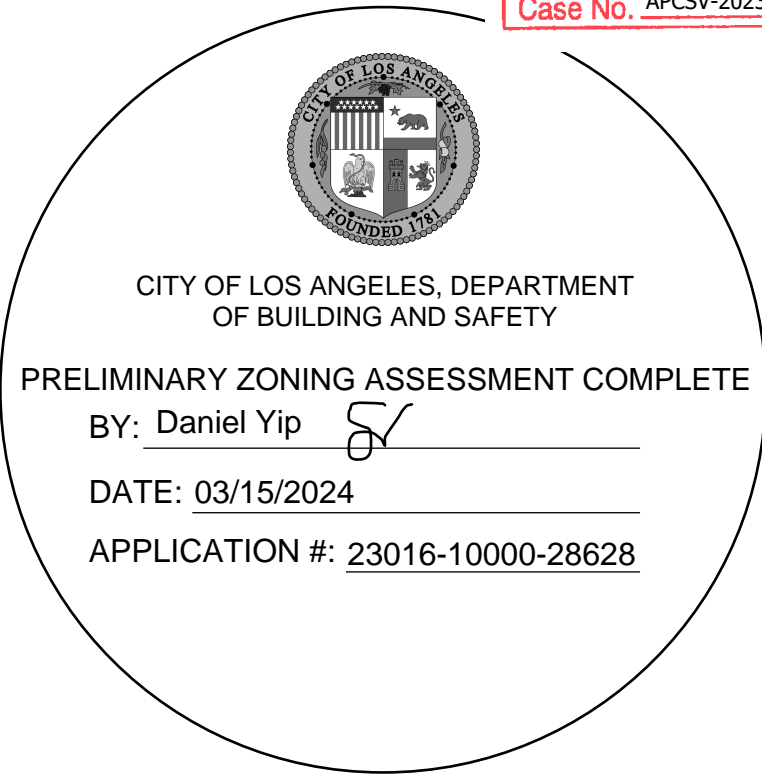
#### SECTION NOTES & ELEVATION

- WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS.  
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS.
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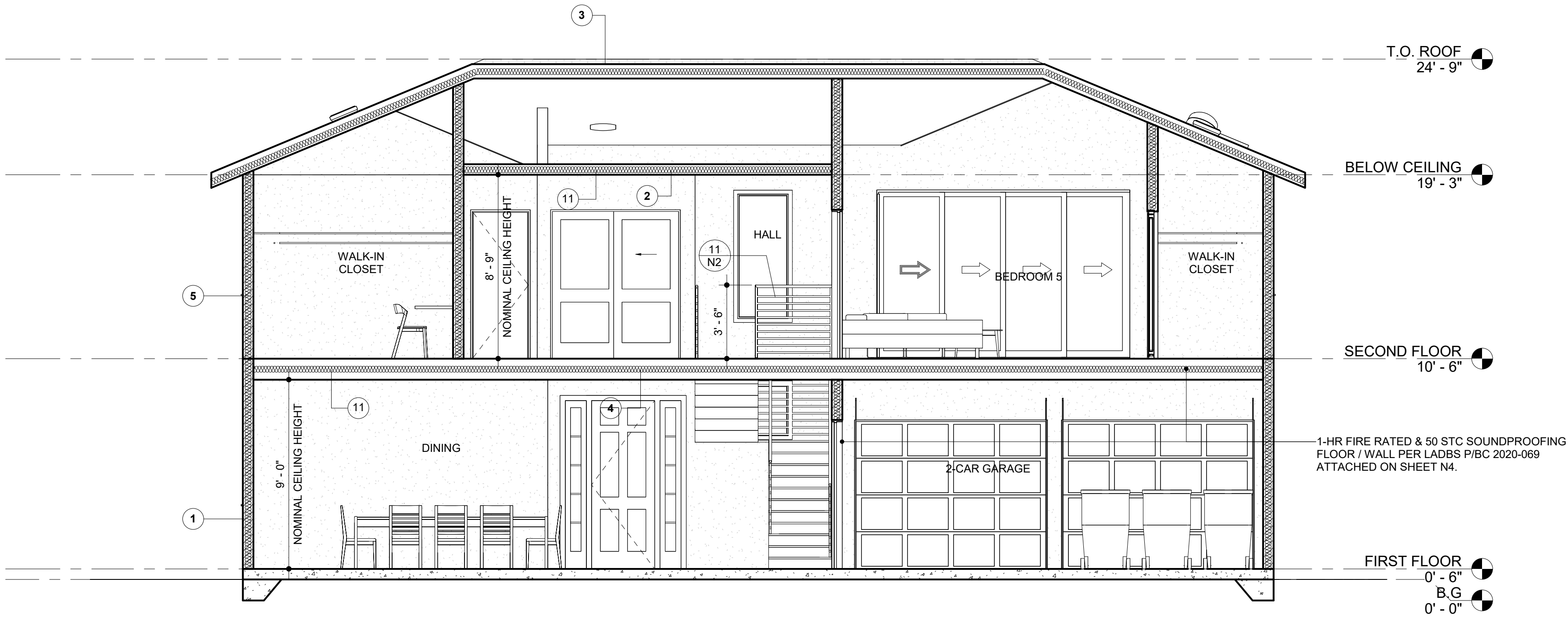
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SHEET NAME  
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SCALE  
1/4" = 1'-0"

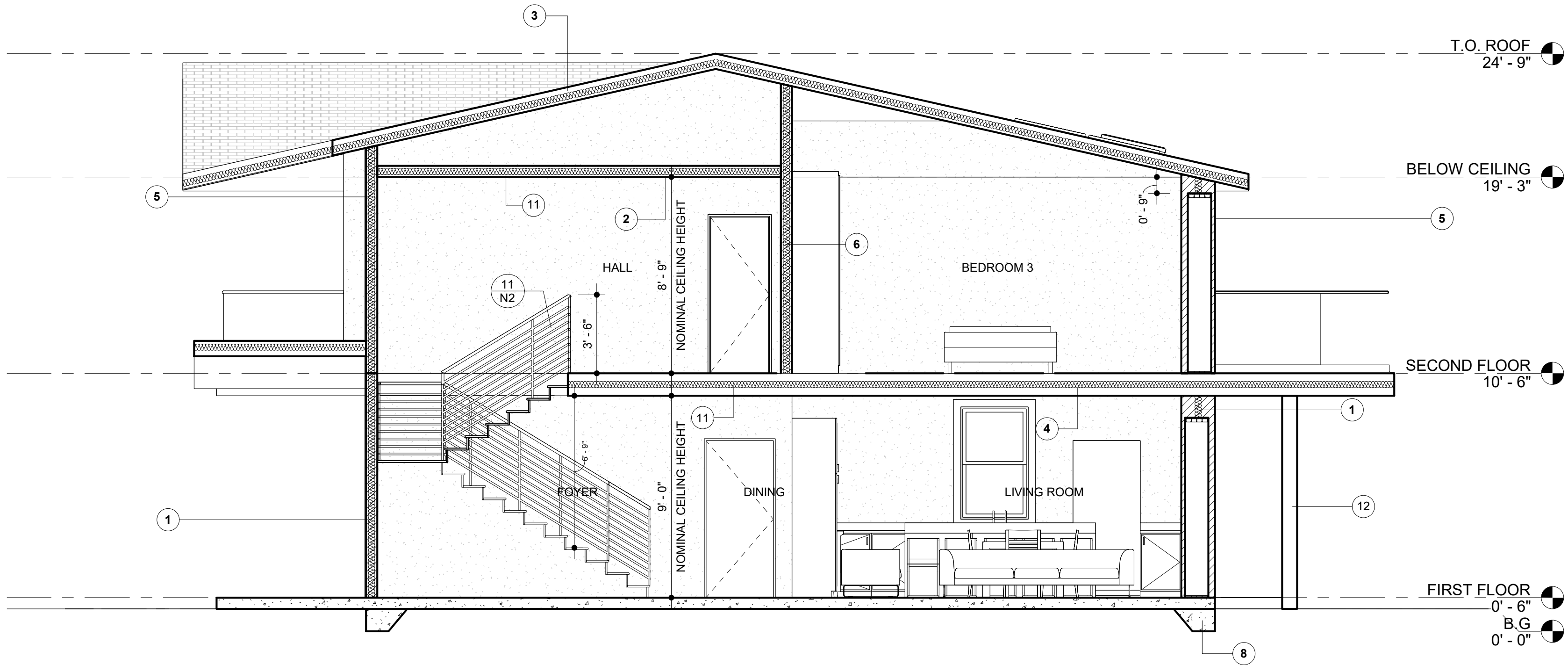
SCALE  
1/4" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
ELEVATIONS -  
SFD B

B3





1 SECTION A - SFD B  
1/4" = 1'-0"



2 SECTION B - SFD B  
1/4" = 1'-0"

EXHIBIT "A"  
Page No. 18 of 19  
Case No. APCSV-2023-4402-ZC-HCA



CITY OF LOS ANGELES, DEPARTMENT  
OF BUILDING AND SAFETY  
PRELIMINARY ZONING ASSESSMENT COMPLETE  
BY: Daniel Yip  
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NOTES FOR PLANNING:

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NOTES

- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
- OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).
- THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)
- MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)



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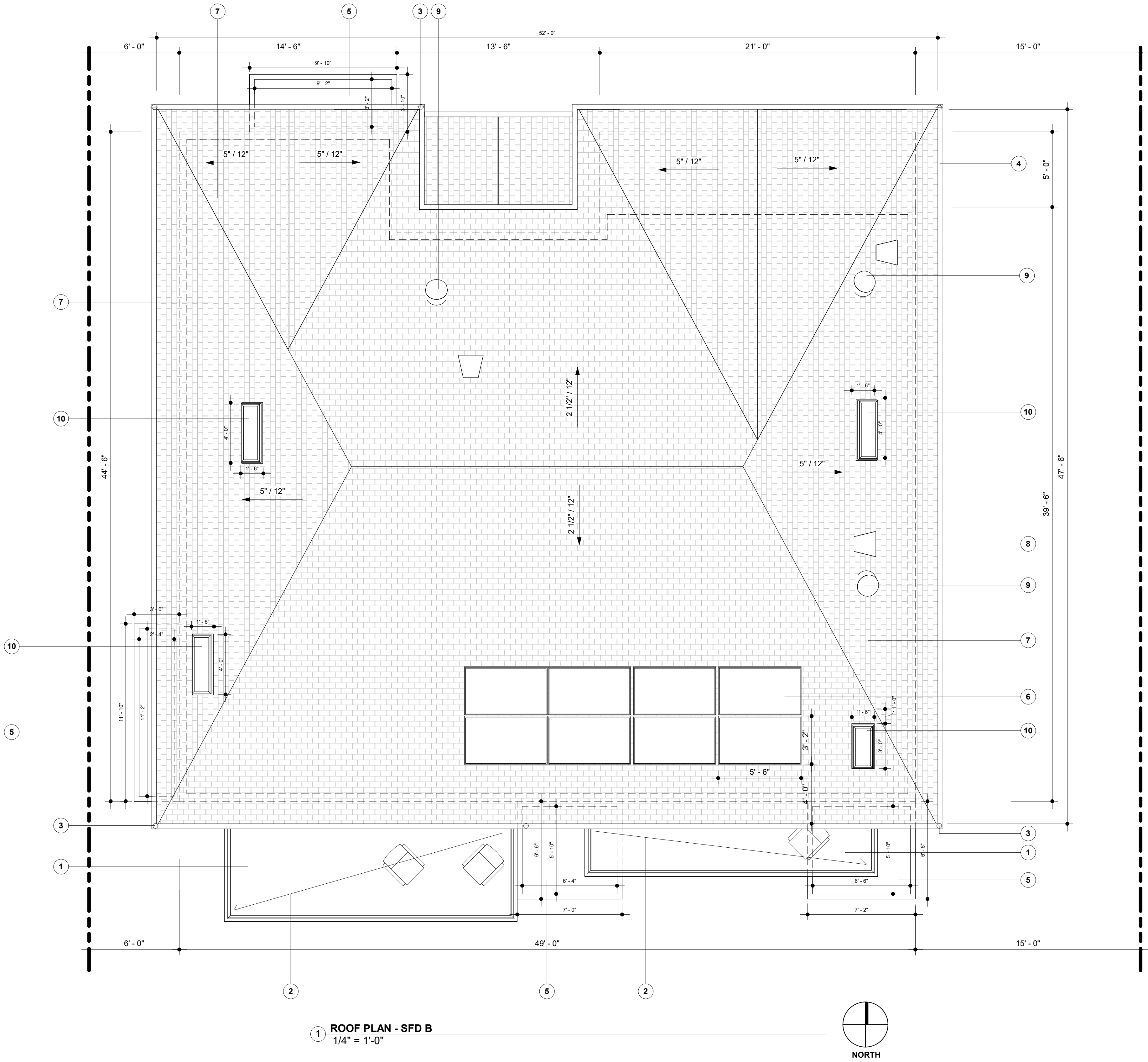
SHEET NAME

SHEET NAME  
SECTIONS - SFD B  
SCALE  
1/4" = 1'-0"

SCALE  
1/4" = 1'-0"  
DATE  
MARS 12 - 2024  
SHEET TITLE  
SECTIONS - SFD  
B

B4





1 ROOF PLAN - SFD B  
1/4" = 1'-0"



ROOF NOTES

- PROPERTY LINE
- ⊗ GUTTER DOWNSPOUT WITH SCREEN

DESCRIPTION	QUANTITY	UNIT
2ND FLOOR ROOF	2,303	SF
1ST FLOOR ROOF	69	SF
TOTAL ROOF	2,372	SF

ATTIC VENT CALCULATION:

ATTIC AREA OVER HALLWAY & BATH 2 : 280.7 SQ.FT.  
280.7 / 150 = 1.87 SQ.FT. REQUIRED

ATTIC AREA OVER BATH 4 : 45 SQ.FT.  
45 / 150 = 0.3 SQ.FT. REQUIRED

ATTIC AREA OVER BATH 5 : 50 SQ.FT.  
50 / 150 = 0.33 SQ.FT. REQUIRED

PROVIDED: 3 x 2.2 = 6.6 SQ.FT.

PROVIDED > REQUIRED

SEE SHEET A2 & A3 FOR VENTS SIZES AND LOCATIONS.

SOLAR PANEL CALCULATION:

3.07 KW REQUIRED PER TITLE 24

(3.07 x 1000) / 430 = 7.13 MIN. NUMBER OF SOLAR PANEL  
REQUIRED

PROVIDED: 8.

PROVIDED > REQUIRED

SEE SOLAR PANEL SPEC. SHEET ON SHEET N3.

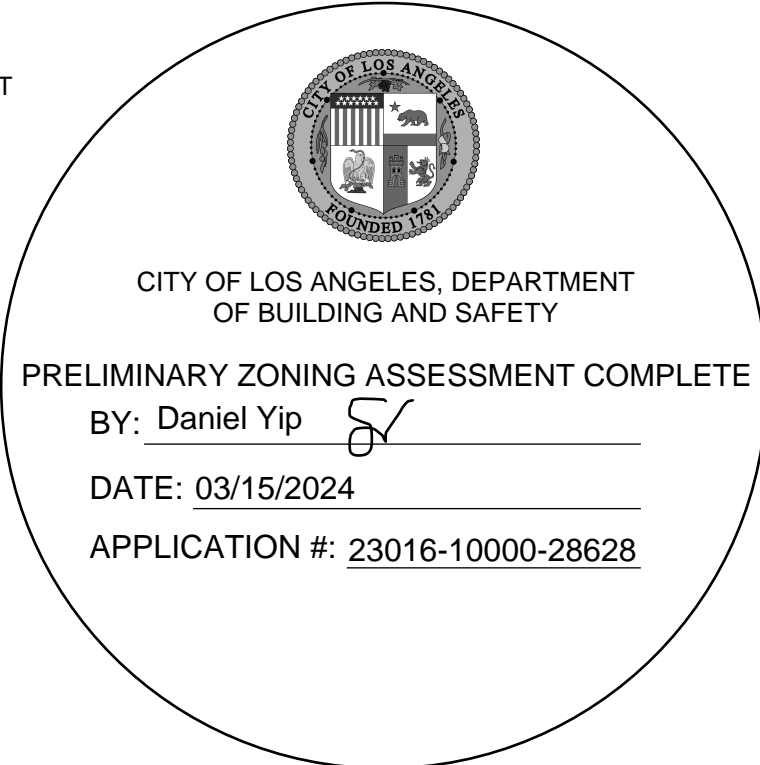
NOTES

- APPLY WATERPROOFING, SEE ATTACHED ESR-1757 ON SHEET N3.
- SLOPE : 1/4" PER EACH FEET WITH DRAINAGE ROUTED ALL THE WAY DOWN TO THE GROUND LEVEL / PLANTER.
- BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR ROOF SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
- INNER DRAINS, SCUPPERS, OR SIPHONIC ROOF DRAIN IS REQUIRED PRIOR FOR DOWNSPOT.
- PLANTER PER DETAILS ON SHEET L100.
- SOLAR PANEL PER ATTACHED SPEC. SHEET ON SHEET N3.
- ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD - TO MATCH EXISTING. COOL ROOF, ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.
- HALF DOME VENT, MIN. 2.2 SQ.FT NET VENT AREA. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR VENT. DESIGNER OR OWNER APPROVAL IS REQUIRED.
- SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3.
- SKYLIGHT. ESR-4108 ATTACHED ON SHEET N3.

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