

SCOPE OF WORK

- [N] PROPOSED 2-STORY SINGLE FAMILY DWELLING (3,539 SQ.FT)

OWNER

- OHEL, LLC

TERMS AND CONDITIONS

NOTICE TO THE CONTRACTOR, BUILDER, INSTALLER, SUB-CONTRACTOR, AND/OR OWNER-BUILDER: BY USING THESE DRAWINGS, YOU AGREE TO:

- CONDUCT YOUR OWN INDEPENDENT PROPERTY SURVEY AND/OR EXACT MEASUREMENTS OF ALL INTERIOR AND EXTERIOR PORTIONS OF THE PROPERTY.
- INDEPENDENTLY VERIFY ALL EXISTING DIMENSIONS AND/OR CONDITIONS BEFORE THE PLAN CHECK. BEFORE THE START OF THE CONSTRUCTION, AND DURING THE CONSTRUCTION, COMPLETE PACKAGE DRAFTING IS NOT RESPONSIBLE FOR YOUR INDEPENDENT FAILURE TO VERIFY ALL EXISTING DIMENSIONS AND/OR CONDITIONS.
- ASSUMPTIONS MIGHT HAVE BEEN MADE, YOU MUST VERIFY AND NOTIFY COMPLETE PACKAGE DRAFTING IF CHANGES ARE NECESSARY.
- CHANGES MIGHT BE NECESSARY DURING THE CONSTRUCTION. SUCH CHANGES MAY NOT BE INCLUDED IN YOUR CONTRACT WITH COMPLETE PACKAGE DRAFTING.
- ANY CHANGES AFTER THE PERMIT ISSUANCE, REGARDLESS OF REASONS AND/OR CAUSATION, MAY RESULT IN FEES AND/OR CHARGES ON AN HOURLY BASIS.
- THE OWNER AND/OR PROJECT OWNER IS/ARE RESPONSIBLE TO COMPENSATE COMPLETE PACKAGE DRAFTING FOR ANY TIME SPENT AFTER THE PERMIT IS ISSUED REGARDLESS OF REASONS AND/OR CAUSATIONS, EVEN IF A CONTRACTOR SAYS IT'S A MISTAKE OR IT'S WRONG.
- A CONTRACTOR OR SUB-CONTRACTOR, REGARDLESS OF LICENSE STATUS AND YEARS OF EXPERIENCE, IS NOT QUALIFIED TO DECIDE WHAT IS CORRECT OR WRONG ON THESE DRAWINGS.
- NO GUARANTEE OR INSURANCE HAS BEEN PROMISED WHATSOEVER BY THE DRAFTER TO THE OWNER, PROJECT OWNER AND/OR ANY CONTRACTOR.
- CREATOR(S) OF THE PLANS DO NOT OWE OR HAVE ANY OUTSTANDING COMMITMENTS POST PERMIT ISSUANCE.
- ELECTRONIC FILES, INCLUDING BUT NOT LIMITED TO CAD FILES, WILL NOT BE SHARED. THEY WILL REMAIN THE WORK PRODUCT OF DRAFTER.
- THE PDF OF THE PLANS WILL BE EMAILED ONLY ONCE AFTER THEY'RE APPROVED BY THE BUILDING DEPARTMENT OR COMPLETION OF THE PROJECT FOR FREE. THERE WILL BE A FEE FOR PROVIDING ADDITIONAL COPIES OF ANY PLANS AFTER THAT.
- ALL FUTURE WORK WILL DEPEND ON AVAILABILITY. COMPLETE PACKAGE DRAFTING RESERVES THE RIGHT TO REFUSE FUTURE WORK TO ANY CUSTOMER.
- RUSHED REQUESTS MAY OR MAY NOT BE FULFILLED REGARDLESS OF WILLINGNESS TO COMPENSATE.
- ALL QUESTIONS AND REQUESTS FOR INFORMATION (RFI) MUST BE SUBMITTED PRIOR TO CONSTRUCTION TAKE-OFF. A FEE MAY BE REQUIRED FOR ANSWERING QUESTIONS AND PROVIDING INFORMATION REGARDLESS OF THE REASON AND/OR CAUSATION OF THE QUESTION AND/OR REQUESTS.

NOTES FOR PLANNING

REQUESTED ENTITLEMENTS

- AUTHORIZING CODE SECTION LAMC SECTION 17.50 AUTHORIZES PARCEL MAP ACTIONS.
- ACTION REQUESTED, NARRATIVE: THIS PROJECT AIMS TO SUBDIVIDE THE LOT INTO TWO SEPARATE LOTS.
- AUTHORIZING CODE SECTION: LAMC SECTION 12.32-F AUTHORIZES ZONE CHANGE ACTIONS.
- ACTION REQUESTED, NARRATIVE: THIS PROJECT AIMS TO CHANGE THE ZONE FROM RA TO R1. EACH LOT AREA AFTER SUBDIVISION WILL BE UNDER 17,500 SQ.FT WHICH IS THE MINIMUM FOR RA. SO WE HAVE TO CHANGE THE ZONE FROM RA TO R1

SHEET INDEX

NUMBER	NAME
A0.0	COVER SHEET
A0.1	SITE PLAN
A0.2	AREA ANALYSIS
A0.3	PREVAILING SETBACK CALCULATION
A1	PROPOSED FLOOR PLAN - SFD A
A2	ELEVATIONS - SFD A
A3	ELEVATIONS - SFD A
A4	SECTIONS - SFD A
A5	ROOF PLAN - SFD A
A6.0	ISOMETRIC VIEWS
A6.1	ISOMETRIC VIEWS
A6.2	ISOMETRIC VIEWS
GRC-0	GREEN BUILDING CODES
GRC-1	GREEN BUILDING CODES
LID0	LID COMPLIANCE
LID1	LID COMPLIANCE
N1	NOTES
N2	GENERAL DETAILS - USE AS APPLICABLE
N3	DETAILS
N4	DETAILS
T24.0	TITLE 24
T24.1	TITLE 24

PROJECT ADDRESS

MAIN 17820 W ERWIN ST, ENCINO, CA 91316

COMPLETE PACKAGE DRAFTING
CPdrafting.com
 22815 Ventura Blvd. #227
 Woodland Hills, CA 91364
 Tell: (818) 493-1121
 Info@CPdrafting.com

LEGAL DESCRIPTION AS OF 06/01/2023

SITE ADDRESS 17820 W ERWIN ST
ZIP CODE 91316
PIN NUMBER 177B129 92
LOT / PARCEL AREA (CALCULATED) 21,782.2 (sq ft)
THOMAS BROTHERS GRID PAGE 531 - GRID A7
ASSESSOR PARCEL NO. (APN) 2123025011
TRACT TR 5947
MAP REFERENCE M B 63-96/97
BLOCK None
LOT FR 113
ARB (LOT CUT REFERENCE) None
MAP SHEET 177B129

PLANNING AND ZONING AS OF 06/01/2023

SPECIAL NOTES None
ZONING RA-1-RIO
ZONING INFORMATION (ZI) ZI-2358 RIVER IMPLEMENTATION OVERLAY DISTRICT (RIO)
ZONING INFORMATION (ZI) ZI-2462 MODIFICATIONS TO SF ZONES AND SF ZONE HILLSIDE AREA REGULATIONS
ZONING INFORMATION (ZI) ZI-2438 EQUINE KEEPING IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE Low Residential
GENERAL PLAN NOTE(S) Yes
HILLSIDE AREA (ZONING CODE) No
SPECIFIC PLAN AREA None
SUBAREA None
SPECIAL LAND USE / ZONING None
HISTORIC PRESERVATION REVIEW No

NOTES

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE (70) (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1210.2.3, 2406.4.5, R307.2, R308.4)
- WATER HEATER MUST BE STRAPPED TO WALL. (507.3 & LAPC)
- SPRINKLER SYSTEM MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION.
- A FIRE ALARM (VISUAL AND AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION. (LAMC 57.122)
- CARBON MONOXIDE ALARM IS REQUIRED PER (420.6, R315)

AREA PER LOT

	LOT TOWARD ERWIN ST	LOT TOWARD DELANO ST
TOTAL SQUARE FOOTAGE OF THE EXISTING DEVELOPMENT	1,366	0
SQUARE FOOTAGE TO BE DEMOLISHED	0	0
SQUARE FOOTAGE TO BE BUILT	2,173	3,539
NET NEW SQUARE FOOTAGE	3,539	3,539
TOTAL GROSS SQUARE FOOTAGE	3,539	3,539
TOTAL	7,078 SQ.FT	

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AREA TABLE

AREA TABLE		
PROPOSED 2-STORY DWELLING	3,539	SF
PROPOSED HEIGHT	24'-9"	
PROPOSED PARKING SPACES	2	
TOTAL LOT SIZE	18,685	SF
AREA OF PARCEL A	8,188	SF
MAX. ALLOWABLE AREA (45%)	3,684.6	SF

ASSESSOR AS OF 06/01/2023

BUILDING 1
YEAR BUILT 1953
BUILDING CLASS D55A
NUMBER OF UNITS 1
NUMBER OF BEDROOMS 2
NUMBER OF BATHROOMS 2
BUILDING SQUARE FOOTAGE 1,366.0 (sq ft)

VICINITY MAP (N.T.S)



APPLICABLE CODES

- 2023 CALIFORNIA BUILDING CODE.
- 2023 CALIFORNIA ELECTRICAL CODE.
- 2023 CALIFORNIA MECHANICAL CODE.
- 2023 CALIFORNIA PLUMBING CODE.
- 2023 CALIFORNIA GREEN BUILDING CODE.
- 2023 CALIFORNIA ENERGY CODE.
- 2023 LA MUNICIPAL CODE

ALL PLANS ARE DIAGNOSTIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.

CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND SAFETY

EQUINE KEEPING CHECKLIST FORM

No building permit shall be issued for any building creating new habitable space on a lot located in whole or in part within an Equine Keeping "K" District and/or any lot zoned RA, RE20, RE40, A1, or A2 without completing this form. This form shall be completed and submitted during plan check. For more information on the process, refer to the flowchart.

Address: _____

PCIS: _____

Please read the following two (2) questions carefully and answer either YES or NO:

(1) Is there any equine keeping on any of the adjacent properties?
 (i.e. an equine, animal keeping enclosure, barn, equine license) NO YES

(2) Is there any equine keeping on your property?
 (i.e. an equine, animal keeping enclosure, barn, equine license) NO YES

If the answer to either of the above questions is "yes", you will need to provide a dimensioned site plan that is to-scale and which shows the location of the equine keeping structure and/or enclosure on your lot and any of the adjacent properties and indicate the distances between your proposed habitable room additions, new single family dwelling unit, Accessory Living Quarters or Servant Quarters and such structures and/or enclosures. The information on the site plan shall be verified by LADBS inspection before construction can commence.

Please call (888)LA4BUILD or (888)524-2845, for Equinekeeping pre-construction inspection to verify the accuracy of the provided information before starting any construction.

For information on the setback requirements from an equine keeping structure and/or enclosure, please see LADBS Information Bulletin No. P/ZC 2002-018.
http://ladbs.org/LADBSWeb/LADBS_Forms/InformationBulletins/IB-P-ZC2014-018EquineKeeping.pdf

Any incorrect information may lead to the revocation of the corresponding permits.

Property owner or the authorized agent's name: _____

Property owner or the authorized agent's signature: _____

Date: ____/____/____

September 2, 2014

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 Woodland Hills, CA 91364
 Tell: (818) 493-1121
 Info@CPdrafting.com

PROJECT
 17820 W ERWIN ST -
 PROPERTY ADDRESS
 17820 W ERWIN ST,
 ENCINO, CA 91316

SHEET NAME
 COVER SHEET

SCALE

DATE
 MARS 12 - 2024

SHEET TITLE
 COVER SHEET

A0.0

LEGEND

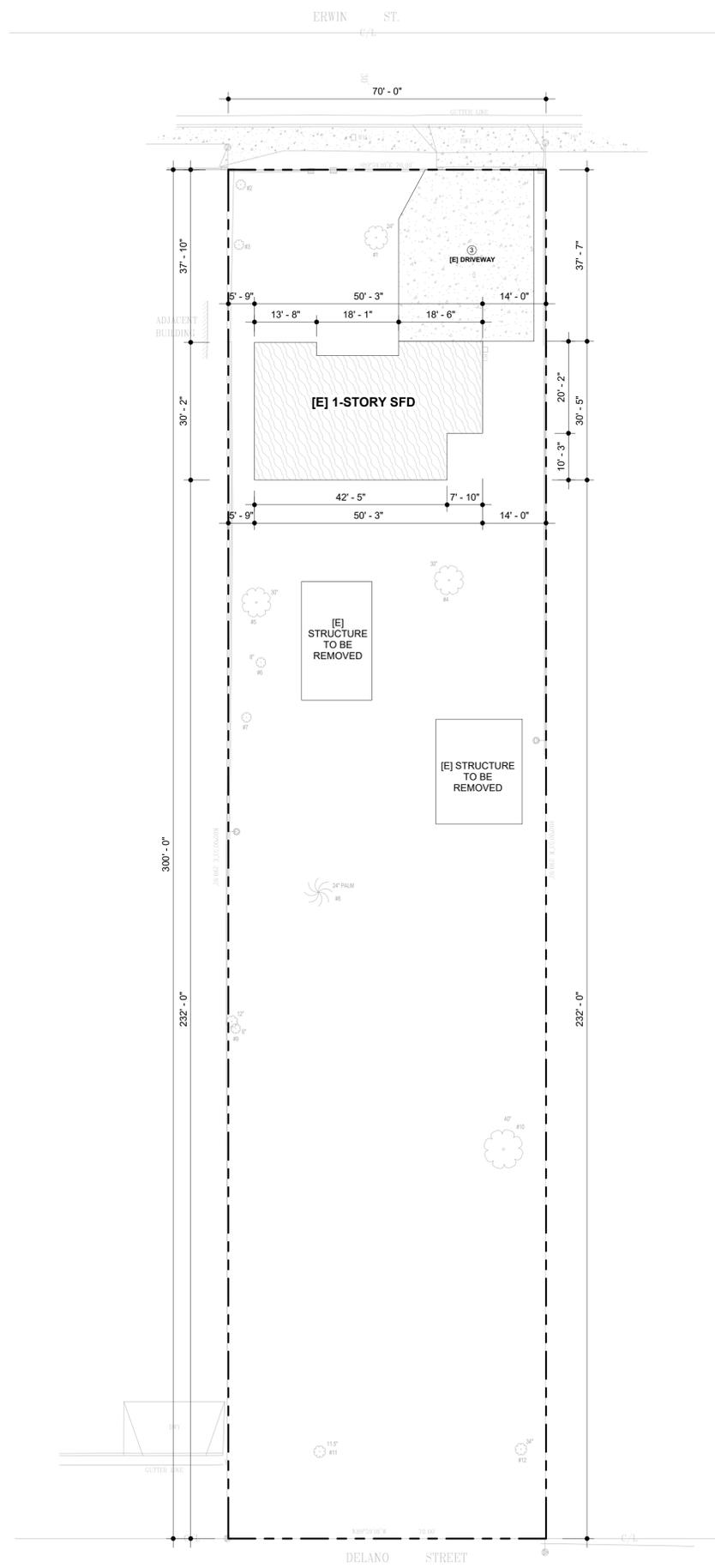
- ① PROPOSED 2-STORY SINGLE FAMILY DWELLING
- ② BUILDING ENTRANCE
- ③ DRIVEWAY
- [E] 1-STORY SINGLE FAMILY DWELLING TO BE REMODELED
- PROPOSED SUBDIVISION LOT LINE
- RIGHT-OF-WAY DEDICATION

NOTES

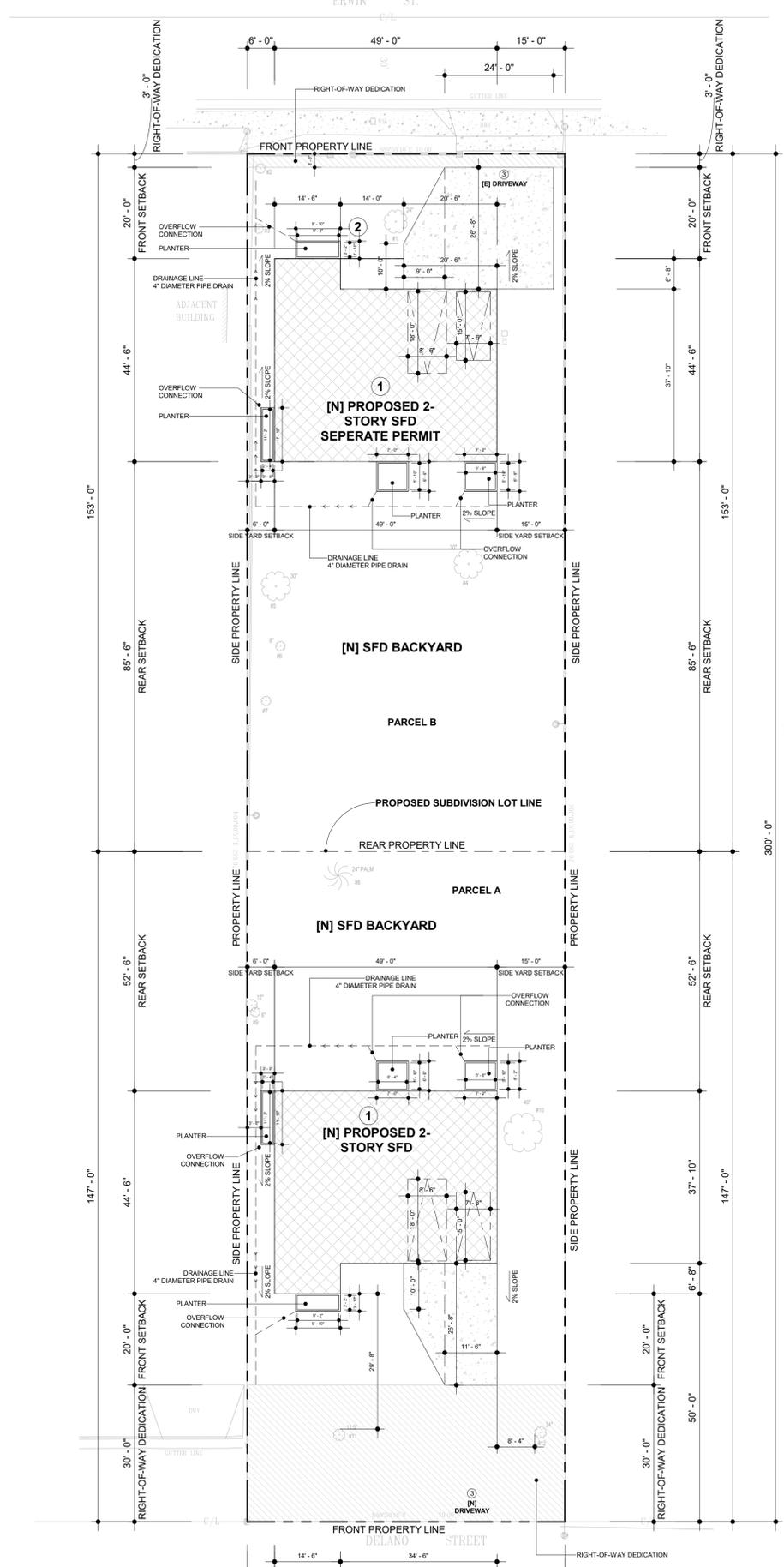
1. EQUIPMENT, ANY EXTERIOR EQUIPMENT (ELECTRICAL TRANSFORMERS, MECHANICAL UNITS, WATER METERS) MUST BE SCREENED FROM PUBLIC VIEW.

AREA TABLE

LOT SIZE	18,685	SF
PARCEL "A"	8,188	SF
PARCEL "B"	10,497	SF



① EXISTING SITE PLAN
1/16" = 1'-0"



② PROPOSED SITE PLAN
1/16" = 1'-0"




 CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: Daniel Yip
 DATE: 03/15/2024
 APPLICATION #: 24010-10000-00781

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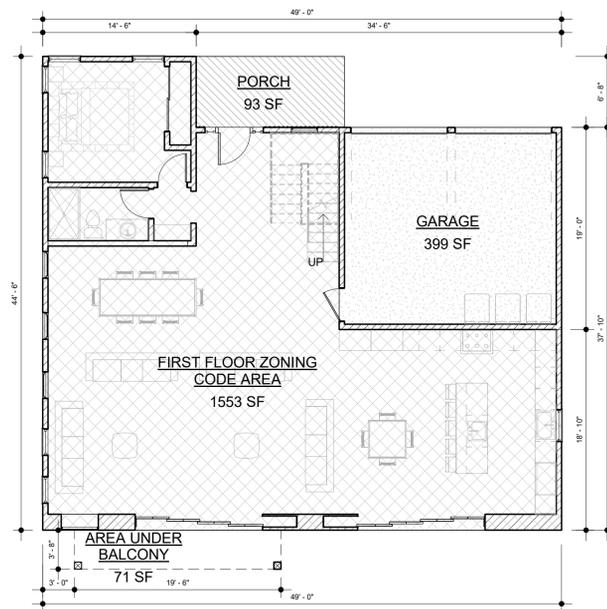
SHEET NAME
 SHEET NAME
 SITE PLAN
 SCALE
 1/16" = 1'-0"

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 1/16" = 1'-0"

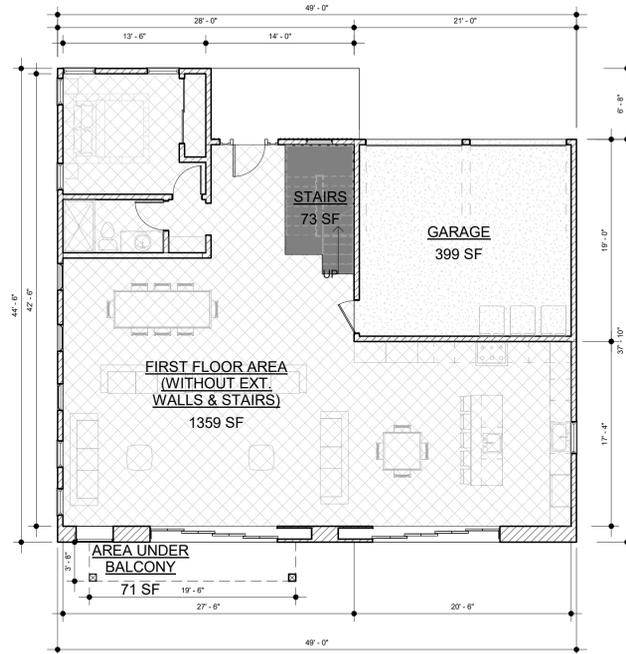
DATE
 MARS 12 - 2024
 SHEET TITLE
 SITE PLAN

A0.1

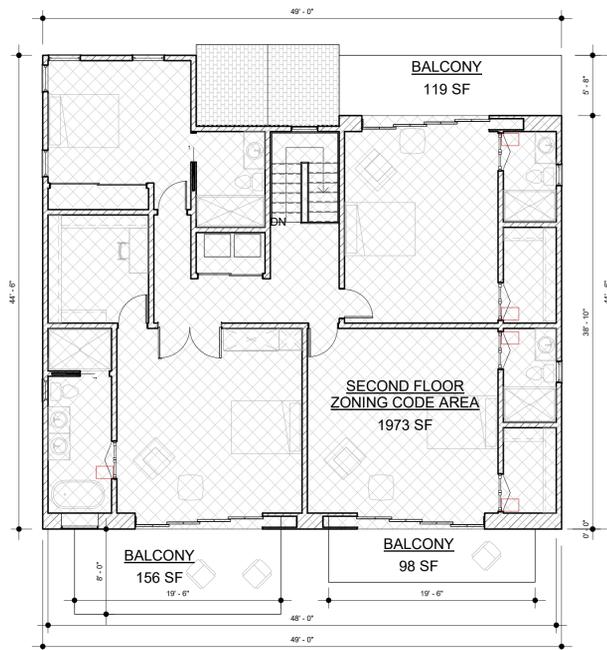
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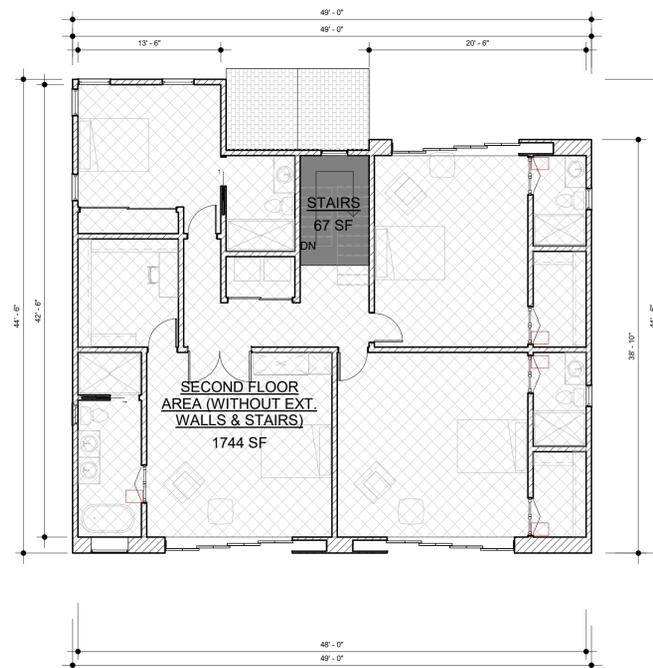
1 FIRST FLOOR - BUILDING CODE AREA
1/8" = 1'-0"



3 FIRST FLOOR - RFA
1/8" = 1'-0"



2 SECOND FLOOR - BUILDING CODE AREA
1/8" = 1'-0"



4 SECOND FLOOR - RFA
1/8" = 1'-0"

BUILDING CODE FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,553
FRONT PORCH	93
AREA UNDER THE BALCONY	71
GARAGE	399
SECOND FLOOR	1,973
TOTAL BUILDING CODE AREA	4,089

RESIDENTIAL FLOOR AREA AND SCHOOL FEE	
LEVEL	SF
FIRST FLOOR	1,359
FRONT PORCH	93
AREA UNDER THE BALCONY	71
STAIRS AT FIRST FLOOR	73
SECOND FLOOR	1,744
GARAGE (-200 SF EXEMPTION)	199
TOTAL RFA & SCHOOL FEE AREA	3,539

U OCCUPANCY FLOOR AREA	
LEVEL	SF
GARAGE	399
TOTAL	399

R3 OCCUPANCY FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,596
SECOND FLOOR	1,943
TOTAL	3,539



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SHEET NAME
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AREA ANALYSIS
SCALE
1/8" = 1'-0"

SCALE
1/8" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
AREA ANALYSIS

A0.2

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KEY MAP



PREVAILING SETBACK CALCULATION :

NUMBER OF LOTS: 17

PREVAILING SETBACK: 19.83 FT

TOTAL NO OF LOTS ENTERED: 17

TOTAL FRONTAGE ENTERED: 1120.54 FT

40% FROM TOTAL FRONTAGE ENTERED: 448.22 FT

NO OF LOTS USED IN THE CALCULATION: 12

SETBACK RANGE USED: 19.00 FT - 20.50 FT

TOTAL FRONTAGE USED IN THE CALCULATION: 730.73 FT

Add Lot

Enter the Lot Information after adding rows:

Lot	Frontage (ft)	Setback (ft)
1	99.41	30.5
2	92.2	19.3
3	52.98	20.2
4	72.6	2.5
5	72.6	0
6	72.6	20
7	72.6	20
8	48.4	20.4
9	48.4	19.8
10	48.4	20
11	75	19
12	70	19.2
13	70	68.2
14	75.2	72.8
15	50	19.8
16	50	20.5
17	50.15	19.7

Clear

Calculate

View Calculation Details

Results

Number of lots: **17**

Prevailing Setback: **19.83 ft**

Calculation

Total no of lots entered: **17**

Total frontage entered: **1120.54 ft**

40% from total frontage entered: **448.22 ft**

No of lots used in the calculation: **12**

Setback range used: **19.00 ft - 20.50 ft**

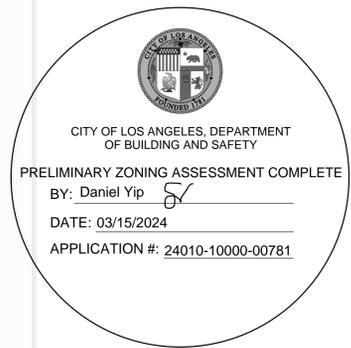
Total frontage used in the calculation: **730.73 ft**

Lots Used

Lot	Frontage (ft)	Setback (ft)
2	92.20	19.30
3	52.98	20.20
6	72.60	20.00
7	72.60	20.00
8	48.40	20.40
9	48.40	19.80
10	48.40	20.00
11	75.00	19.00
12	70.00	19.20
15	50.00	19.80
16	50.00	20.50
17	50.15	19.70

EXHIBIT "A"

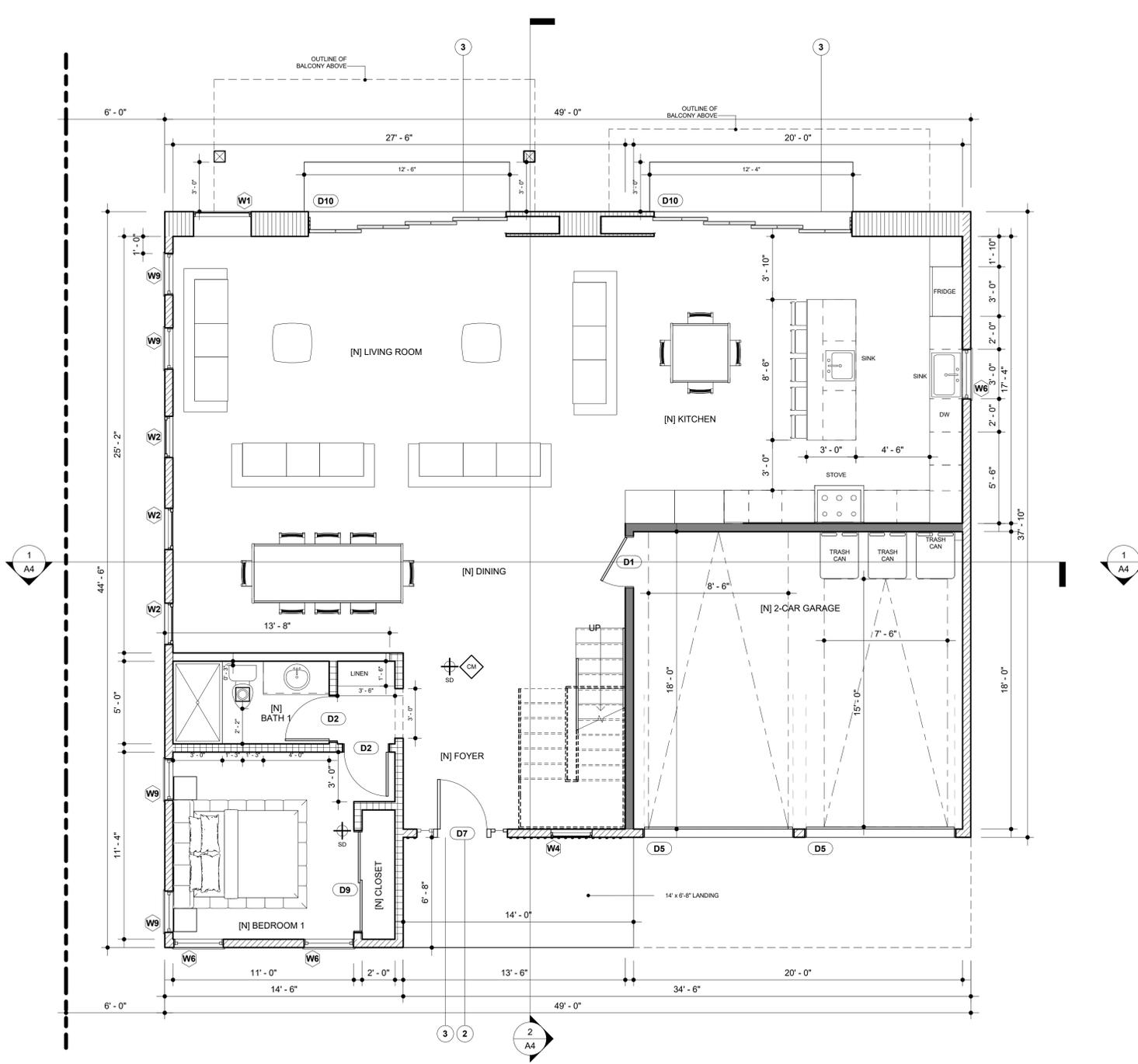
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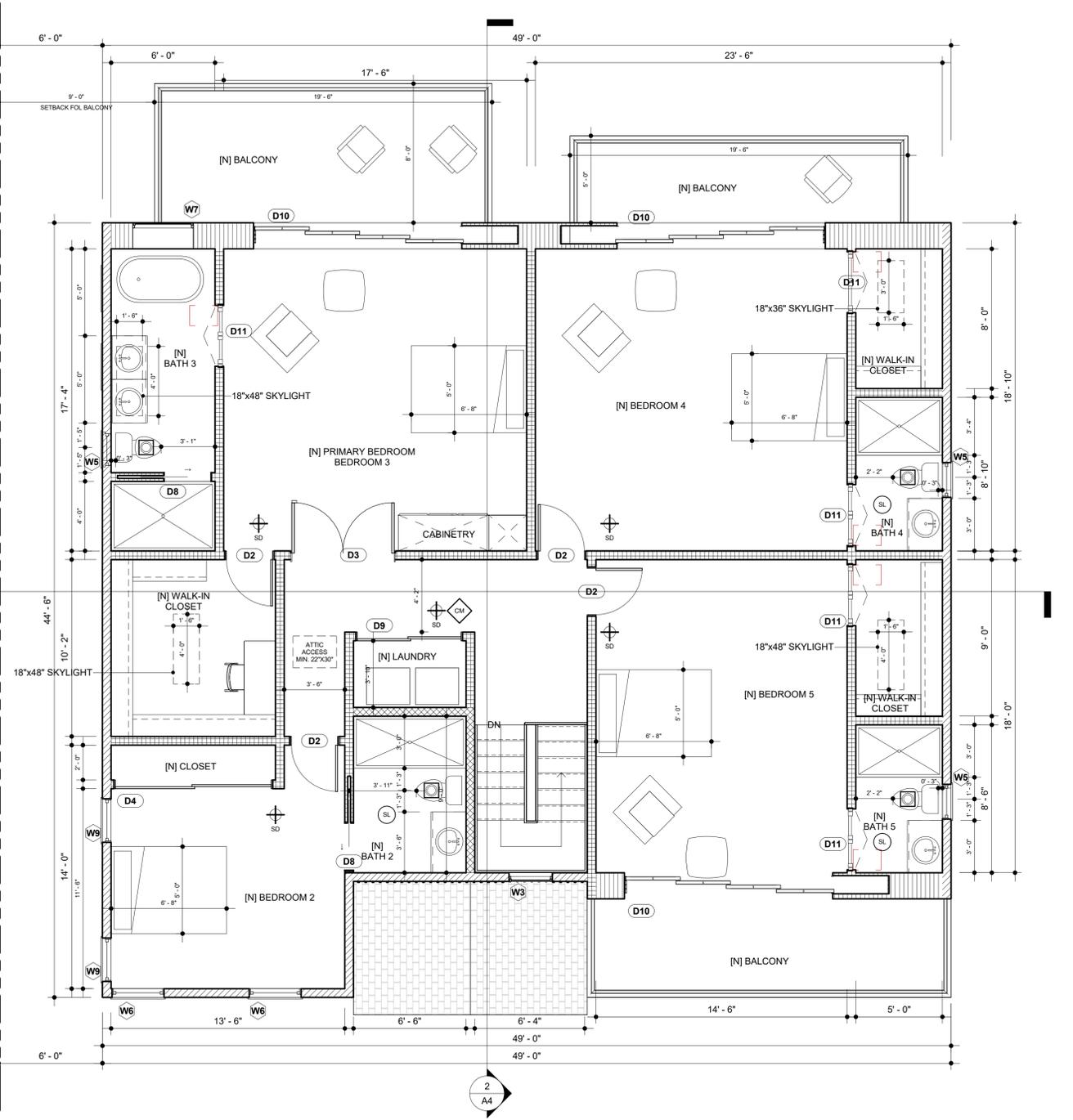
Setback Range Used (ft)	No Lots Used	Lots Designation	Frontages Used (ft)	Total Frontage (ft)	Setbacks Used (ft)	Total Setback (ft)
19.00 - 20.50	12	2, 3, 6, 7, 8, 9, 10, 11, 12, 15, 16, 17	92.20, 52.98, 72.60, 72.60, 48.40, 48.40, 48.40, 75.00, 70.00, 50.00, 50.00, 50.15	730.73	19.30, 20.20, 20.00, 20.00, 20.40, 19.80, 20.00, 19.00, 19.20, 19.80, 20.50, 19.70	237.90



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1 PROPOSED FIRST FLOOR PLAN - SFD A
 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN - SFD A
 1/4" = 1'-0"

LEGEND

- HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
 - CARBON MONOXIDE - HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
 - SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3
 - MECHANICAL VENT, 7 1/2 CFM AIR CHANGE PER PERSON, ENERGY STAR. EXHAUST FANS COMPLY WITH THE FOLLOWING:
 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 3. MIN. 50 CFM.
-
- 2x4 EXISTING MODIFIED WALL
 - 2x6 NEW EXTERIOR WALL
 - 2x6 NEW PLUMBING WALL
 - 1-HR FIRE RATED & S0 STO SOUNDPROOFING WALL PER LABDS P/B/C 2020-069 ON SHEET N4.
 - NEW OVERSIZED WALL FOR BIFOLD DOORS
 - 2x4 NEW INTERIOR WALL

WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	TYPE	TEMPERED	NOTES
W1	3'-6"	6'-6"	FIXED		
W2	2'-6"	7'-0"	TRIPLE HUNG		
W3	2'-6"	6'-0"	FIXED		
W4	2'-6"	2'-6"	FIXED		
W5	2'-0"	4'-0"	HUNG	YES	
W6	3'-0"	5'-0"	HUNG	YES	
W7	3'-6"	4'-0"	FIXED		
W9	2'-6"	5'-0"	HUNG		

- EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENING WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):
- A. MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMAWDMACSA 101/1.5.2/A40.
 - B. MINIMUM 20-MIN FIRE-RESISTANCE-RATED.
 - C. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	NOTES
D1	3'-0"	7'-0"	SWINGING	
D2	2'-8"	7'-0"	SWINGING	
D3	6'-0"	7'-0"	SWINGING	
D4	9'-0"	7'-0"	SLIDING	
D5	9'-0"	7'-0"	ROLLING	
D7	3'-0"	8'-0"	SWINGING	
D8	2'-8"	7'-0"	SLIDING	
D9	6'-0"	7'-0"	SLIDING	
D10	12'-0"	8'-0"	SLIDING	
D11	3'-6"	7'-0"	FOLD	

- EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):
- A. EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
 - B. SOLID CORE WOOD COMPLYING WITH THE FOLLOWING:
 - STILES AND RAILS MINIMUM 1-3/8 INCHES THICK.
 - RAISED PANELS MINIMUM 1-1/4 INCHES THICK.
 - EXCEPTION: EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8 INCHES THICK.
 - C. MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 262.
 - D. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

KEY NOTES:

1. THE INTERIOR WALLS CAN BE 2x4 STUDS.
2. THE ENTRY DOOR NEEDS TO BE RECESSED BY 3".
3. EXTERIOR SIDE OF THE DOOR SHALL NOT EXCEED 1.5 INCHES IF IT SWINGS OVER A LANDING OR 7.67 INCHES IF IT DOES NOT SWING OVER A LANDING.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANDER WILL HAVE THE SAME FLOOR PLAN BUT DIFFERENT ORIENTATION (SEE DEPARTMENT PLAN), AND IT WILL ORIGINALLY EXISTING WALL TO REMAIN.
- PRELIMINARY ZONING ASSESSMENT BY: Daniel Yip
 DATE: 03/15/2024
 APPLICATION #: 24010-10000-0009

EXHIBIT "A"
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 Case No. APCS-2023-4402-ZC-HCA

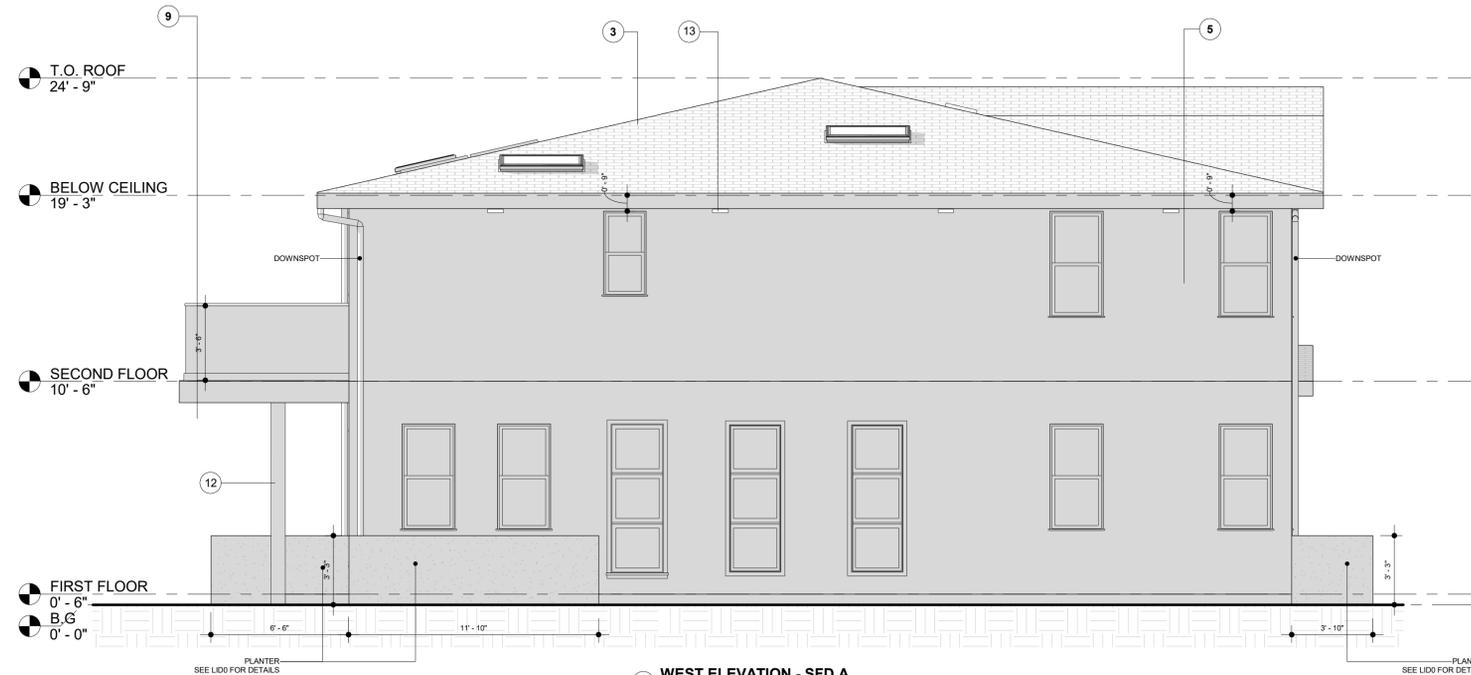
FIRE PROTECTION NOTES

- A. SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING ROOM, ON THE CEILING OR WALL, IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ON STORY (907.2.11.1, R314.3).
- B. THE POWER SOURCE FOR SMOKE DETECTORS SHALL BE AS FOLLOWS:
 - IN NEW CONSTRUCTION SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK UP (907.2.11.1, R314.4).
 - IN EXISTING SFD, SMOKE DETECTORS MAY BE BATTERY OPERATED (907.2.11.1, R314.4).
- C. CARBON MONOXIDE ALARM IS REQUIRED PER SECTION 420.4, R316).
- D. SPRINKLER SYSTEM SHALL BE REQUIRED FOR ADU IF THE EXISTING DWELING HAS DIFFERENT ORIENTATION AND DEPARTMENT SPRINKLER SYSTEM.
- E. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLICATIONS ARE INSTALLED AND DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH GARAGE DWELLING UNITS SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF DWELLING UNIT INCLUDING BASEMENTS (R316).
- F. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE (R303.9).
- G. DOORS
 - DOORS AND ENCLOSURE FOR HOT TUB, BATHUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING) THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE.
 - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR WITHIN 6' OF STANDING SURFACE
 - IN WALL ENCLOSING STAIRWAY LANDING.
 - GUARD AND HANDRAILS.

ALL PLANS ARE DIAGNOSTIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.



1 SOUTH ELEVATION - SFD A
1/4" = 1'-0"



2 WEST ELEVATION - SFD A
1/4" = 1'-0"

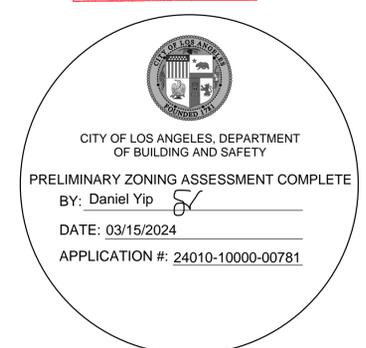
SECTION NOTES & ELEVATION

1. WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS
2. CEILING INSULATION: R-30 PER TITLE 24.
3. ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD -. COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.
ROOF INSULATION: R-19 PER TITLE 24.
4. FLOOR JOIST PER STRUCTURAL PLAN.
INSULATION: R-30 PER TITLE 24.
5. EXTERIOR WALL/PLUMBING WALL: 2x6 STUD WALL.
6. INTERIOR WALL: 2x4 STUD WALL.
7. ATTIC VENT.
8. EXISTING / NEW FOUNDATION.
9. 7/8" NON-REFLECTIVE ARTMESIA EARTH TONE COLOR, 2 LAYERS OF GRADE D (ASTM E2556, TYPE1) PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH (2510.6, R703.7.3) OR MARBLE STONE LOOK WALL TILE (6 SQ. FT./CASE), BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
10. THE HEIGHT BETWEEN FLOOR AND CEILING ON ALL FLOORS MUST BE EQUAL.
11. BUILDER TO COUNT FOR STACK UP TOLERANCE, SOFFIT, AND DROP CEILINGS AND SUBMIT SHOP DRAWINGS TO OWNER OR DESIGNER.
12. POST PER STRUCTURAL PLAN.
13. EXTERIOR LIGHTING, NO POINTING TO OUTSIDE.
14. FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN).

EXHIBIT "A"
Page No. 6 of 19
Case No. APCS-2023-4402-ZC-HCA



COMPLETE PACKAGE DRAFTING
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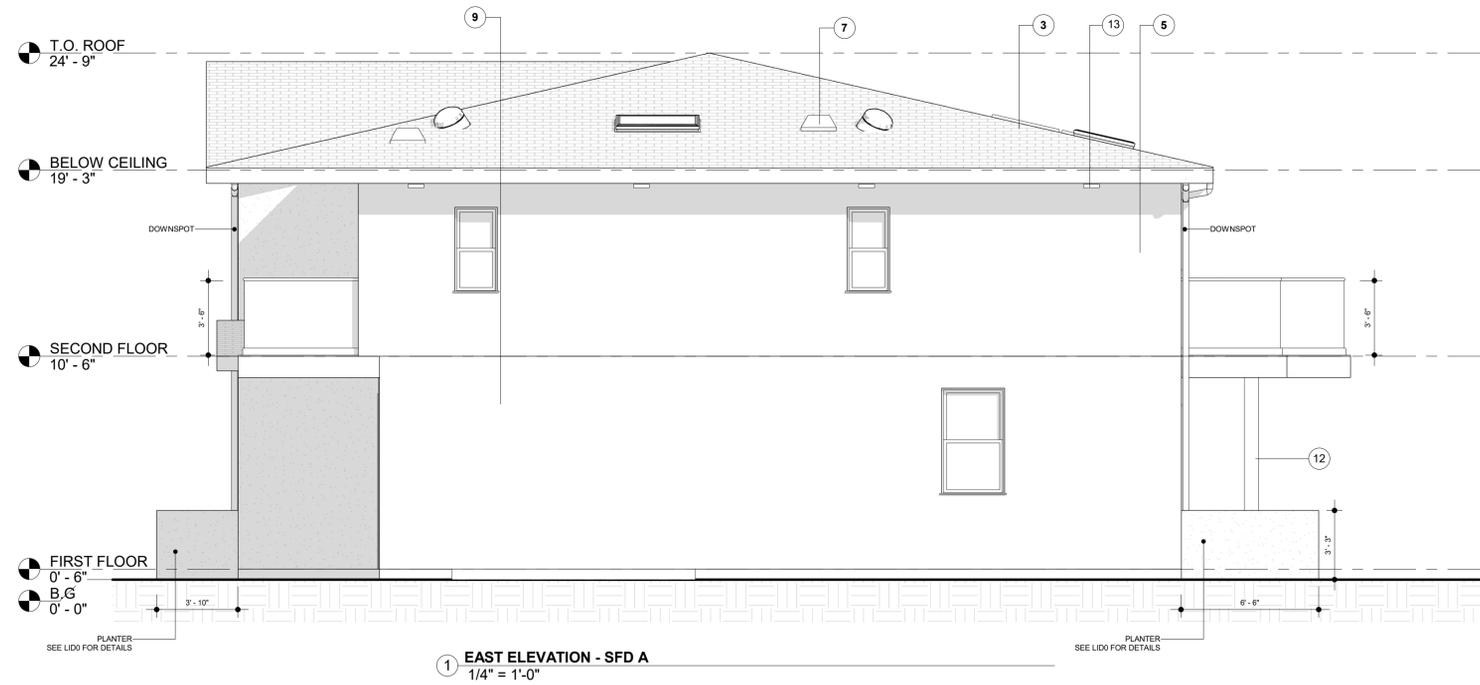


PROJECT
PROJECT ADDRESS
17820 W ERWIN ST.
PROPERTY ADDRESS
17820 W ERWIN ST.
ENCINO, CA 91316

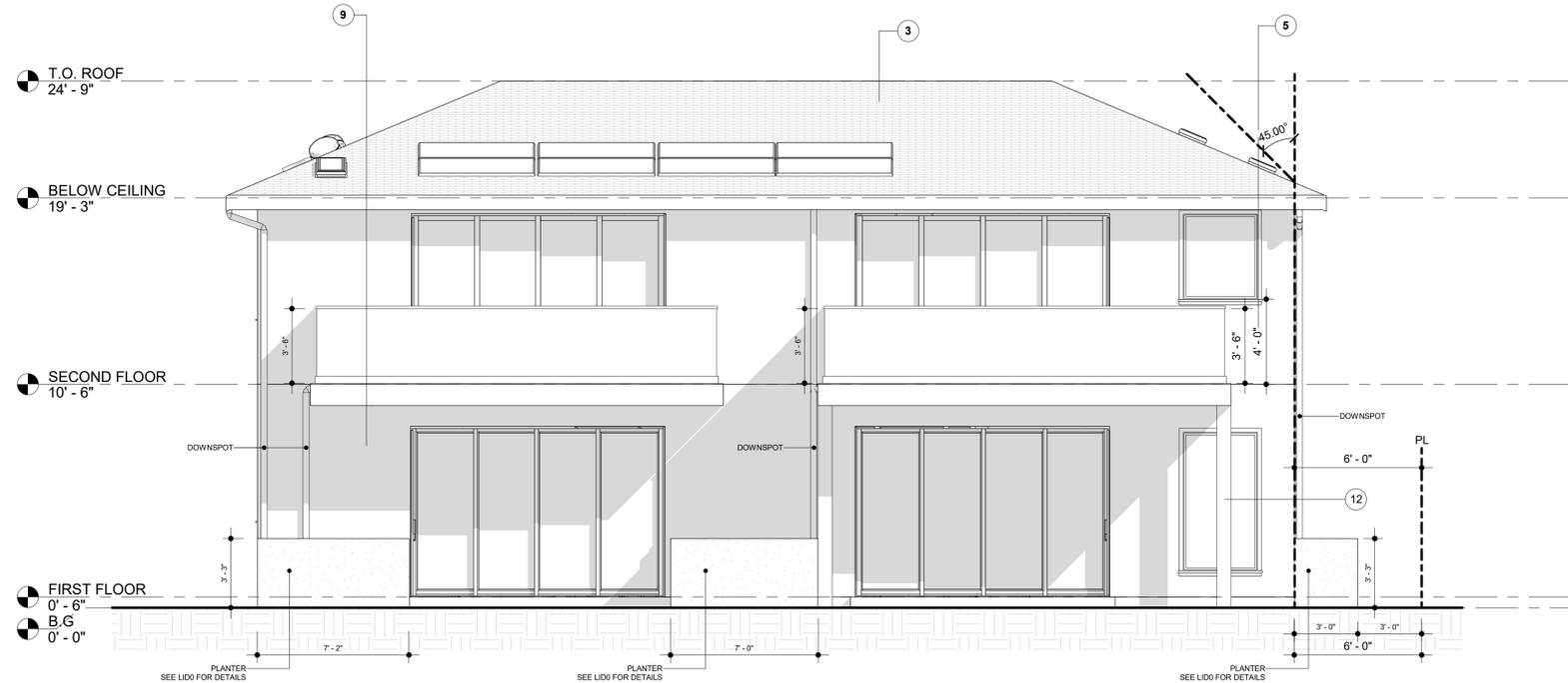
SHEET NAME
SHEET NAME
ELEVATIONS - SFD A
SCALE
1/4" = 1'-0"

SCALE
1/4" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
ELEVATIONS -
SFD A

A2



1 EAST ELEVATION - SFD A
1/4" = 1'-0"



2 NORTH ELEVATION - SFD A
1/4" = 1'-0"

SECTION NOTES & ELEVATION

1. WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS
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10. THE HEIGHT BETWEEN FLOOR AND CEILING ON ALL FLOORS MUST BE EQUAL.
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12. POST PER STRUCTURAL PLAN.
13. EXTERIOR LIGHTING, NO POINTING TO OUTSIDE.
14. FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

NOTES FOR PLANNING:

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EXHIBIT "A"
Page No. 7 of 19
Case No. APCS-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: Daniel Yip
DATE: 03/15/2024
APPLICATION #: 24010-10000-00781



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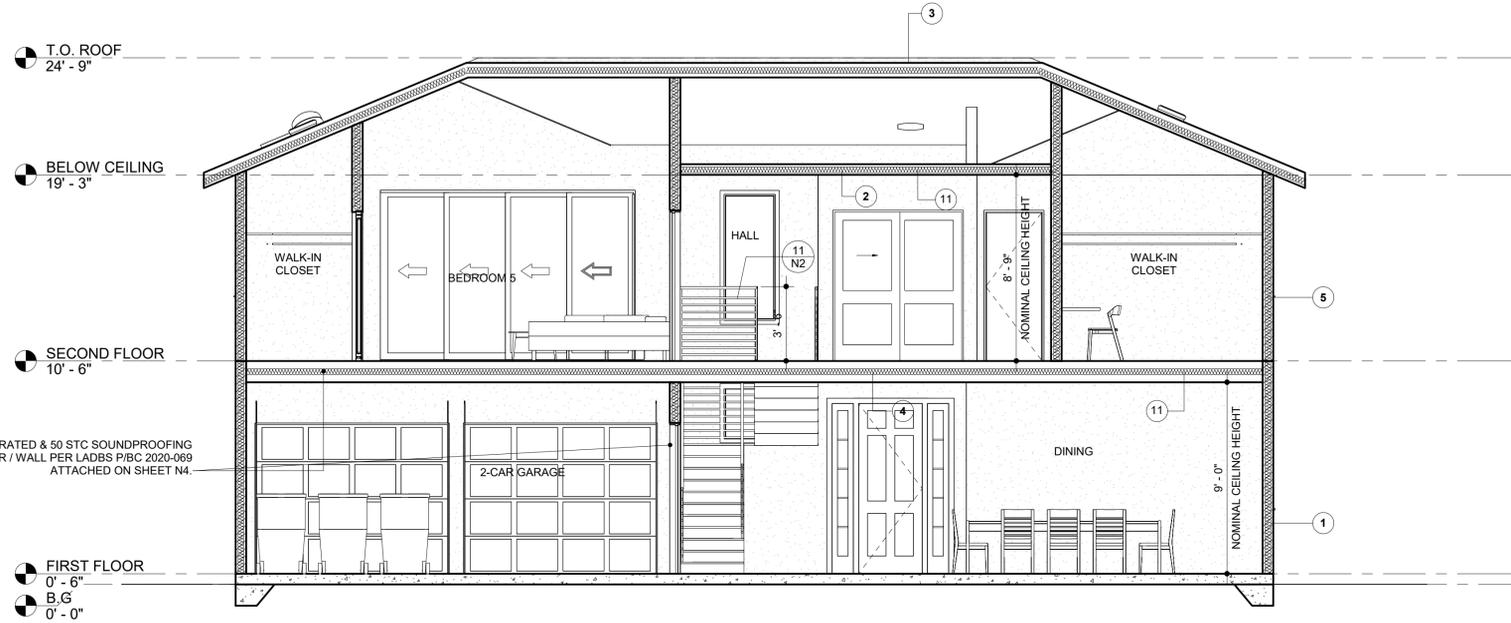
PROJECT
17820 W ERWIN ST.
PROPERTY ADDRESS
17820 W ERWIN ST.
ENCINO, CA 91316

SHEET NAME
ELEVATIONS - SFD A
SCALE
1/4" = 1'-0"

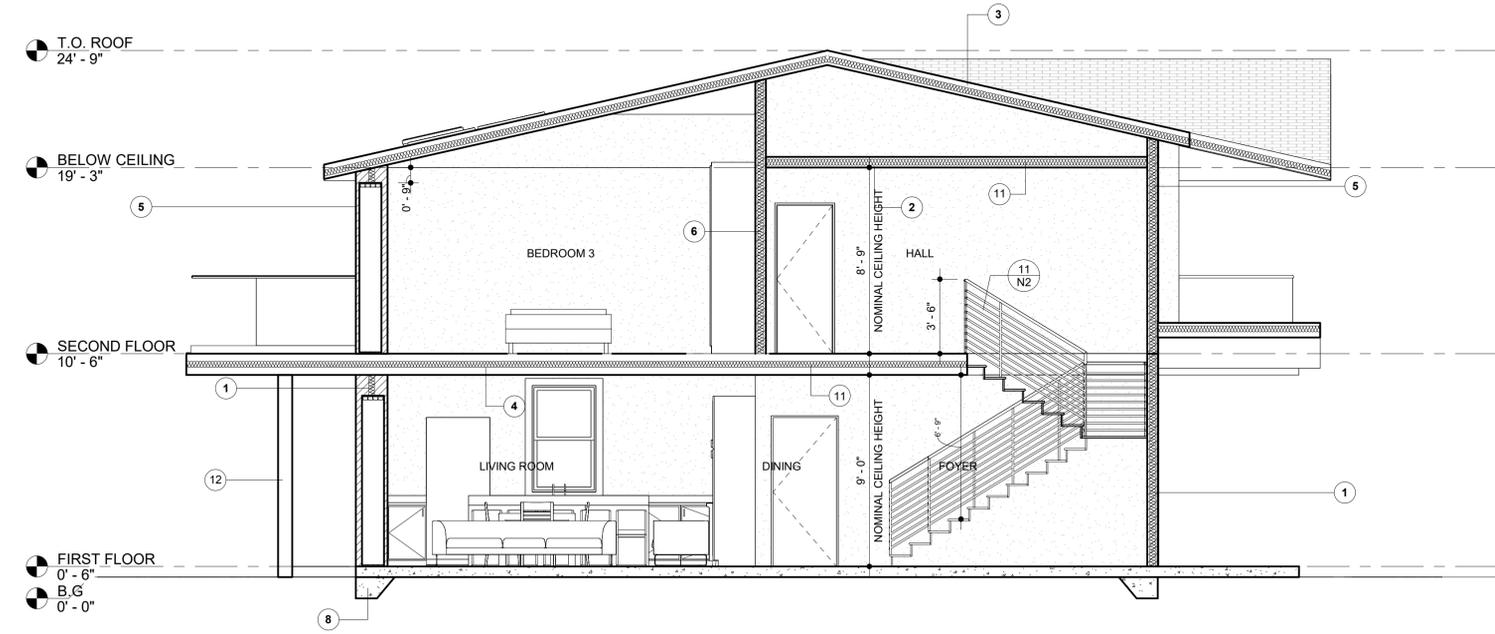
SCALE
1/4" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
ELEVATIONS - SFD A

A3

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1 SECTION A - SFD A
 1/4" = 1'-0"



2 SECTION B - SFD A
 1/4" = 1'-0"

EXHIBIT "A"
 Page No. 8 of 19
 Case No. APCSV-2023-4402-ZC-HCA



SECTION NOTES & ELEVATION

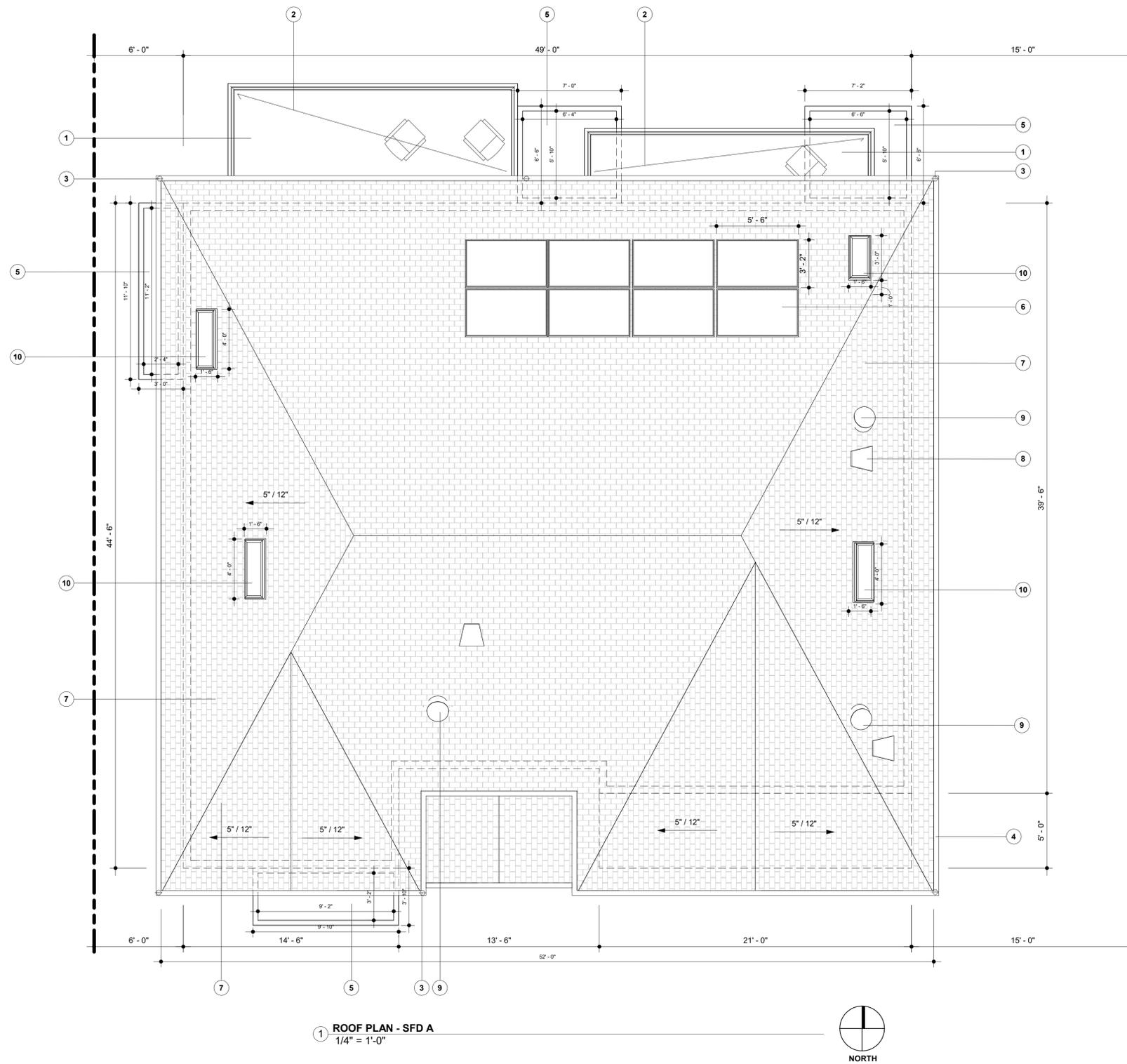
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NOTES FOR PLANNING:

- THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN).

NOTES

- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
- OTHER PENETRATIONS OF GARAGE/DWELLING CEILINGS AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).
- THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)
- MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)



1 ROOF PLAN - SFD A
1/4" = 1'-0"

EXHIBIT "A"
Page No. 9 of 19
Case No. APCSV-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: Daniel Yip
DATE: 03/15/2024
APPLICATION #: 24010-10000-00781

ROOF NOTES

- PROPERTY LINE
- ⊕ GUTTER DOWNSPOUT WITH SCREEN

DESCRIPTION	QUANTITY	UNIT
2ND FLOOR ROOF	2,303	SF
1ST FLOOR ROOF	69	SF
TOTAL ROOF	2,372	SF

ATTIC VENT CALCULATION:

ATTIC AREA OVER HALLWAY & BATH 2 : 280.7 SQ.FT.
280.7 / 150 = 1.87 SQ.FT. REQUIRED
ATTIC AREA OVER BATH 4 : 45 SQ.FT.
45 / 150 = 0.3 SQ.FT. REQUIRED
ATTIC AREA OVER BATH 5 : 50 SQ.FT.
50 / 150 = 0.33 SQ.FT. REQUIRED
PROVIDED: 3 x 2.2 = 6.6 SQ.FT.
PROVIDED > REQUIRED

SEE SHEET A2 & A3 FOR VENTS SIZES AND LOCATIONS.

SOLAR PANEL CALCULATION:

3.07 KW REQUIRED PER TITLE 24
(3.07 x 1000) / 430 = 7.13 MIN. NUMBER OF SOLAR PANEL REQUIRED
PROVIDED: 8
PROVIDED > REQUIRED
SEE SOLAR PANEL SPEC. SHEET ON SHEET N3.

NOTES

1. APPLY WATERPROOFING. SEE ATTACHED ESR-1757 ON SHEET N3.
2. SLOPE : 1/4" PER EACH FEET WITH DRAINAGE ROUTED ALL THE WAY DOWN TO THE GROUND LEVEL / PLANTER.
3. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR ROOF SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.
4. INNER DRAINS, SCUPPERS, OR SIPHONIC ROOF DRAIN IS REQUIRED PRIOR FOR DOWNSPOT.
5. PLANTER PER DETAILS ON SHEET L1D0.
6. SOLAR PANEL PER ATTACHED SPEC. SHEET ON SHEET N3.
7. ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD - TO MATCH EXISTING. COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.
8. HALF DOME VENT, MIN. 2.2 SQ.FT NET VENT AREA. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR VENT. DESIGNER OR OWNER APPROVAL IS REQUIRED.
9. SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3.
10. SKYLIGHT. ESR-4108 ATTACHED ON SHEET N3.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL BE THE SAME AS THE SFD FACING ERWIN ST BUT DIFFERENT DIRECTION (SEE THE SITE PLAN).



PROJECT
17820 W ERWIN ST.
PROPERTY ADDRESS
17820 W ERWIN ST.
ENCINO, CA 91316

SHEET NAME
ROOF PLAN - SFD A
SCALE
1/4" = 1'-0"

SCALE
1/4" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
ROOF PLAN - SFD A

A5

ALL PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.

SCOPE OF WORK

- MAJOR REMODELING AND ADDITION ON THE FIRST FLOOR, ADDING A SECOND LEVEL (3,539 SQ.FT)

OWNER

- OHEL, LLC

TERMS AND CONDITIONS

NOTICE TO THE CONTRACTOR, BUILDER, INSTALLER, SUB-CONTRACTOR, AND/OR OWNER-BUILDER: BY USING THESE DRAWINGS, YOU AGREE TO:

- CONDUCT YOUR OWN INDEPENDENT PROPERTY SURVEY AND/OR EXACT MEASUREMENTS OF ALL INTERIOR AND EXTERIOR PORTIONS OF THE PROPERTY.
- INDEPENDENTLY VERIFY ALL EXISTING DIMENSIONS AND/OR CONDITIONS BEFORE THE PLAN CHECK, BEFORE THE START OF THE CONSTRUCTION, AND DURING THE CONSTRUCTION. COMPLETE PACKAGE DRAFTING IS NOT RESPONSIBLE FOR YOUR INDEPENDENT FAILURE TO VERIFY ALL EXISTING DIMENSIONS AND/OR CONDITIONS.
- ASSUMPTIONS MIGHT HAVE BEEN MADE, YOU MUST VERIFY AND NOTIFY COMPLETE PACKAGE DRAFTING IF CHANGES ARE NECESSARY.
- CHANGES MIGHT BE NECESSARY DURING THE CONSTRUCTION. SUCH CHANGES MAY NOT BE INCLUDED IN YOUR CONTRACT WITH COMPLETE PACKAGE DRAFTING.
- ANY CHANGES AFTER THE PERMIT ISSUANCE, REGARDLESS OF REASONS AND/OR CAUSATION, MAY RESULT IN FEES AND/OR CHARGES ON AN HOURLY BASIS.
- THE OWNER AND/OR PROJECT OWNER IS/ARE RESPONSIBLE TO COMPENSATE COMPLETE PACKAGE DRAFTING FOR ANY TIME SPENT AFTER THE PERMIT IS ISSUED REGARDLESS OF REASONS AND/OR CAUSATIONS, EVEN IF A CONTRACTOR SAYS IT'S A MISTAKE OR IT'S WRONG.
- A CONTRACTOR OR SUB-CONTRACTOR, REGARDLESS OF LICENSE STATUS AND YEARS OF EXPERIENCE, IS NOT QUALIFIED TO DECIDE WHAT IS CORRECT OR WRONG ON THESE DRAWINGS.
- NO GUARANTEE OR INSURANCE HAS BEEN PROMISED WHATSOEVER BY THE DRAFTER TO THE OWNER, PROJECT OWNER AND/OR ANY CONTRACTOR.
- CREATOR(S) OF THE PLANS DO NOT OWE OR HAVE ANY OUTSTANDING COMMITMENTS POST PERMIT ISSUANCE.
- ELECTRONIC FILES, INCLUDING BUT NOT LIMITED TO CAD FILES, WILL NOT BE SHARED. THEY WILL REMAIN THE WORK PRODUCT OF DRAFTER.
- THE PDF OF THE PLANS WILL BE EMAILED ONLY ONCE AFTER THEY'RE APPROVED BY THE BUILDING DEPARTMENT OR COMPLETION OF THE PROJECT FOR FREE. THERE WILL BE A FEE FOR PROVIDING ADDITIONAL COPIES OF ANY PLANS AFTER THAT.
- ALL FUTURE WORK WILL DEPEND ON AVAILABILITY. COMPLETE PACKAGE DRAFTING RESERVES THE RIGHT TO REFUSE FUTURE WORK TO ANY CUSTOMER.
- RUSHED REQUESTS MAY OR MAY NOT BE FULFILLED REGARDLESS OF WILLINGNESS TO COMPENSATE.
- ALL QUESTIONS AND REQUESTS FOR INFORMATION (RFI) MUST BE SUBMITTED PRIOR TO CONSTRUCTION TAKE-OFF. A FEE MAY BE REQUIRED FOR ANSWERING QUESTIONS AND PROVIDING INFORMATION REGARDLESS OF THE REASON AND/OR CAUSATION OF THE QUESTION AND/OR REQUESTS.

NOTES FOR PLANNING

REQUESTED ENTITLEMENTS

- AUTHORIZING CODE SECTION LAMC SECTION 17.50 AUTHORIZES PARCEL MAP ACTIONS.
- ACTION REQUESTED, NARRATIVE: THIS PROJECT AIMS TO SUBDIVIDE THE LOT INTO TWO SEPARATE LOTS.
- AUTHORIZING CODE SECTION: LAMC SECTION 12.32-F AUTHORIZES ZONE CHANGE ACTIONS.
- ACTION REQUESTED, NARRATIVE: THIS PROJECT AIMS TO CHANGE THE ZONE FROM RA TO R1. EACH LOT AREA AFTER SUBDIVISION WILL BE UNDER 17,500 SQ.FT WHICH IS THE MINIMUM FOR RA. SO WE HAVE TO CHANGE THE ZONE FROM RA TO R1

SHEET INDEX

NUMBER	NAME
A0.0	COVER SHEET
A0.1	SITE PLAN
A0.2	AREA ANALYSIS
A0.3	PREVAILING SETBACK CALCULATION
B1.0	EXISTING FLOOR PLAN
B1.1	PROPOSED FLOOR PLAN - SFD B
B2	ELEVATIONS - SFD B
B3	ELEVATIONS - SFD B
B4	SECTIONS - SFD B
B5	ROOF PLAN - SFD B
B6.0	ISOMETRIC VIEWS
B6.1	ISOMETRIC VIEWS
B6.2	ISOMETRIC VIEWS
GRC-0	GREEN BUILDING CODES
GRC-1	GREEN BUILDING CODES
LID0	LID COMPLIANCE
LID1	LID COMPLIANCE
N1	NOTES
N2	GENERAL DETAILS - USE AS APPLICABLE
N3	DETAILS
N4	DETAILS
T24.0	TITLE 24
T24.1	TITLE 24

PROJECT ADDRESS

MAIN 17820 W ERWIN ST, ENCINO, CA 91316

COMPLETE PACKAGE DRAFTING
CPdrafting.com
 22815 Ventura Blvd. #227
 Woodland Hills, CA 91364
 Tell: (818) 493-1121
 Info@CPdrafting.com

LEGAL DESCRIPTION AS OF 06/01/2023

SITE ADDRESS 17820 W ERWIN ST
ZIP CODE 91316
PIN NUMBER 177B129 92
LOT / PARCEL AREA (CALCULATED) 21,782.2 (sq ft)
THOMAS BROTHERS GRID PAGE 531 - GRID A7
ASSESSOR PARCEL NO. (APN) 2123025011
TRACT TR 5947
MAP REFERENCE M B 63-96/97
BLOCK None
LOT FR 113
ARB (LOT CUT REFERENCE) None
MAP SHEET 177B129

PLANNING AND ZONING AS OF 06/01/2023

SPECIAL NOTES None
ZONING RA-1-RIO
ZONING INFORMATION (ZI) ZI-2358 RIVER IMPLEMENTATION OVERLAY DISTRICT (RIO)
ZONING INFORMATION (ZI) ZI-2462 MODIFICATIONS TO SF ZONES AND SF ZONE HILLSIDE AREA REGULATIONS
ZONING INFORMATION (ZI) ZI-2438 EQUINE KEEPING IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE Low Residential
GENERAL PLAN NOTE(S) Yes
HILLSIDE AREA (ZONING CODE) No
SPECIFIC PLAN AREA None
SUBAREA None
SPECIAL LAND USE / ZONING None
HISTORIC PRESERVATION REVIEW No

NOTES

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158 AND 180,670) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE (70) (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1210.2.3, 2406.4.5, R307.2, R308.4)
- WATER HEATER MUST BE STRAPPED TO WALL. (507.3 & LAPC)
- SPRINKLER SYSTEM MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION.
- A FIRE ALARM (VISUAL AND AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION. (LAMC 57.122)
- CARBON MONOXIDE ALARM IS REQUIRED PER (420.6, R315)

AREA PER LOT

	LOT TOWARD ERWIN ST	LOT TOWARD DELANO ST
TOTAL SQUARE FOOTAGE OF THE EXISTING DEVELOPMENT	1,366	0
SQUARE FOOTAGE TO BE DEMOLISHED	0	0
SQUARE FOOTAGE TO BE BUILT	2,173	3,539
NET NEW SQUARE FOOTAGE	3,539	3,539
TOTAL GROSS SQUARE FOOTAGE	3,539	3,539
TOTAL	7,078 SQ.FT	

- SFD B = SFD FACING ERWIN ST
- SFD A = SFD FACING DELANO ST
- SHEETS "B" ARE FOR SFD B (SFD FACING ERWIN ST)
- SHEETS "A" ARE FOR SFD A (SFD FACING DELANO ST)

AREA TABLE

EXISTING RFA PER ASSESSOR TO BE REMODELED	1,366	SF
[N] 2-STORY ADDITION	1,974	SF
[N] GARAGE (-200 EXEMPT)	199	SF
PROPOSED 2-STORY DWELLING	3,539	SF
PROPOSED HEIGHT	24'-9"	
PROPOSED PARKING SPACES	2	
TOTAL LOT SIZE	18,685	SF
AREA OF PARCEL B	10,497	SF
MAX. ALLOWABLE AREA (45%)	4,723.65	SF

SEE SHEET A0.2 FOR AREA ANALYSIS

ASSESSOR AS OF 06/01/2023

BUILDING 1
YEAR BUILT 1953
BUILDING CLASS D55A
NUMBER OF UNITS 1
NUMBER OF BEDROOMS 2
NUMBER OF BATHROOMS 2
BUILDING SQUARE FOOTAGE 1,366.0 (sq ft)

VICINITY MAP (N.T.S)



APPLICABLE CODES

- 2023 CALIFORNIA BUILDING CODE.
- 2023 CALIFORNIA ELECTRICAL CODE.
- 2023 CALIFORNIA MECHANICAL CODE.
- 2023 CALIFORNIA PLUMBING CODE.
- 2023 CALIFORNIA GREEN BUILDING CODE.
- 2023 CALIFORNIA ENERGY CODE.
- 2023 LA MUNICIPAL CODE



EQUINE KEEPING CHECKLIST FORM

No building permit shall be issued for any building creating new habitable space on a lot located in whole or in part within an Equine Keeping "K" District and/or any lot zoned RA, RE20, RE40, A1, or A2 without completing this form. This form shall be completed and submitted during plan check. For more information on the process, refer to the flowchart.

Address: _____

PCIS: _____

Please read the following two (2) questions carefully and answer either YES or NO:

(1) Is there any equine keeping on any of the adjacent properties?
 (i.e. an equine, animal keeping enclosure, barn, equine license) NO YES

(2) Is there any equine keeping on your property?
 (i.e. an equine, animal keeping enclosure, barn, equine license) NO YES

If the answer to either of the above questions is "yes", you will need to provide a dimensioned site plan that is to-scale and which shows the location of the equine keeping structure and/or enclosure on your lot and any of the adjacent properties and indicate the distances between your proposed habitable room additions, new single family dwelling unit, Accessory Living Quarters or Servant Quarters and such structures and/or enclosures. The information on the site plan shall be verified by LADBS inspection before construction can commence.

Please call (888)LA4BUILD or (888)524-2845, for Equinekeeping pre-construction inspection to verify the accuracy of the provided information before starting any construction.

For information on the setback requirements from an equine keeping structure and/or enclosure, please see LADBS Information Bulletin No. P/ZC 2002-018.

http://ladbs.org/LADBSWeb/LADBS_Forms/InformationBulletins/IB-P-ZC2014-018EquineKeeping.pdf

Any incorrect information may lead to the revocation of the corresponding permits.

Property owner or the authorized agent's name: _____

Property owner or the authorized agent's signature: _____

Date: ____/____/____ September 2, 2014

COMPLETE PACKAGE DRAFTING
 CPdrafting.com
 22815 Ventura Blvd. #227
 Woodland Hills, CA 91364
 Tell: (818) 493-1121
 Info@CPdrafting.com

PROJECT
 17820 W ERWIN ST -
 PROPERTY ADDRESS
 17820 W ERWIN ST,
 ENCINO, CA 91316

SHEET NAME
 COVER SHEET
 SCALE

SCALE

DATE
MARS 12 - 2024

SHEET TITLE
COVER SHEET

SCALE

DATE
MARS 12 - 2024

SHEET TITLE
COVER SHEET

A0.0

ALL PLANS ARE DIAGNOSTIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.

LEGEND

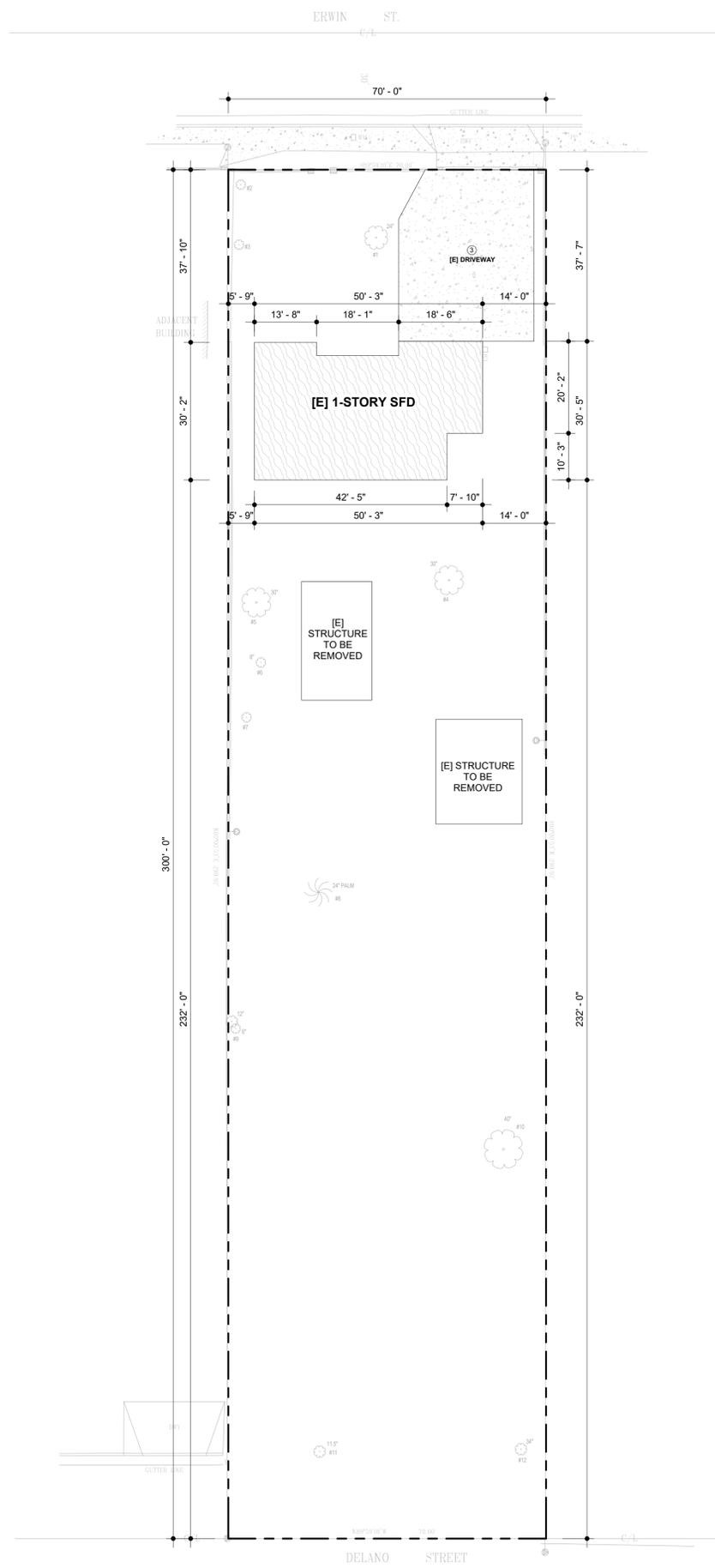
- ① PROPOSED 2-STORY SINGLE FAMILY DWELLING
- ② BUILDING ENTRANCE
- ③ DRIVEWAY
- [E] 1-STORY SINGLE FAMILY DWELLING TO BE REMODELED
- PROPOSED SUBDIVISION LOT LINE
- RIGHT-OF-WAY DEDICATION

NOTES

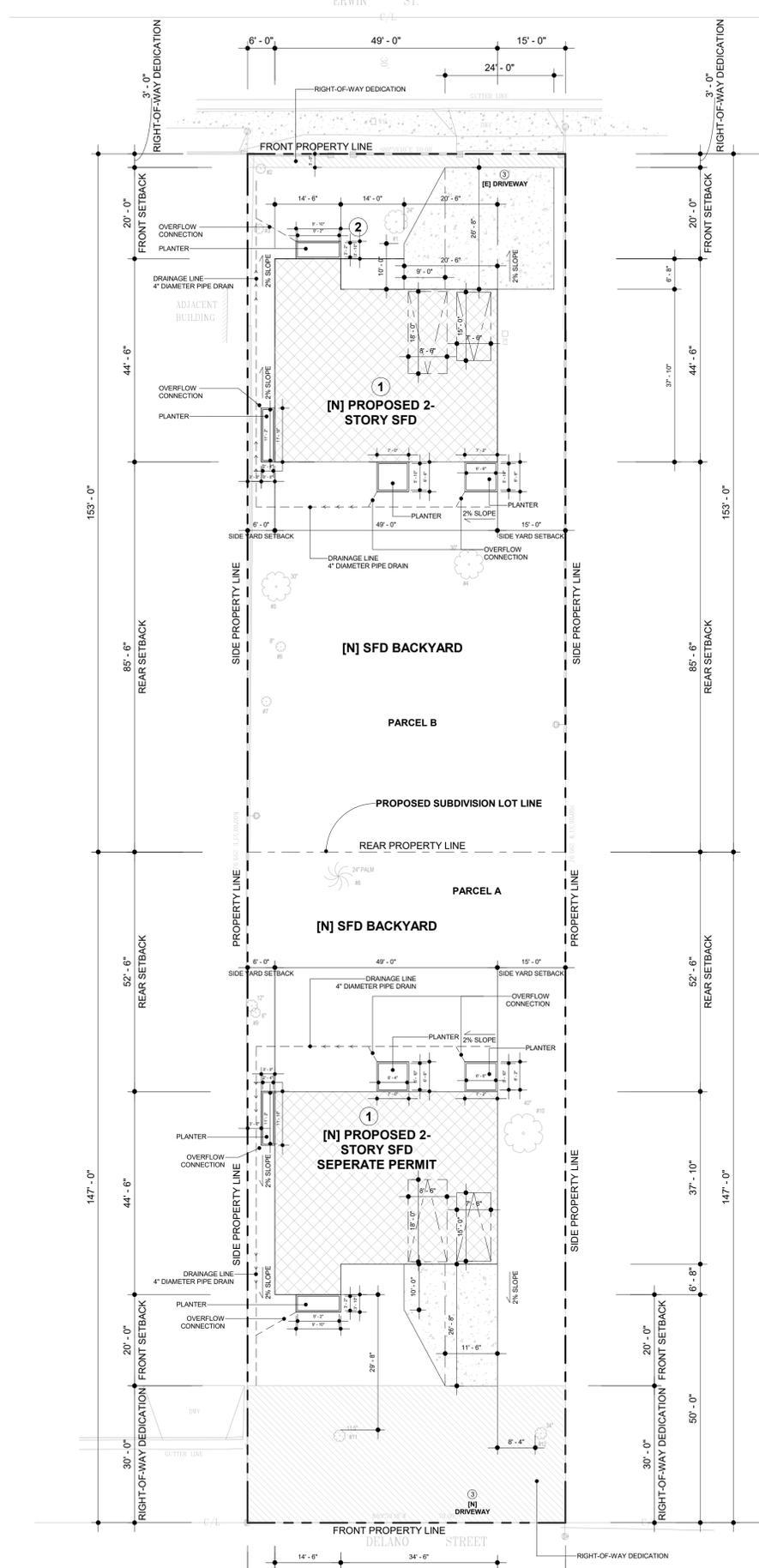
1. EQUIPMENT, ANY EXTERIOR EQUIPMENT (ELECTRICAL TRANSFORMERS, MECHANICAL UNITS, WATER METERS) MUST BE SCREENED FROM PUBLIC VIEW.

AREA TABLE

LOT SIZE	18,685	SF
PARCEL "A"	8,188	SF
PARCEL "B"	10,497	SF



① EXISTING SITE PLAN
1/16" = 1'-0"



② PROPOSED SITE PLAN
1/16" = 1'-0"



EXHIBIT "A"
Page No. 11 of 19
Case No. APCSV-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 BY: Daniel Yip
 DATE: 03/15/2024
 APPLICATION #: 23016-10000-28628

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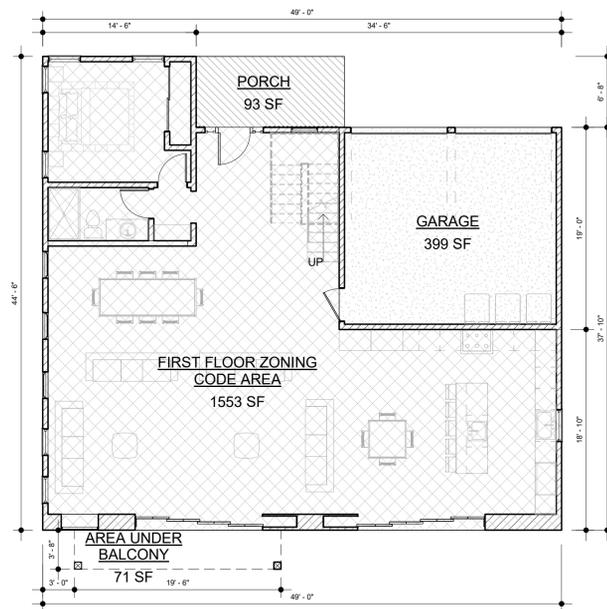
PROJECT
 17820 W ERWIN ST.
 PROPERTY ADDRESS
 17820 W ERWIN ST.
 ENCINO, CA 91316

SHEET NAME
 SHEET NAME
 SITE PLAN
 SCALE
 1/16" = 1'-0"

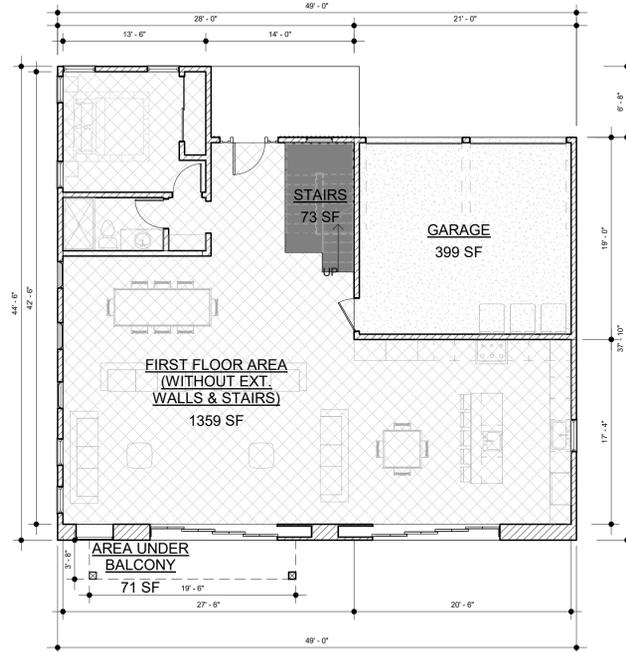
SCALE
 1/16" = 1'-0"
 DATE
 MARS 12 - 2024
 SHEET TITLE
 SITE PLAN

A0.1

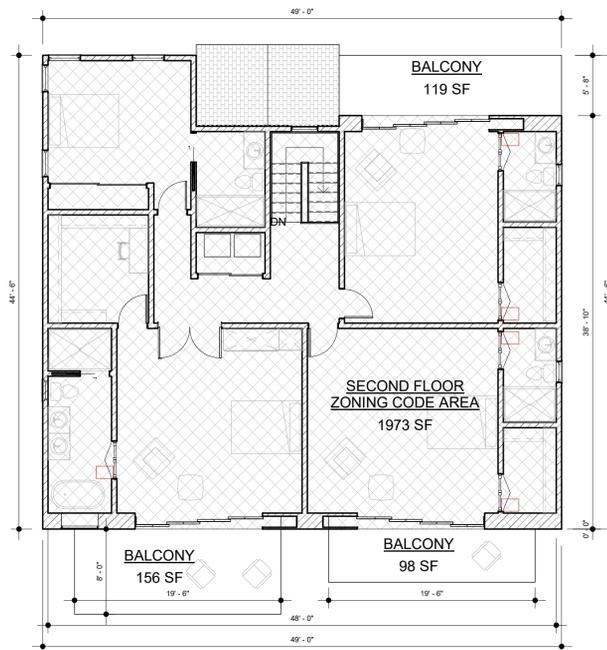
ALL PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.



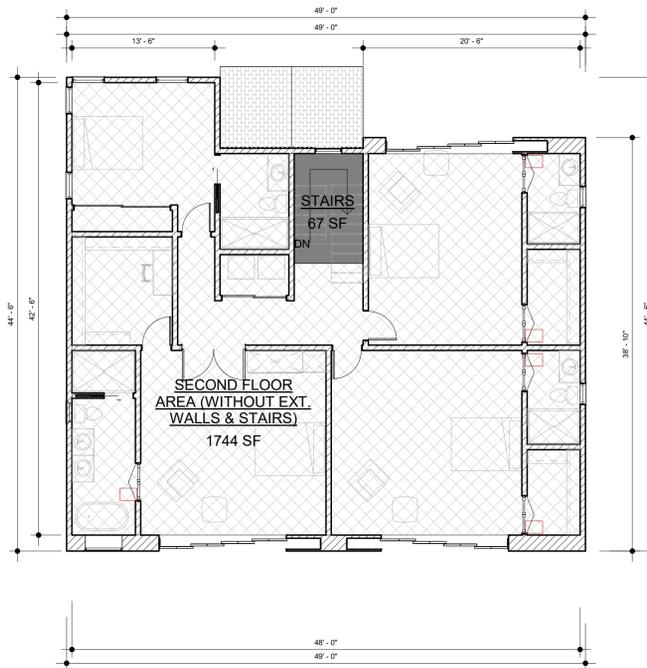
1 FIRST FLOOR - BUILDING CODE AREA
1/8" = 1'-0"



3 FIRST FLOOR - RFA
1/8" = 1'-0"



2 SECOND FLOOR - BUILDING CODE AREA
1/8" = 1'-0"



4 SECOND FLOOR - RFA
1/8" = 1'-0"

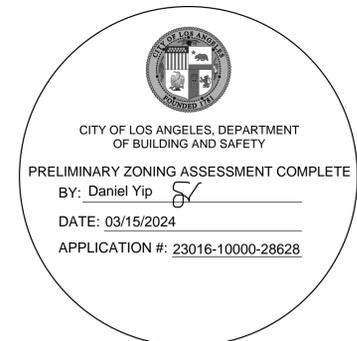
BUILDING CODE FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,553
FRONT PORCH	93
AREA UNDER THE BALCONY	71
GARAGE	399
SECOND FLOOR	1,973
TOTAL BUILDING CODE AREA	4,089

RESIDENTIAL FLOOR AREA AND SCHOOL FEE	
LEVEL	SF
FIRST FLOOR	1,359
FRONT PORCH	93
AREA UNDER THE BALCONY	71
STAIRS AT FIRST FLOOR	73
SECOND FLOOR	1,744
GARAGE (-200 SF EXEMPTION)	199
TOTAL RFA & SCHOOL FEE AREA	3,539

U OCCUPANCY FLOOR AREA	
LEVEL	SF
GARAGE	399
TOTAL	399

R3 OCCUPANCY FLOOR AREA	
LEVEL	SF
FIRST FLOOR	1,596
SECOND FLOOR	1,943
TOTAL	3,539

EXHIBIT "A"
Page No. 12 of 19
Case No. APCS-2023-4402-ZC-HCA



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Tel: (818) 493-1121
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PROJECT
17820 W ERWIN ST.
PROPERTY ADDRESS
17820 W ERWIN ST.
ENCINO, CA 91316

SHEET NAME
AREA ANALYSIS
SCALE
1/8" = 1'-0"

SCALE
1/8" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
AREA ANALYSIS

A0.2

ALL PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.

KEY MAP

LOT 1
FRONTAGE = 100.59 FT
FRONT SETBACK = 26.6 FT

LOT 2
FRONTAGE = 92.2 FT
FRONT SETBACK = 19.5 FT

LOT 3
FRONTAGE = 52.98 FT
FRONT SETBACK = 16.9 FT

LOT 4
FRONTAGE = 72.6 FT
FRONT SETBACK = 69.2 FT

LOT 5
FRONTAGE = 72.6 FT
FRONT SETBACK = 19.8 FT

LOT 6
FRONTAGE = 72.6 FT
FRONT SETBACK = 21 FT

LOT 7
FRONTAGE = 72.6 FT
FRONT SETBACK = 18.9 FT

LOT 8
FRONTAGE = 145.2 FT
FRONT SETBACK = 31.3 FT

LOT 9
FRONTAGE = 75 FT
FRONT SETBACK = 33.4 FT

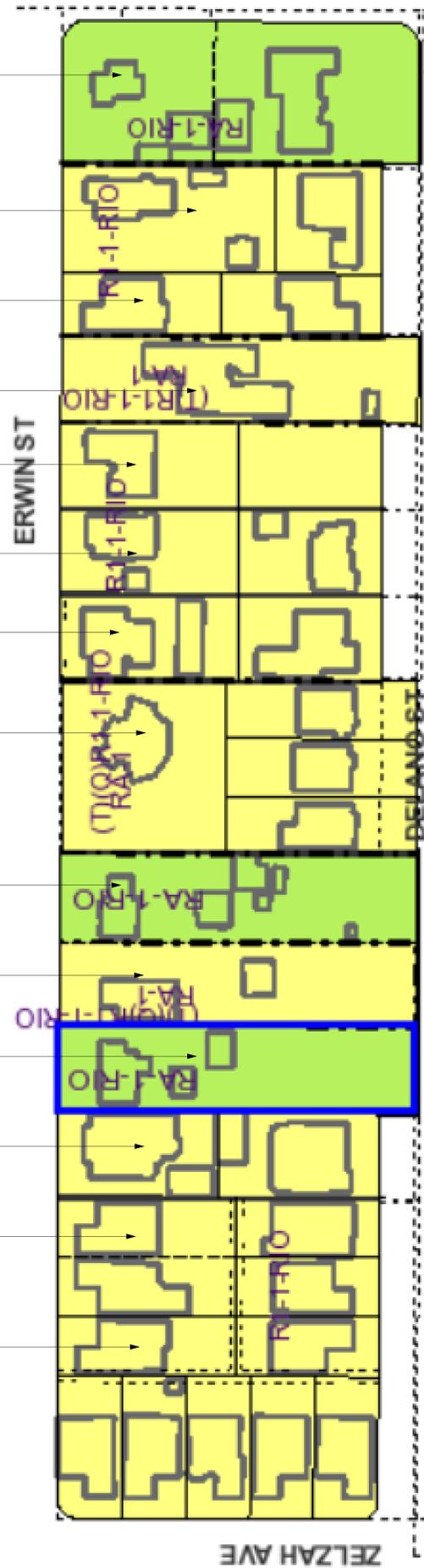
LOT 10
FRONTAGE = 70.2 FT
FRONT SETBACK = 35 FT

LOT 11
FRONTAGE = 70 FT
FRONT SETBACK = 37.9 FT

LOT 12
FRONTAGE = 75.2 FT
FRONT SETBACK = 20.9 FT

LOT 13
FRONTAGE = 100 FT
FRONT SETBACK = 15.7 FT

LOT 14
FRONTAGE = 50.15 FT
FRONT SETBACK = 16.3 FT



PREVAILING SETBACK CALCULATION :

NUMBER OF LOTS: 14

PREVAILING SETBACK: 18.63 FT

TOTAL NO OF LOTS ENTERED: 14

TOTAL FRONTAGE ENTERED: 1121.92 FT

40% FROM TOTAL FRONTAGE ENTERED: 448.77 FT

NO OF LOTS USED IN THE CALCULATION: 8

SETBACK RANGE USED: 15.70 FT - 21.00 FT

TOTAL FRONTAGE USED IN THE CALCULATION: 588.33 FT

Add Lot

Enter the Lot Information after adding rows:

Lot	Frontage (ft)	Setback (ft)
1	100.59	26.6 x
2	92.2	19.5 x
3	52.98	16.9 x
4	72.6	69.2 x
5	72.6	19.8 x
6	72.6	21 x
7	72.6	18.9 x
8	145.2	31.3 x
9	75	33.4 x
10	70.2	35 x
11	70	37.9 x
12	75.2	20.9 x
13	100	15.7 x
14	50.15	16.3 x

Clear

Calculate

View Calculation Details

Results

Number of lots: **14**

Prevailing Setback: **18.63 ft**

Calculation

Total no of lots entered: **14**

Total frontage entered: **1121.92 ft**

40% from total frontage entered: **448.77 ft**

No of lots used in the calculation: **8**

Setback range used: **15.70 ft - 21.00 ft**

Total frontage used in the calculation: **588.33 ft**

Lots Used

Lot	Frontage (ft)	Setback (ft)
2	92.20	19.50
3	52.98	16.90
5	72.60	19.80
6	72.60	21.00
7	72.60	18.90
12	75.20	20.90
13	100.00	15.70
14	50.15	16.30

EXHIBIT "A"

Page No. 13 of 19
Case No. APCS-2023-402-ZC-HCA



Calculation Details

Setback Range Used (ft)	No Lots Used	Lots Designation	Frontages Used (ft)	Total Frontage (ft)	Setbacks Used (ft)	Total Setback (ft)
15.70 - 21.00	8	2, 3, 5, 6, 7, 12, 13, 14	92.20, 52.98, 72.60, 72.60, 72.60, 75.20, 100.00, 50.15	588.33	19.50, 16.90, 19.80, 21.00, 18.90, 20.90, 15.70, 16.30	149.00



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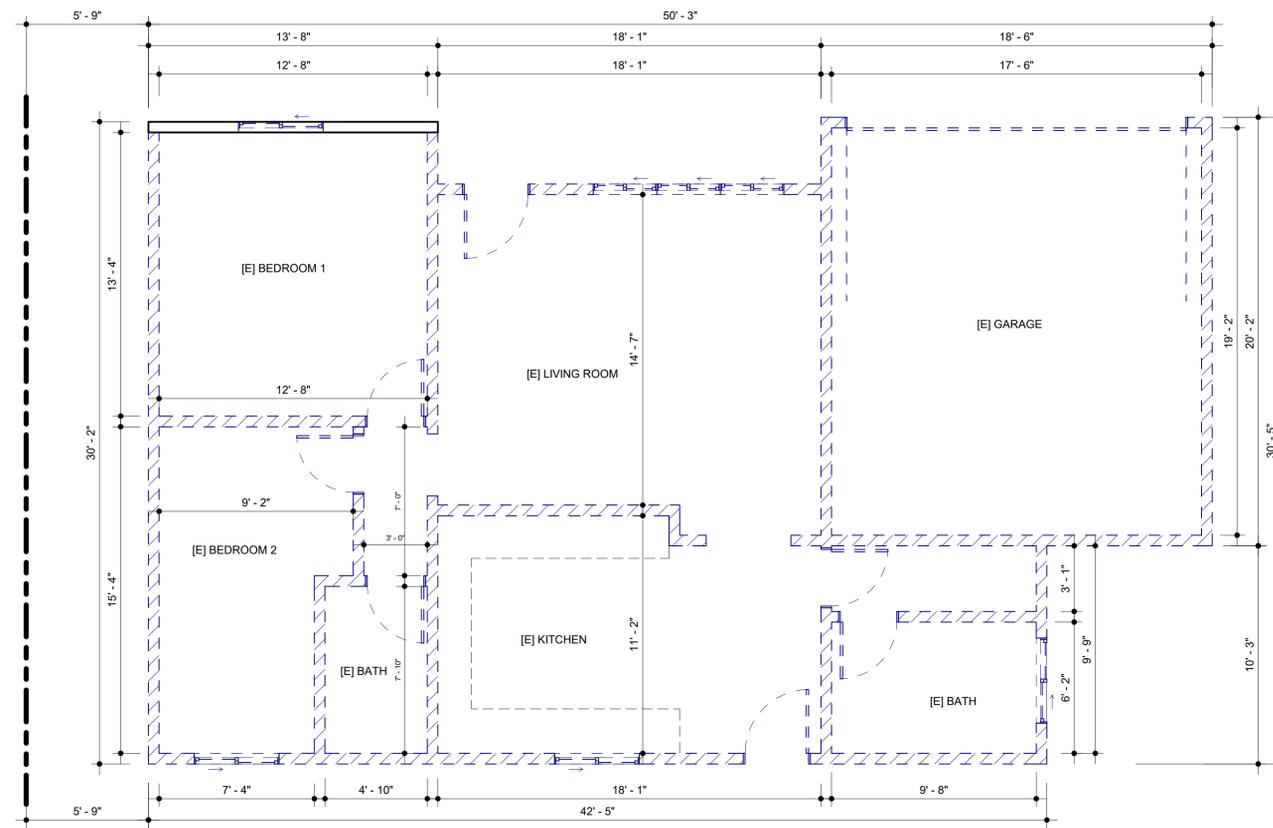
COMPLETE PACKAGE DRAFTING
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 22815 Ventura Blvd. #227
 Woodland Hills, CA 91364
 Tell: (818) 493-1121
 info@CPdrafting.com



PROJECT
 PROJECT ADDRESS
 17820 W ERWIN ST.
 PROPERTY ADDRESS
 17820 W ERWIN ST,
 ENCINO, CA 91316

SHEET NAME
 SHEET NAME
 EXISTING FLOOR PLAN
 SCALE
 1/4" = 1'-0"

BUILDER MUST KEEP ONE WALL IN ORDER TO QUALIFY FOR REMODELING / ADDITION



1 EXISTING FLOOR PLAN
 1/4" = 1'-0"



LEGEND

-  EXISTING WALL TO BE MODIFIED
-  EXISTING WALL TO BE REMOVED

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST IS VACANT AND THERE'S NO EXISTING FLOOR PLAN FOR IT.

EXHIBIT "A"
 Page No. 14 of 19
 Case No. APCS-2023-4402-ZC-HCA


 CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 By: Daniel Yip 
 DATE: 03/15/2024
 APPLICATION #: 23016-10000-28628

SCALE
 1/4" = 1'-0"
 DATE
 MARS 12 - 2024
 SHEET TITLE
 EXISTING FLOOR PLAN

B1.0

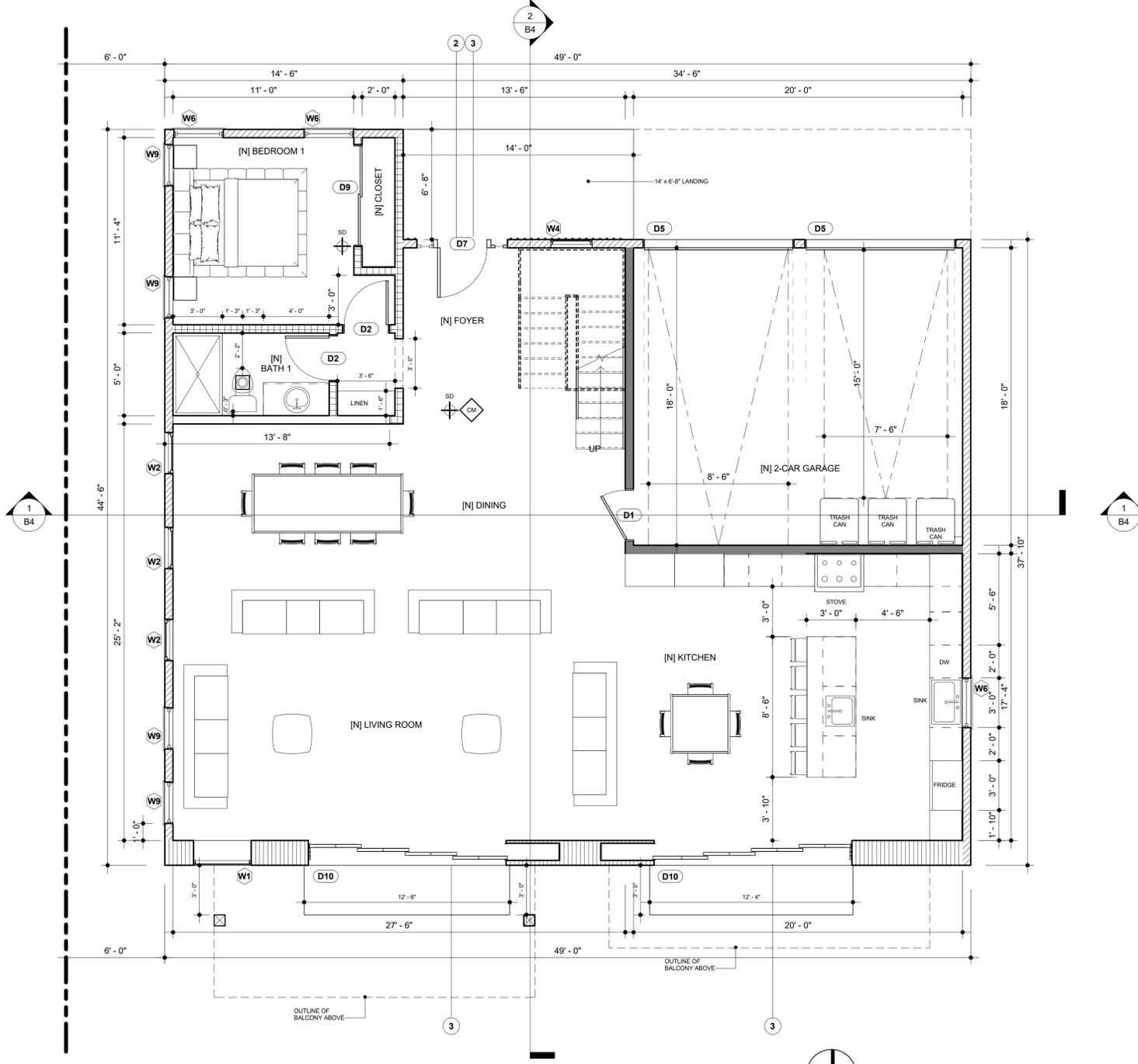


PROJECT
 17820 W ERWIN ST.
 ENCINO, CA 91316

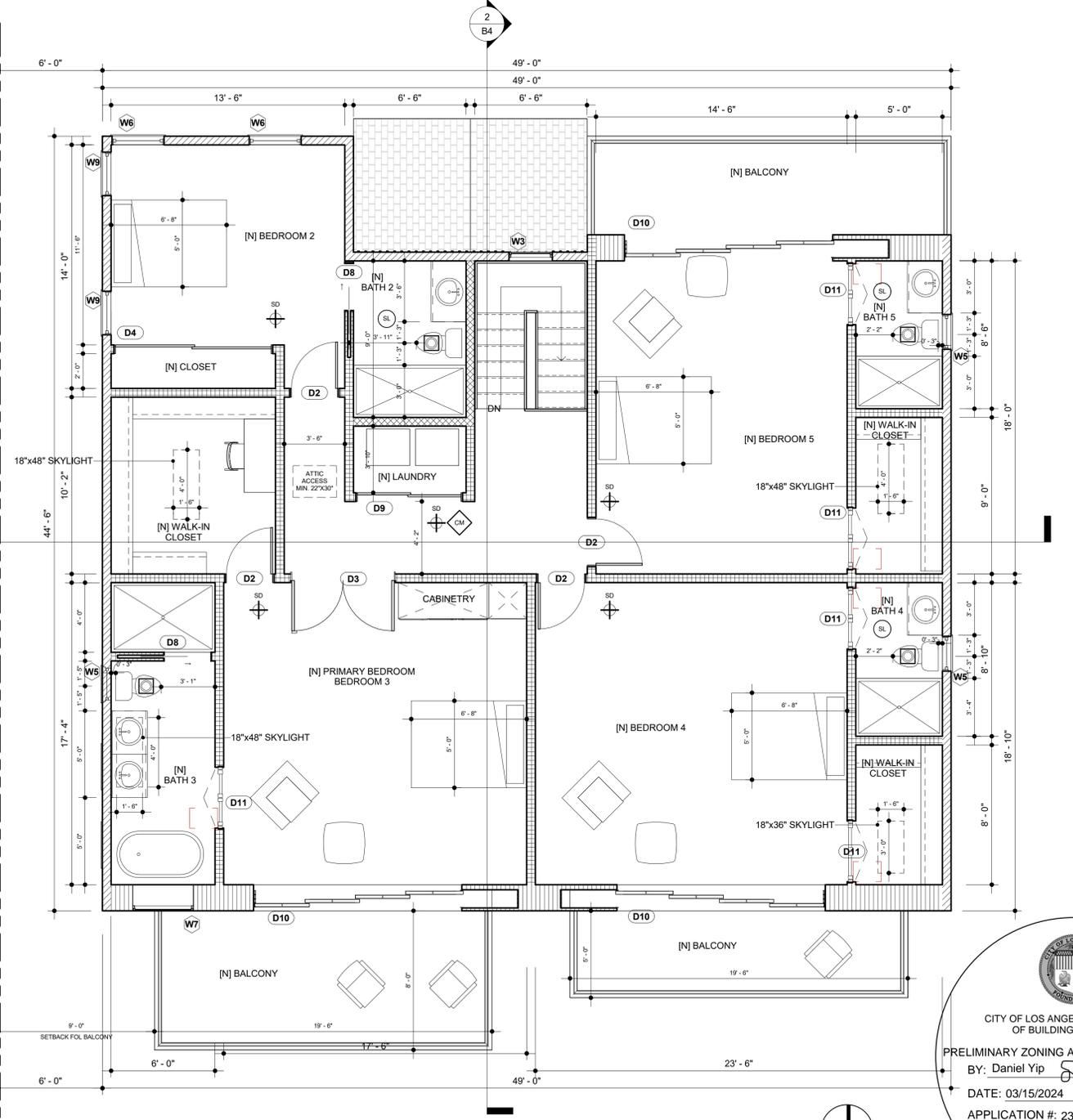
SHEET NAME
 PROPOSED FLOOR PLAN - SFD B
 SCALE
 1/4" = 1'-0"



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
 PRELIMINARY ZONING ASSESSMENT COMPLETE
 By: Daniel Yip
 DATE: 03/15/2024
 APPLICATION #: 23016-10000-28628



1 PROPOSED FIRST FLOOR PLAN - SFD B
 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN - SFD B
 1/4" = 1'-0"

LEGEND

- HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
- CARBON MONOXIDE - HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP
- SUNLIGHT TUNNEL 1" MAX. DIA. ESR-4108 ATTACHED ON SHEET N3
- MECHANICAL VENT, 7/2 CFM AIR CHANGE PER PERSON, ENERGY STAR. EXHAUST FANS COMPLY WITH THE FOLLOWING:
 1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
 2. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 3. MIN. 50 CFM.

- 2x4 EXISTING MODIFIED WALL
- 2x6 NEW EXTERIOR WALL
- 2x6 NEW PLUMBING WALL
- 1-HR FIRE RATED & 50 STC SOUNDPROOFING WALL PER LADBS P/BC 2020-069 ON SHEET N4. 2x6 STUD
- NEW OVERSIZED WALL FOR BIFOLD DOORS
- 2x4 NEW INTERIOR WALL

WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	TYPE	TEMPERED	NOTES
W1	3'-6"	6'-6"	FIXED		
W2	2'-6"	7'-0"	TRIPLE HUNG		
W3	2'-6"	6'-0"	FIXED		
W4	2'-6"	2'-6"	FIXED		
W5	2'-0"	4'-0"	HUNG	YES	
W6	3'-0"	5'-0"	HUNG		
W7	3'-6"	4'-0"	FIXED	YES	
W9	2'-6"	5'-0"	HUNG		

- EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENING WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):
- A. MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMAWDMACSA 101/1.5.2/4.0.
 - B. MINIMUM 20-MIN FIRE-RESISTANCE-RATED.
 - C. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

DOOR SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	NOTES
D1	3'-0"	7'-0"	SWINGING	
D2	2'-8"	7'-0"	SWINGING	
D3	6'-0"	7'-0"	SWINGING	
D4	9'-0"	7'-0"	SLIDING	
D5	9'-0"	7'-0"	ROLLING	
D7	3'-0"	8'-0"	SWINGING	
D8	2'-8"	7'-0"	SLIDING	
D9	6'-0"	7'-0"	SLIDING	
D10	12'-0"	8'-0"	FOLD	
D11	3'-6"	7'-0"	FOLD	

- EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING (SELECT ONE):
- A. EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL.
 - B. SOLID CORE WOOD COMPLYING WITH THE FOLLOWING:
 - STILES AND RAILS MINIMUM 1-3/8 INCHES THICK.
 - RAISED PANELS MINIMUM 1-1/4 INCHES THICK.
 - EXCEPTION: EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO A TONGUE MINIMUM 3/8 INCHES THICK.
 - C. MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 262.
 - D. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1.

KEY NOTES:

1. THE INTERIOR WALLS CAN BE 2x4 STUDS.
2. THE ENTRY DOOR NEEDS TO BE RECESSED BY 3".
3. EXTERIOR SIDE OF THE DOOR SHALL NOT EXCEED 1.5 INCHES IF IT SWINGS OVER A LANDING OR 7.57 INCHES IF IT DOES NOT SWING OVER A LANDING.

NOTES FOR PLANNING:

1. THE NEW LOT FACING DELANO ST WILL HAVE THE SAME FLOOR PLAN BUT DIFFERENT DIRECTION (SEE THE SITE PLAN), AND IT WILL NOT HAVE THE EXISTING WALL TO REMAIN.

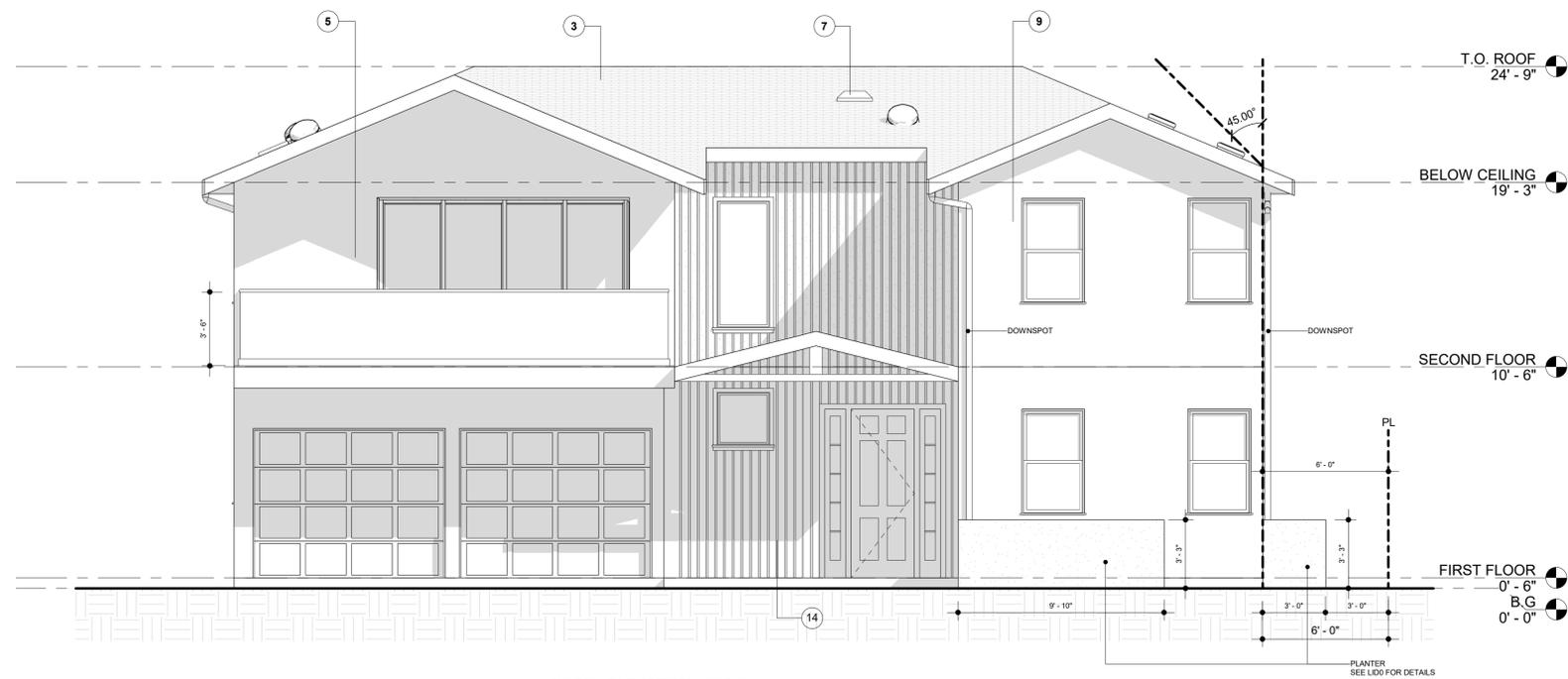
FIRE PROTECTION NOTES

- A. SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING ROOM, ON THE CEILING OR WALL IMMEDIATELY OUTSIDE OF EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLING WITH MORE THAN ONE STORY (907.2.11.1, R314.3).
- B. THE POWER SOURCE FOR SMOKE DETECTORS SHALL BE AS FOLLOWS:
 - IN NEW CONSTRUCTION SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK UP (907.2.11.1, R314.4).
 - IN EXISTING SFD, SMOKE DETECTORS MAY BE BATTERY OPERATED (907.2.11.1, R314.4).
- C. CARBON MONOXIDE ALARM IS REQUIRED PER SECTION 420.4, R316).
- D. SPRINKLER SYSTEM SHALL BE REQUIRED FOR ADU IF THE EXISTING DWELING HAS A SPRINKLER SYSTEM.
- E. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLICATIONS ARE INSTALLED AND DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SERIATE DWELLING UNITS SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF DWELLING UNIT INCLUDING BASEMENTS (R316).
- F. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 60°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE (R303.9).
- G. DOORS:
 - DOORS AND ENCLOSURE FOR HOT TUB, BATHUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING) THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE.
 - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR WITHIN 6' OF STANDING SURFACE.
 - IN WALL ENCLOSING STAIRWAY LANDING.
 - GUARD AND HANDRAILS.

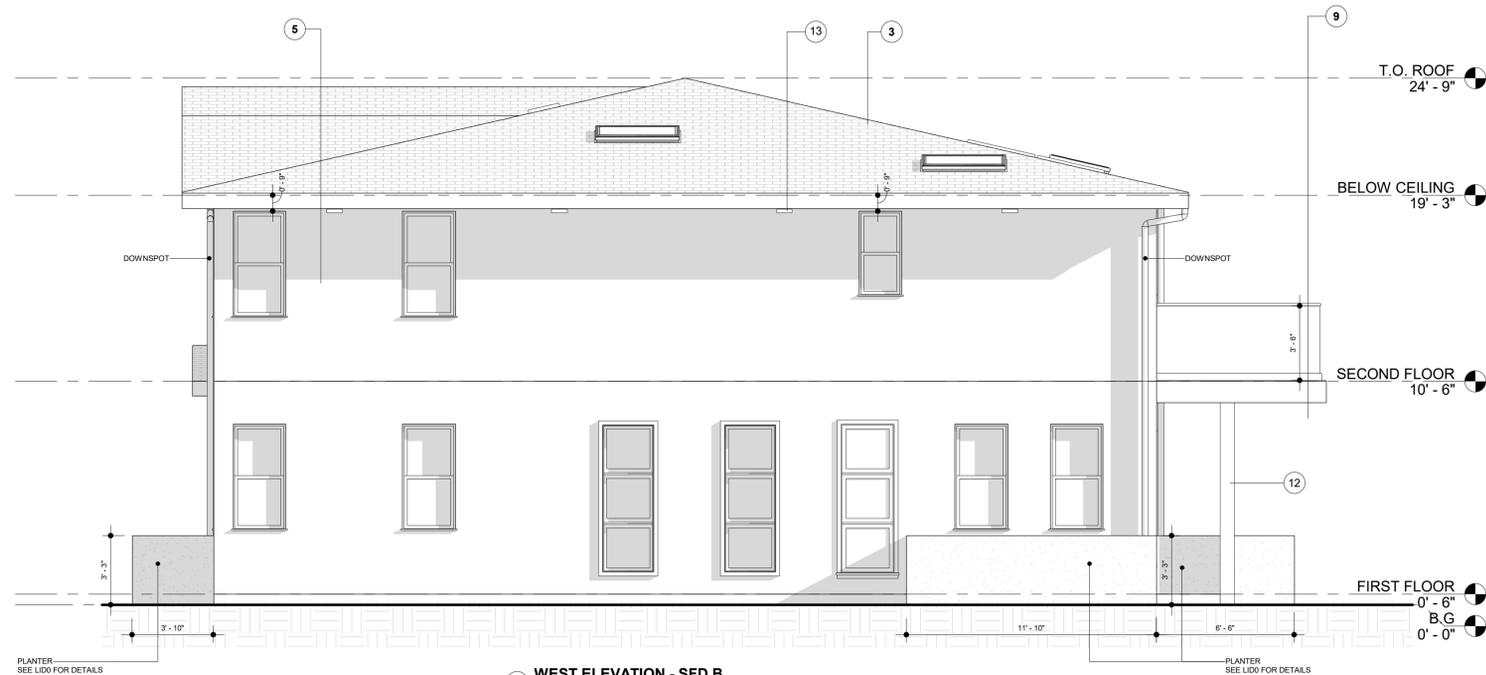
EXHIBIT "A"
 Page No. 15 of 19
 Case No. APCSV-2023-4402-ZC-HCA

SCALE
 1/4" = 1'-0"
 DATE
 MARS 12 - 2024
 SHEET TITLE
 PROPOSED FLOOR PLAN - SFD B
B1.1

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1 NORTH ELEVATION - SFD B
1/4" = 1'-0"



2 WEST ELEVATION - SFD B
1/4" = 1'-0"

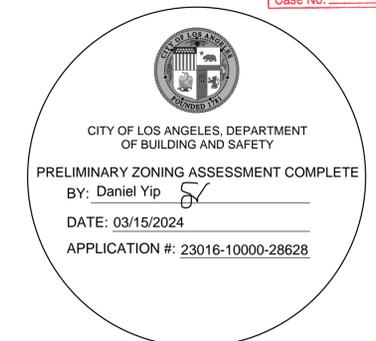
SECTION NOTES & ELEVATION

1. WALL INSULATION: R-21 PER TITLE 24 FOR EXTERIOR WALLS.
R-15 PER TITLE 24 FOR GARAGE FRONT & LEFT SIDE EXTERIOR WALLS
2. CEILING INSULATION: R-30 PER TITLE 24.
3. ROOFING CLASS "A" WITH COMP. SHINGLES OVER 1/2" CDX PLYWOOD - COOL ROOF. ICC-ES ESR-1389 & ESR-3537. SEE ATTACHED SEPC. SHEET FOR SRI ON SHEET N3.
ROOF INSULATION: R-19 PER TITLE 24.
4. FLOOR JOIST PER STRUCTURAL PLAN.
INSULATION: R-30 PER TITLE 24.
5. EXTERIOR WALL/PLUMBING WALL: 2x6 STUD WALL.
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8. EXISTING / NEW FOUNDATION.
9. 7/8" NON-REFLECTIVE ARTMESIA EARTH TONE COLOR, 2 LAYERS OF GRADE D (ASTM E2556, TYPE1) PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH (2510.6, R703.7.3)
OR MARBLE STONE LOOK WALL TILE (6 SQ. FT./CASE), BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP.
DESIGNER OR OWNER APPROVAL IS REQUIRED.
10. THE HEIGHT BETWEEN FLOOR AND CEILING ON ALL FLOORS MUST BE EQUAL.
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12. POST PER STRUCTURAL PLAN.
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14. FIBER CEMENT BOARD AND BATTEN SIDING - NON-REFLECTIVE "GOLD : LIQUID AMBER" TONE COLOR. BUILDER MUST PROVIDE SHOP DRAWINGS AND MATERIAL SPECIFICATION FOR WALL SYSTEM AND BUILD UP. DESIGNER OR OWNER APPROVAL IS REQUIRED.

NOTES FOR PLANNING:

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EXHIBIT "A"
Page No. 16 of 19
Case No. APCSV-2023-4402-ZC-HCA



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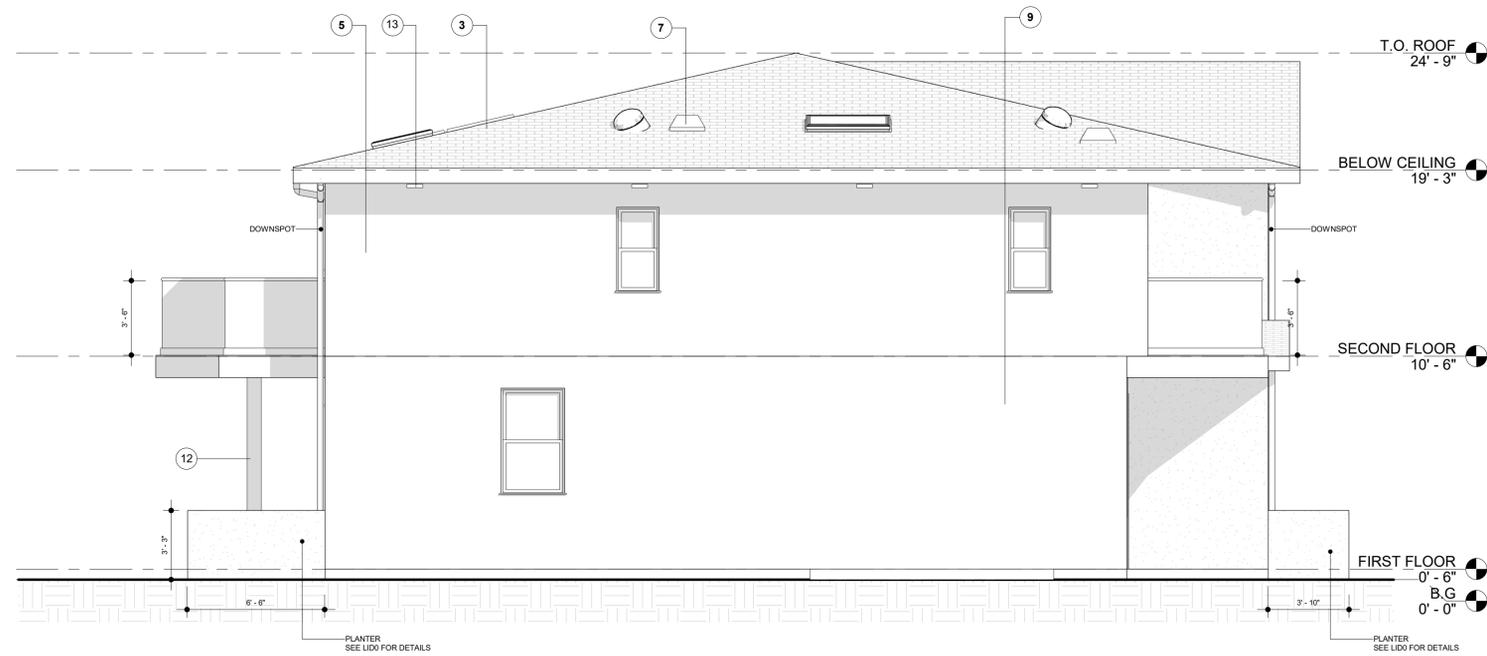


PROJECT
PROJECT NAME
17820 W ERWIN ST.
PROPERTY ADDRESS
17820 W ERWIN ST.
ENCINO, CA 91316

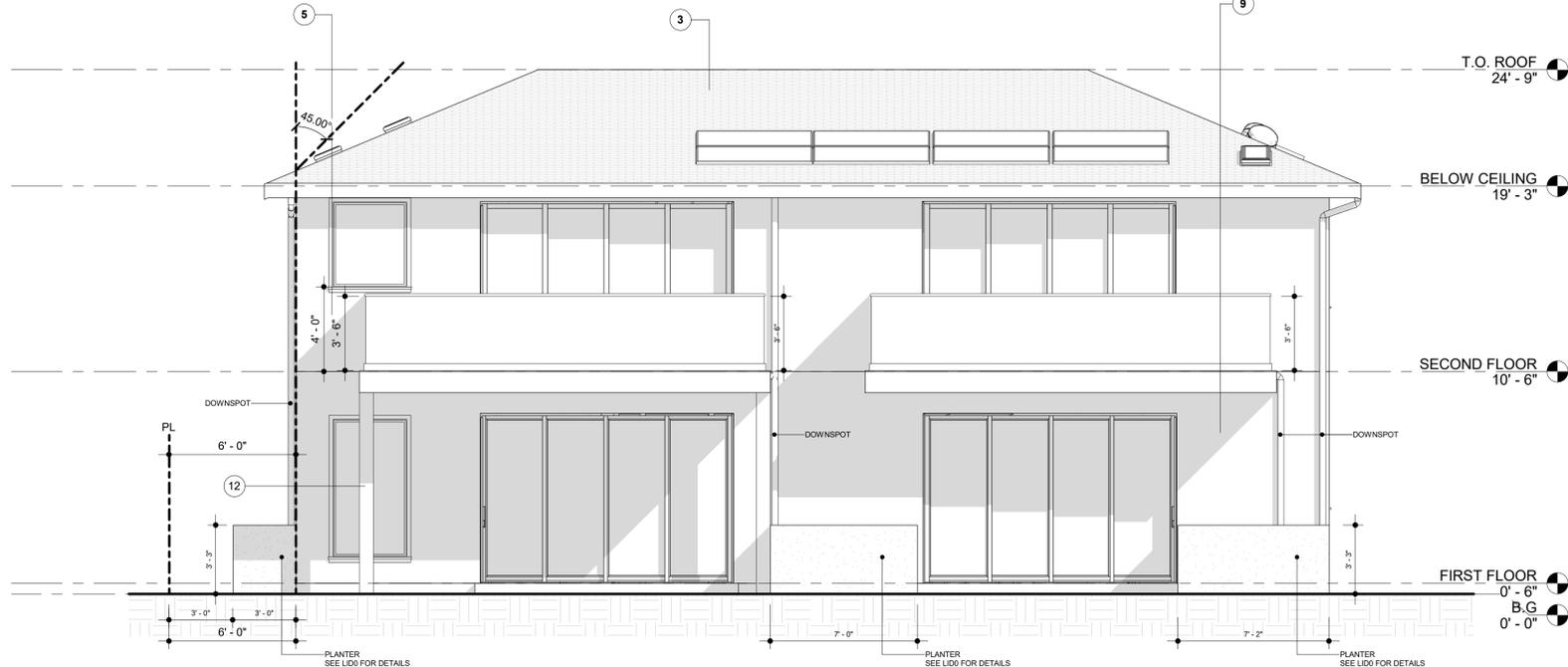
SHEET NAME
SHEET NAME
ELEVATIONS - SFD B
SCALE
1/4" = 1'-0"

SCALE
1/4" = 1'-0"
DATE
MARS 12 - 2024
SHEET TITLE
ELEVATIONS -
SFD B

B2



1 EAST ELEVATION - SFD B
1/4" = 1'-0"



2 SOUTH ELEVATION - SFD B
1/4" = 1'-0"

SECTION NOTES & ELEVATION

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EXHIBIT "A"
Page No. 17 of 19
Case No. APCSV-2023-4402-ZC-HCA

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: Daniel Yip
DATE: 03/15/2024
APPLICATION #: 23016-10000-28628

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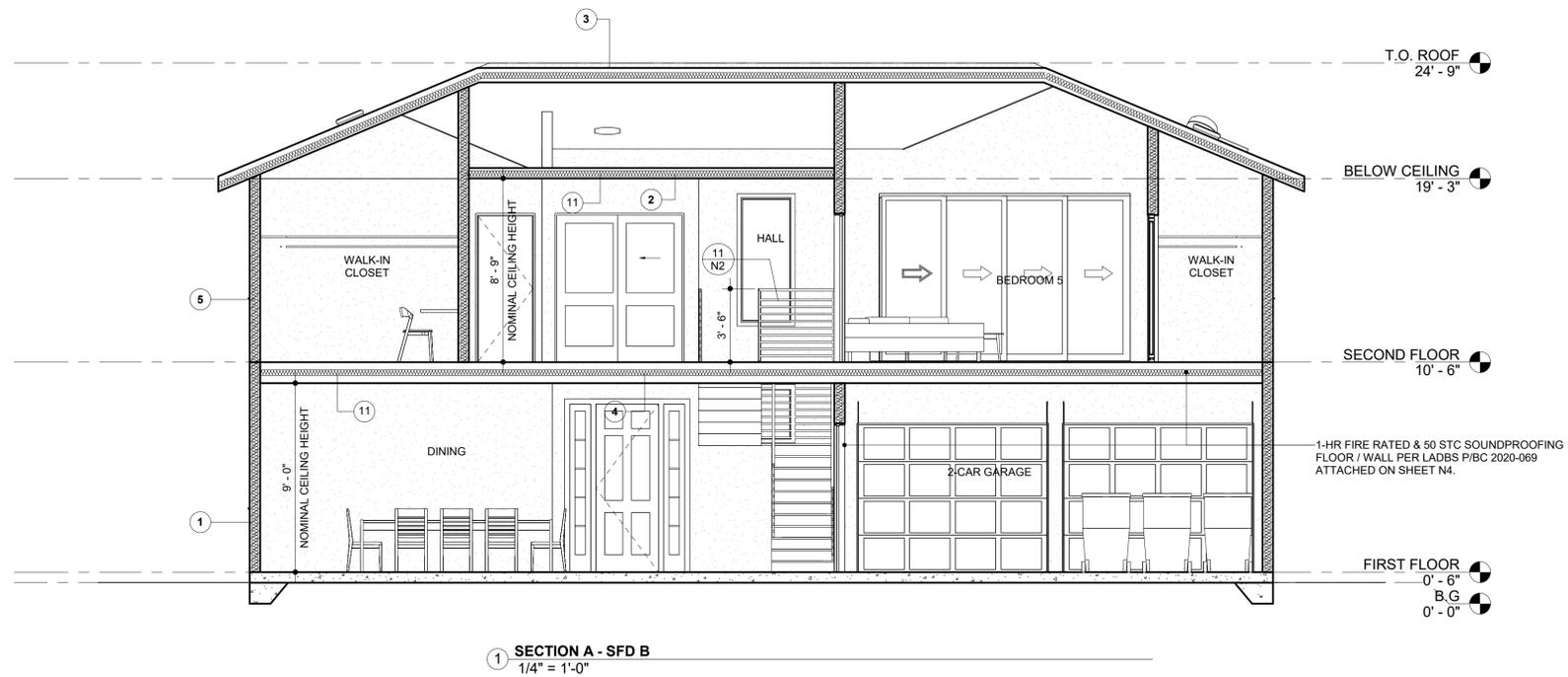
PROJECT
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SHEET NAME
ELEVATIONS - SFD B
SCALE
1/4" = 1'-0"

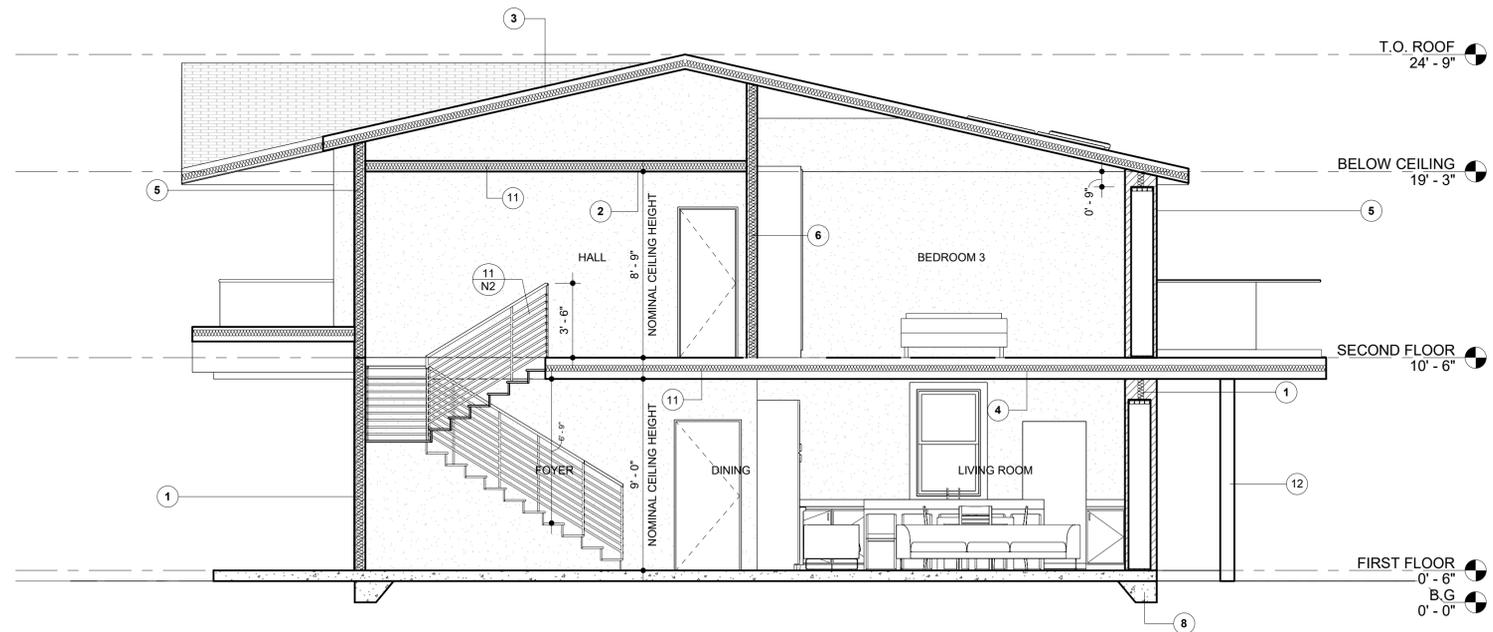
SCALE
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DATE
MARS 12 - 2024
SHEET TITLE
ELEVATIONS - SFD B

B3

ALL PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW COMPLETE SCOPE OF WORK REQUIRED FOR ALL NEW INSTALLATIONS OR FINISHES. INFORMATION CONTAINED ON THESE SHEETS ARE SUGGESTIONS ONLY. REFER TO SPEC SHEET FOR EXACT TYPE & LOCATION OF FIXTURES. FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY DESIGNER OF ANY CONFLICTS. INFORMATION ON THESE SHEETS MAY HAVE BEEN GATHERED AND COMPILED FOR DESIGNER FROM OTHER SOURCES. EVERY EFFORT WAS MADE TO ENSURE ACCURACY OF THIS DRAWING AND DATA HOWEVER NO GUARANTEE IS GIVEN OR IMPLIED AS TO ACCURACY OF SAID DATA.



1 SECTION A - SFD B
1/4" = 1'-0"



2 SECTION B - SFD B
1/4" = 1'-0"

EXHIBIT "A"
Page No. 18 of 19
Case No. APCSV-2023-4402-ZC-HCA



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY
PRELIMINARY ZONING ASSESSMENT COMPLETE
BY: Daniel Yip
DATE: 03/15/2024
APPLICATION #: 23016-10000-28628

SECTION NOTES & ELEVATION

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NOTES

- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE (R302.5.2).
- OTHER PENETRATIONS OF GARAGE/DWELLING CEILING AND WALLS SHALL BE PROTECTED AS REQUIRED BY SECTION R302.11, ITEM 4 (R302.5.3).
- THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2. PROVIDE DETAIL AND COPY OF LISTING ON THE PLANS. (R302.4.1)
- MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED. (R302.4.2)
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. (R302.12)



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