

WILKINS  
10756 W WILKINS AVE

OWNER  
WILKINS GROUP LLC AND FIN HOLDINGS LLC  
PO BOX 252233  
LOS ANGELES, CA 90025

ARCHITECT  
LABRYINTH DESIGN STUDIO INC.  
1600 SAWTELLE BLVD, #230  
LOS ANGELES, CA 90025  
POUYA@LABYRINTH-DS.COM

LAND USE CONSULTANT  
nūr - DEVELOPMENT | CONSULTING  
864 S ROBERTSON BLVD, 3RD FLOOR  
LOS ANGELES, CA 90035  
DANIEL@NURDEVELOPMENT.COM

LANDSCAPE ARCHITECT  
SQLA INC.  
380 N PALM ST, SUITE B  
BREA, CA 92821  
LA@SQLAINC.COM

EXHIBIT “A”  
Page No. 1 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



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ADDRESS	10756 W WILKINS AVE	RESIDENTIAL UNIT MIX		OPEN SPACE	
LEGAL DESCRIPTION	LOT 1 OF BLOCK 30 OF TRACT NO. 7803	1-BR	5	OPEN SPACE REQUIRED PER WESTWOOD SP: 11 X 350 =	3,850
APN	4325-019-001	2-BR	6	OPEN SPACE PROVIDED (SEE OPEN SPACE DIAGRAM FOR DETAIL)	
REQUESTED ENTITLEMENTS		TOTAL	11	FRONT YARDS (QUALIFIED)	1,111
- CUP to allow a 102.5% density increase for 11 units		FLOOR AREA & FAR (ZONING)		LEVEL 3 PATIO	547
- On-Menu Incentive for FAR increase of 20% from 3:1 to 3.6:1		BUILDABLE AREA	3,261	LEVEL 5 PATIO	248
- Off-Menu Incentive for Front Yard Setback reduction of 5' from 15' to 10' on Wilkins		ALLOWABLE FAR PER R3-1	3:1	ROOFTOP DECK #1	1,329
- Off-Menu Incentive for Front Yard Setback reduction of 3' 5" from 15' to 11' 7" on Ohio		MAX SQUARE FOOTAGE: 3,145 x 3 =	9,783	ROOFTOP DECK #1	679
- Waiver to increase height by 11' from 45' to 56'		DB INCENTIVE INCREASE: 9,435 x 35% =	3,424	TOTAL PROVIDED SQUARE FOOTAGE	3,914
- Waiver to allow 72% of open space to be above ground level in lieu of the 25% max		MAX FLOOR AREA ALLOWED	13,207	OPEN SPACE %AGE ALLOWED ABOVE GRADE PER WESTWOOD SP	25%
- Westwood Specific Plan DRB and SPP		TOTAL FLOOR AREA PROVIDED	11,941	REQUIRED OPEN SPACE PROVIDED ABOVE GRADE	2,739
		TOTAL FAR PROVIDED	3.66	OPEN SPACE %AGE PROVIDED ABOVE GRADE W/ DB INCENTIVE	72%
LOT AREA	6,774	HEIGHT / STORIES		REQUIRED # OF TREES: 11 DU / 4 TREES	2.8
ZONING	[Q]RD1.5-1	MAX HEIGHT / STORIES PER [Q]RD1.5-1	45-FEET / NO LIMIT	TREES PROVIDED	4
RESIDENTIAL DENSITY		MAX HEIGHT W/ DB INCENTIVE: 45 + 11 =	56-FEET / NO LIMIT		
LOT AREA FOR DENSITY	6,774	PROPOSED HEIGHT	56-FEET / 5-STORIES	SETBACK	REQUIRED PROVIDED
DENSITY RATIO FOR RD1.5	1 DU/1,500 SF			FRONT	WILKINS 15-FEET 10-FEET
BASE DENSITY: 6,774 / 1,500 = 4.5 =	4	AUTO PARKING		FRONT	OHIO 15-FEET 11.5-FEET
BASE DENSITY (ROUND UP)	5	PARKING REQUIRED PER AB 2097 (SITE IS WITHIN 1/2 MILE OF TRANSIT)	0	SIDE	WESTERLY PL 8-FEET 8-FEET
MINISTERIAL DENSITY BONUS: 35% OF 5 = 1.75 =	2	TOTAL PARKING PROVIDED	7	SIDE	NORTHWEST PL 8-FEET 8-FEET
MAX MINISTERIAL DENSITY: 5 + 2 =	7	EV PARKING REQUIREMENT (30%)	2		
PROPOSED DENSITY	11	EVCS (FULL INSTALL) (10%)	1		
PROPOSED DENSITY BONUS %AGE	102.5%	EVSE (FUTURE INSTALL)	1		
RESTRICTED SET-ASIDE %AGE @ 102.5% DENSITY INCREASE	38%	BIKE PARKING			
VLI UNITS REQUIRED PER DB: 38% X 5 = 1.9 =	2	RES LONG-TERM REQUIRED: (11/1) =	11		
VLI UNITS REQUIRED PER LAHD RUD:	1	RES SHORT-TERM REQUIRED: (11/10) =	1		
		RESIDENTIAL LONG-TERM PROVIDED	12		
		RESIDENTIAL SHORT-TERM PROVIDED	1		
TOTAL PROVIDED UNITS	11	TOTAL BIKE PARKING REQUIRED	12		
MARKET RATE UNITS	9	TOTAL BIKE PARKING PROVIDED	13		
VLI UNITS PER DB	2				

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CIO

Drawing Title

COVER SHEET

Scale:

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-01.1

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LEGAL DESCRIPTION:

LOTS: 1  
BLOCK: 30  
TRACT NO.: TR 7803  
M.B. 88-73/75 ( SHTS 3-5) MAP SHEET 132B153  
APN: 4325019001

PROJECT INFORMATION

ADDRESS: 10756 W WILKINS AVE, LOS ANGELES, CALIFORNIA 90024

LOT AREA BEFORE DEDICATION: 6,774 S.F.  
LOT AREA AFTER DEDICATION: 6,217 S.F.

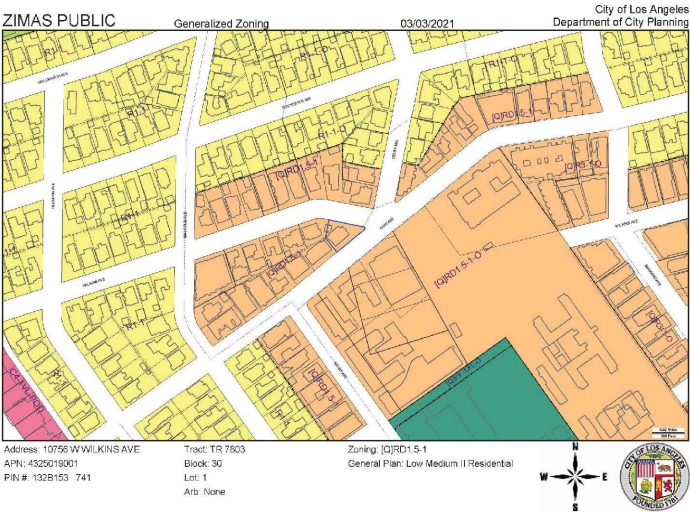
ZONING: [Q] RD 1.5-1

COMMUNITY PLAN AREA: WESTWOOD  
AREA PLANNING COMMISSION: WEST LOS ANGELES  
NEIGHBORHOOD COUNCIL: WESTWOOD  
COUNCIL DISTRICT: CD 5- PAUL KORETZ  
GENERAL PLAN LAND USE: LOW MEDIUM II RESIDENTIAL  
SPECIFIC PLAN AREA WEST L.A. TRANSPORTATION IMPROVEMENT  
SPECIFIC PLAN AREA WESTWOOD COMMUNITY DRB  
SPECIFIC PLAN AREA WESTWOIOD COMMUNITY MULTIPLE FAMILY DEVELOPMENT STANDARDS

LA TRANSIT PRIORITY AREA (ZI-2452)- TOC 3 SEE A-01.2

OCCUPANCY: R-2 (RESIDENTIAL), S-2 (PARKING)

SPRINKLER THROUGHOUT (NFPA 13 SPRINKLER SYSTEM PER 903.1.1 REQUIRED PER 506.3)



SCOPE OF WORK

NEW 5 STORY ( 11 UNIT) MULTY FAMILY APARTMENT BUILDING WITH SUBTERRANEAN GARAGE UTILIZING 3 OFF MENU INCENTIVES AND 2 DEVELOPMENT STANDARDS WAIVER

GRADING

NEW PROJECT PROPOSES 3,000 CU YD GRADING CUT/EXPORT

CONSULTANTS AND SHEET TITLE

ARCHITECT LABYRINTH DESIGN STUDIO 1600 SAWTELLE BLVD., SUITE 230 LOS ANGELES, CA. 90025 VASA KOSTIC POUYA PAYAN TEL: (310) 473-1416 EMAIL: Pouya@labyrinth-ds.com	TREE CONSULTANT: Lisa Smith Registered Consulting Arborist #464 ISA Certified Arborist #WE3782 ISA Tree Risk Assessor Qualified 310-663-2290 <a href="http://www.THETREERESOURCE.com">www.THETREERESOURCE.com</a>	LAND USE CONSULTANT nūr - DEVELOPMENT   CONSULTING 864 S ROBERTSON BLVD, 3RD FLOOR LOS ANGELES, CA 90035 <a href="mailto:DANIEL@NURDEVELOPMENT.COM">DANIEL@NURDEVELOPMENT.COM</a>
PROPERTY SURVEYOR: FRED GHALCHI M&G CIVIL ENGINEERING & LAND SURVEYING 347 SOUTH ROBERTSON BLVD. BEVERLY HILLS, CA 90211 TEL: (310) 659-0871 FAX: (310) 659-0845	ELECTRICAL ENGINEER ROBERT TOMASIAN, P.E. TOMTECH ENGINEERING 2550 HONOLULU AVE., SUITE 206 MONTROSE, CA 91020 T (818) 219-7192 / W (818) 275-3888 <a href="mailto:ROBERT@TOMTECHENG.COM">ROBERT@TOMTECHENG.COM</a>	
SOILS ENGINEER: IRVINE GEOTECHNICAL INC 145 NJ SIERRA MADRE BLVD., SUITE # 1 PASADENA, CA 91107 626-844-6641	SHADE SHADOW STUDY DHS & ASSOCIATES INC 275 Centennial Way #205 Tustin CA 92780 (714) 665 6569	
LANDSCAPE ARCHITECT SQLA INC., C/O SAMUEL KIM 2669 SATURN ST. BREA, CA, 92821 T: (213) 383-1788 - (562)905-0800 F: (562)905-0880 <a href="mailto:la@sqlainc.com">la@sqlainc.com</a> , <a href="mailto:samuel@sqlainc.com">samuel@sqlainc.com</a> , <a href="http://www.sqlainc.com">www.sqlainc.com</a>	OWNER Babak Nehoray PO Box 252233, Los Angeles, CA 90025 <a href="mailto:babak@LuMarCorporation.com">babak@LuMarCorporation.com</a> office 310.477.6333   mobile 310.571.8822	

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ARCHITECT	
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REPORT

- 1- SOIL REPORT
- 2- SHADE SHADOW STUDY
- 3- TREE REPORT



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Revisions

OWNER:  
WILKINS OWNER  
C/O

Drawing Title

COVER SHEET 2

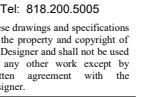
Scale:

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-01.2





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LOS ANGELES, CA 90024

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NER:  
KINS OWNER

Following Title

## FRONT YARD TERMINATION AP

le:

Date: March 2021  
 No: 2021 - WILKINS  
 Drawn By: A.A.  
 Checked By: P.P.

wing No.

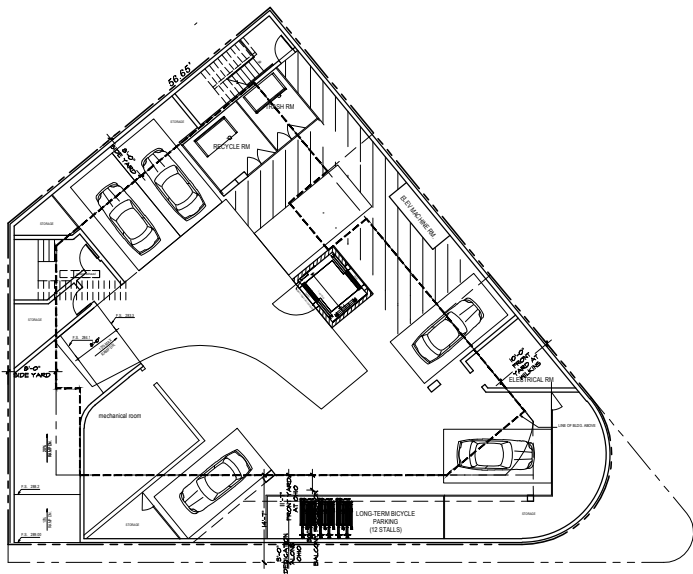
## A-01.4

PLOT DATE 03/07/2024

Zoning: [Q]RD1.5-1  
General Plan: Low Medium II Residential

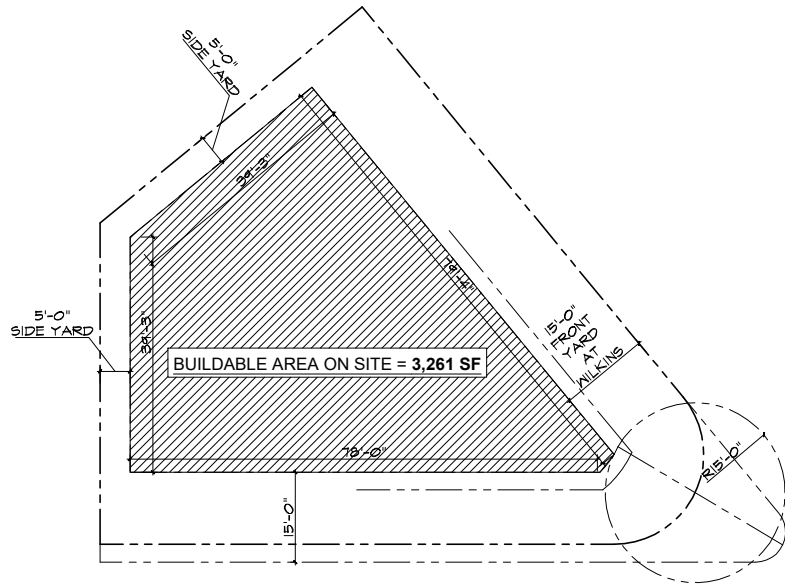


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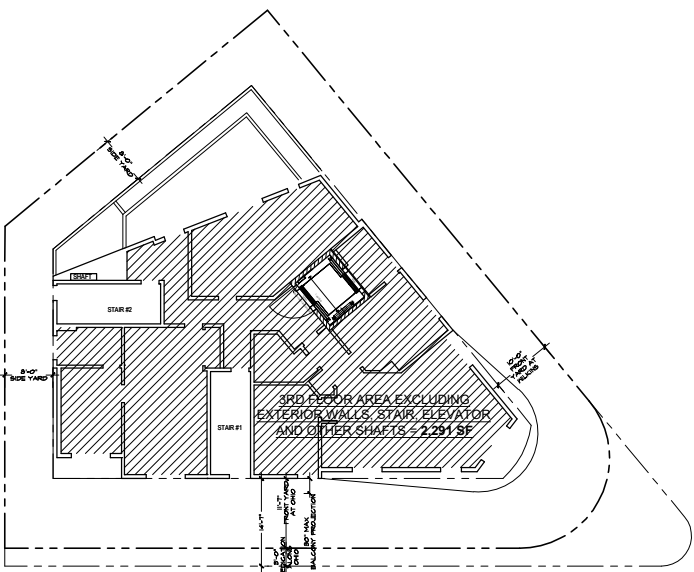


basement zoning floor area diagram. Any area that is not used for parking/driveway/storage room/building maintenance equipment room needs to be counted for zoning floor area ALL OF BASEMENT IS USED FOR ABOVE MENTIONED USES AND THERE IS NO ZONING FLOOR AREA IN BASEMENT

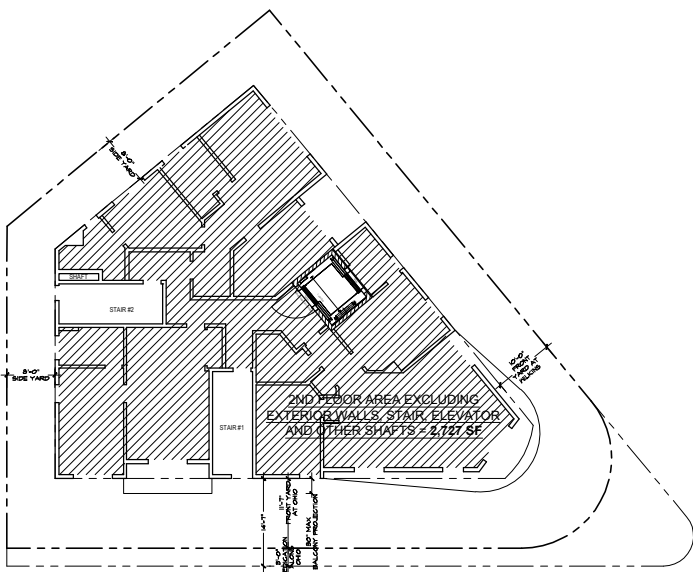
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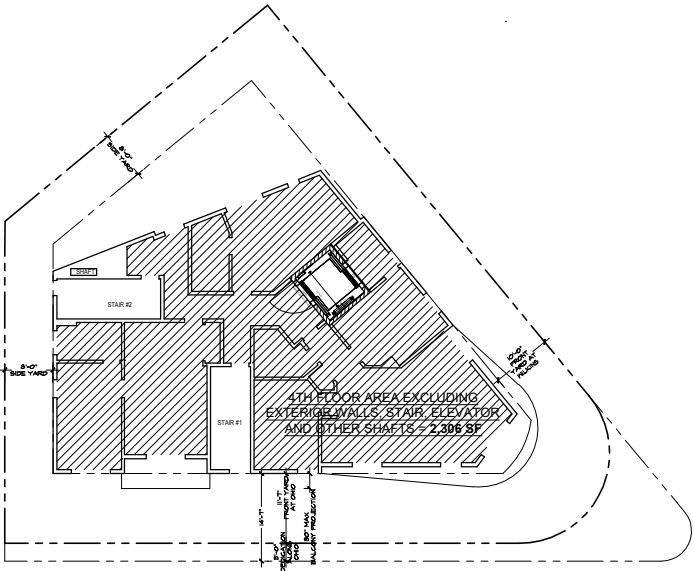
BUILDABLE AREA DIAGRAM



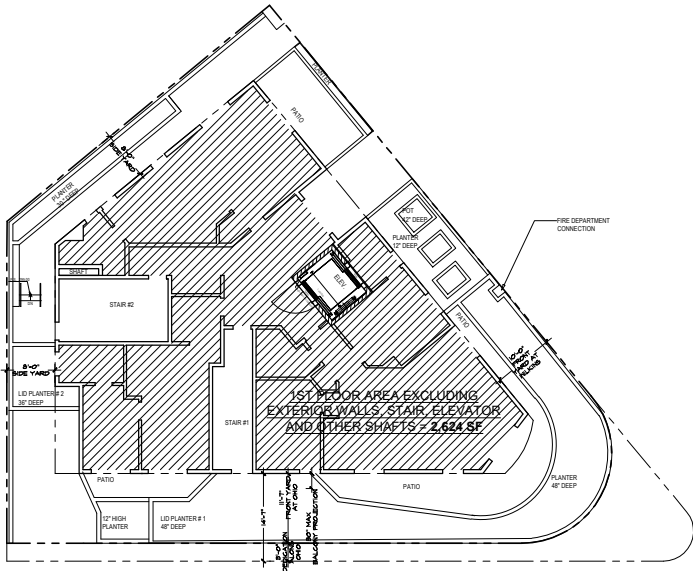
3RD FLOOR (FAR)



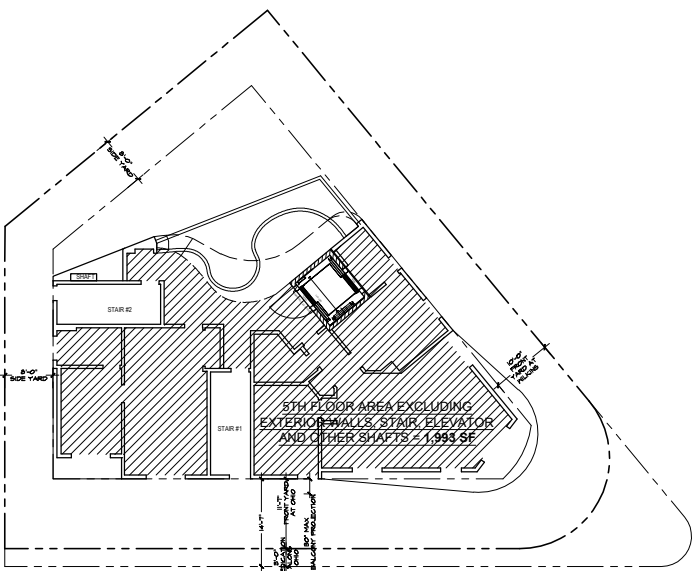
2ND FLOOR (FAR)



4TH FLOOR (FAR)



1ST FLOOR (FAR)



5TH FLOOR (FAR)

TABLE OF GROSS BUILDING AREA (PER ZONING AND BUILDING CODE):

LEVEL	GROSS BUILDING AREA - FAR (EXCLUDING EXT. WALLS, PROJECTED BALCONIES, ELEV., STAIRS, AND MECH. SHAFTS)	GROSS BUILDING AREA - BUILDING CODE (INCLUDING EXT. WALLS, PARKING, PROJECTED BALCONIES, EXCLUDING VENT SHAFTS AND COURTS)
BASEMENT	--	6,113 SF
1ST FLOOR	2,624 SF	2,801 SF
2ND FLOOR	2,727 SF	2,904 SF
3RD FLOOR	2,291 SF	2,468 SF
4TH FLOOR	2,306 SF	2,483 SF
5TH FLOOR	1,993 SF	2,270 SF
TOTAL:	11,941 SF	19,039 SF

FINAL FLOOR AREA RATIO	REQUIRED ( PER LAMC )	REQUIRED (PER DB )
BUILDABLE AREA ON SITE	3:1	4.05:
MAX. ALLOWED	3,261 SF	3,261 SF (SEE A-01.4)
	9,783 SF	13,207 SF
PROPOSED		11,941 ~ 3.6:1



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Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
AREA  
CALCULATIONS  
AND DIAGRAMS

Scale: 1/32  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

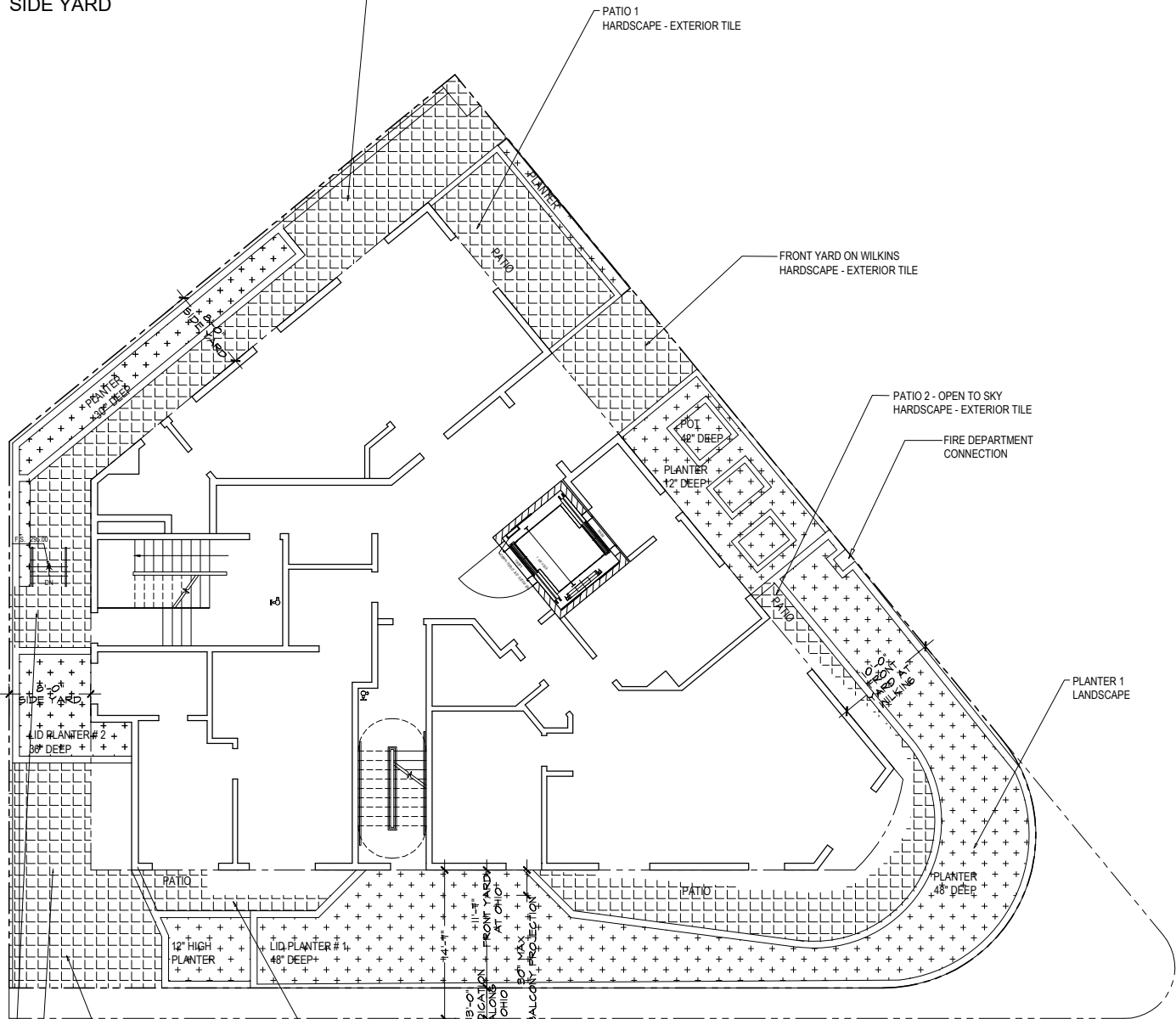
Drawing No.

A-01.5

PLOT DATE 03/07/2024



TOTAL WEST SIDE YARDS = 358 S.F.  
LANDSCAPE IN SIDE YARD = 180 S.F.  
LANDSCAPE > 50% OF REQUIRED  
SIDE YARD



1ST FLOOR PLAN

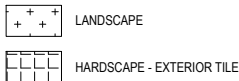
TOTAL SOUTH WEST SIDE YARD = 321 S.F.  
LANDSCAPE IN SOUTH WEST SIDE YARD = 161 S.F.  
LANDSCAPE > 50% OF REQUIRED SIDE YARD

TABLE OF PROVIDED LANDSCAPE AT SIDE-YARD  
(NOT CONTRIBUTED TOWARDS OPEN SPACE):

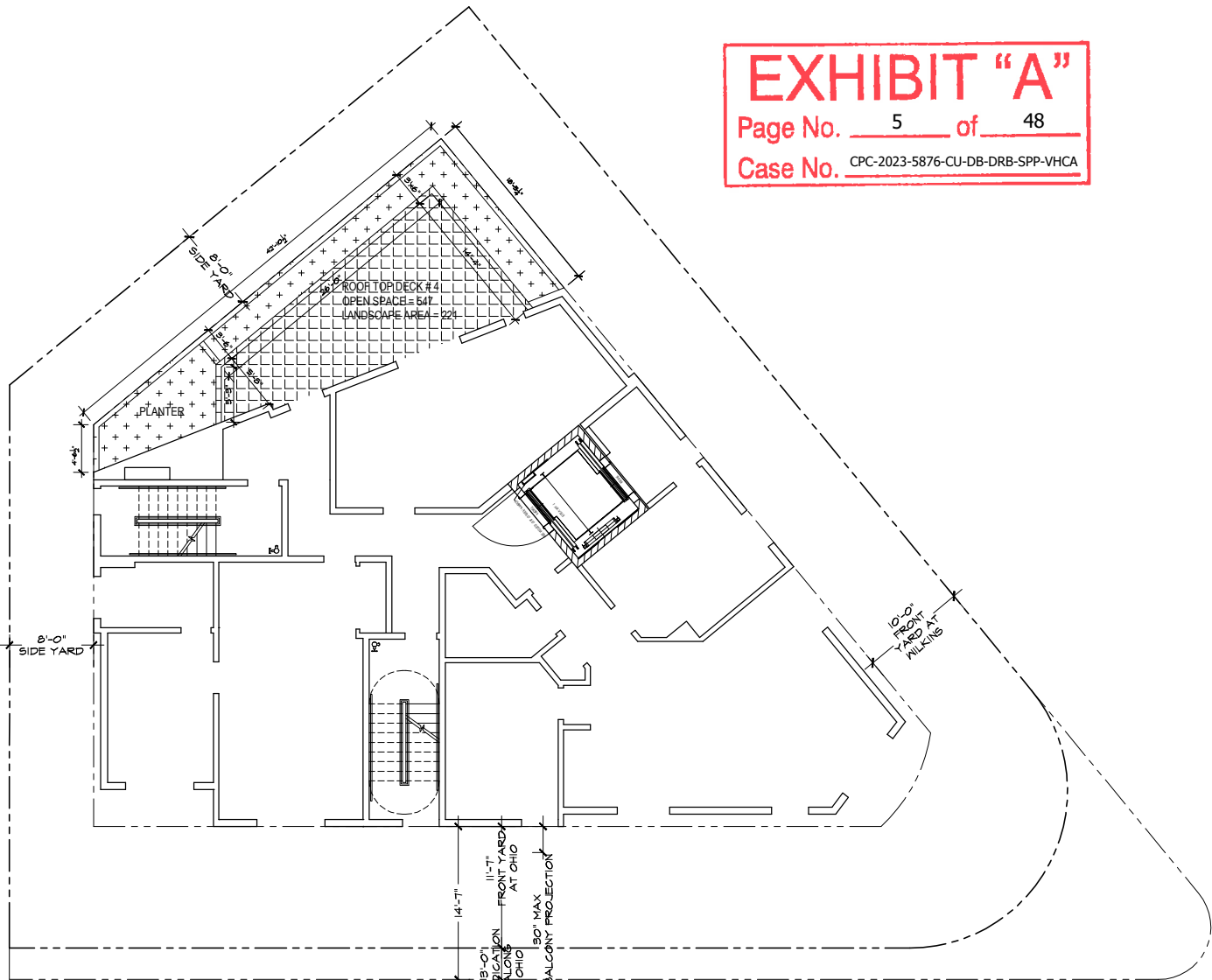
LOCATION	HARDSCAPE	LANDSCAPE	TOTAL AREA	LANDSCAPE %
WEST SIDE-YARD	178 SF	180 SF	358 SF	51%
SIDE-YARD	190 SF	161 SF	321 SF	51%

TOTAL AREA OF BOTH FRONT YARDS = 2223 S.F.  
LANDSCAPE AREA IN BOTH FRONT YARDS = 1434 S.F.  
OPEN SPACE PROVIDED IN FRONT YARDS = 1111  
LANDSCAPE > 50% OF REQUIRED SIDE YARD

LEGEND:



**EXHIBIT "A"**  
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3RD FLOOR PLAN

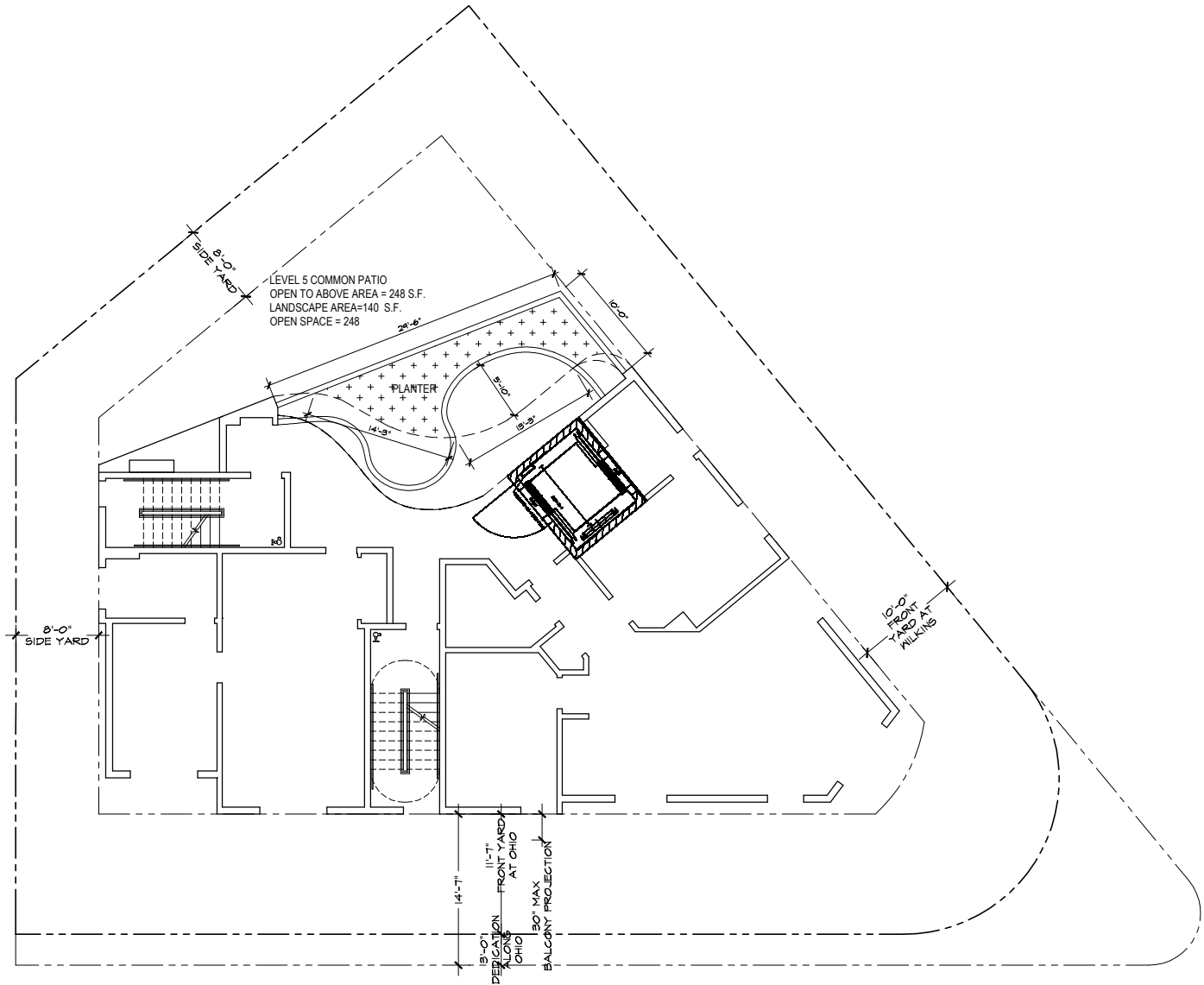
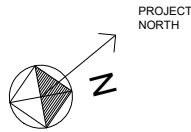
TABLE OF PROVIDED OPEN SPACE (CONTRIBUTED TOWARDS REQUIRED OPEN SPACE):

LOCATION	HARD-SCAPE	LAND-SCAPE	TOTAL AREA	% LAND-SCAPE	CONTRIBUTED TOWARD OPEN SPACE
OPEN SPACE AT GRADE					
FRONT YARDS	960 SF	1434 SF	2223 SF	64%	1111 SF
OPEN SPACE ABOVE GRADE					
LEVEL 3 PRIVATE PATIO	326 SF	221 SF	547 SF	41%	2803 SF*
LEVEL 5 COMMON PATIO	108 SF	140 SF	248 SF	56%	
ROOF TOP DECK # 1	734 SF	595 SF	1329 SF	44%	
ROOF TOP DECK # 2	407 SF	272 SF	679 SF	41%	
SUB-TOTAL:	1603 SF	1181 SF	2803 SF	--	3,914 SF
TOTAL:					

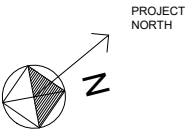
REQUESTED ENTITLEMENT # 6: WAIVER OF  
DEVELOPMENT STANDARDS TO ALLOW 72% OF OPEN  
SPACE TO BE ABOVE THE

REQUIRED OPEN SPACE PER WESTWOOD  
350 S.F. per unit

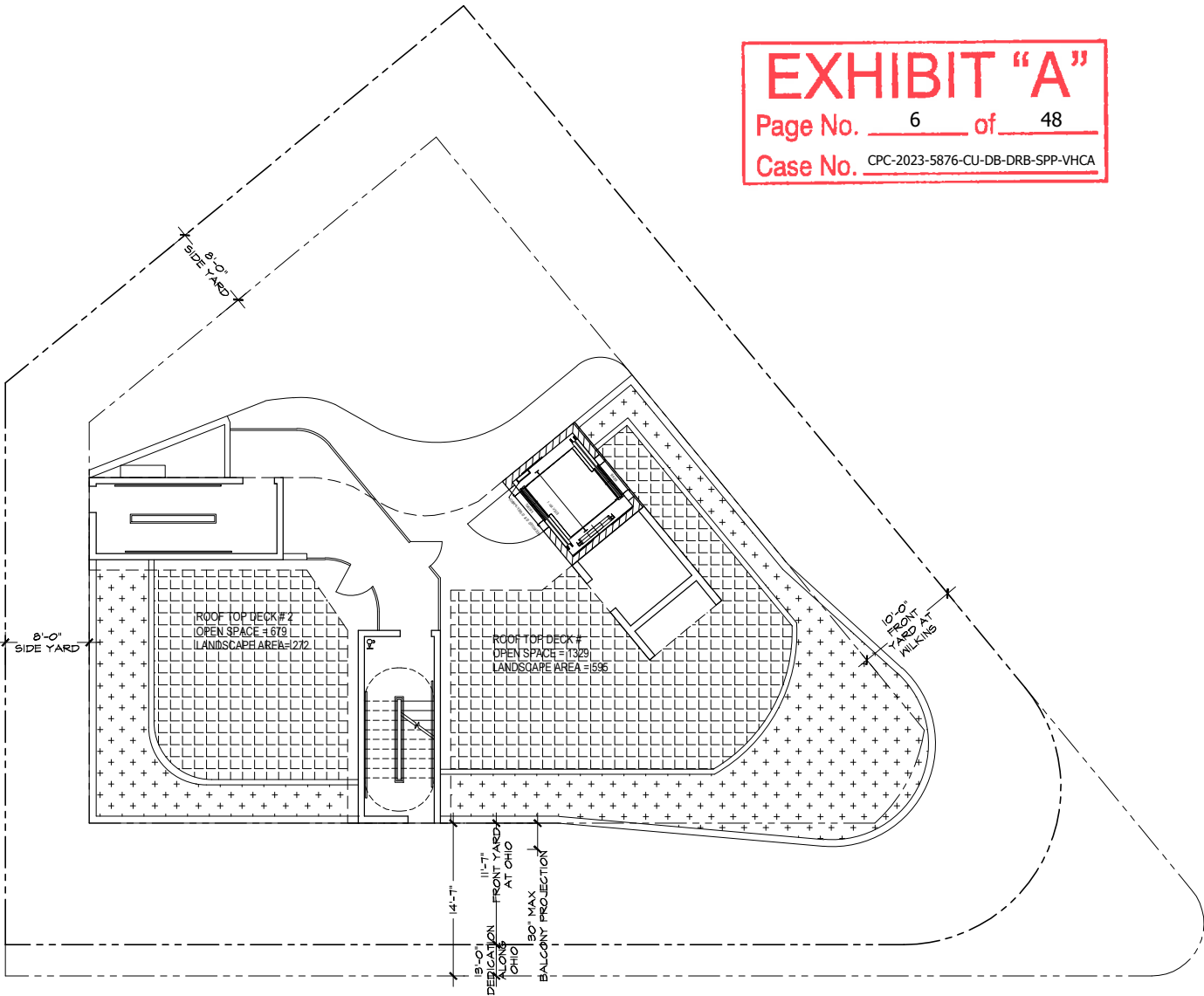
**11 X 350 = 3850**



5TH FLOOR PLAN



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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



ROOF PLAN

TABLE OF PROVIDED OPEN SPACE (CONTRIBUTED TOWARDS REQUIRED OPEN SPACE):					
LOCATION	HARD-SCAPE	LAND-SCAPE	TOTAL AREA	% LAND-SCAPE	CONTRIBUTED TOWARD OPEN SPACE
OPEN SPACE AT GRADE					
FRONT YARDS	960 SF	1434 SF	2223 SF	64%	1111 SF
OPEN SPACE ABOVE GRADE					
LEVEL 3 PRIVATE PATIO	326 SF	221 SF	547 SF	41%	2803 SF*
LEVEL 5 COMMON PATIO	108 SF	140 SF	248 SF	56%	
ROOF TOP DECK # 1	734 SF	595 SF	1329 SF	44%	
ROOF TOP DECK # 2	407 SF	272 SF	679 SF	41%	
SUB-TOTAL:	1603 SF	1181 SF	2803 SF	--	3,914 SF
TOTAL:					

NOTE:  
WESTWOOD SPECIFIC PLAN SECTION 3.B. : WHENEVER THIS SPECIFIC PLAN CONTAINS PROVISIONS WHICH DIFFER FROM PROVISIONS CONTAINED IN CHAPTER I OF THE LOS ANGELES MUNICIPAL CODE. THE SPECIFIC PLAN SHALL PREVAIL AND SUPERSEDE THE APPLICABLE PROVISIONS OF THAT CODE.

**LEGEND:**

LANDSCAPE

HARDSCAPE - EXTERIOR TILE

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LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
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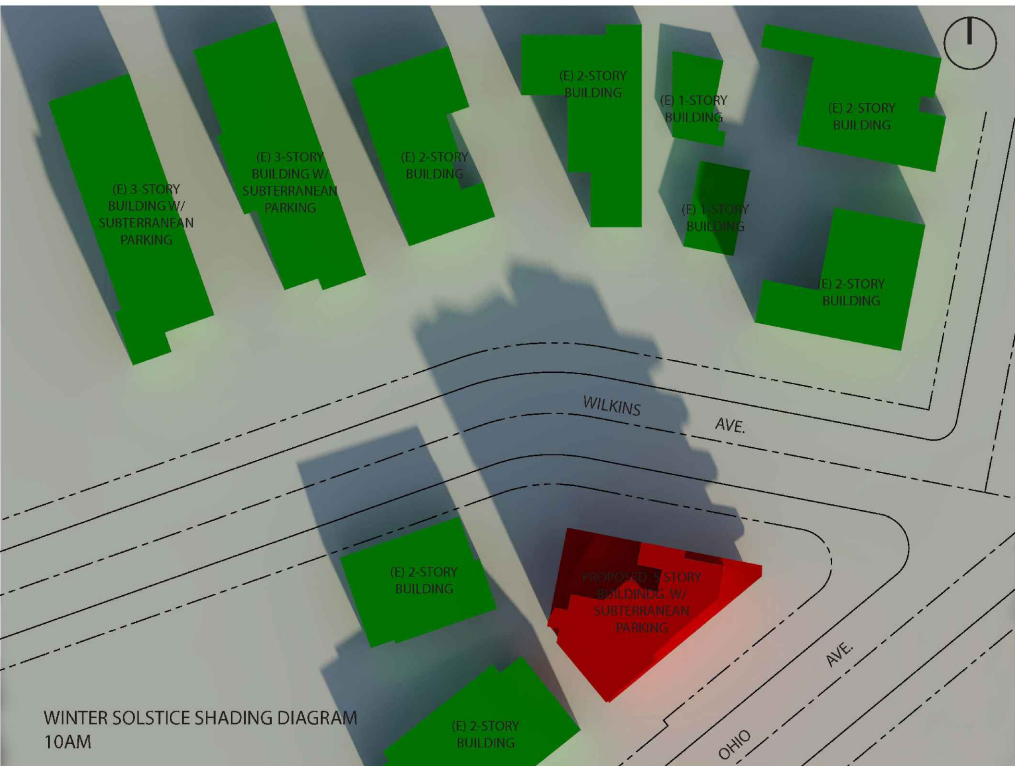
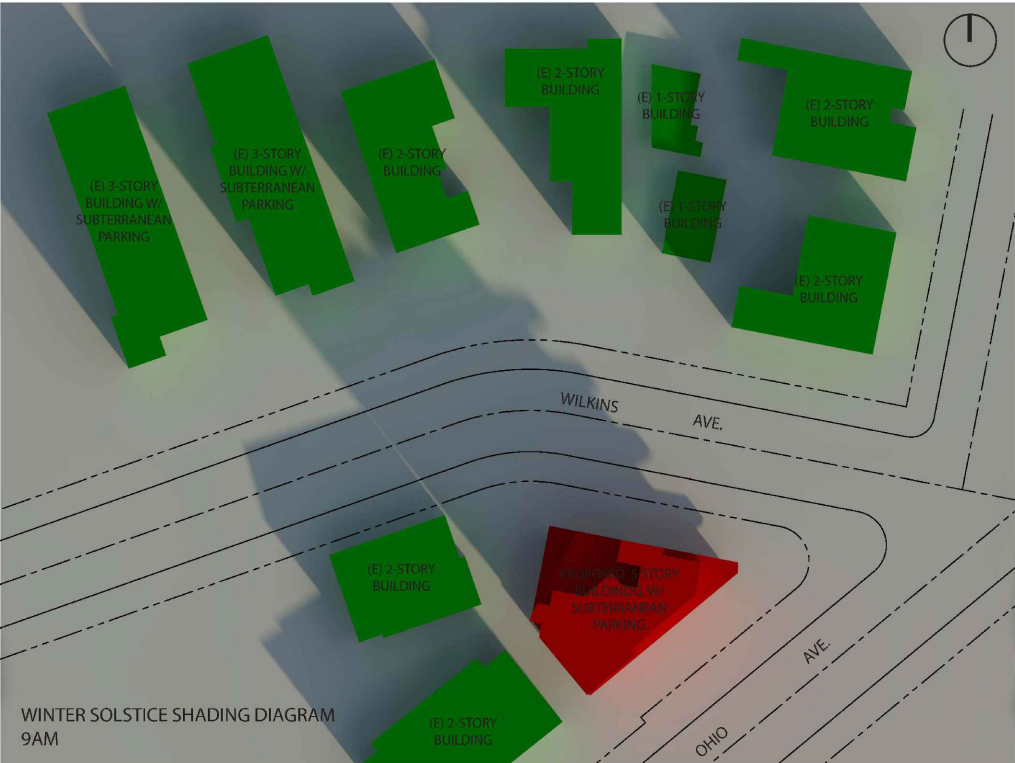
Drawing Title  
OPEN SPACE  
DIAGRAM

Scale: 1/16  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-01.7

PLOT DATE 03/07/2024



SHADE AND SHADOW STUDY

Prepared By:  
DHS & ASSOCIATES INC  
275 Centennial Way #205  
Tustin CA 92780  
(714) 665 6569

PROJECT DATA  
Date: 8-10-2021

PROJECT ADDRESS:

10756 W. Wilkins Ave.  
Los Angeles CA 90024

OWNER:

Karim M. Makarehchi  
and Tahereh Korhani  
C/O Babak Nehoray  
10756 W. Wilkins Ave.  
Los Angeles CA 90024

SUMMARY OF SHADING DIAGRAMS

The enclosed shading Diagrams show the shading effect of the new project on the roofs of buildings located on the adjacent properties on the north side of the proposed five-story multifamily dwelling. The winter solstice shading diagrams are the critical ones for determining shading effects, and representative diagrams of the “Vernal/ Autumnal Equinox has been included to show the minimal effect the project has in those months. The proposed five-story multifamily dwelling has less than 1/3 shade on the adjacent two-story building on the north side between 9 am and 10 am. We can say that the proposed project dose not casts shadows on approximately 1/3 of the adjacent two-story residential structures, as projected on a plan view, for more than two hours between the hours of 9 am and 3 pm on December 21.

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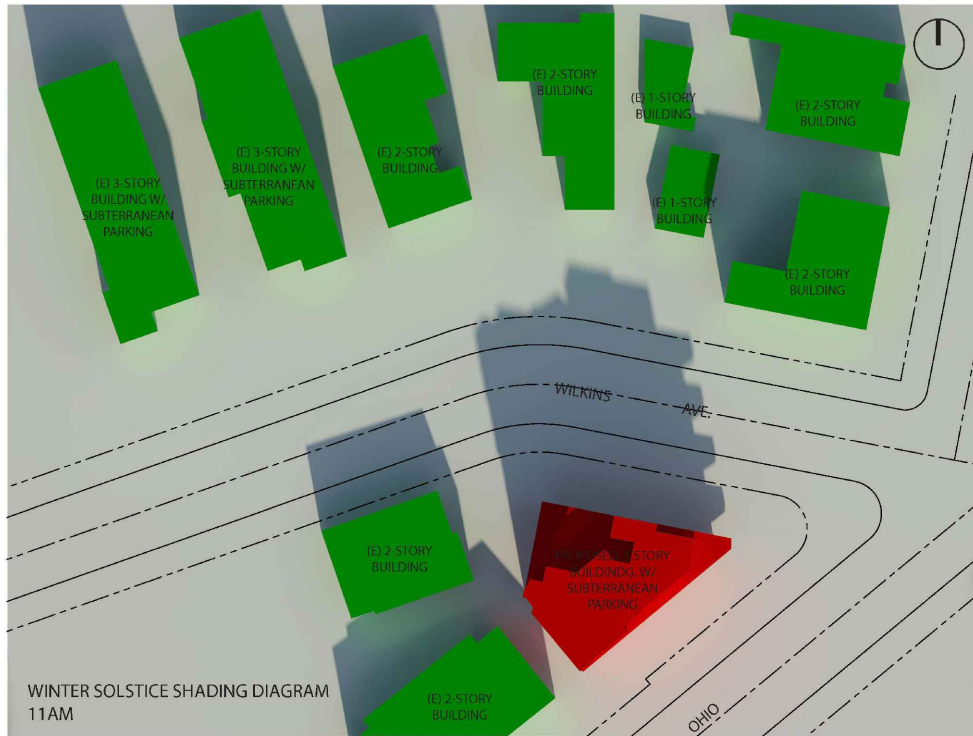
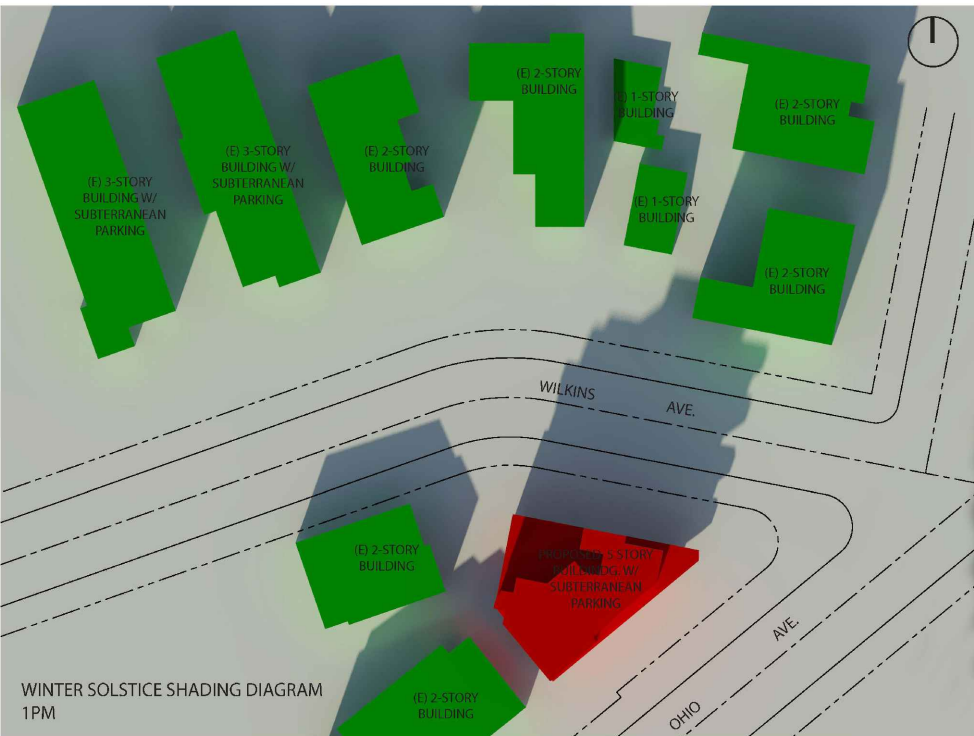
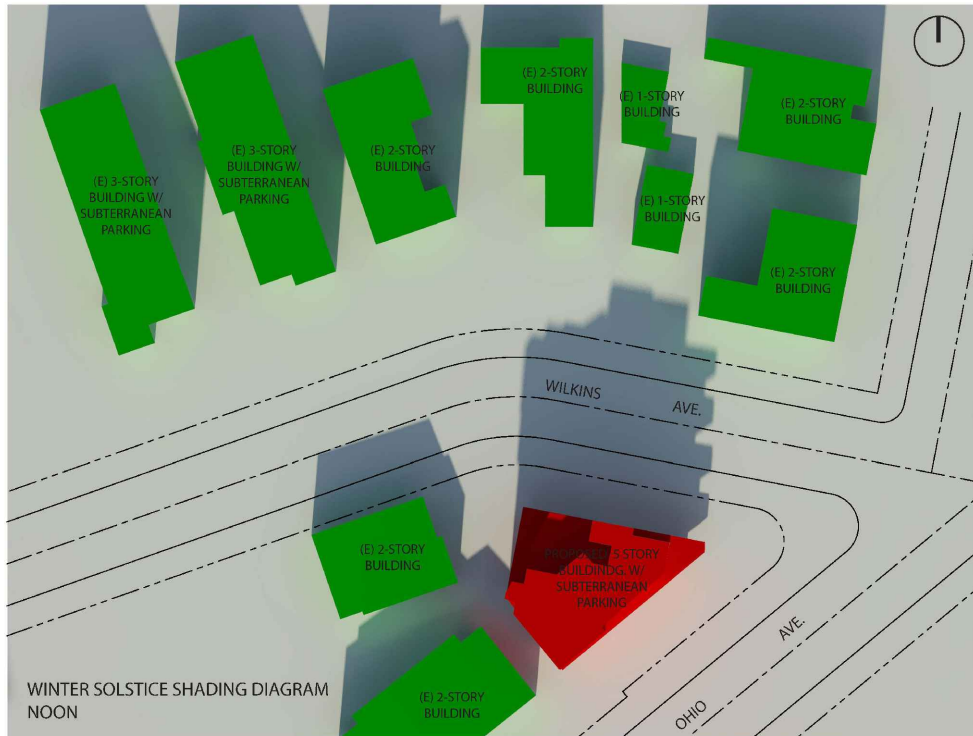
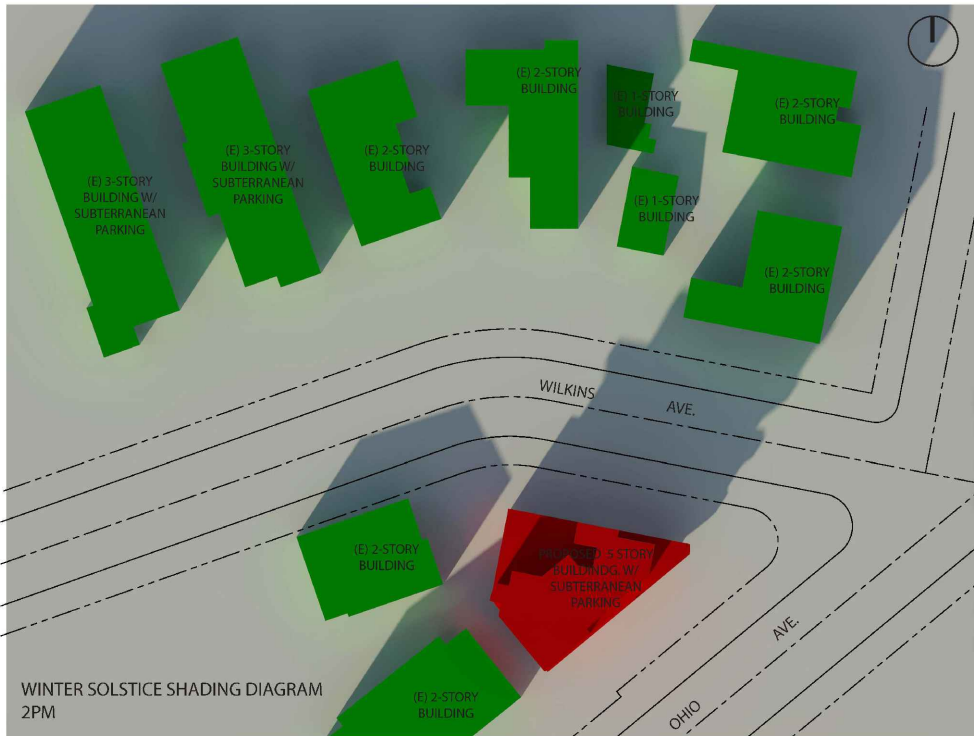
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10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions
OWNER: WILKINS OWNER CO
Drawing Title
SHADE STUDY
Scale:
Date: March 2021
Job No: 2021 - WILKINS
Drawn By: A.A.
Checked By: P.P.
Drawing No.

A-02.1

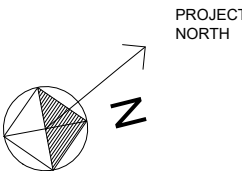


EXHIBIT "A"  
Page No. 8 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



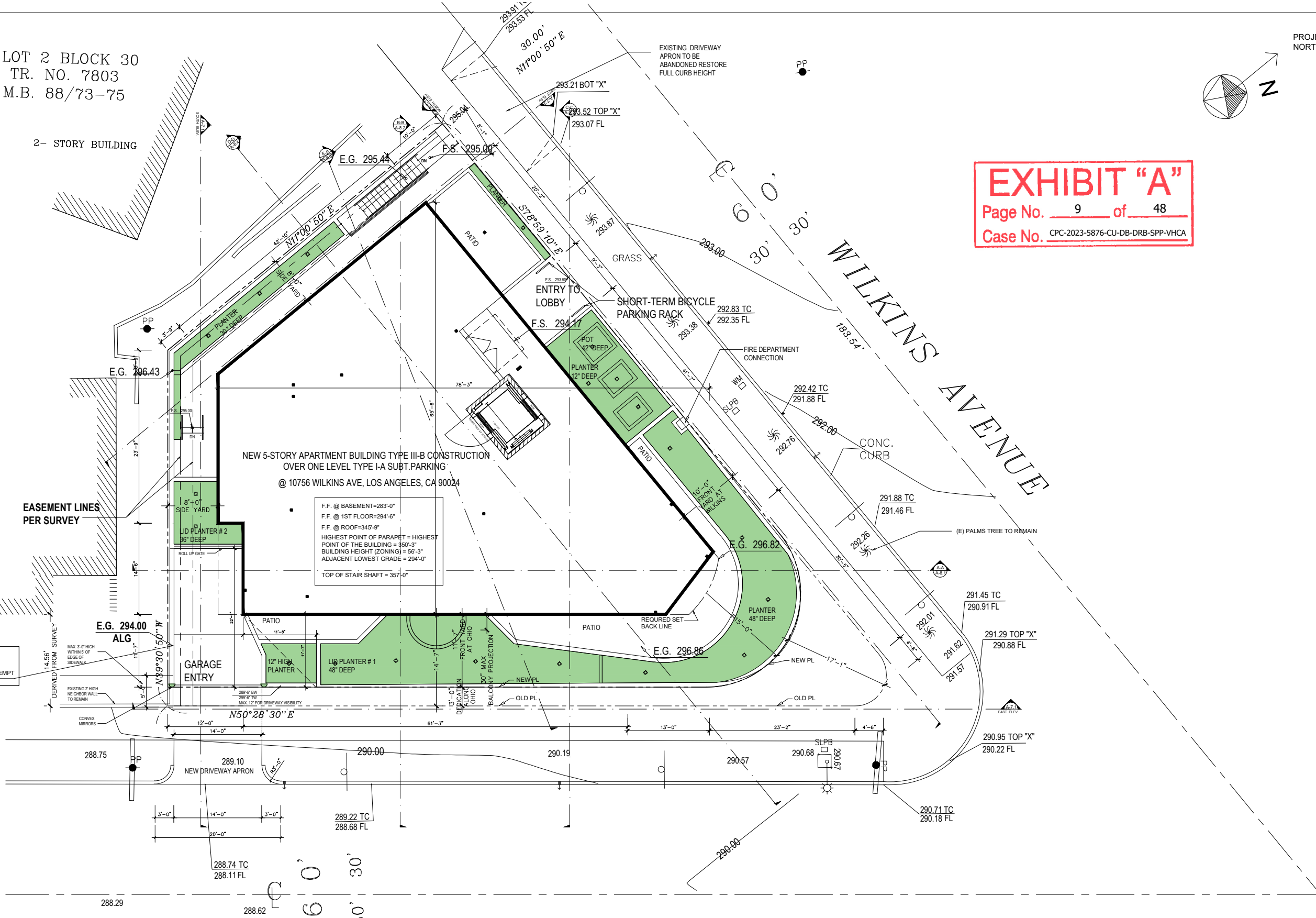
LOT 2 BLOCK 30  
TR. NO. 7803  
M.B. 88/73-75

2- STORY BUILDING



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**EXHIBIT "A"**  
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PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
SITE PLAN

Scale: 1/16" = 1'-0"  
Date: March 2021  
Job No: 2021-1 WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

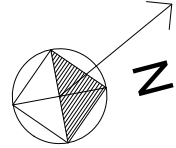
A-03.1

PLOT DATE 03/07/2024



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PROJECT NORTH



**EXHIBIT "A"**

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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

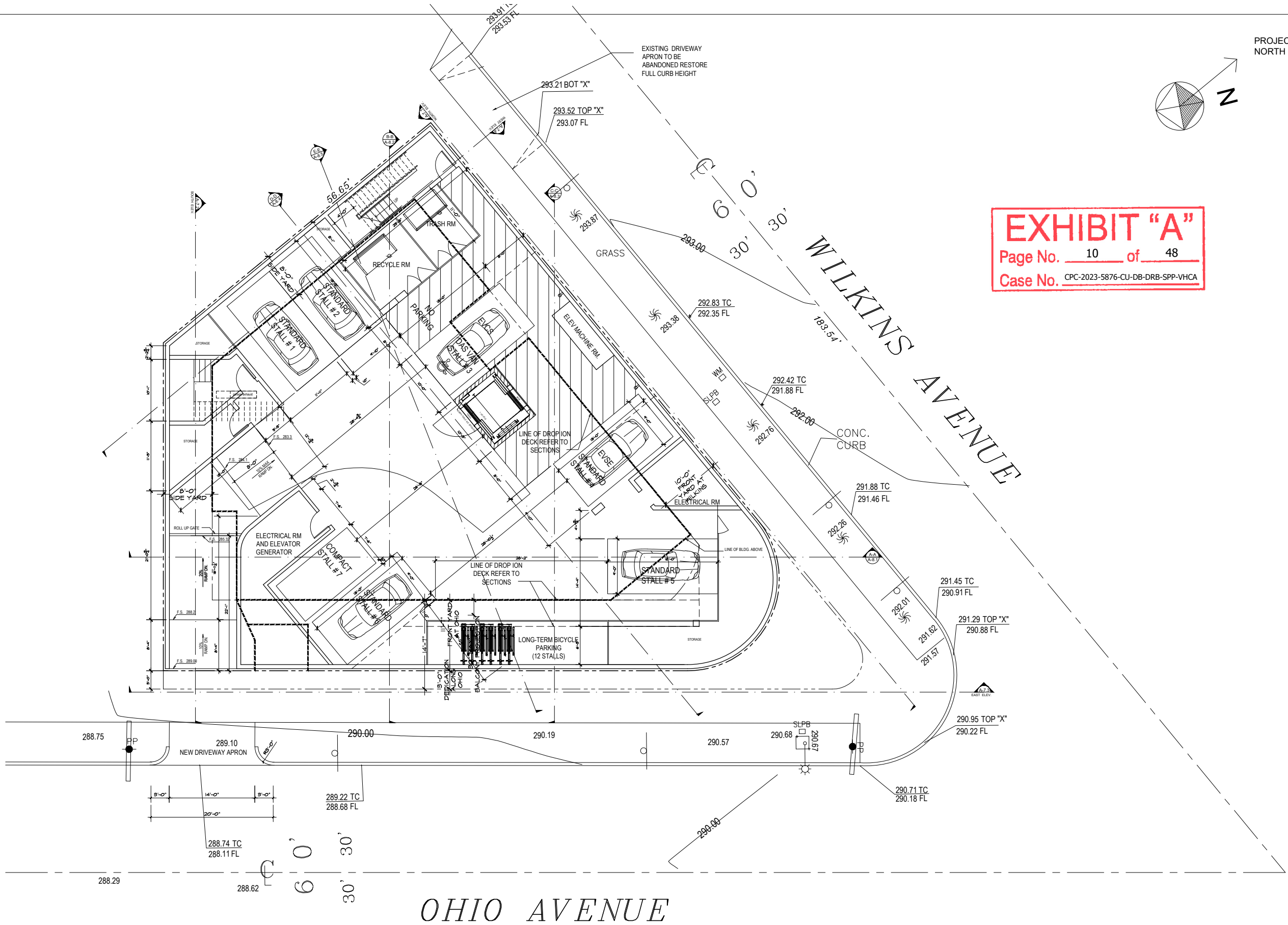
OWNER:  
WILKINS OWNER  
CO

Drawing Title  
**BASEMENT  
FLOOR PLAN**

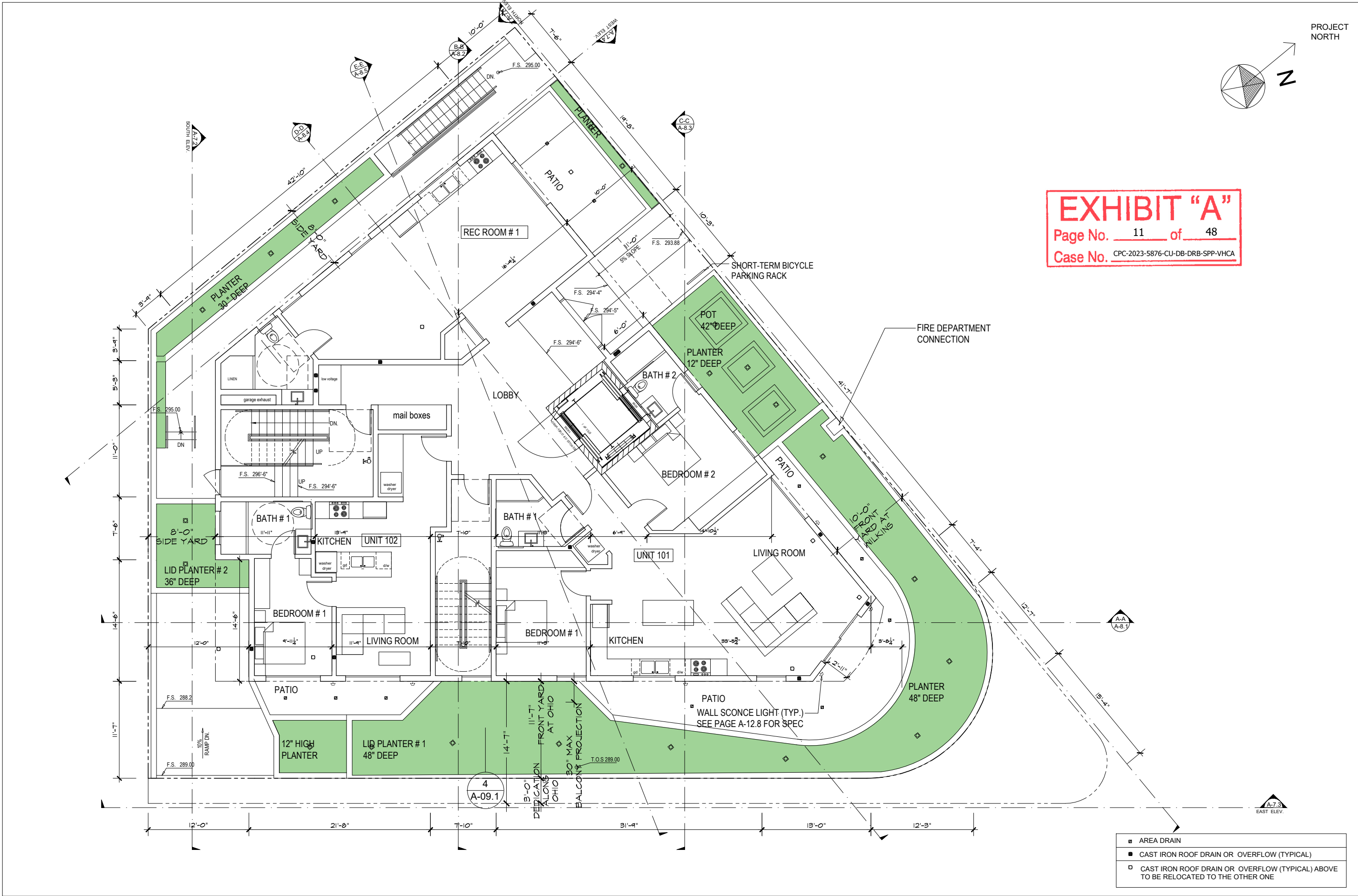
Scale: 1/16  
Date: March 2021  
Job No: 2021-1-WILKINS  
Drawn By: A.A.  
Checked By: P.P.  
Drawing No:

**A-04.1**

PLOT DATE 03/07/2024







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PROJECT:  
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LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

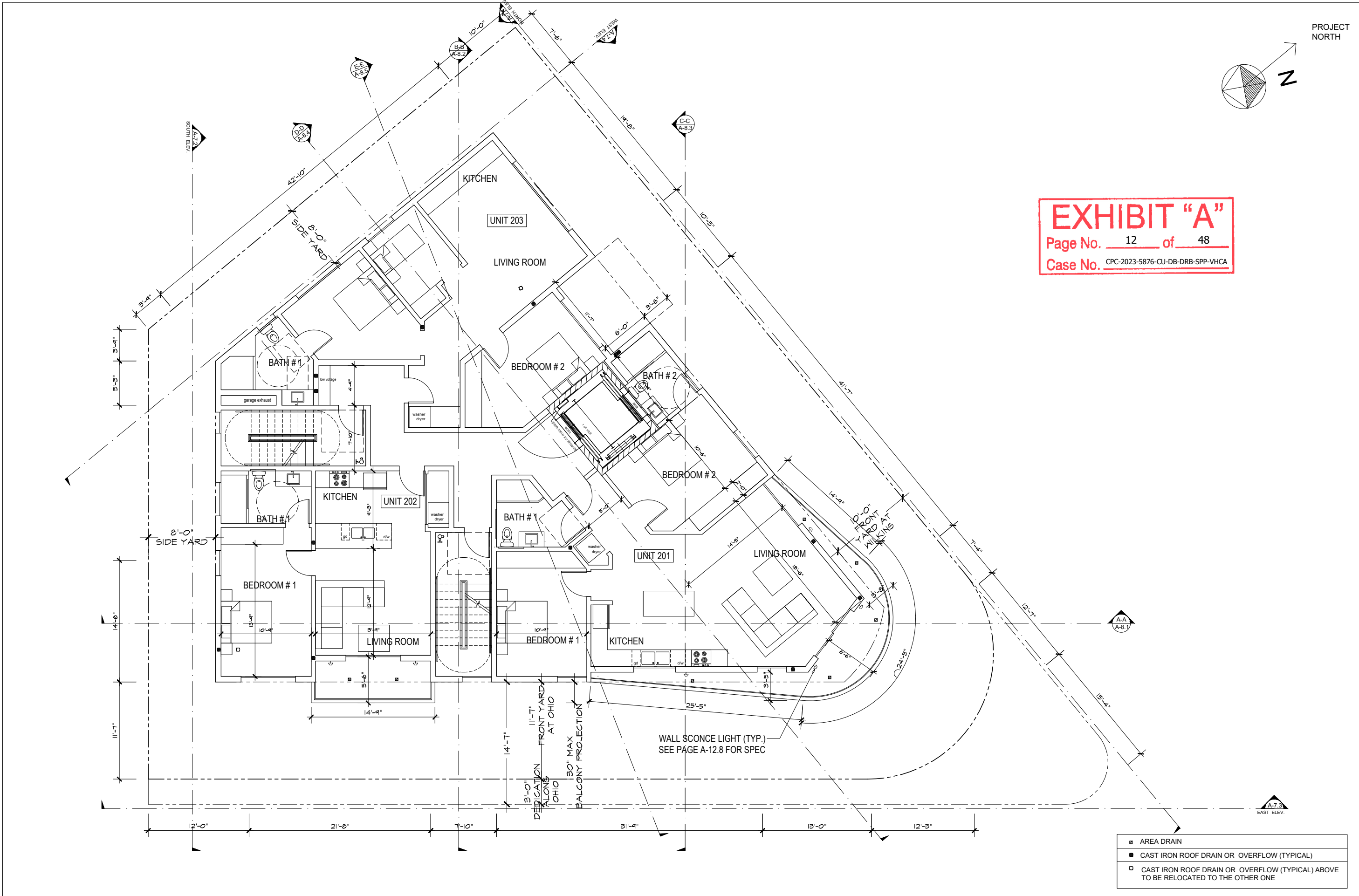
Drawing Title  
1ST FLOOR PLAN

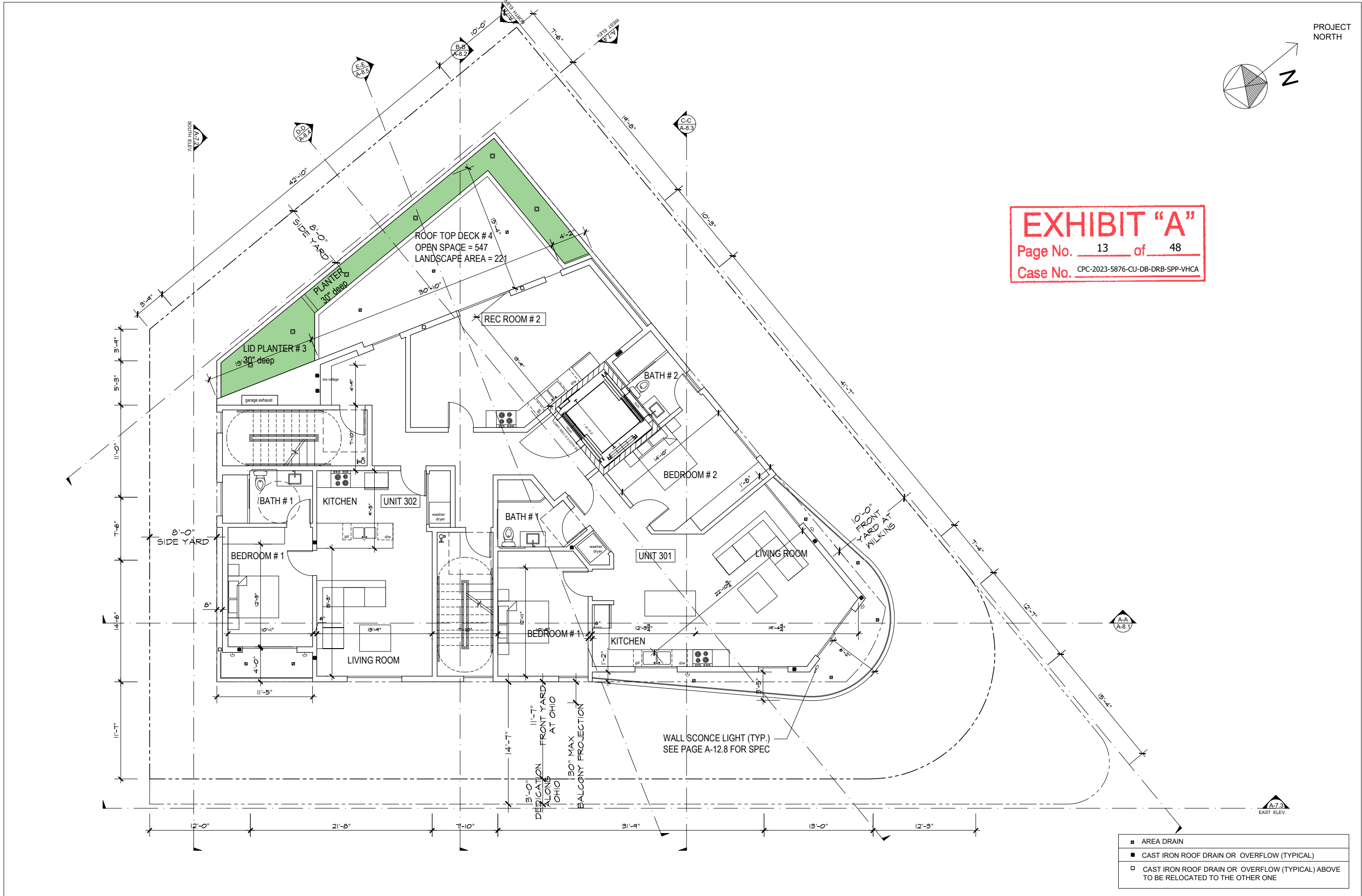
Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021-1-WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

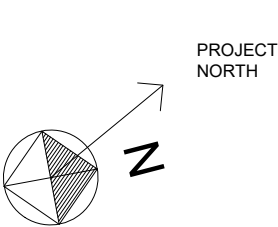
A-05.1

PLOT DATE 03/07/2024





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Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
**3RD FLOOR PLAN**

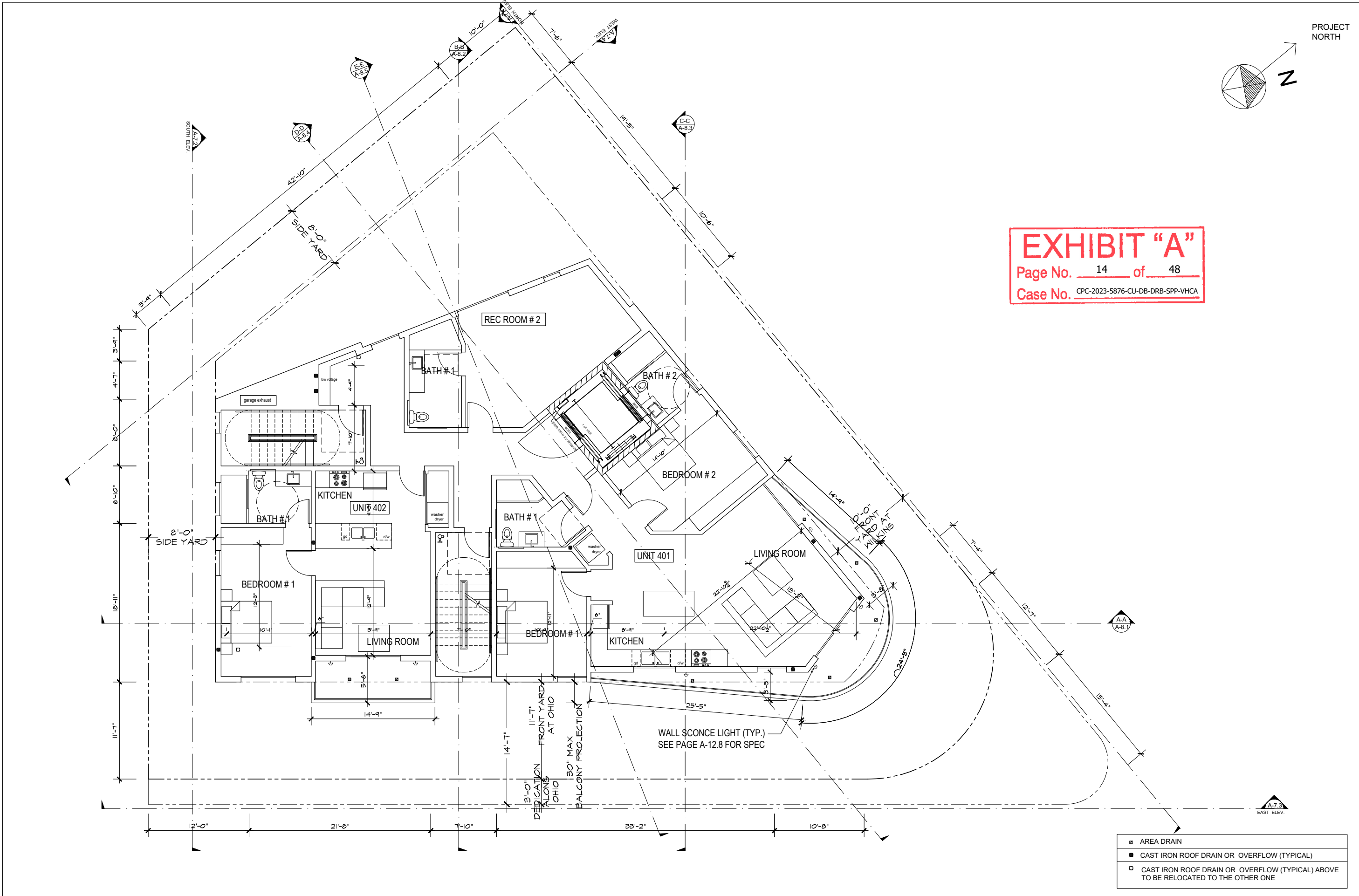
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Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

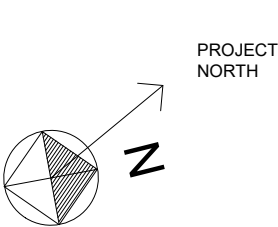
**A-05.3**

PLOT DATE 03/07/2024





**EXHIBIT "A"**  
Page No. 14 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



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OWNER:  
WILKINS OWNER  
CO

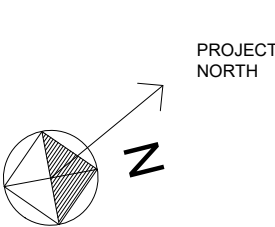
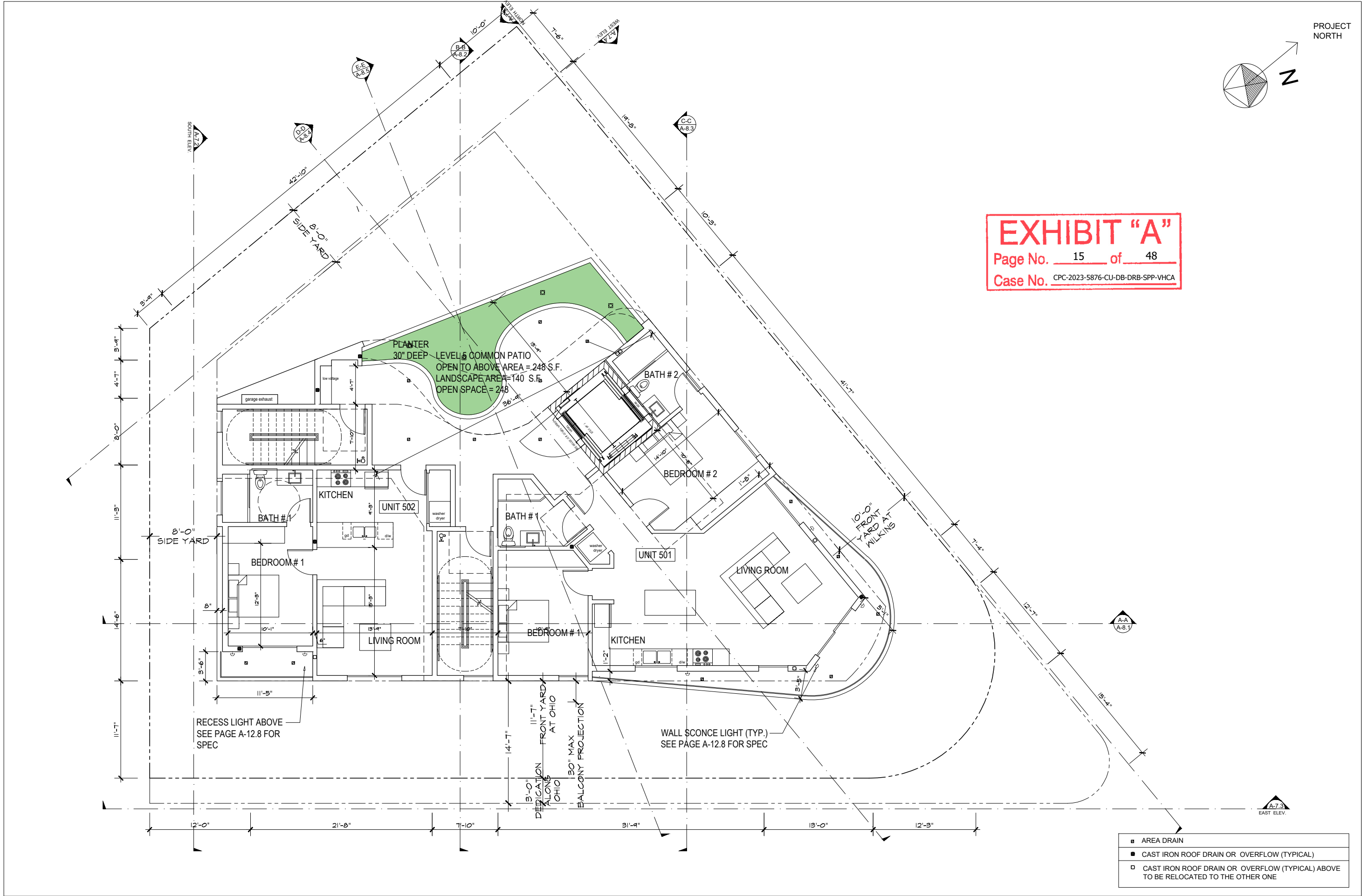
Drawing Title  
4TH FLOOR PLAN

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021-1-WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-05.4**

PLOT DATE 03/07/2024



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PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
5TH FLOOR PLAN

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021-1-WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-05.5

PLOT DATE 03/07/2024

SOLAR ZONE  
TOTAL ROOF AREA: 2,788 SF  
REQUIRED SOLAR ZONE:  
2,788 x 15% = 418 SF  
PROVIDED SOLAR ZONE: 596 SF

AREA UNDER SOLAR  
PANELS WITH SOLID  
ROOF  
AREA UNDER SOLAR  
PANELS WITH 3X6 METAL  
FRAME

DIAGRAM OF UPPER ROOF SHOWING  
SOLAR PANELS INSTALLATION

PROJECT  
NORTH



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CONDENSING UNIT ON  
STAIR SHAFT WALL

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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

- AREA DRAIN
- CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL)
- CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL) ABOVE  
TO BE RELOCATED TO THE OTHER ONE





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LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
GO

Drawing Title  
NORTH  
ELEVATION

Scale: 3/32" = 1'-0"

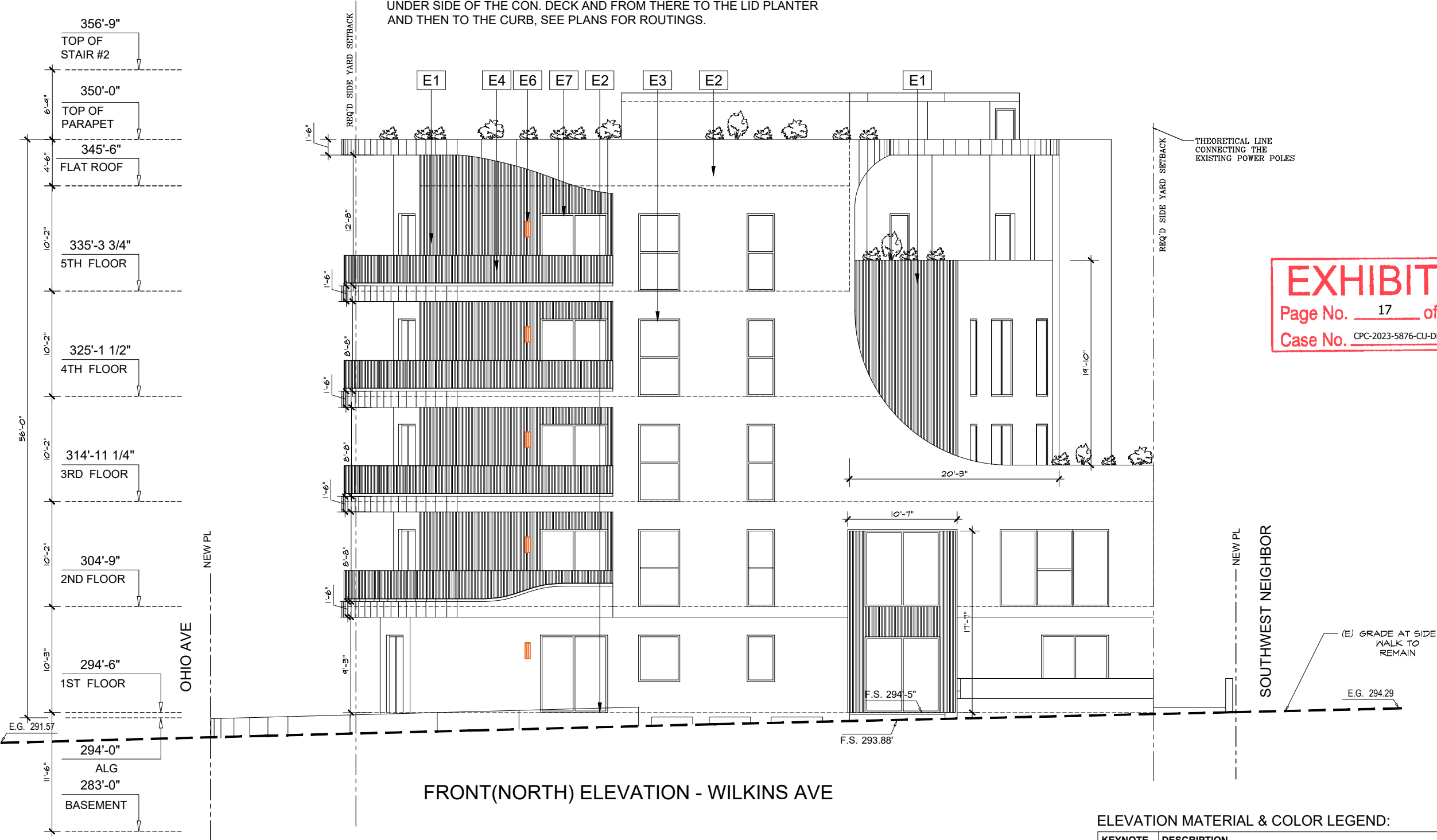
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Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-07.1

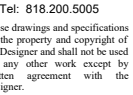
PLOT DATE 03/07/2024

NOTE: ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.



ELEVATION MATERIAL & COLOR LEGEND:

KEYNOTE	DESCRIPTION
E1	SPANISH WALNUT EUROPEAN SIDING, MANUFACTURER: NEWTECHWOOD
E2	SMOOTH FINISH PORTLAND CEMENT PLASTER - COLOR: OATMEAL X-81 (68)
E3	WINDOW- FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E4	STEEL PICKET RAILING - COLOR: DARK BRONZE
E5	SHEET METAL FASCIA PANEL - COLOR: TO MATCH STUCCO (E2)
E6	WALL SCONE EXTERIOR LIGHT (SEE SPECS AT SHEET A-12.8)
E7	SLIDING GLASS DOOR & WINDOW - FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E8	PENDANT CHANDELIER
E9	WATER FEATURE AT ENTRY DOOR



isions

wing Title

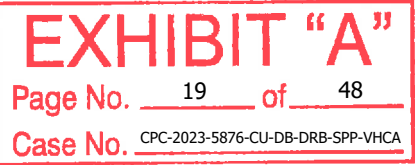
le:  $3/32^{\circ} = 1'-0"$

wing No.

PLOT DATE 03/07/2024

KEYNOTE	DESCRIPTION
E1	SPANISH WALNUT EUROPEAN SIDING, MANUFACTURER: NEWTECHWOOD
E2	SMOOTH FINISH PORTLAND CEMENT PLASTER - COLOR: OATMEAL X-81 (68)
E3	WINDOW- FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E4	STEEL PICKET RAILING - COLOR: DARK BRONZE
E5	SHEET METAL FASCIA PANEL - COLOR: TO MATCH STUCCO (E2)
E6	WALL SCONE EXTERIOR LIGHT (SEE SPECS AT SHEET A-12.8)
E7	SLIDING GLASS DOOR & WINDOW - FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E8	PENDANT CHANDELIER
E9	WATER FEATURE AT ENTRY DOOR

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KEYNOTE	DESCRIPTION
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E8	PENDANT CHANDELIER
E9	WATER FEATURE AT ENTRY DOOR



**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

### Revisions

OWNER:  
WILKINS OWNER  
C/O

Drawing Title

EAST  
ELEVATION

Scale: 3/32" = 1'-0"

Date: March 2021

Job No: 2021 - WILKINS

Drawn By: A.A.

Checked By: P.P.

Drawing No.

## A-07.3



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PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

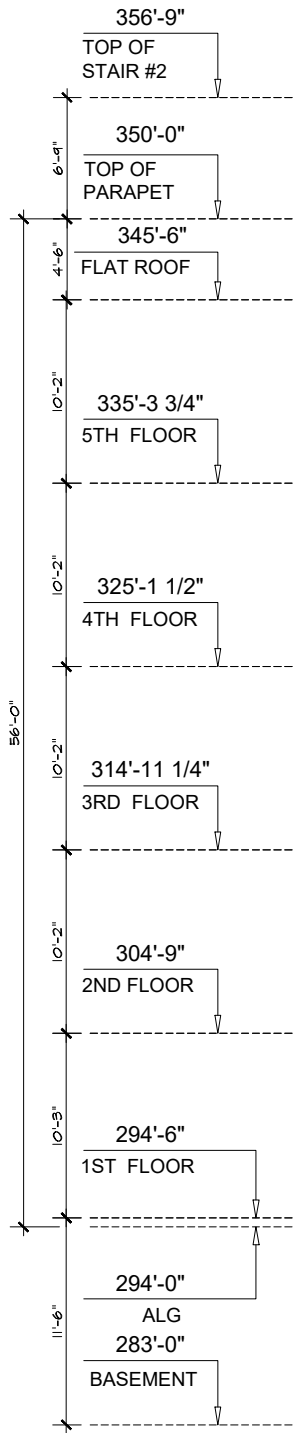
Drawing Title  
WEST  
ELEVATION

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-07.4

PLOT DATE 03/07/2024



ELEVATION MATERIAL & COLOR LEGEND:

KEYNOTE	DESCRIPTION
E1	SPANISH WALNUT EUROPEAN SIDING, MANUFACTURER: NEWTECHWOOD
E2	SMOOTH FINISH PORTLAND CEMENT PLASTER - COLOR: OATMEAL X-81 (68)
E3	WINDOW- FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E4	STEEL PICKET RAILING - COLOR: DARK BRONZE
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E7	SLIDING GLASS DOOR & WINDOW - FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E8	PENDANT CHANDELIER
E9	WATER FEATURE AT ENTRY DOOR



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LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
SECTION A-A

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021-1-WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-08.1

PLOT DATE 03/07/2024

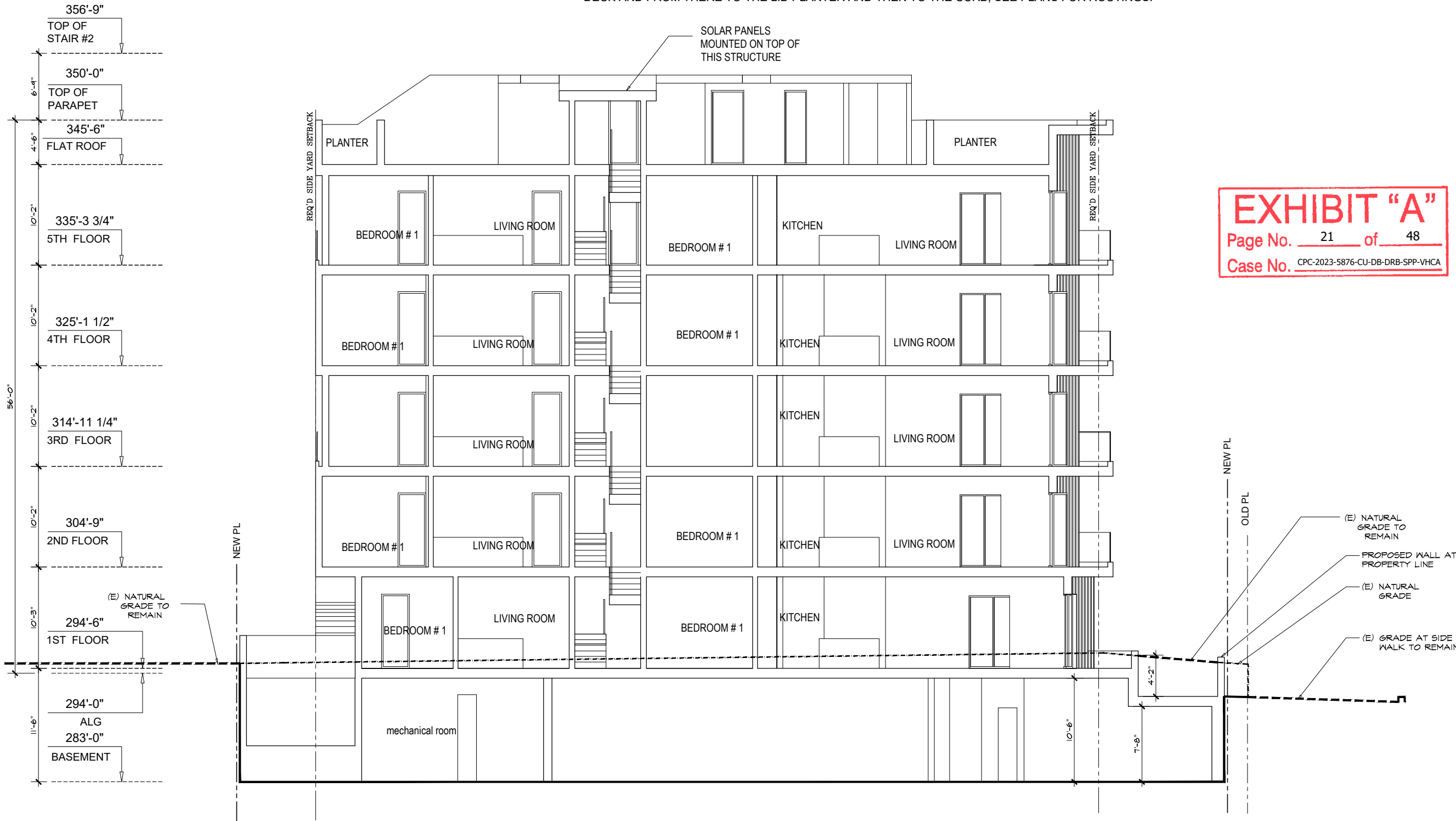
NOTE: ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.

SOLAR PANELS  
MOUNTED ON TOP OF  
THIS STRUCTURE

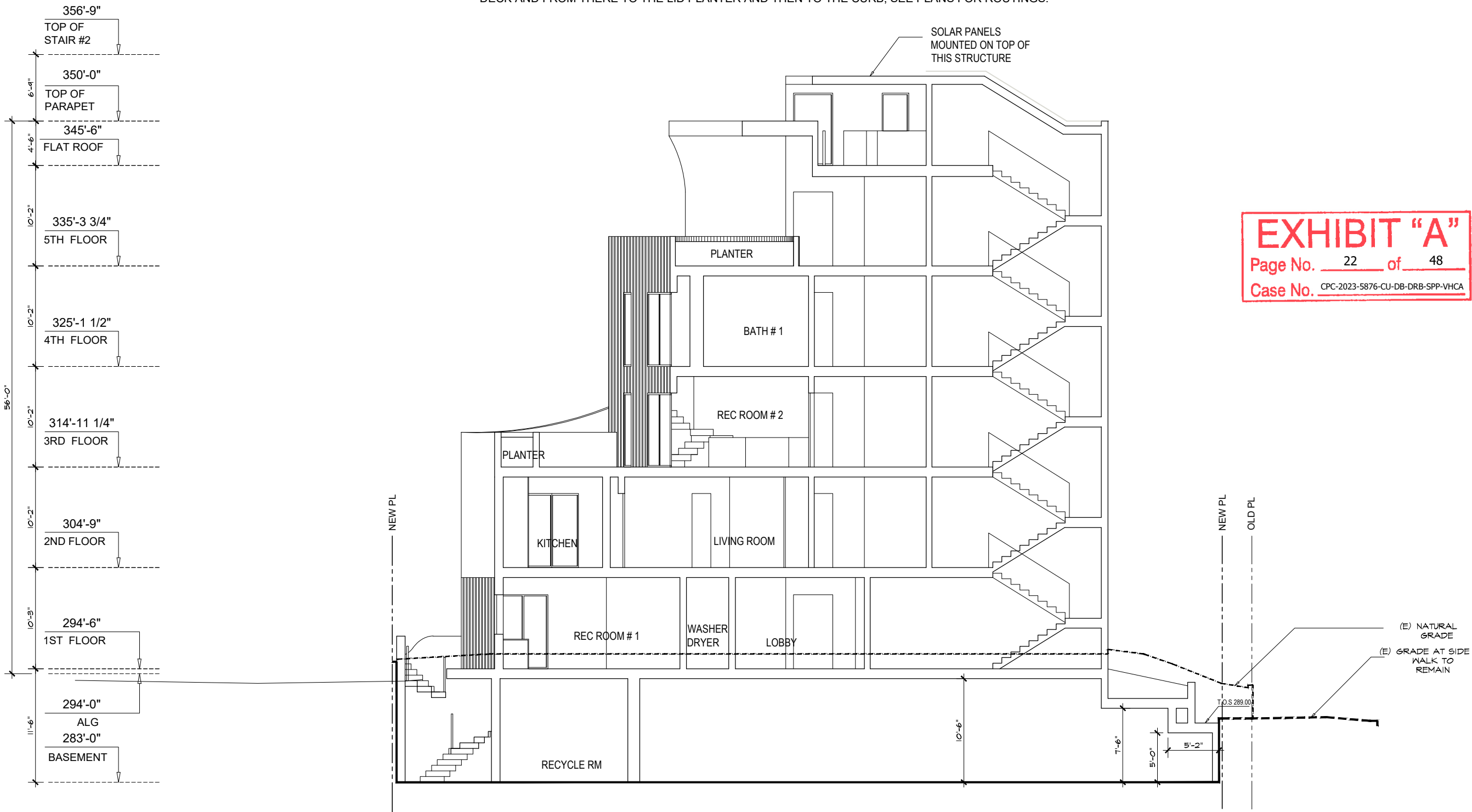
EXHIBIT "A"

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PROJECT:  
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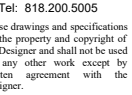
Drawing Title  
SECTION B-B

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021-WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-08.2





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igner.

PROJECT:  
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LOS ANGELES, CA 90024

isions

NER:  
KINS OWNER

Following Title

SECTION C-C

Scale: 3/32" = 1'-0"

Date: March 2021

Project No: 2021 - WILKINS

Drawn By: A.A.

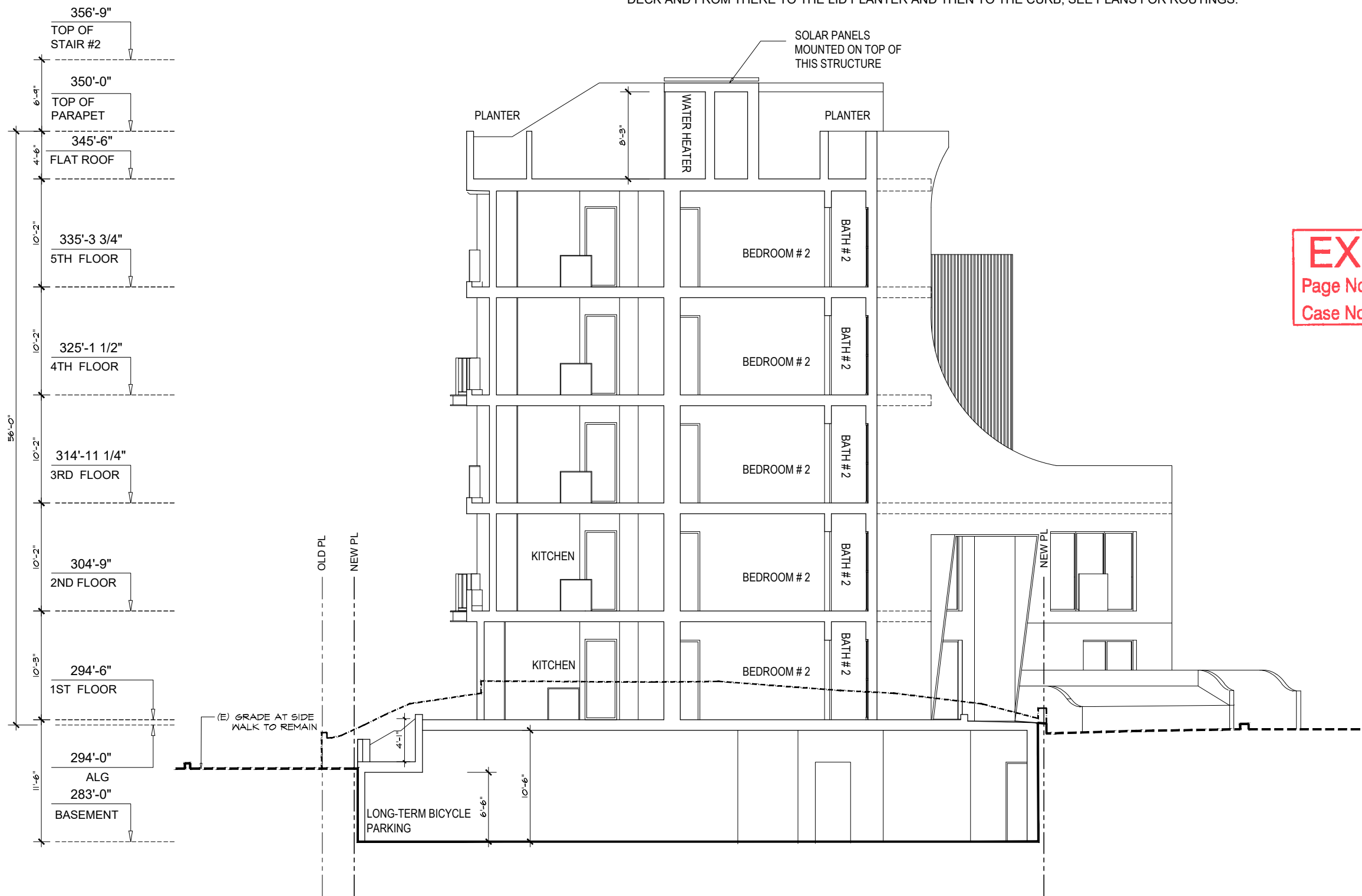
Checked By: P.P.

wing No.

### A-08.3

PLOT DATE 03/07/2024

SOLAR PANELS  
MOUNTED ON TOP OF  
THIS STRUCTURE



# EXHIBIT "A"

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**Case No.** CPC-2023-5876-CU-DB-DRB-SPP-VHCA

NOTE: ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.

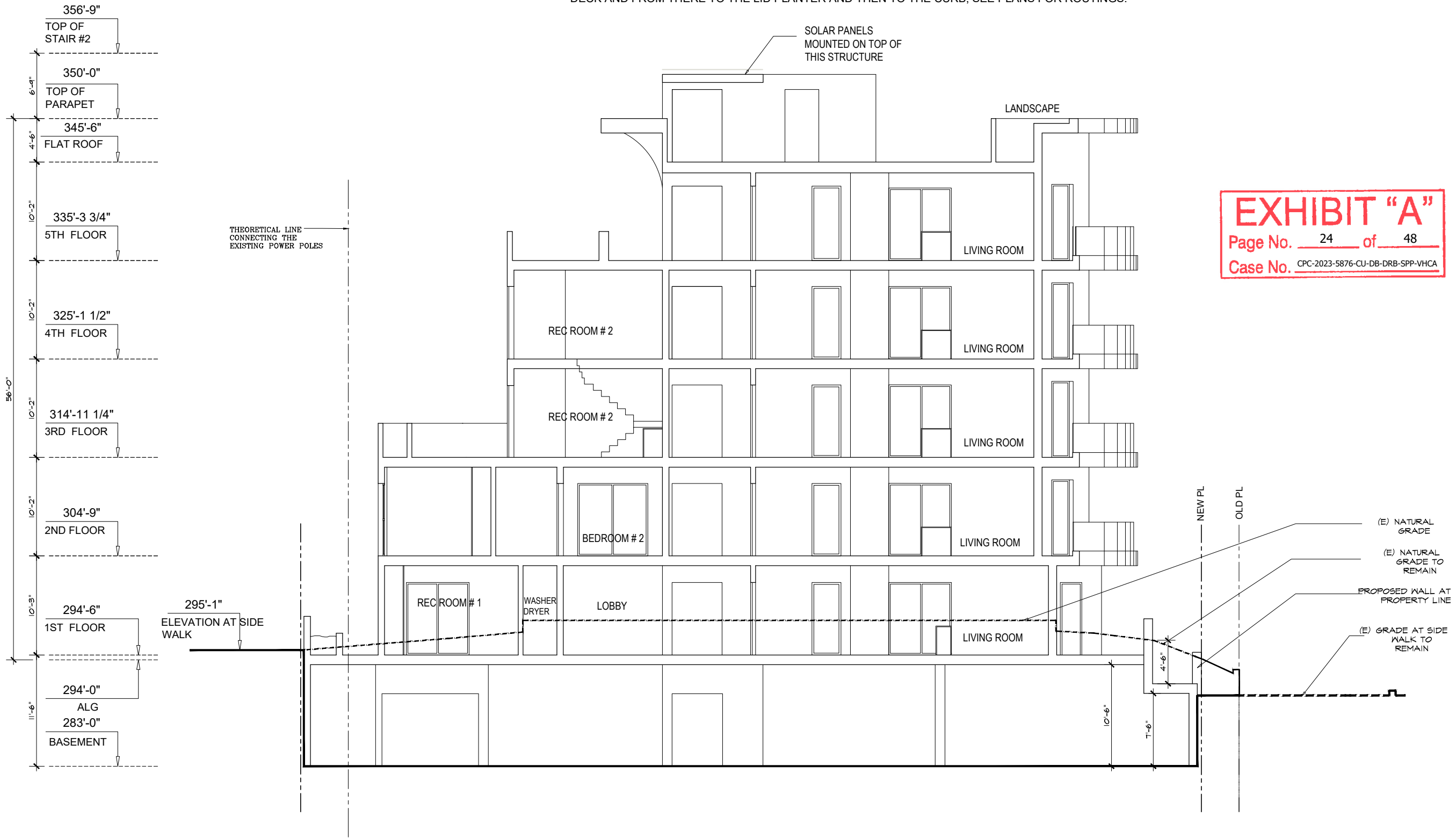


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Page No. 24 of 48  
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OWNER:  
WILKINS OWNER  
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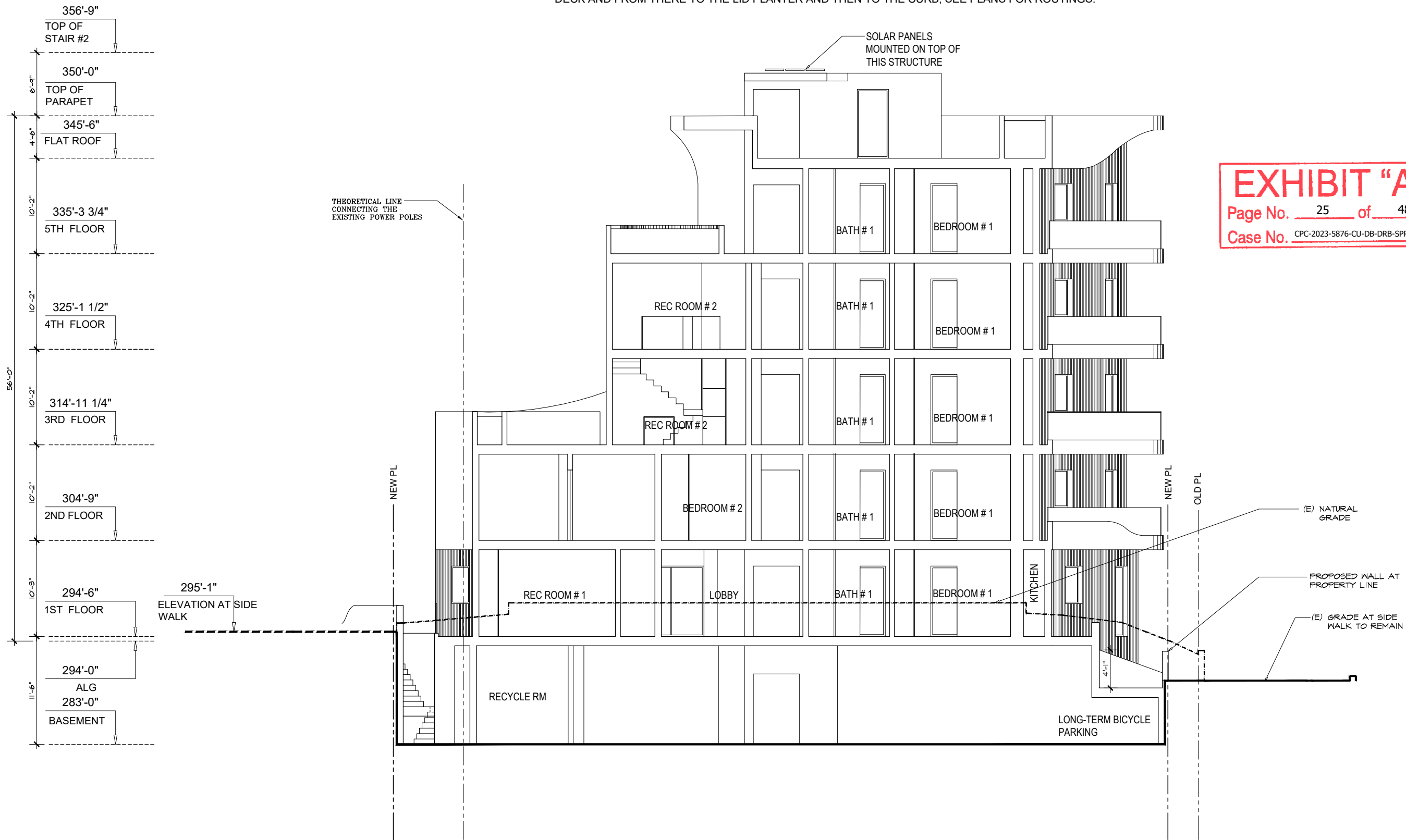
Drawing Title  
SECTION D-D

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-08.4

**NOTE:** ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.



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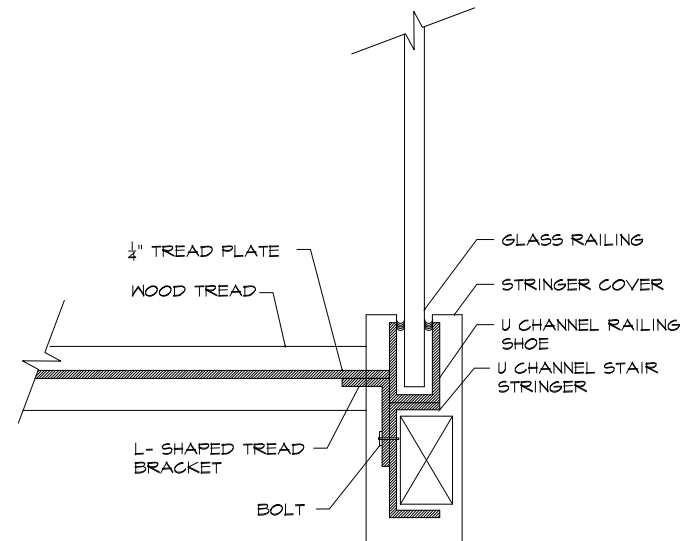
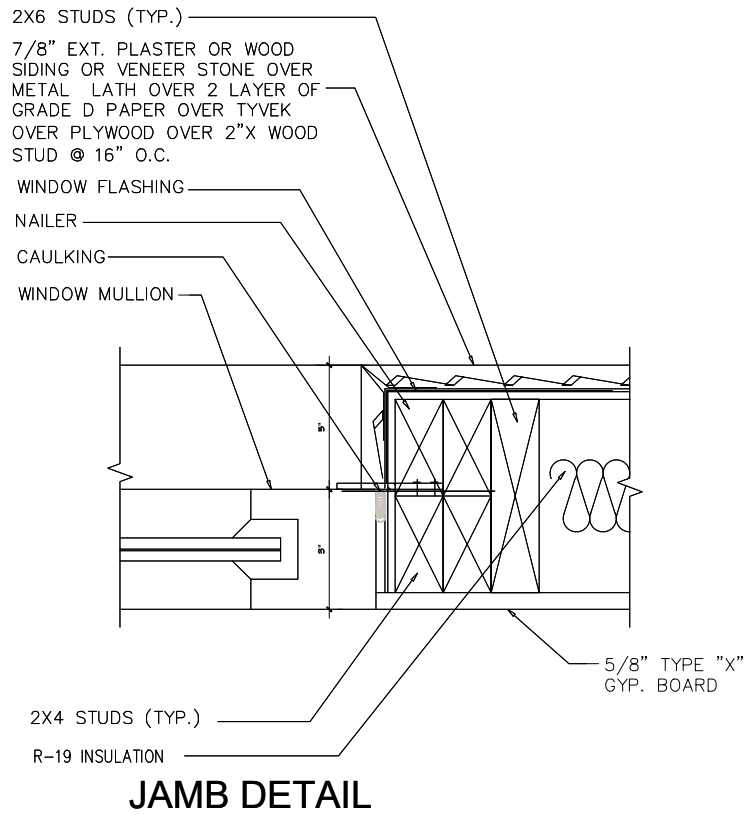
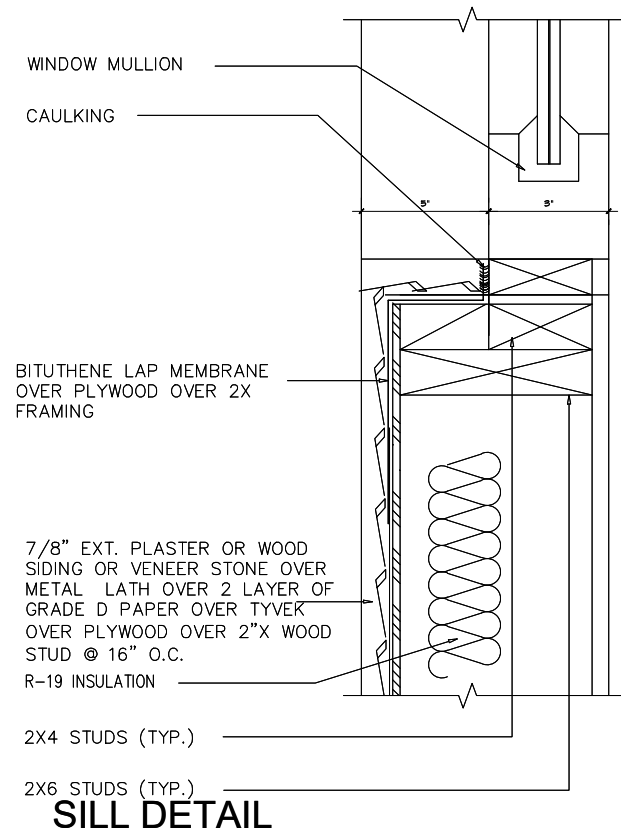
OWNER:  
WILKINS OWNER  
C/O

Drawing Title  
SECTION E-E

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.  
Drawing No.

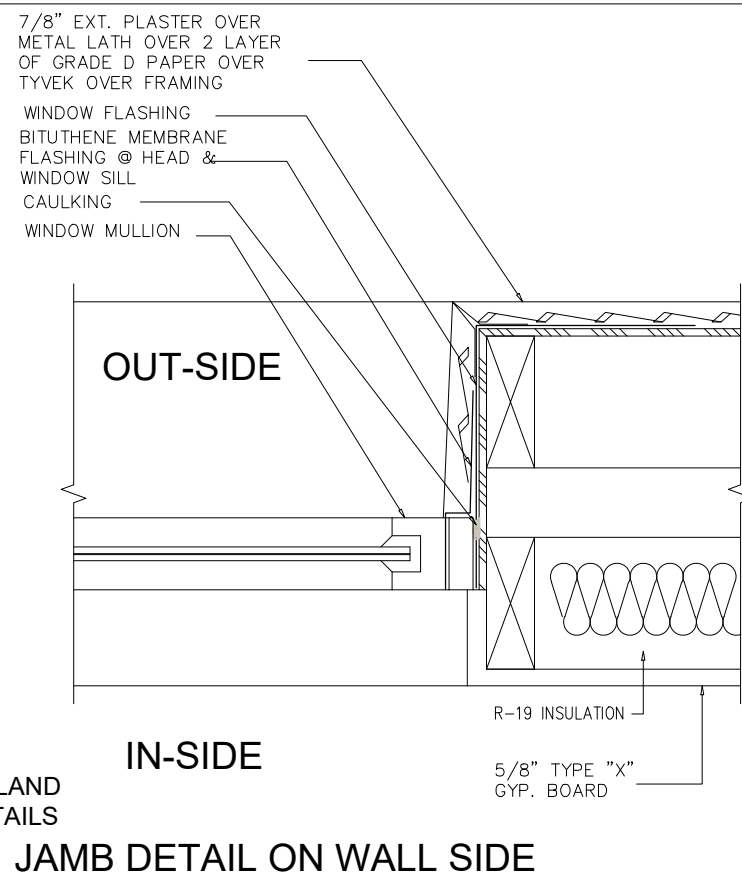
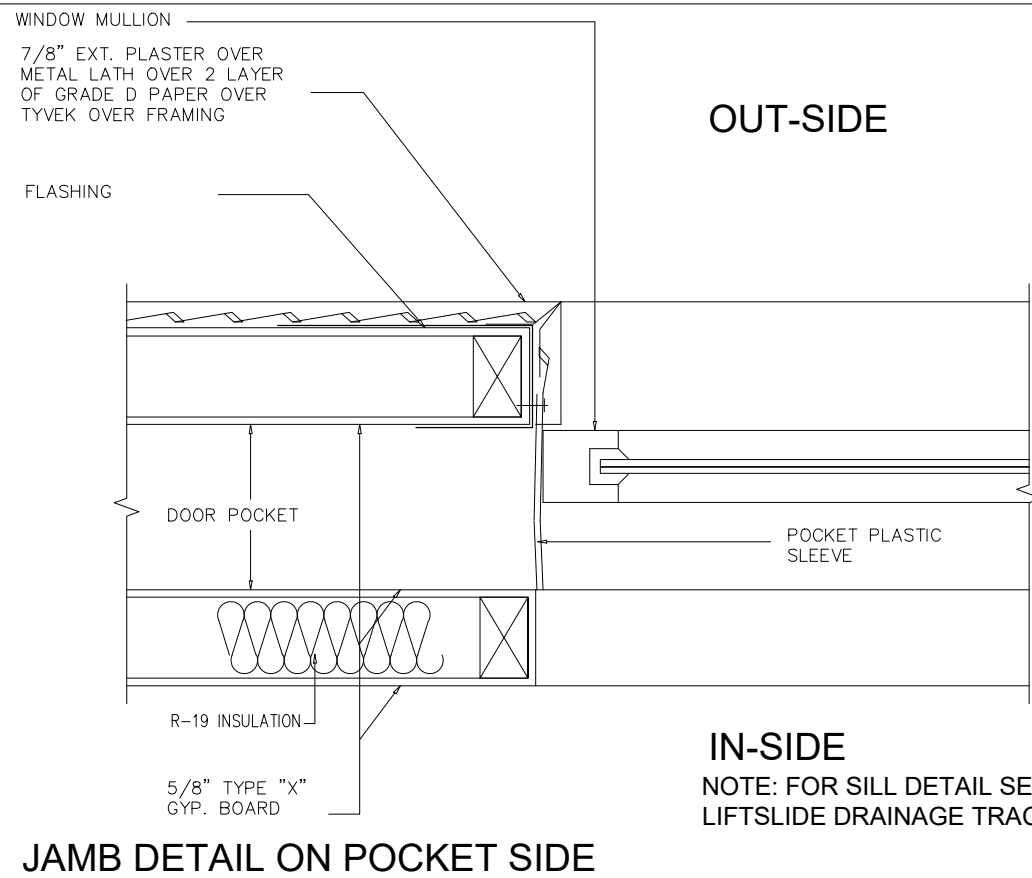
A-08.5





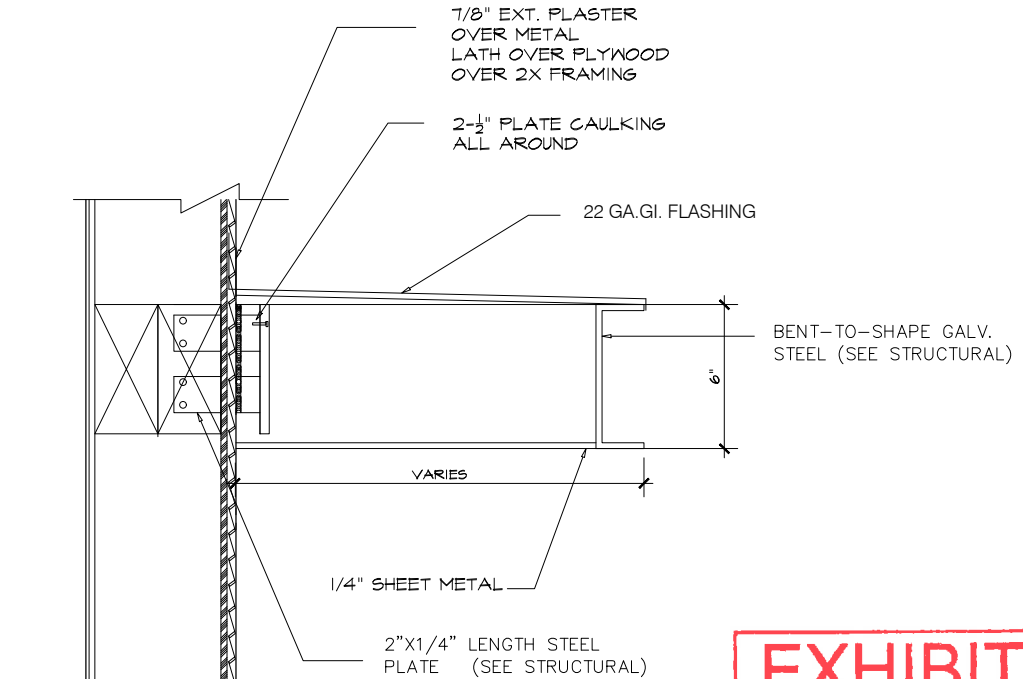
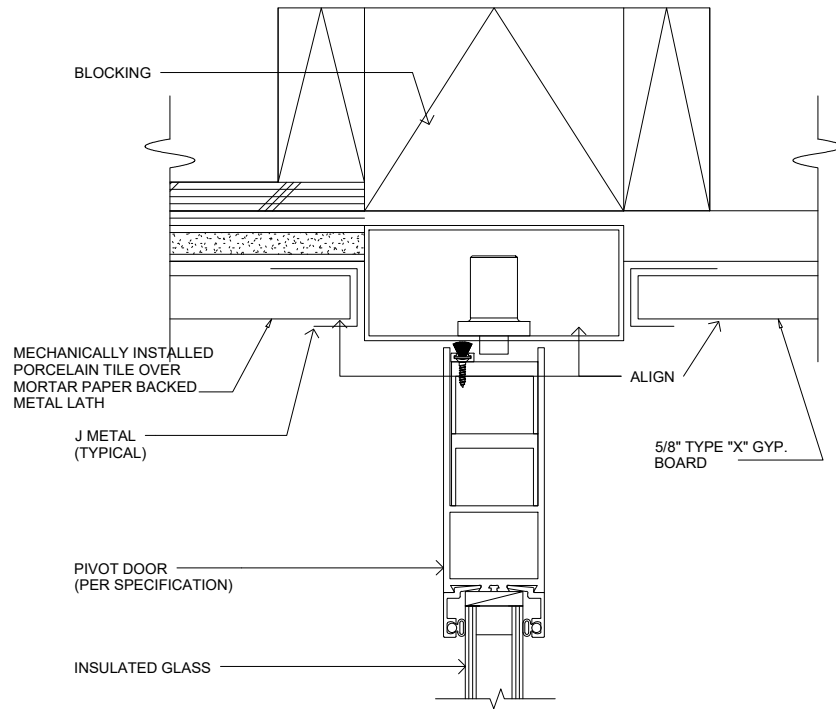
1 RECESSED WINDOW AND DOOR DETAIL @ FRONT ELEVATION

2 RAILING @ BALCONY



**EXHIBIT "A"**  
Page No. 26 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

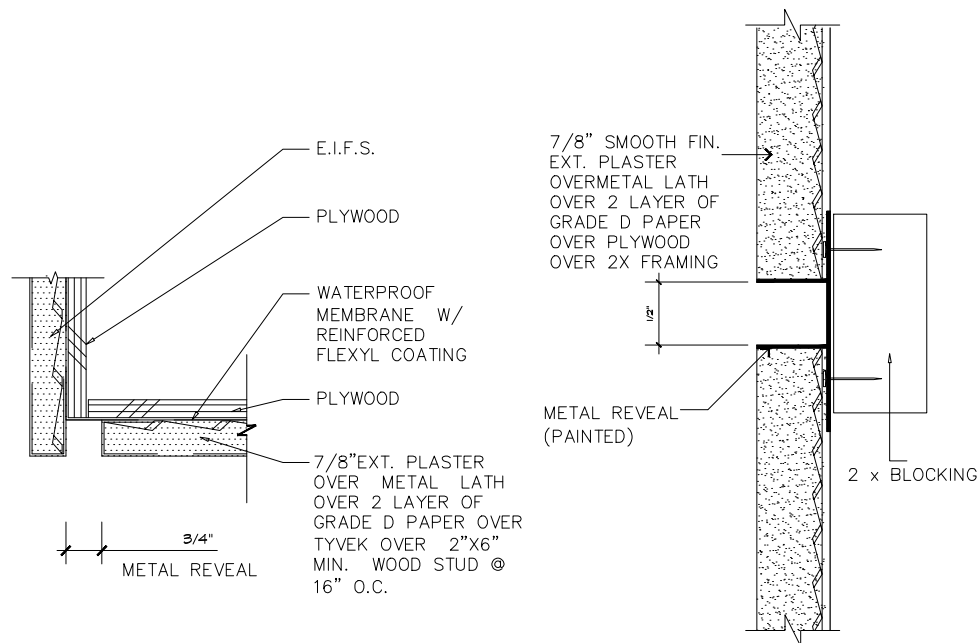
3 RECESSED POCKET DOOR DETAIL @ FAMILY ROOM



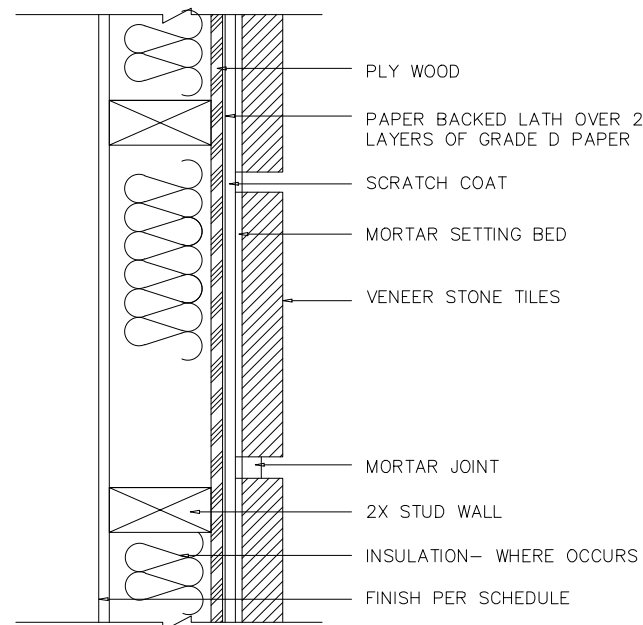
**EXHIBIT "A"**  
Page No. 27 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

1 ENTRY PIVOT DOOR HEAD DETAIL

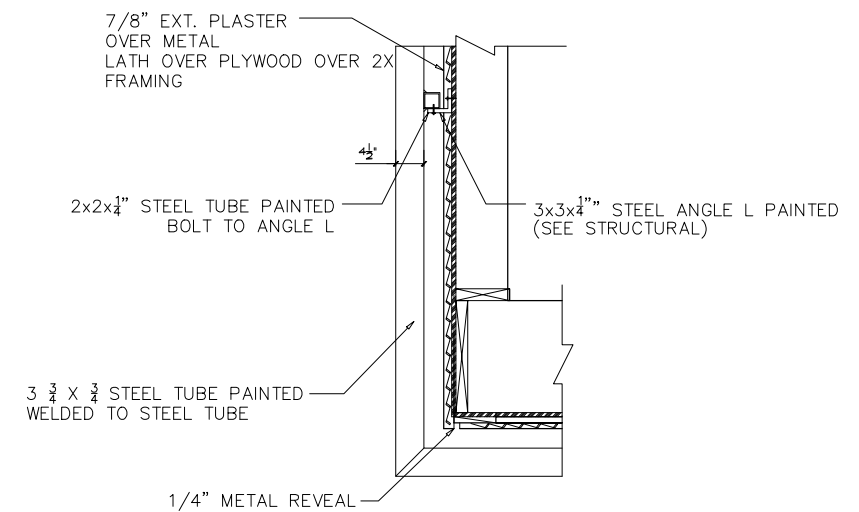
2 METAL AWNING DETAIL



3 METAL REVEAL DETAIL



4 STONE INSTALLATION DETAIL



5 METAL SCREEN WALL DETAIL





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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA





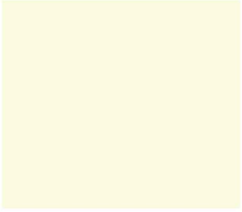


<div>E1</div> <div>WOOD SIDING</div> <div>SPANISH WALNUT EUROPEAN SIDING, MANUFACTURER: NEWTECHWOOD</div> <div></div>	<div>E2</div> <div>CEMENT PLASTER</div> <div>EXTERIOR PORTLAND CEMENT PLASTER BY LAHABRA OR EQUAL</div> <div><div>Oatmeal X-81 (68) Base 200</div></div>	<div>E3</div> <div>WINDOW</div> <div>WINDOW- FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE</div> <div></div>	<div>E4</div> <div>PICKET RAILING</div> <div>PAINTED STEEL PICKET RAILING - COLOR DARK BRONZE</div> <div></div>	<div>E5</div> <div>SHEET METAL</div> <div>SHEET METAL FASCIA PANEL - COLOR TO MATCH STUCCO (E2)</div> <div><div>Oatmeal X-81 (68) Base 200</div></div>	<div>E6</div> <div>EXTERIOR LIGHTING</div> <div>WALL SCONE LIGHT</div> <div></div>	<div>E7</div> <div>SLIDING GLASS DOOR &amp; WINDOW</div> <div>FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE</div> <div></div>
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PHOTO MONTAGE



Tel: 818.200.5005  
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EXHIBIT “A”

Page No. 29 of 48

Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
RENDERING

Scale:  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.  
Drawing No.

A-12.2

PLOT DATE 03/07/2024





PHOTO MONTAGE



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EXHIBIT “A”

Page No. 30 of 48

Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions	
OWNER: WILKINS OWNER CO	
Drawing Title RENDERING	
Scale:	
Date:	March 2021
Job No:	2021 - WILKINS
Drawn By:	A.A.
Checked By:	P.P.
Drawing No.	

A-12.3





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EXHIBIT "A"

Page No. 31 of 48

Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
RENDERING

Scale:  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.  
Drawing No.

A-12.4





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EXHIBIT "A"  
Page No. 32 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
C/O

Drawing Title  
RENDERING

Scale:  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-12.5

PLOT DATE 03/07/2024



WALL SCONCE LIGHT FIXTURES,  
REFER TO FLOOR PLANS FOR LOCATIONS (⊕)

WINDFALL WALL SCONCE

WINDFALL WALL SCONCE

Modern, crisp lines and a slim profile combine in the handsome Windfall LED outdoor fixture. Indirect light bounces off the smooth, matte finish of the back plate to create a gentle glow for way-finding in outdoor corridors and walkways.

**Outstanding protection against the elements:**

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

**SPECIFICATIONS**

DELIVERED LUMENS	1680
WATTS	20
VOLTAGE	120V, 277V
DIMMING	EVF
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Wall
CCT	3000K
CRI	80
COLOR RENDERING	5-Step
BUG RATING	N/A
DARK SKY	Non-compliant
WET LISTED	W0
GENERAL LISTING	ETL-ADA
CALIFORNIA TITLE 24	Can be used to comply with DEC 2016 Title 24 Part 4.4.4.1 as shown in the Appliance Database not required.
SHALL LAMP	30W
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
MATERIALS	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	LT67,000 Hours
WARRANTY**	5 Years
WEIGHT	5 lbs.

\*\* 5 year limited warranty for specific warranty conditions and details.

**PHOTOMETRICS\***

WINDFALL  
Total Lumen Output: 1680  
Total Power: 20  
Luminance Efficacy: 84  
Color Temp: 3000K  
CRI: 80  
BUG Rating: N/A

**PROJECT INFO**

PROJECT TYPE & LOCATION: JOURNAL SQUARE, LOS ANGELES, CA

**ORDERING INFORMATION**

7000WIND	7000WIND	7000WIND
2 3000K	2 3000K	2 3000K
1 3000K	1 3000K	1 3000K

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SPECIFICATIONS

UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.voltlighting.com/>

PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ

REFER TO LANDSCAPE PLANS SHEET LP-3 FOR  
THE LOCATION OF LIGHTINGS



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EXHIBIT "A"  
Page No. 33 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
EXTERIOR  
LIGHT FIXTURES  
SPECS

Scale:

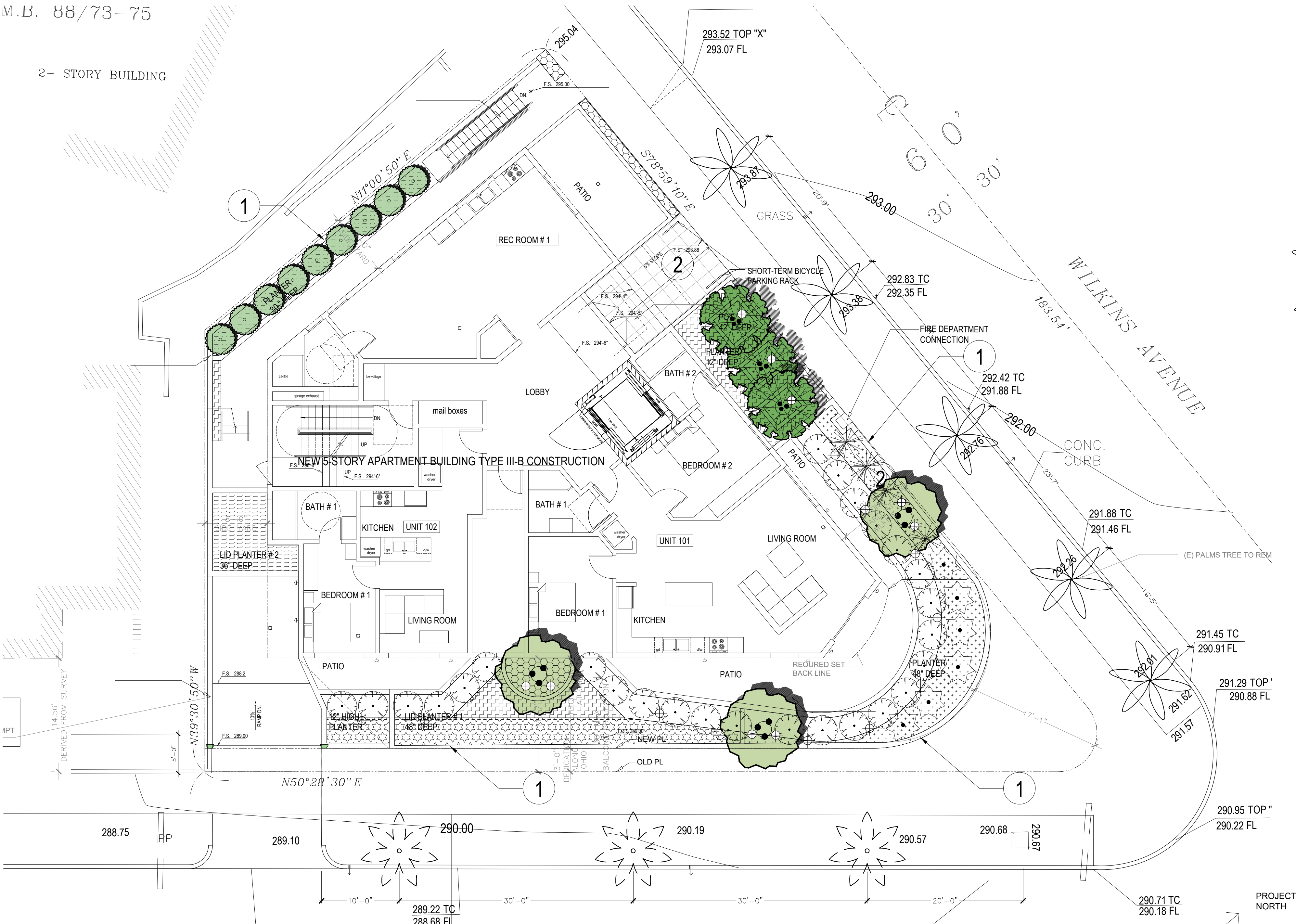
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

A-12.8



2- STORY BUILDING



1 PLANTING PLAN - FIRST FLOOR  
SCALE: 1/8" = 1'-0"

LIGHTING LEGEND

UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.voltlighting.com/>

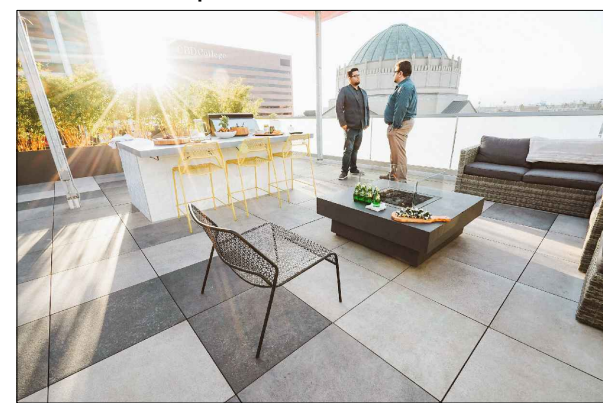


WESTWOOD SPECIFIC PLAN SECTION 3.B.: WHENEVER THIS SPECIFIC PLAN CONTAINS PROVISIONS WHICH DIFFER FROM PROVISIONS CONTAINED IN CHAPTER I OF THE LOS ANGELES MUNICIPAL CODE. THE SPECIFIC PLAN SHALL PREVAIL AND SUPERSEDE THE APPLICABLE PROVISIONS OF THAT CODE.

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

KEYNOTES

1. CONC. PLANTER
2. TILE PAVING  
TILETECH PORCELAIN PAVER  
24"x24" TERRAZZO GRAY BLACK  
[www.tiletechpavers.com](http://www.tiletechpavers.com)



PLANTING LEGEND

TREES

	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
OLEA EUROPAEA 'SWAN HILL' FRUITLESS OLIVE TREE	24" BOX/ 3 EA.	LOW	25'-30' HT. & 25'-30' W.	10-15 YRS.
ARBUTUS 'MARINA' STRAWBERRY TREE	24" BOX/ 3 EA.	LOW	20'-30' HT. & 15'-20' W.	8-10 YRS.
PRUNUS ILICIFOLIA SSP. ILICIFOLIA CATALINA CHERRY	15 GAL./ 9 EA.	LOW	25'-30' HT. & 6'-20' W.	10-15 YRS.
PITTSOPORUM TENUIFOLIUM 'SILVER SHEEN' SILVER SHEEN KOHUUH	15 GAL./ 27 EA.	MODERATE	12'-15' HT. & 6'-8' W.	10-20 YRS.
EXISTING STREET TREE (QUEEN PALMS) TO REMAIN				
NEW STREET TREE SPECIES AND SIZES PER URBAN FORESTRY STREET TREE DIV.				

NOTE:

1. STREET TREES SHALL BE APPROVED BY THE STREET TREE DIVISION OF THE BUREAU OF STREET MAINTENANCE AND SHALL BE PLANTED AT A MINIMUM RATIO OF ONE FOR EVERY 30 LINEAL FEET OF STREET FRONTAGE ABUTTING THE PROJECT.
2. STREET TREES SHALL BE AT LEAST 12 FEET IN HEIGHT AND NOT LESS THAN THREE INCHES IN CALIPER AT THE TIME OF PLANTING.

SHRUBS AND GROUNDCOVER

	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
DASYLIUM WHEELERI DESERT SPOON	5 GAL./ 4 EA.	LOW	3'-5' HT. & 4'-5' W.	15-25 YRS.
AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL./ 6 EA.	LOW	4'-5' HT. & 6'-8' W.	7-10 YRS.
DIETES BICOLOR FORTNIGHT LILY (SUITABLE FOR LID PLANTERS)	1 GAL.@ 30" O.C./ 13 EA.	LOW	2'-3' HT. & 2'-3' W.	2-3 YRS.
JUNCUS PATENS 'ELK BLUE' CALIFORNIA GREY RUSH (SUITABLE FOR LID PLANTERS)	1 GAL.@ 24" O.C./ 52 EA.	LOW	1'-2' HT. & 2'-3' W.	2-3 YRS.
ALOE X 'BLUE ELF' BLUE ELF ALOE	1 GAL.@ 18" O.C./ 26 EA.	LOW	1'-2' HT. & 1'-2' W.	2-3 YRS.
CAREX TUMULICOLA BERKELEY SEDGE	1 GAL.@ 18" O.C./ 41 EA.	LOW	1'-2' HT. & 2'-3' W.	1-2 YRS.
SENECIO MANDRALISCAE KLEINIA	1 GAL.@ 12" O.C./ 241 EA.	LOW	1'-2' HT. & 1'-2' W.	1-2 YRS.
ARCHILLEA MILLEFOLIUM COMMON YARROW (SUITABLE FOR LID PLANTERS)	1 GAL.@ 12" O.C./ 164 EA.	LOW	1'-2' HT. & 1'-2' W.	1-2 YRS.

TABLE OF PROVIDED OPEN SPACE (CONTRIBUTED TOWARDS REQUIRED OPEN SPACE):

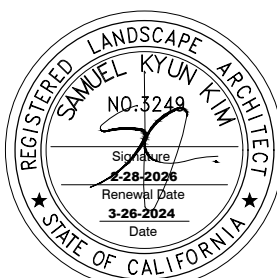
LOCATION	HARD-SCAPE	LAND-SCAPE	TOTAL AREA	% LAND-SCAPE	CONTRIBUTED TOWARD OPEN SPACE
OPEN SPACE AT GRADE					
FRONT YARDS	960 SF	1263 SF	2223 SF	56%	1111 SF
OPEN SPACE ABOVE GRADE					
LEVEL 3 PRIVATE PATIO	326 SF	221 SF	547 SF	41%	2784 SF*
LEVEL 5 COMMON PATIO	136 SF	93 SF	229 SF	41%	
ROOF TOP DECK # 1	734 SF	595 SF	1329 SF	44%	
ROOF TOP DECK # 2	407 SF	272 SF	679 SF	41%	
SUB-TOTAL:	1603 SF	1181 SF	2784 SF	--	
TOTAL:					3,895 SF

TABLE OF PROVIDED LANDSCAPE AT SIDE-YARD (NOT CONTRIBUTED TOWARDS OPEN SPACE):

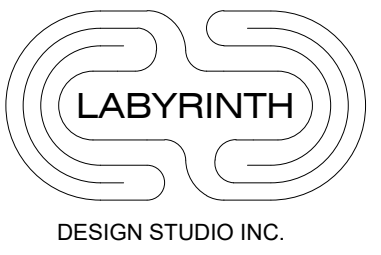
LOCATION	HARDSCAPE	LANDSCAPE	TOTAL AREA	LANDSCAPE %
WEST SIDE-YARD	178 SF	180 SF	358 SF	51%
SIDE-YARD	190 SF	161 SF	321 SF	51%

REQUIRED # OF TREES: 15 DU / 4 TREES  
TREES PROVIDED

3 TREES  
6 TREES



**SCLA INC**  
Landscape Architects  
380 N. PALM ST. SUITE B 1, 562-905-0800 (Main)  
BREA, CA 92821  
[www.scla-inc.com](http://www.scla-inc.com)  
F. 562-905-0880  
T. 213-383-1788 (Studio)



Tel: 818.200.5005  
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**EXHIBIT "A"**  
Page No. 34 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:

WILKINS OWNER  
C/O

Drawing Title

PLANTING PLAN  
- FIRST FLOOR

Scale: AS SHOWN

Date: March 2021

Job No: SOLA# 22193

Drawn By: D.P.

Checked By: S.K.

Drawing No.

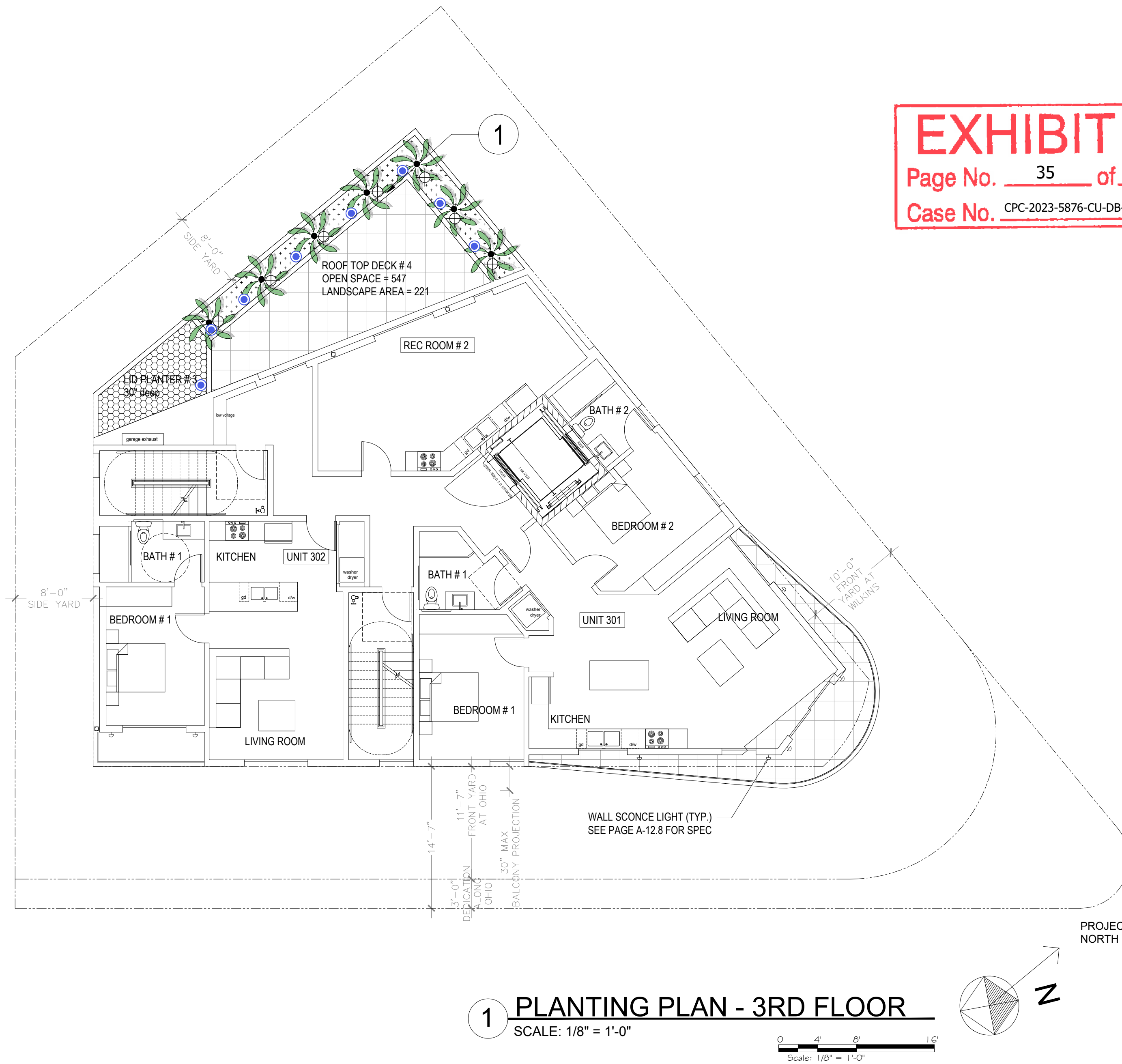
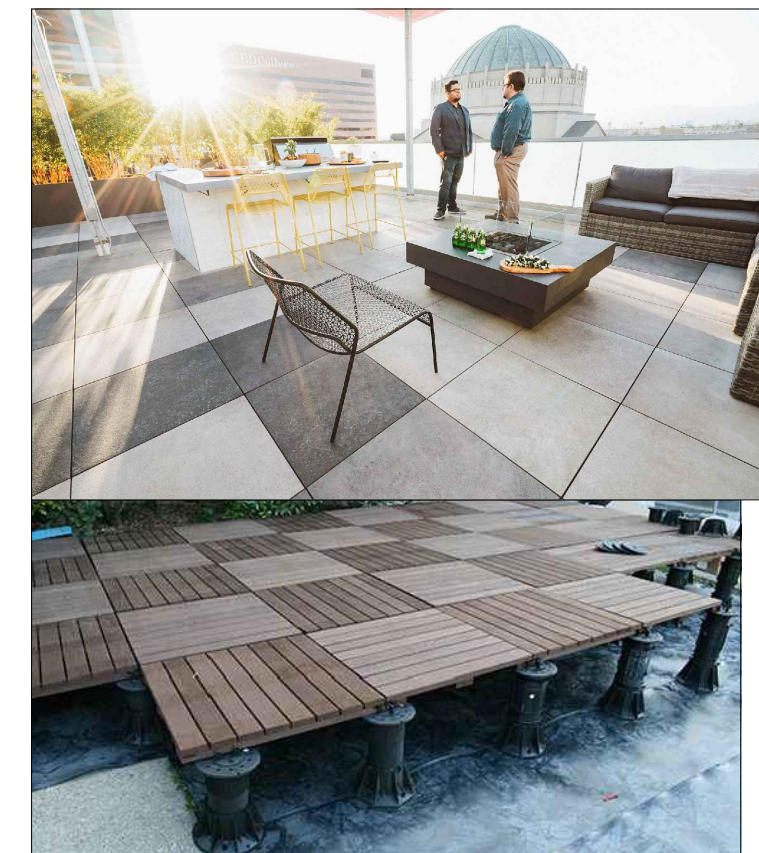
LP-1

PLOT DATE: 10/26/2021



KEYNOTES

1. BUILT-IN PLANTER PER ARCH.
2. TILE PAVING OVER PEDESTALS  
TILETECH PORCELAIN PAVER  
24"x24" STONE SERIES PAVER  
COLOR: GRAY STONE  
www.tiletechpavers.com



1 PLANTING PLAN - 3RD FLOOR  
SCALE: 1/8" = 1'-0"

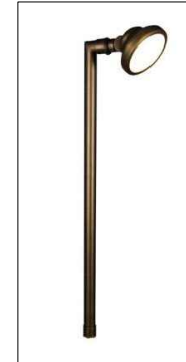
LIGHTING LEGEND



UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.voltlighting.com/>



PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ



SENECIO MANDRALISCAE  
KLEINIA



DIETES BICOLOR  
FORTNIGHT LILY

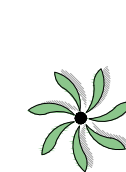


RAVENEA RIVULARIS  
MAJESTIC PALM

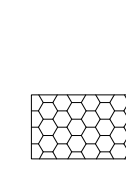


CHAMAEROPS HUMILIS  
MEDITERRANEAN FAN PALM

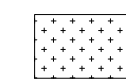
PLANTING LEGEND



TREES	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM	15 GAL./ 7 EA.	LOW	10'-20' HT. & 10'-20' W.	8-10 YRS.



SHRUBS AND GROUNDCOVER	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
DIETES BICOLOR FORTNIGHT LILY (SUITABLE FOR LID PLANTERS)	1 GAL.@ 24"O.C./ 18 EA.	LOW	2'-3' HT. & 2'-3' W.	2-3 YRS.



SENECIO MANDRALISCAE KLEINIA	1 GAL.@ 12"O.C./ 119 EA.	LOW	1'-2' HT. & 1'-2' W.	1-2 YRS.
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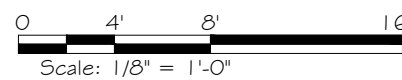
TOTAL OPEN SPACE AREA PROVIDED:	547 SF.
LANDSCAPE AREA PROVIDED:	221 SF. (40%)

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".





1 PLANTING PLAN - FIFTH FLOOR  
SCALE: 1/8" = 1'-0"



LIGHTING LEGEND



UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.vollighting.com/>



PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ

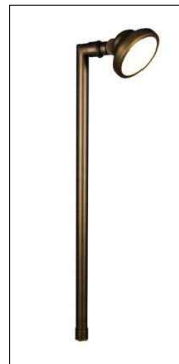


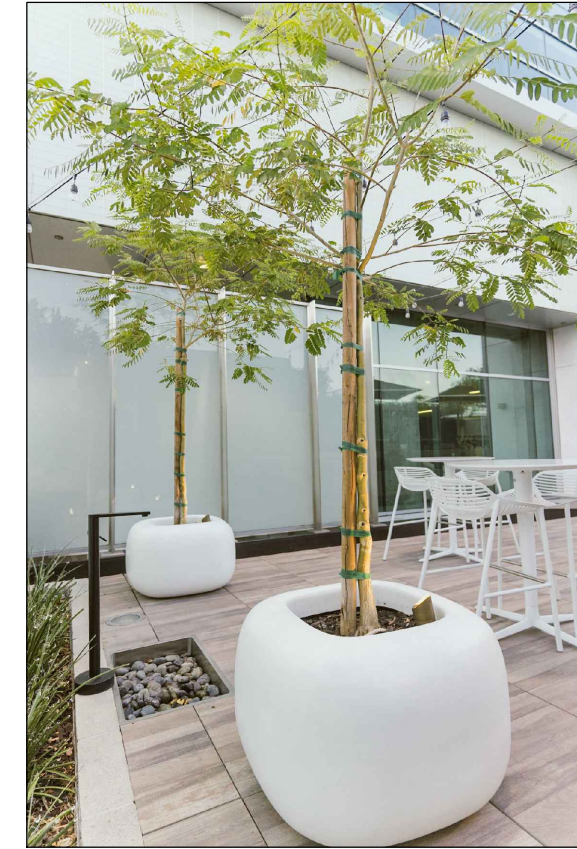
EXHIBIT "A"

Page No. 36 of 48

Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

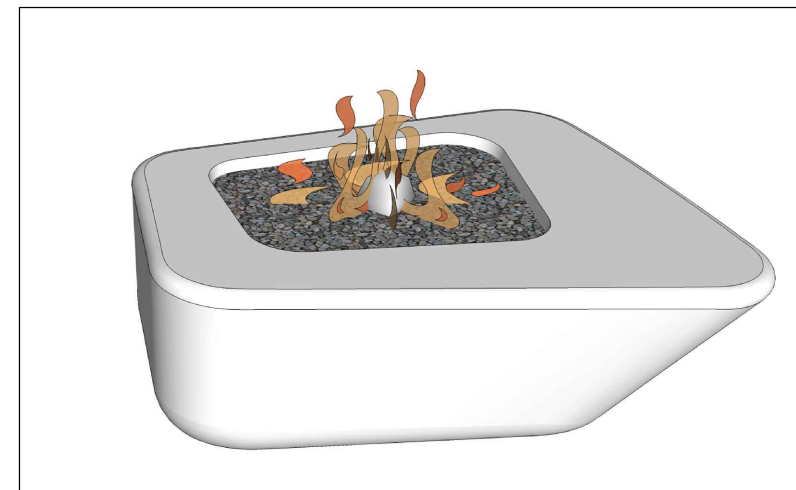
KEYNOTES

1. SQUARO PLANTER POT BY B2G



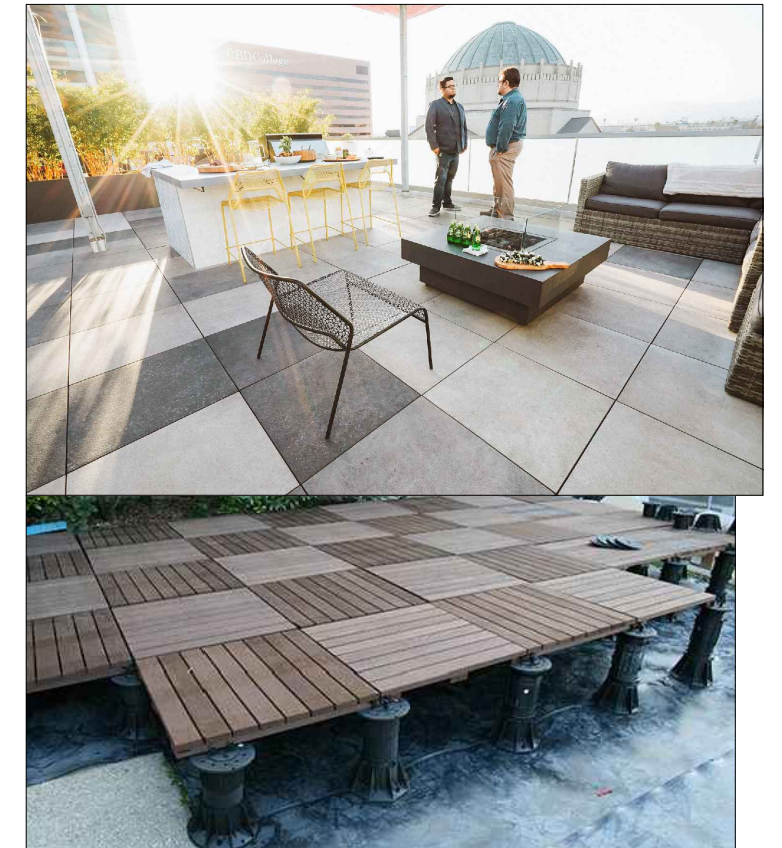
2. BUILT-IN PLANTER PER ARCH.

3. SQUARISH FIREPIT BY B2G



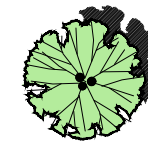
4. TILE PAVING OVER PEDESTALS

TILETECH PORCELAIN PAVER  
24"x24" STONE SERIES PAVER  
COLOR: GRAY STONE  
[www.tiletechpavers.com](http://www.tiletechpavers.com)



PLANTING LEGEND

TREES



GEIJERA PARVIFLORA  
AUSTRALIAN WILLOW

SIZE & QUAN.

15 GAL./ 1 EA.

WUCOLS

LOW

SIZE @ MATURITY

25'-30' HT. & 15'-18' W.

YEARS TO MATURITY

10-15 YRS.



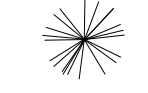
RHAPIS EXCELSA  
LADY PALM

15 GAL./ 7 EA.

MODERATE

6'-12' HT. & 6'-10' W.

6-8 YRS.



RAVENEA RIVULARIS  
MAJESTIC PALM

15 GAL./ 1 EA.

LOW

10'-12' HT. & 5'-10' W.

6-8 YRS.

SHRUBS AND GROUNDCOVER

LIRIOPE SPICATA

CREeping LIRIOPE

SIZE & QUAN.

1 GAL.@ 24" O.C./ 38 EA.

WUCOLS

MODERATE

SIZE @ MATURITY

1'-2' HT. & 1'-2' W.

YEARS TO MATURITY

2-3 YRS.

TOTAL COMMON OPEN SPACE AREA PROVIDED:

229 SF.

LANDSCAPE AREA PROVIDED:

93 SF.(41%)



LIRIOPE SPICATA  
CREeping LIRIOPE



RAVENEA RIVULARIS  
MAJESTIC PALM



RHAPIS EXCELSA  
LADY PALM



GEIJERA PARVIFLORA  
AUSTRALIAN WILLOW

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".



EXHIBIT "A"

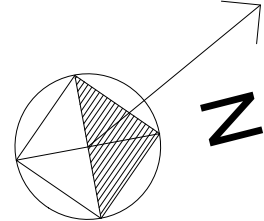
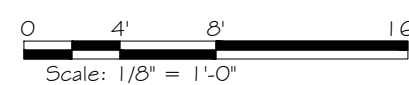
Page No. 37 of 48

Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



## 1 PLANTING PLAN - ROOF DECK

SCALE: 1/8" = 1'-0"



SENECIO MANDRALISCAE  
KLEINIA

AGAVE ATTENUATA  
FOXTAIL AGAVE

YUCCA FILAMENTOSA  
'BRIGHT EDGE'  
BRIGHT EDGE YUCCA

ALOE X 'BLUE ELF'  
BLUE ELF ALOE

DIETES BICOLOR  
FORTNIGHT LILY

CHAMAEROPS HUMILIS  
MEDITERRANEAN FAN PALM

TOTAL OPEN SPACE AREA PROVIDED:	2,008 SF.
ROOF DECK #1:	1,329 SF.
ROOF DECK #2:	679 SF.
TOTAL LANDSCAPE AREA PROVIDED:	867 SF.
ROOF DECK #1:	595 SF.
ROOF DECK #2:	272 SF.

### PLANTING LEGEND

#### TREES

	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
ARBUTUS 'MARINA' STRAWBERRY TREE	15 GAL./ 2 EA.	LOW	20'-30' HT. & 15'-20' W.	8-10 YRS.

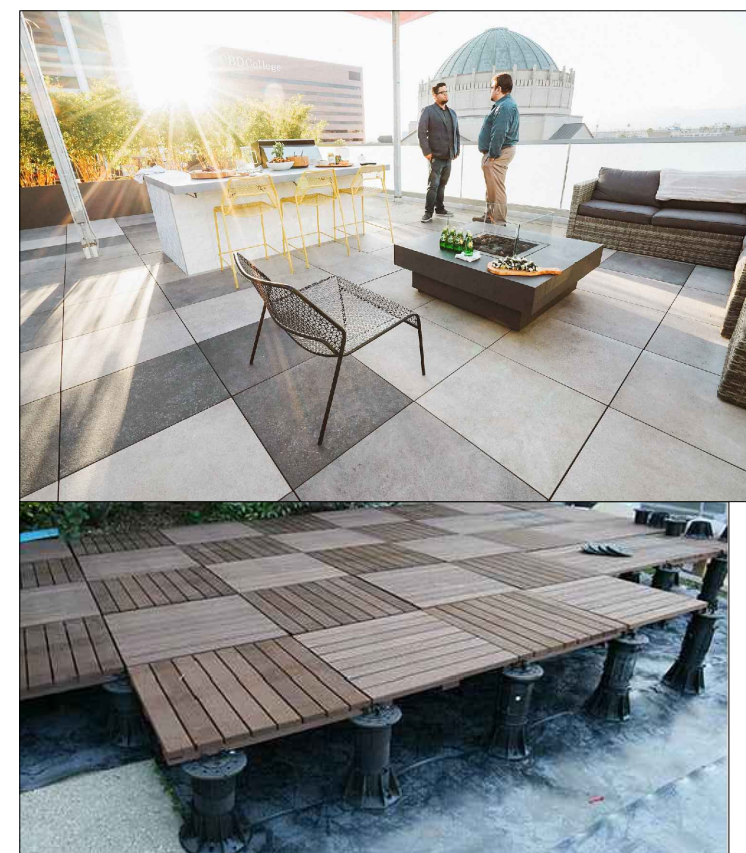
CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM	15 GAL./ 12 EA.	LOW	10'-20' HT. & 10'-20' W.	8-10 YRS.
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#### SHRUBS AND GROUND COVER

	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL./ 6 EA.	LOW	4'-5' HT. & 6'-8' W.	7-10 YRS.
YUCCA FILAMENTOSA 'BRIGHT EDGE' BRIGHT EDGE YUCCA	5 GAL./ 6 EA.	LOW	3'-4' HT. & 4'-5' W.	4-5 YRS.
ALOE X 'BLUE ELF' BLUE ELF ALOE	5 GAL./ 42 EA.	LOW	1'-2' HT. & 1'-2' W.	2-3 YRS.
DIETES BICOLOR FORTNIGHT LILY	1 GAL. @ 24"O.C./ 7 EA.	LOW	2'-3' HT. & 2'-3' W.	2-3 YRS.
SENECIO MANDRALISCAE KLEINIA	1 GAL. @ 12"O.C./ 658 EA.	LOW	1'-2' HT. & 1'-2' W.	1-2 YRS.

### KEYNOTES

- BUILT-IN PLANTER PER ARCH.
- TILE PAVING OVER PEDESTALS  
TILETECH PORCELAIN PAVER  
24"x24" STONE SERIES PAVER  
COLOR: GRAY STONE  
[www.tiletechpavers.com](http://www.tiletechpavers.com)

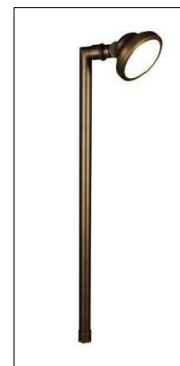


### LIGHTING LEGEND

UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.voltlighting.com/>




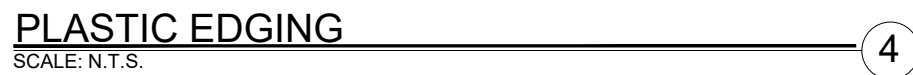
PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".



- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND SERVICES FOR THE COMPLETE INSTALLATION AS DESCRIBED BY THE LANDSCAPE DRAWINGS
2. ANY DEVIATION FROM THE PLAN IS TO HAVE PRIOR WRITTEN APPROVAL BY THE OWNER OR HIS REPRESENTATIVE.
3. THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL WEEDS AND OR GRASSES (INCLUDING THE ROOTS) EXISTING IN THE PROPOSED GROUND COVER AREA.
4. THE PROPOSED GROUND COVER AREA SHALL RECEIVE THE PRE-EMERGENT HERBICIDE SURFLAN 75W PER MANUFACTURER'S INSTRUCTIONS. APPLICATION OF THIS HERBICIDE SHALL BE DONE BY PERSONNEL LICENSED TO HANDLE AGRICULTURAL CHEMICALS.
5. ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE  
FINISH GRADING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.  
FINISH GRADING WILL CONSIST OF RAKING ALL AREAS TO A SMOOTH GRADE,  
LOOSENING THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS OR CLODS OF  
2" DIAMETER OR LARGER. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT  
CURBS AND SIDEWALKS.
6. SOIL PREPARATION FOR ALL LANDSCAPE AREAS  
PLEASE SEE WALLACE LAB RECOMMENDATION.
7. ALL ROCK OR UNBROKEN SOIL CLODS OVER 1" IN DIAMETER BROUGHT TO THE  
SURFACE ARE TO BE REMOVED FROM THE SITE.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORTICULTURAL SOILS  
FERTILITY REPORT PRIOR TO SOIL PREPARATION AND PLANT INSTALLATION. SOIL  
CONDITIONING AMENDMENTS AND PLANTING BACKFILL MIXES SHALL BE IN  
ACCORDANCE TO WALLACE LABORATORIES, LLC RECOMMENDATIONS. WALLACE LAB:  
(310)-615-0116, 365 CORAL CIRCLE, EL SEGUNDO, CA 90245
9. GROUNDCOVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE  
THE PLANT IS EVEN WITH FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.
10. WATERING OF PLANTS IS TO TAKE PLACE IMMEDIATELY AFTER PLANTING.
11. MULCH ALL SHRUB AND GROUNDCOVER AREAS WITH A 3" MIN. LAYER OF 1/2" TO  
3/4" REDWOOD BARK.
12. AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LEFT  
NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE  
ARE TO BE REMOVED FROM THE SITE.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN ALL LANDSCAPE AREAS FOR A PERIOD OF THIRY  
CALENDAR DAYS FROM THE DATE OF COMPLETION, ESTABLISHED BY THE OWNER OR  
HIS REPRESENTATIVE. ALL AREAS ARE TO BE KEPT WELL WATERED, FREE OF  
GRASSES AND TRASH DURING THIS MAINTENANCE PERIOD.
14. SITE MAINTENANCE (PLEASE SEE WALLACE LAB RECOMMENDATION)  
IS TO BE MADE JUST PRIOR TO THE COMPLETION OF THE MAINTENANCE PERIOD,  
OR AT 30 DAYS INTERVALS IF MAINTENANCE PERIOD IS GREATER THAN 30 DAYS.
15. ALL TREES, SHRUBS AND PLANT MATERIAL (OTHER THAN FLATTED MATERIAL) LESS  
THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 MONTH;  
15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS. ALL  
MATERIAL LARGER THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR.

The logo for Labyrinth Design Studio Inc. features a stylized, symmetrical maze-like graphic. The word "LABYRINTH" is written in a bold, sans-serif font across the center of the graphic. Below the graphic, the words "DESIGN STUDIO INC." are written in a smaller, sans-serif font.

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

PROJECT:

## Revisions

OWNER:  
WILKINS OWNER  
C/O

Drawing Title

PLANTING DETAILS

Scale: AS SHOWN

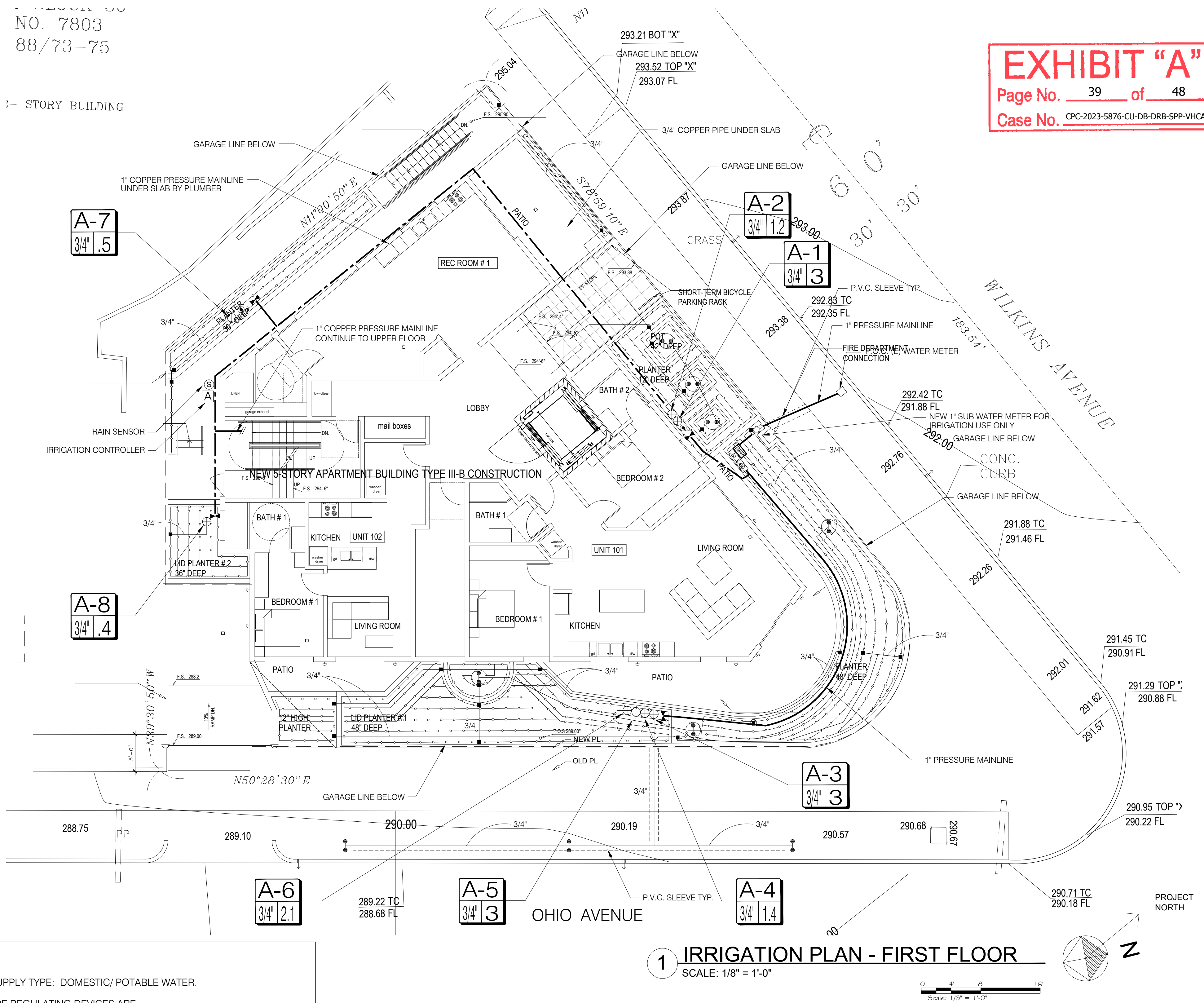
Date: March 2021  
Job No: SQA# 22193  
Drawn By: D.P.  
Checked By: S.K.

Drawing No.

# LP-5

PLOT DATE 10/26/2021

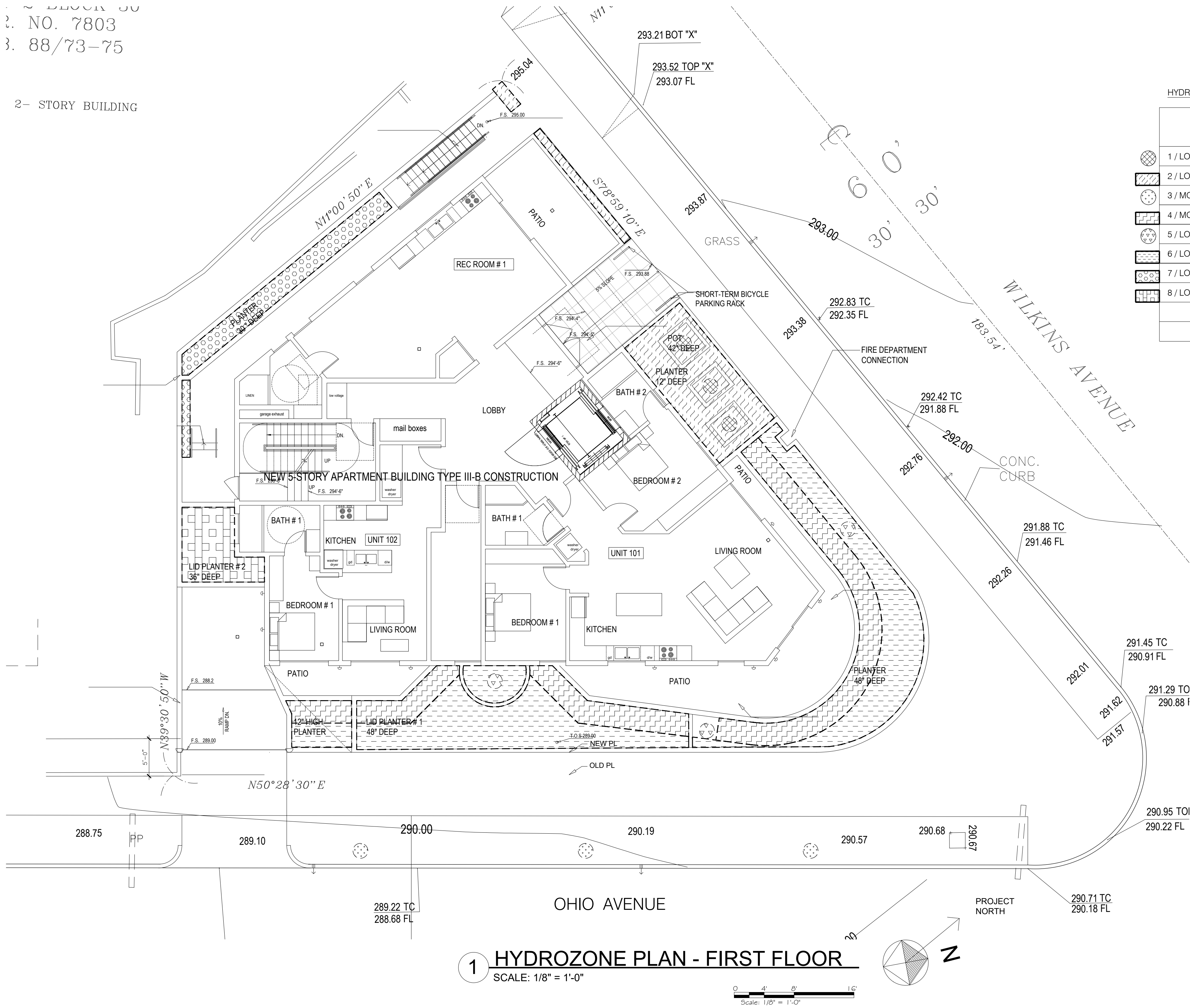






1. NO. 7803  
3. 88/73-75

2- STORY BUILDING



HYDROZONE INFORMATION TABLE (FIRST FLOOR ONLY)

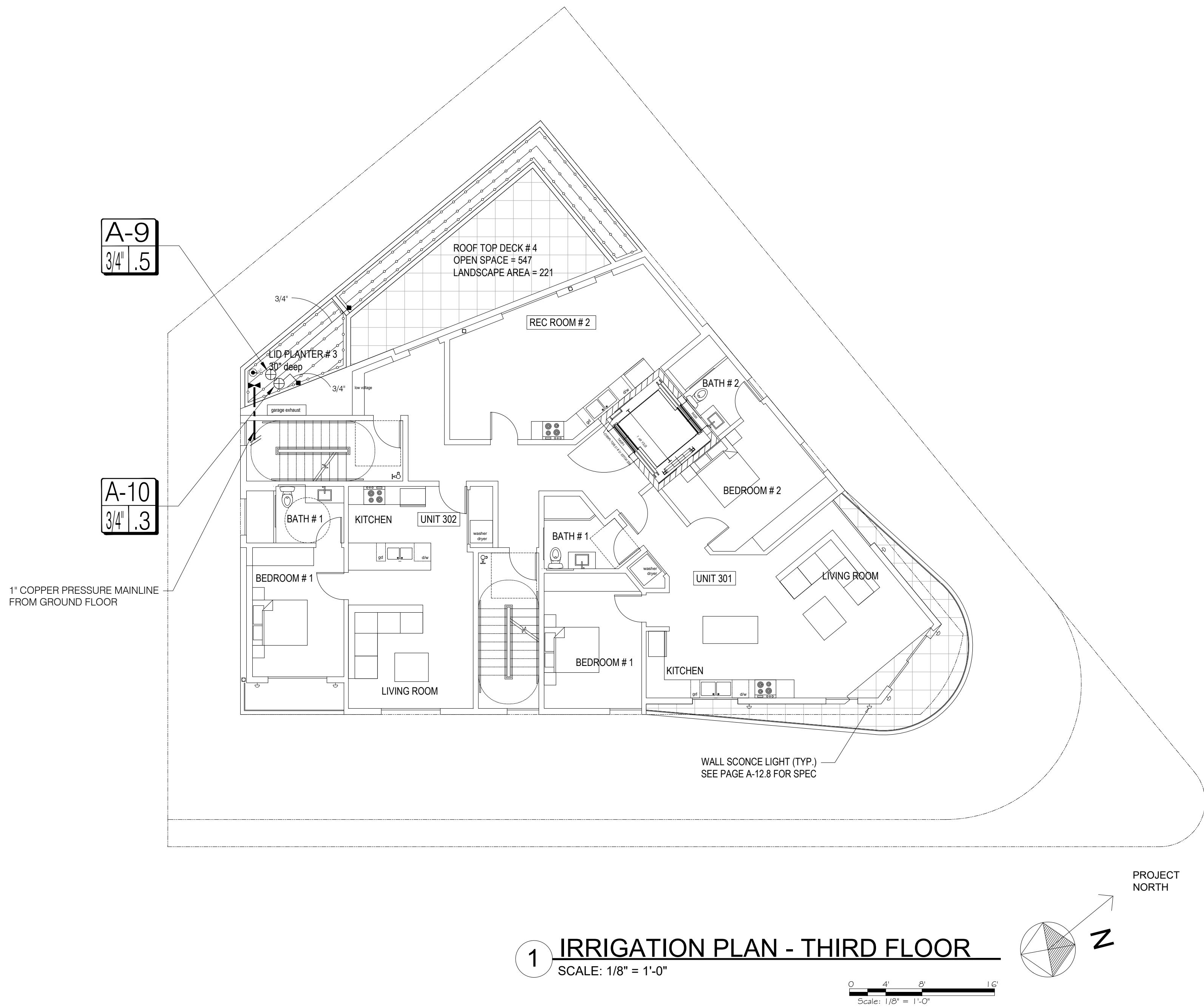
HYDROZONE *	ZONE OR VALVE	IRRIGATION METHOD **	AREA (SQ-FT)	% OF LANDSCAPE AREA
1 / LOW WATER USE PLANTINGS (TREE)	A-1	B	9	4%
2 / LOW WATER USE PLANTINGS (SHRUB & GROUNDCOVER)	A-2	D	207	12%
3 / MODERATE WATER USE PLANTINGS (TREE)	A-3	B	9	4%
4 / MODERATE WATER USE PLANTINGS (TREE)	A-4	D	315	13%
5 / LOW WATER USE PLANTINGS (TREE)	A-5	B	9	4%
6 / LOW WATER USE PLANTINGS (SHRUB & GROUNDCOVER)	A-6	D	480	20%
7 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	A-7	D	104	4%
8 / LOW WATER USE PLANTINGS (SHRUB)	A-8	D	83	4%
TOTAL (FROM OTHER LEVELS)			1,056	45%
TOTAL			2,272	100.0%

\*HYDROZONE  
HW = HIGH WATER USE PLANTS  
MW = MODERATE WATER USE PLANTS  
LW = LOW WATER USE PLANTS

\*\*IRRIGATION METHOD  
MS = MICRO-SPRAY  
S = SPRAY  
R = ROTOR  
B = BUBBLER  
D = DRIP  
O = OTHER

EXHIBIT "A"  
Page No. 40 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

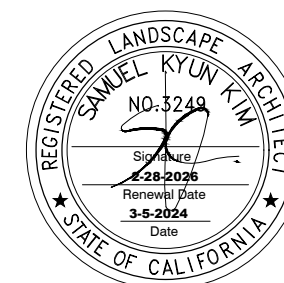


IRRIGATION LEGEND

- 1" COPPER PRESSURE MAINLINE UNDER SLAB BY PLUMBER
- NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
- RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
- 1" MANUAL SHUT OFF VALVE
- LOW FLOW CONTROL ZONE KITS W/ PR FILTER  
RAINBIRD XCZ-075-PRF
- QUICK COUPLER VALVE - RAINBIRD 33 DRC-3/4"

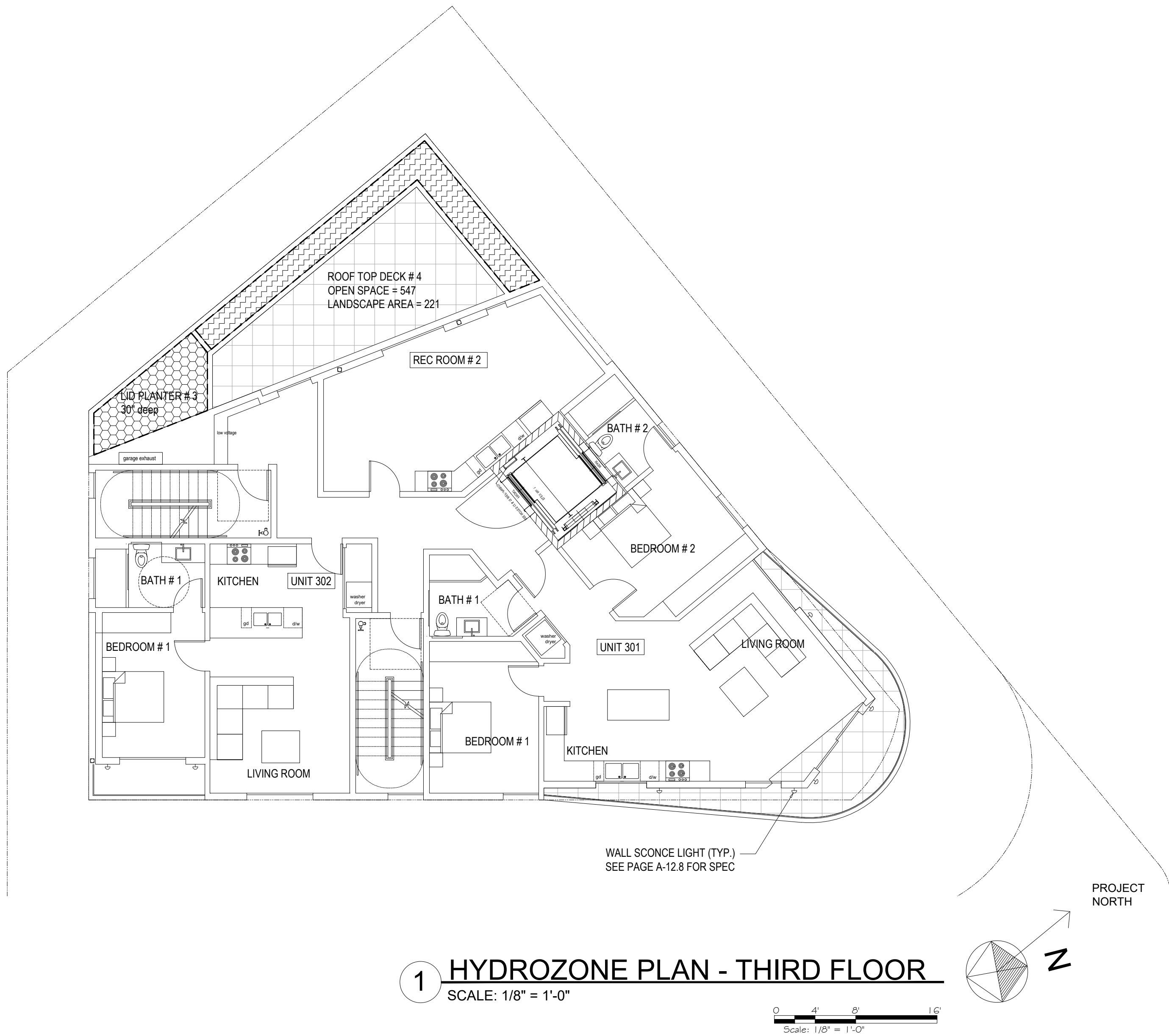
VALVE SIZE	A-1 1" 10	VALVE SEQUENCE G.P.M.
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"I HAVE COMPLIED WITH THE CRITERIA OF THE  
ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER  
IN THE LANDSCAPE DESIGN PLANS".



**SQLA** INC  
Landscape Architects  
380 N. PALM ST. SUITE B T. 562-905-0800 (Main)  
BRE, CA. 92821 F. 562-905-0880  
lansqla.com T. 213-383-1788 (Studio)





HYDROZONE INFORMATION TABLE (THIRD FLOOR ONLY)

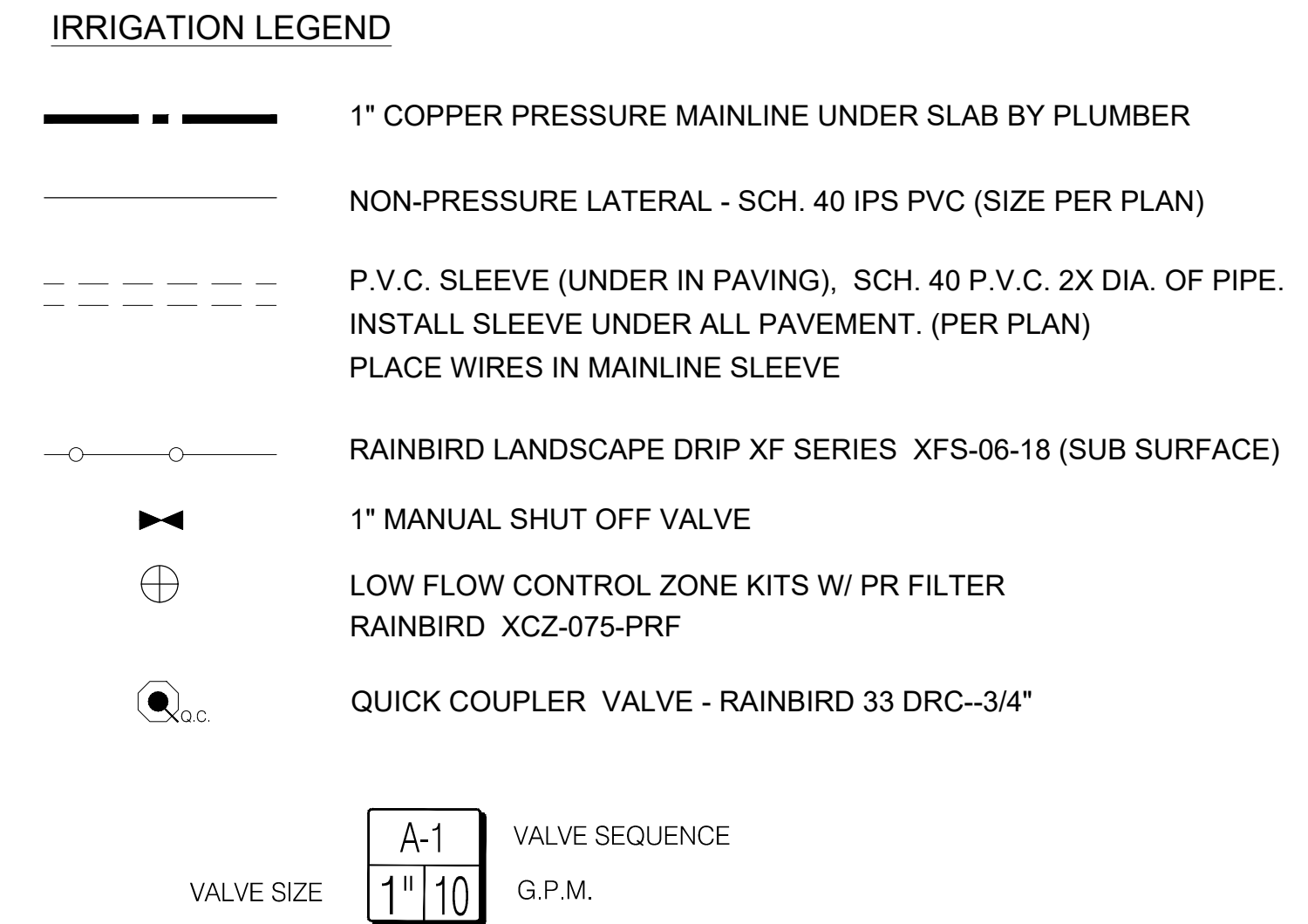
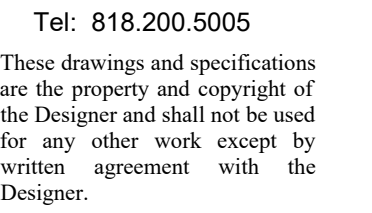
HYDROZONE *	ZONE OR VALVE	IRRIGATION METHOD **	AREA (SQ-FT)	% OF LANDSCAPE AREA
9 / LOW WATER USE PLANTINGS (GROUNDCOVER)	A-9	D	117	5%
10 / LOW WATER USE PLANTINGS (SHRUB)	A-10	D	70	3%
TOTAL (FROM OTHER LEVELS)			2,085	92%
TOTAL			2,272	100.0%

\*HYDROZONE  
HW = HIGH WATER USE PLANTS  
MW = MODERATE WATER USE PLANTS  
LW = LOW WATER USE PLANTS

\*\*IRRIGATION METHOD  
MS = MICRO-SPRAY  
S = SPRAY  
R = ROTOR  
B = BUBBLER  
D = DRIP  
O = OTHER

EXHIBIT "A"  
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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".



**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

isions

NER:  
KINS OWNER

IRIGATION PLAN  
FIFTH FLOOR

le: AS SHOWN  
e: March 2021  
No: SQLA# 22193  
wn By: D.P.  
cked By: S.K.

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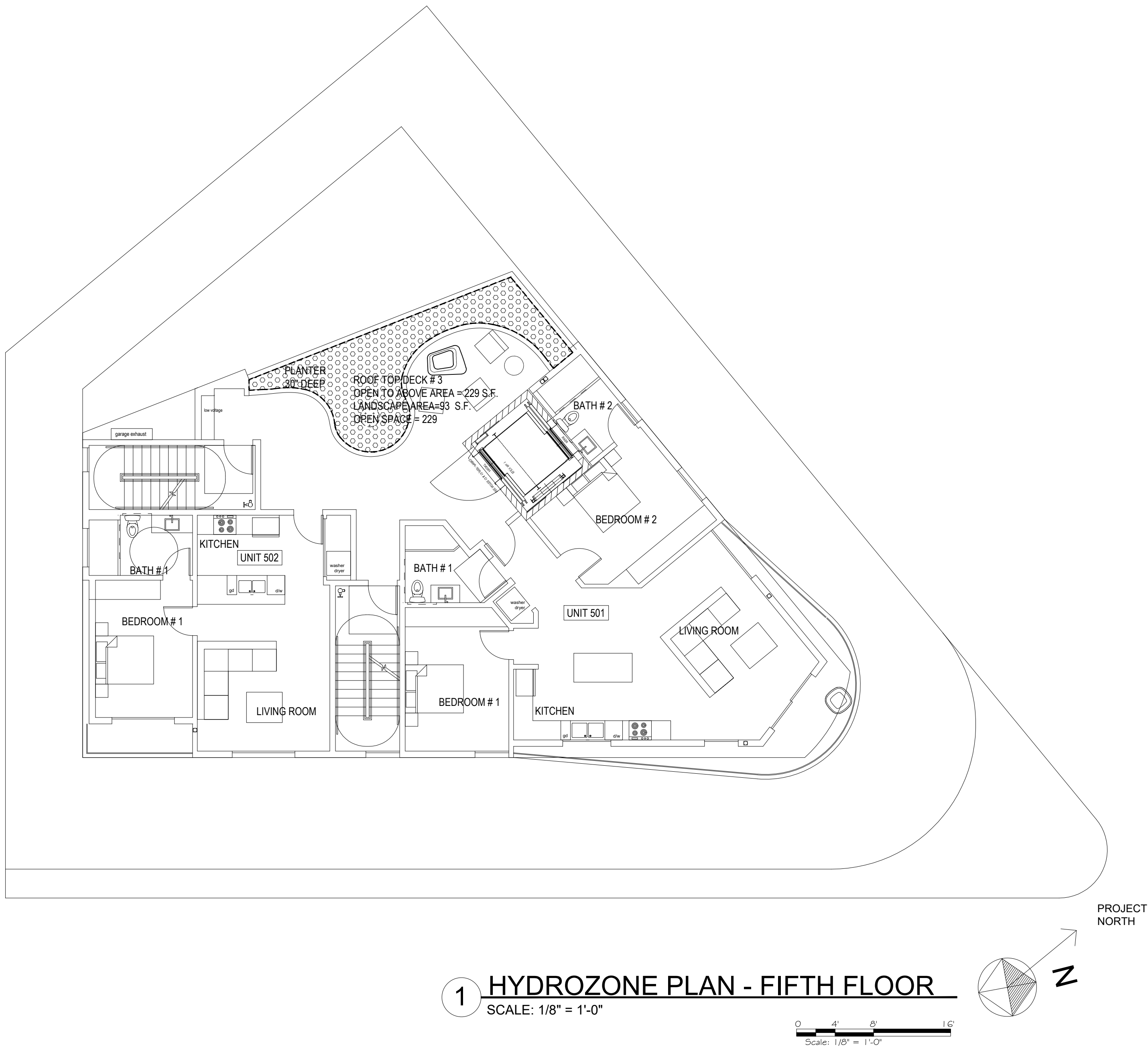
**SQLA INC**  
Landscape Architects

380 N. PALM ST., SUITE B T. 562-905-0800 (Main)  
BREA, CA. 92821 F. 562-905-0880  
la@sqlainc.com T. 213-383-1788 (Studio)  
www.sqlainc.com

4-3

OT DATE 10/26/2021





HYDROZONE INFORMATION TABLE (FIFTH FLOOR ONLY)

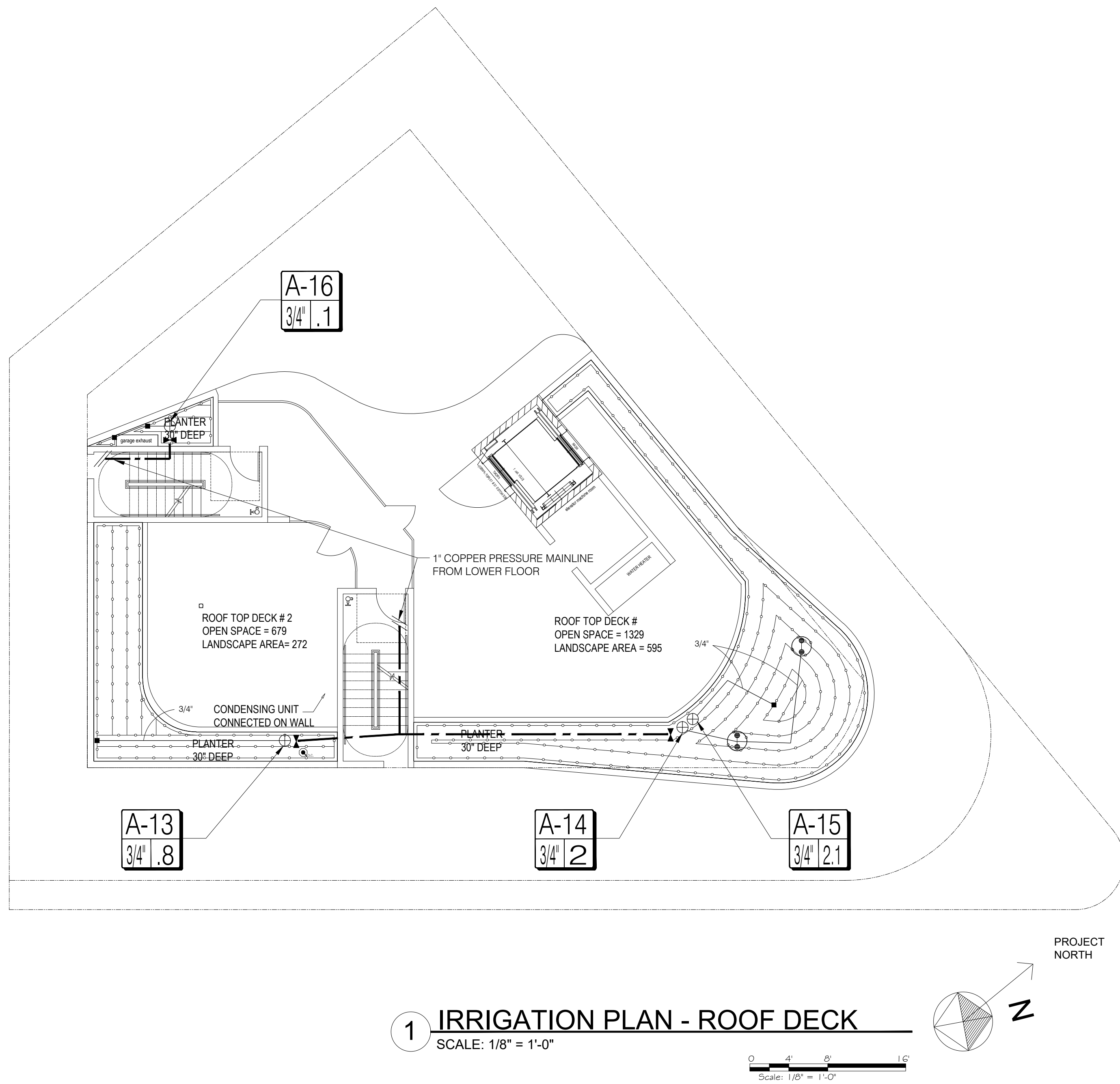
HYDROZONE *	ZONE OR VALVE	IRRIGATION METHOD **	AREA (SQ-FT)	% OF LANDSCAPE AREA
11 / MODERATE MIX WATER USE PLANTINGS (TREE & GROUNDCOVER)	A-11	D	174	7%
12 / LOW WATER USE PLANTINGS (TREE)	A-12	B	3	.1%
TOTAL (FROM OTHER LEVELS)			2,095	92%
TOTAL			2,272	100.0%

\*HYDROZONE  
HW = HIGH WATER USE PLANTS  
MW = MODERATE WATER USE PLANTS  
LW = LOW WATER USE PLANTS

\*\*IRRIGATION METHOD  
MS = MICRO-SPRAY  
S = SPRAY  
R = ROTOR  
B = BUBBLER  
D = DRIP  
O = OTHER

EXHIBIT "A"  
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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".



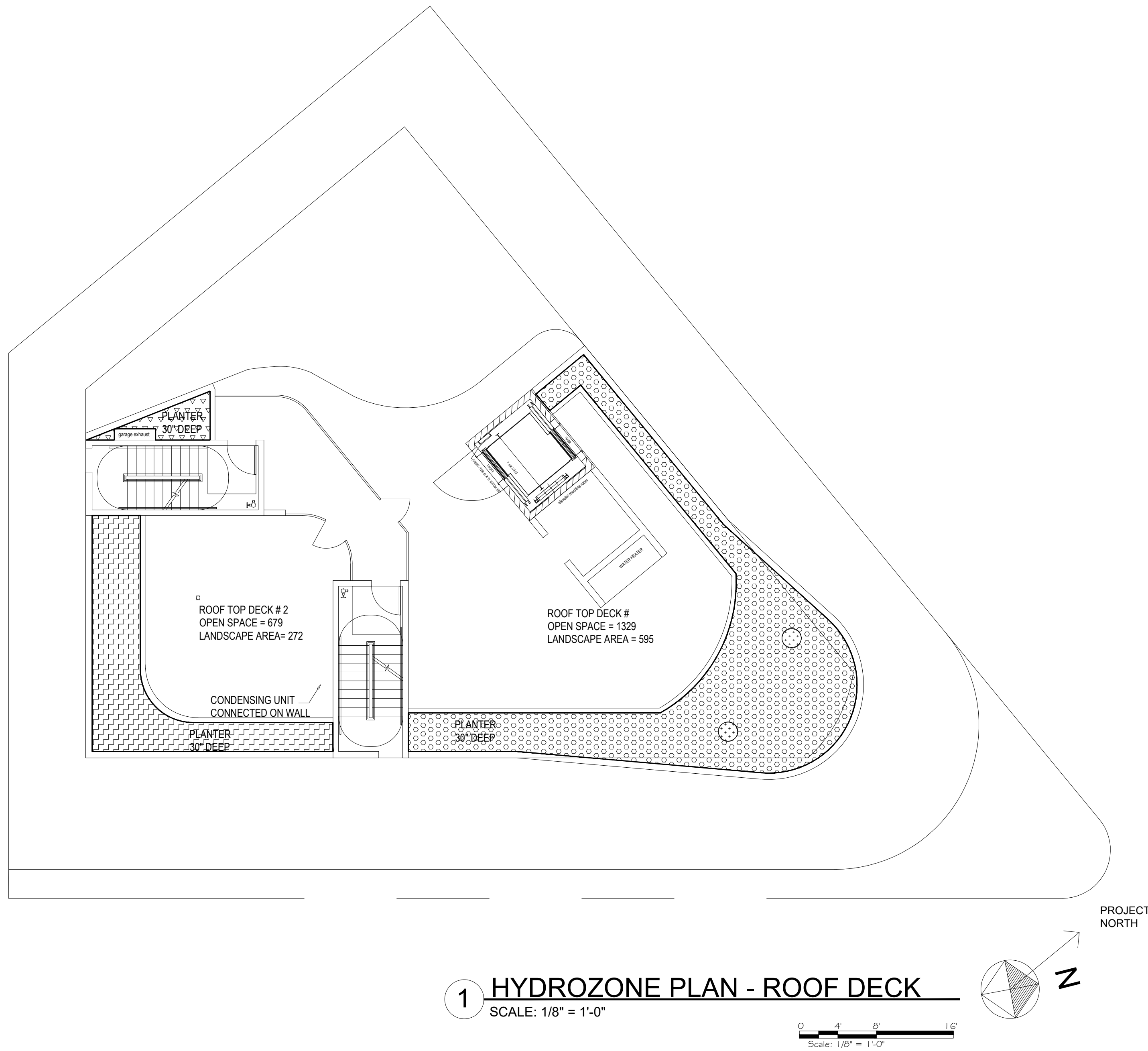
#### IRRIGATION LEGEND

- 1" COPPER PRESSURE MAINLINE UNDER SLAB BY PLUMBER
- NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
- RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
- 1" MANUAL SHUT OFF VALVE
- LOW FLOW CONTROL ZONE KITS W/ PR FILTER  
RAINBIRD XCZ-075-PRF
- QUICK COUPLER VALVE - RAINBIRD 33 DRC--3/4"

VALVE SIZE	A-1 1" 10	VALVE SEQUENCE G.P.M.
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**EXHIBIT "A"**  
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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

"I HAVE COMPLIED WITH THE CRITERIA OF THE  
ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER  
IN THE LANDSCAPE DESIGN PLANS".



HYDROZONE INFORMATION TABLE (ROOF DECK ONLY)

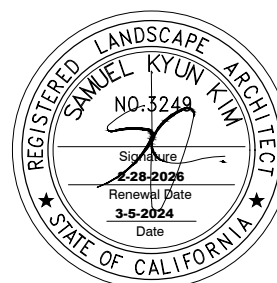
HYDROZONE *	ZONE OR VALVE	IRRIGATION METHOD **	AREA (SQ-FT)	% OF LANDSCAPE AREA
13 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	A-13	D	189	8%
14 / LOW WATER USE PLANTINGS (TREE)	A-14	B	6	.3%
15 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	A-15	D	469	20%
16 / LOW WATER USE PLANTINGS (SHRUB)	A-16	D	28	1%
TOTAL (FROM OTHER LEVELS)			1,580	70%
TOTAL			2,272	100.0%

\*HYDROZONE  
HW = HIGH WATER USE PLANTS  
MW = MODERATE WATER USE PLANTS  
LW = LOW WATER USE PLANTS

\*\*IRRIGATION METHOD  
MS = MICRO-SPRAY  
S = SPRAY  
R = ROTOR  
B = BUBBLER  
D = DRIP  
O = OTHER

EXHIBIT "A"  
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"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

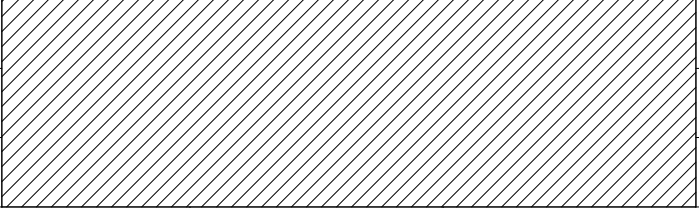


SQLA INC  
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lssqla@sqla.com www.sqla.com T. 213-383-1788 (Studio)



WATER EFFICIENT LANDSCAPE WORKSHEET

CITY OF L.A. MAXIMUM APPLIED WATER ALLOWENCE  
THE ET<sub>o</sub> REFERENCE FOR CITY OF L.A. IS 50.1 (INCHES PER YEAR)  
REFERENCE EVAPOTRANSPIRATION (ET<sub>o</sub>) 50.1

HYDROZONE # / PLANTING DESCRIPTION <sup>a</sup>	PLANT FACTOR (PF)	IRRIGATION METHOD <sup>b</sup>	IRRIGATION EFFICIENCY (IE) <sup>c</sup>	ETAF (PF / IE)	LANDSCAPE AREA (SQ-FT)	ETAF x AREA	ESTIMATED TOTAL WATER USED <sup>d</sup> (ETWU)
REGULAR LANDSCAPE AREA							
1 / LOW WATER USE PLANTINGS (TREE)	0.2	DRIP	0.81	0.25	9	2	62
2 / LOW WATER USE PLANTINGS (SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	207	52	1,615
3 / MODERATE WATER USE PLANTINGS (TREE)	0.5	DRIP	0.81	0.62	9	6	186
4 / MODERATE WATER USE PLANTINGS (TREE)	0.5	DRIP	0.81	0.62	315	195	6,057
5 / LOW WATER USE PLANTINGS (TREE)	0.2	DRIP	0.81	0.25	9	2	62
6 / LOW WATER USE PLANTINGS (SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	480	120	3,727
7 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	104	26	808
8 / LOW WATER USE PLANTINGS (SHRUB)	0.2	DRIP	0.81	0.25	83	21	652
9 / LOW WATER USE PLANTINGS (GROUNDCOVER)	0.2	DRIP	0.81	0.25	117	29	901
10 / LOW WATER USE PLANTINGS (SHRUB)	0.2	DRIP	0.81	0.25	70	18	559
11 / MODERATE MIX WATER USE PLANTINGS (TREE & GROUNDCOVER)	0.5	DRIP	0.81	0.62	174	108	3,355
12 / LOW WATER USE PLANTINGS (TREE)	0.2	DRIP	0.81	0.25	3	1	31
13 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	189	47	1,460
14 / LOW WATER USE PLANTINGS (TREE)	0.2	DRIP	0.81	0.25	6	2	62
15 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	469	117	3,634
16 / LOW WATER USE PLANTINGS (SHRUB)	0.2	DRIP	0.81	0.25	28	7	217
TOTALS					(A) 2,272	(B) 753	23,234
SPECIAL LANDSCAPE AREA							
-----				1.0	-----	-----	-----
-----				1.0	-----	-----	-----
-----				1.0	-----	-----	-----
				TOTALS	(C) -----	(D) -----	0
ETWU TOTAL							23,234
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) <sup>e</sup>							38,815

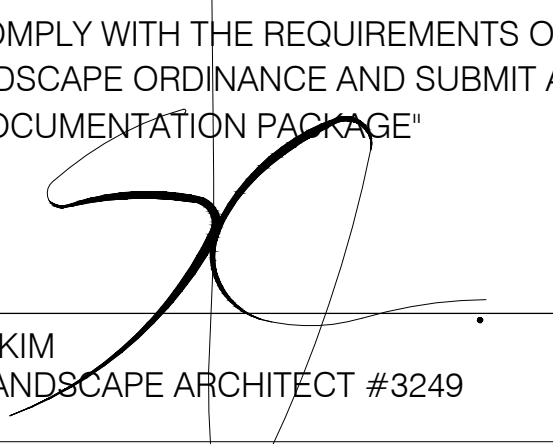
<sup>a</sup> HYDROZONE #/ PLANTING DESCRIPTION E.G. 1.) FRONT LAWN 2.) LOW WATER USE PLANTINGS 3.) MEDIUM WATER USE PLANTINGS	<sup>b</sup> IRRIGATION METHOD OVERHEAD SPRAY OR DRIP	<sup>c</sup> IRRIGATION EFFICIENCY 0.75 FOR SPRAY HEAD 0.81 FOR DRIP	<sup>d</sup> ETWU (ANNUAL GALLONS REQUIRED) = ET <sub>o</sub> x 0.62 x ETAF x AREA **WHERE 0.62 IS A CONVERSION FACTOR THAT CONVERTS ACRE- INCHES PER ACRE PER YEAR TO GALLONS PER SQUARE FOOT PER YEARS.**
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<sup>e</sup> MAWA (ANNUAL GALLONS ALLOWED) = (ET <sub>o</sub> ) (0.62) [(ETAF X LA) + ((1-ETAF) x SLA)]  **WHERE 0.62 IS A CONVERSION FACTOR THAT CONVERTS ACRE- INCHES PER ACRE PER YEAR TO GALLONS PER SQUARE FOOT PER YEAR, LA IS THE TOTAL LANDSCAPE AREA IN SQUARE FEET, AND ETAF IS .55 FOR RESIDENTIAL AREAS AND 0.45 FOR NON- RESIDENTIAL AREAS.**
--

ETAF CALCULATIONS			
REGULAR LANDSCAPE AREA			
TOTAL ETAF x AREA	(B)	753	
TOTAL AREA	(A)	2,272	
AVERAGE ETAF	(B/A)	0.3	
ALL LANDSCAPE AREA			
TOTAL ETAF x AREA	(B + D)	753	
TOTAL AREA	(A + C)	2,272	
SITEWIDE ETAF	(B + D) / (A + C)	0.3	

\*\*AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST  
BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR  
BELOW FOR NON-RESIDENTIAL AREAS.

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER  
EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE  
LANDSCAPE DOCUMENTATION PACKAGE"



SAMUEL KYUN KIM  
REGISTERED LANDSCAPE ARCHITECT #3249

03-05-2024  
DATE

"I HAVE COMPLIED WITH THE CRITERIA OF THE  
ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER  
IN THE LANDSCAPE DESIGN PLANS".

NOTE:

"AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY  
WITH CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE  
AND IRRIGATION MAINTENANCE."

"USELESS CONTRADICTED BY A SOIL TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER  
1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE  
SOIL."

"FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF  
FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF  
SIX INCHES INTO THE SOIL."

"A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION  
CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES."

"A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE  
LANDSCAPE PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT."

"AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION."

EXHIBIT "A"  
Page No. 47 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

WATER AUDIT NOTE :

THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR.  
AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS  
ARE INSTALLED IN ACCORDANCE WIT THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM  
IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.

THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

1. PLACE FLAGS AT EACH HEAD IN THE ZONE.
2. MEASURE SPACING AND MARK MID-POINTS BETWEEN HEADS.
3. PLACE WATER MEASURING RECEPTACLES.
4. TAKE READINGS OF WATER LEVEL IN RECEPTACLES AND RECORD RESULTS.
5. MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS.
6. AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE.
7. SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT.

THE IRRIGATION MAINTENANCE SCHEDULE TASKS LISTED BELOW ARE INTENDED AS MINIMUM  
STANDARDS AND MORE FREQUENT ATTENTION MAY BE REQUIRED DEPENDING ON THE PARTICULAR  
SITE CONDITIONS.

MAINTENANCE TASK	FREQUENT
CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET IF NECESSARY.	QUARTERLY
IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLAN HEALTH ADJUST AS NECESSARY.	MONTHLY
POC - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT REPAIR AS NEEDED.	QUARTERLY
REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED.	QUARTERLY
MAINLINE & LATERALS VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH.	QUARTERLY
SPRINKLERS VISUALLY CHECK FOR ANY BROKEN MISSIGNED OR CLOGGED HEADS, HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE REPAIR AS NEEDED.	WEEKLY
FILTERS AND STRAINERS VISUALLY CHECK FOR LEAKS, BROKEN FITTING CLEAN AND FLUSH SREENS.	MONTHLY

MAINTENANCE SCHEDULES :

A REGULAR MAINTENANCE SCHEDULE SATISFYING THE FOLLOWING CONDITIONS  
SHALL BE SUBMITTED AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

LANDSCAPE SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR  
MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, CHECKING,  
ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT, RESETTNG THE AUTOMATIC  
CONTROLLER, AERATING AND DETHATCHING TURF AREAS, REPLENISHING MULCH,  
FERTILIZING, PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.

WHENEVER POSSIBLE, REPAIR OF IRRIGATION EQUIPMENT SHALL BE DONE WITH THE  
ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENTS.

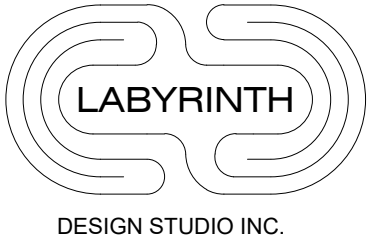
A LANDSCAPE IRRIGATION AUDIT SCHEDULE AS REQUIRED IN CHAPTER 20.09 OF TITLE  
20 MAY BE RECOMMENDED. THE MAXIMUM PERIOD BETWEEN AUDITS SHALL BE FIVE  
YEARS.

IRRIGATION AUDIT SCHEDULES :

LANDSCAPE IRRIGATION AUDIT SCHEDULES. A SCHEDULE OF LANDSCAPE IRRIGATION  
AUDITS OF AT LEAST  
EVERY FIVE YEARS MUST BE ESTABLISHED, FOR ALL BUT SINGLE-FAMILY RESIDENCES,  
AND OTHER PROJECTS WITH A LANDSCAPE AREA LESS THAN 1 ACRE (0.405 HA). AS  
REQUIRED IN CHAPTER 20.09 OF TITLE 20 (UTILITIES CODES), AN AUDIT SATISFYING THE  
FOLLOWING CONDITIONS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE  
LANDSCAPE DOCUMENTATION PACKAGE.

AT A MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF  
CALIFORNIA LANDSCAPE  
WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LANDSCAPE IRRIGATION  
AUDITOR HANDBOOK,  
PREPARED FOR THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, WATER  
CONSERVATION OFFICE, THE ENTIRE DOCUMENT, WHICH IS HEREBY INCORPORATED BY  
REFERENCE.

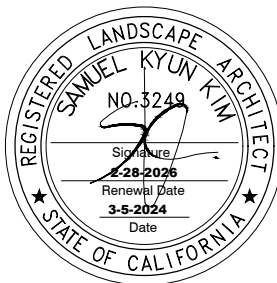
THE SCHEDULE SHALL PROVIDE FOR LANDSCAPE IRRIGATION AUDITS TO BE  
CONDUCTED BY A QUALIFIED  
INDIVIDUAL AS DETERMINED BY THE DIRECTOR AT LEAST ONCE EVERY FIVE YEARS IN  
ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES  
COUNTY CODE.



Tel: 818.200.5005  
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written agreement with the  
Designer.

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions	
OWNER: WILKINS OWNER C/O	
Drawing Title WATER EFFICIENT LANDSCAPE WORKSHEET	
Scale:	AS SHOWN
Date:	March 2021
Job No:	SQLA# 22193
Drawn By:	D.P.
Checked By:	S.K.
Drawing No.	



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LI-5



Tel: 818.200.5005

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PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
C/O

Drawing Title  
IRRIGATION DETAILS

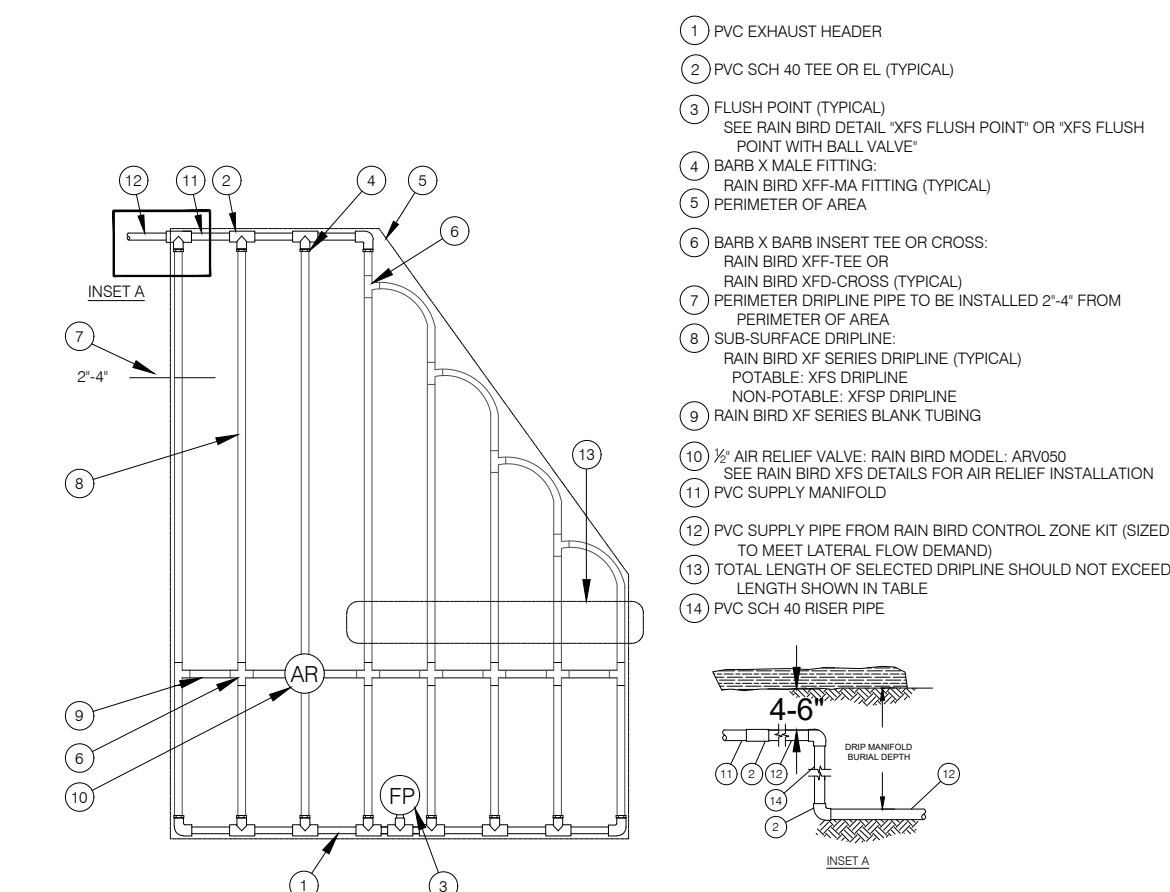
Scale: AS SHOWN

Date: March 2021  
Job No: SOLA# 22193  
Drawn By: D.P.  
Checked By: S.K.

Drawing No.

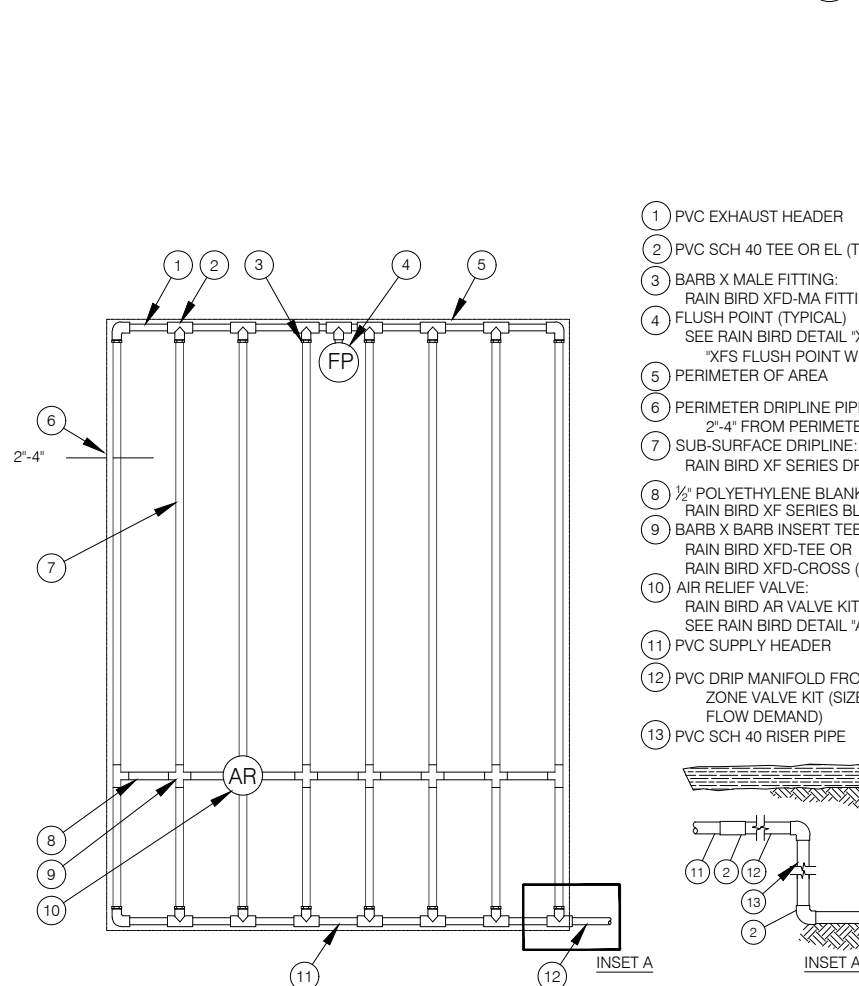
LI-6

PLOT DATE: 10/26/2021



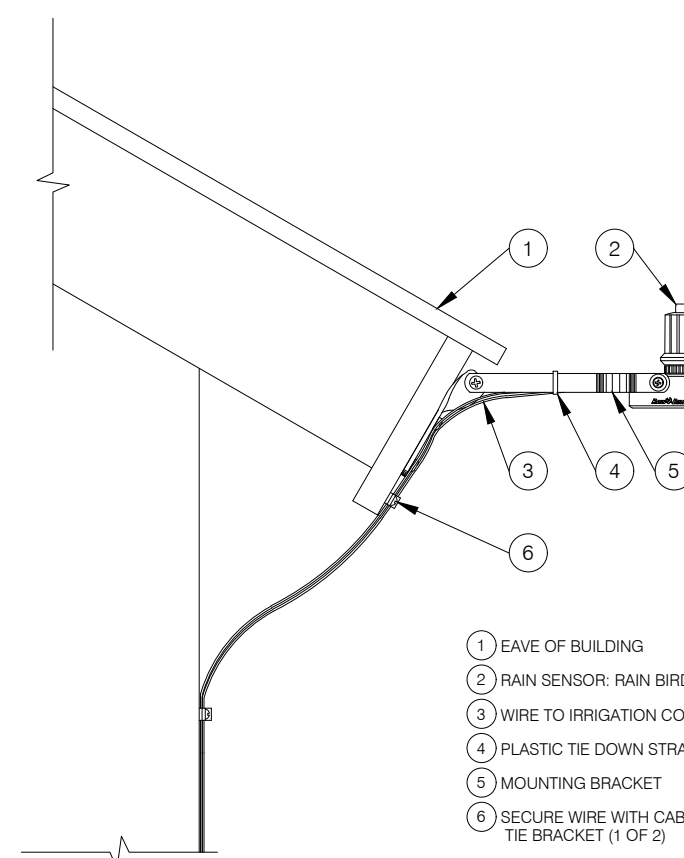
NOTES:  
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE RAIN BIRD XFS INSTALLATION GUIDE FOR SUGGESTED SPACINGS.  
2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH SHOWN IN THE ACCOMPANYING TABLE.  
3. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINT OF AREA.  
4. WHEN USING 1/2" INCH INSERT FITTING WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

#### XFS SUB-SURFACE IRREGULAR SHAPED LAYOUT



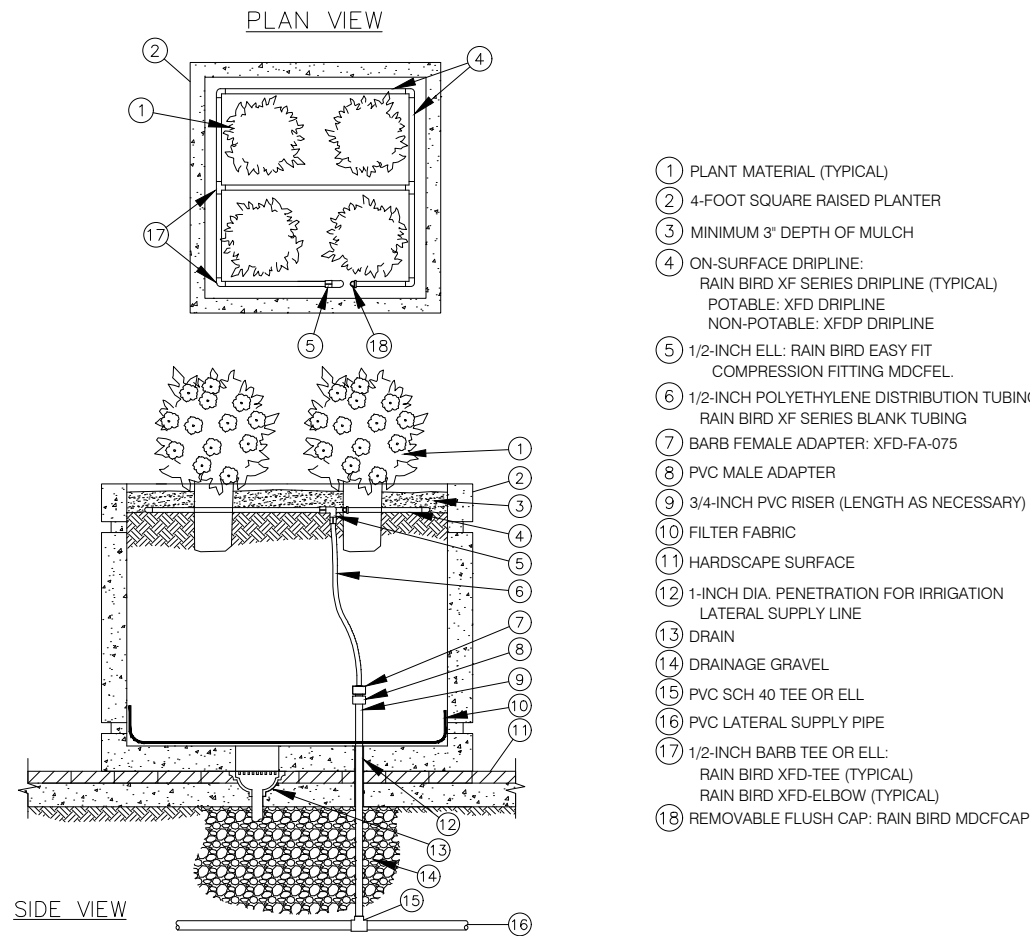
#### RAINBIRD XFS SUBSURFACE DRIPLINE

SCALE: N.T.S.



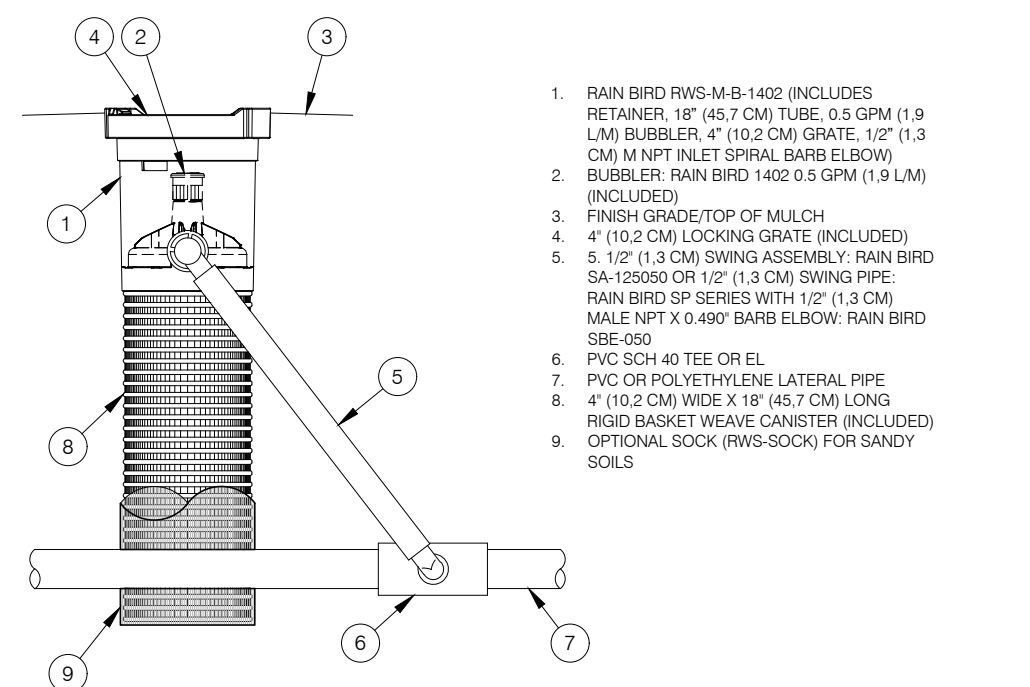
#### RAINBIRD - RSD-BEX RSD SERIES RAIN SHUT OFF

SCALE: N.T.S.



#### DRIPLINE RAISED PLANTER

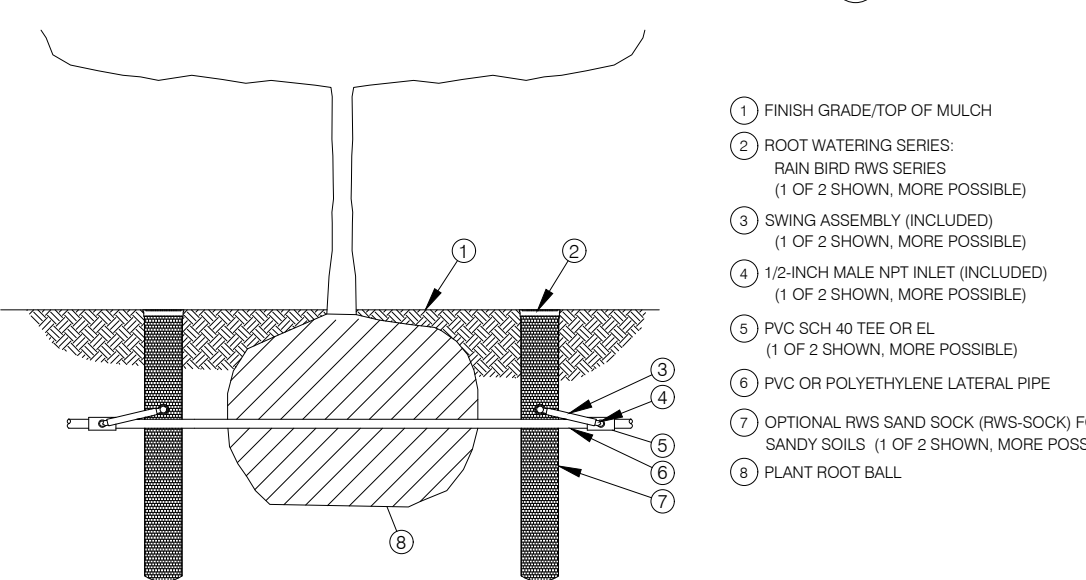
SCALE: N.T.S.



NOTES:  
1. 4" (10.2 CM) GRATE IS ALSO AVAILABLE IN PURPLE (RWS-GRATE-P).  
2. INSTALL PRODUCT SO THAT THE GRATE IS EVEN WITH FINISH GRADE OR TOP OF MULCH.  
3. OPTIONAL SAND SOCK (RWS-SOCK) IS 30" (76.2 CM) IN LENGTH. CUT TO LENGTH NEEDED TO COVER MESH BASKET AREA.  
4. WHEN INSTALLING IN EXTREMELY HARD OR CLAY SOILS, ADD 3/4" (1.9 CM) GRAVEL UNDER AND AROUND THE UNIT TO ALLOW FASTER WATER INFILTRATION AND ROOT PENETRATION.  
5. ONCE RWS-M HAS BEEN INSTALLED, FILL THE BASKET WITH PEA GRAVEL BEFORE LOCKING LID.

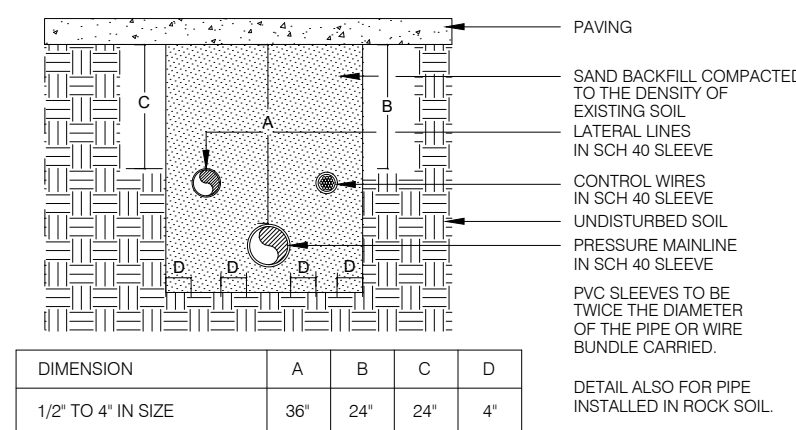
#### ROOT WATERING SYSTEM RWS SERIES

SCALE: N.T.S.



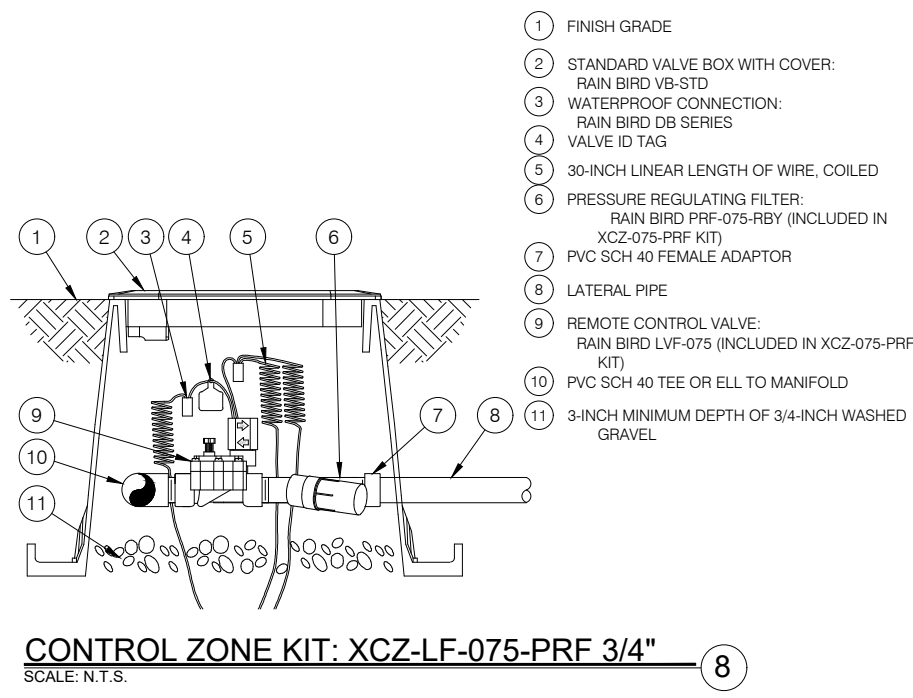
#### RWS INSTALLATION FOR TREES

SCALE: N.T.S.



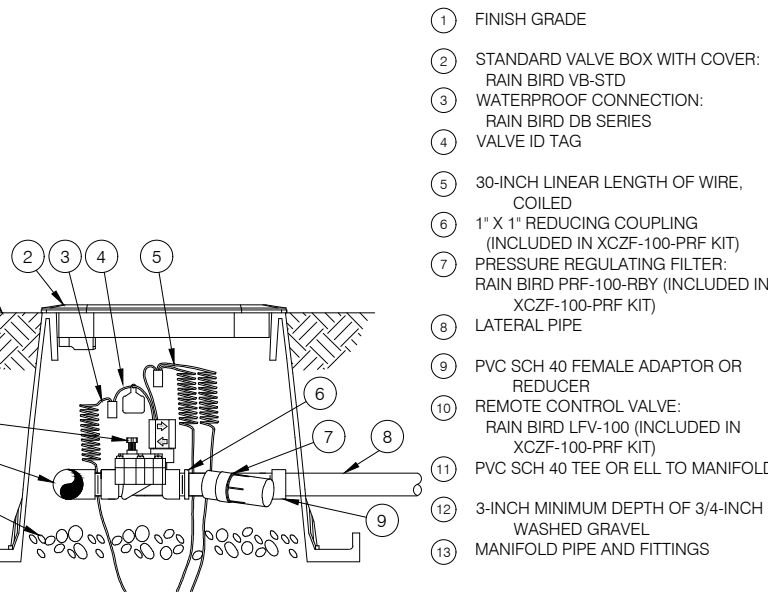
#### SLEEVE / TRENCHING INSTALLATION

SCALE: N.T.S.



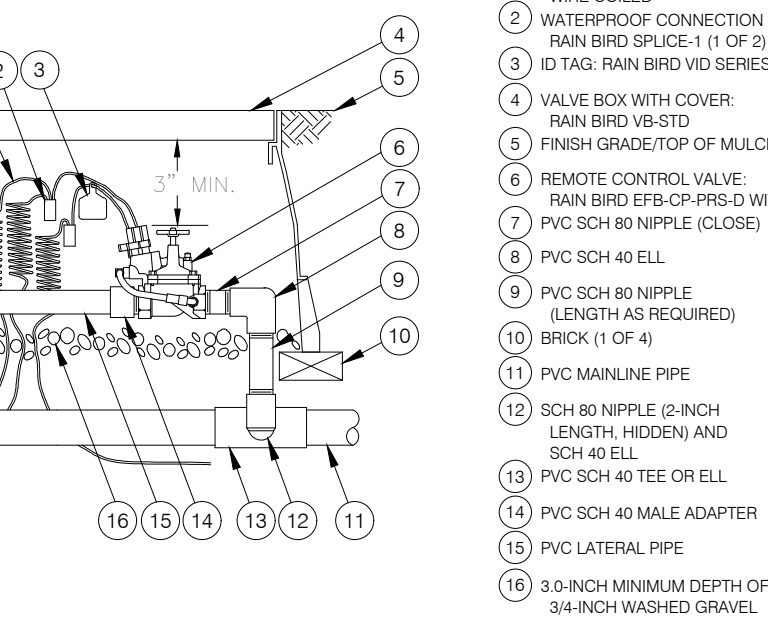
#### CONTROL ZONE KIT: XCFZ-LF-075-PRF 3/4"

SCALE: N.T.S.



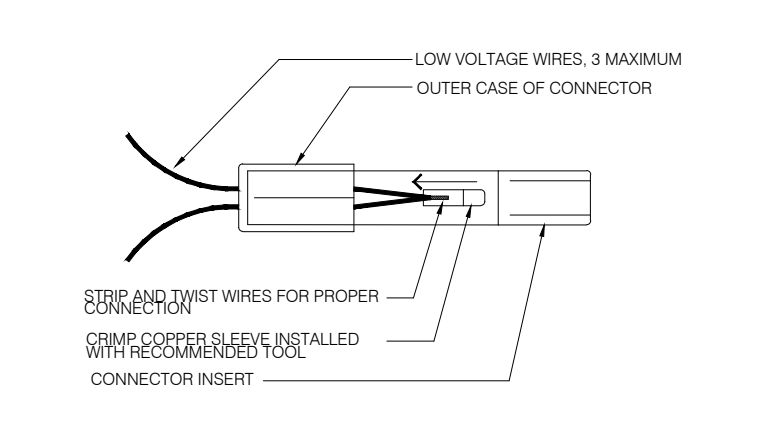
#### CONTROL ZONE KIT: XCFZ-100-PRF 1"

SCALE: N.T.S.



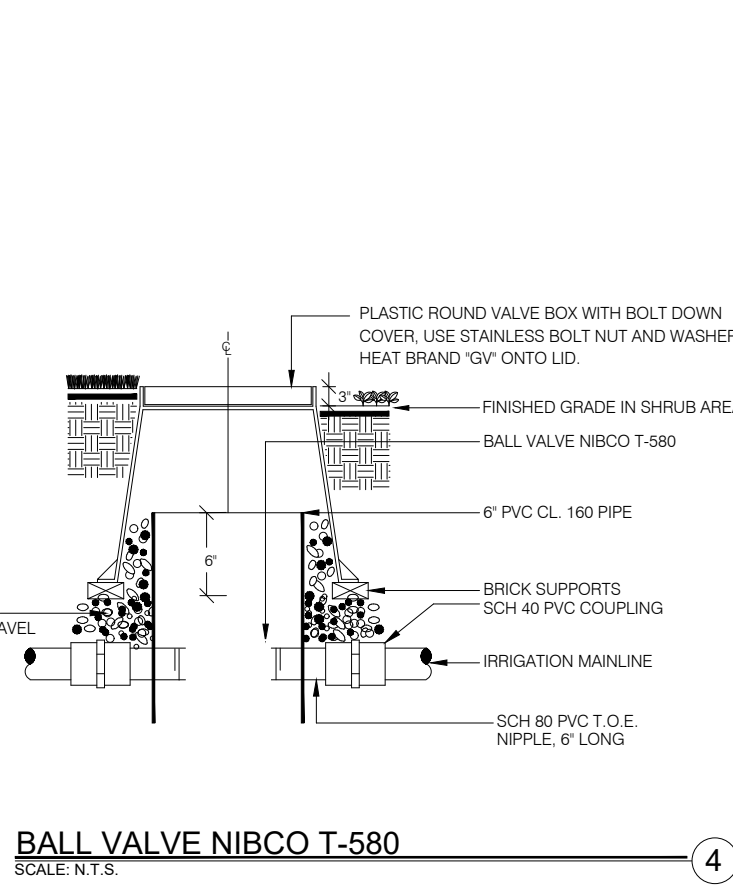
#### REMOTE-CONTROL VALVE EFB-CP SERIES

SCALE: N.T.S.



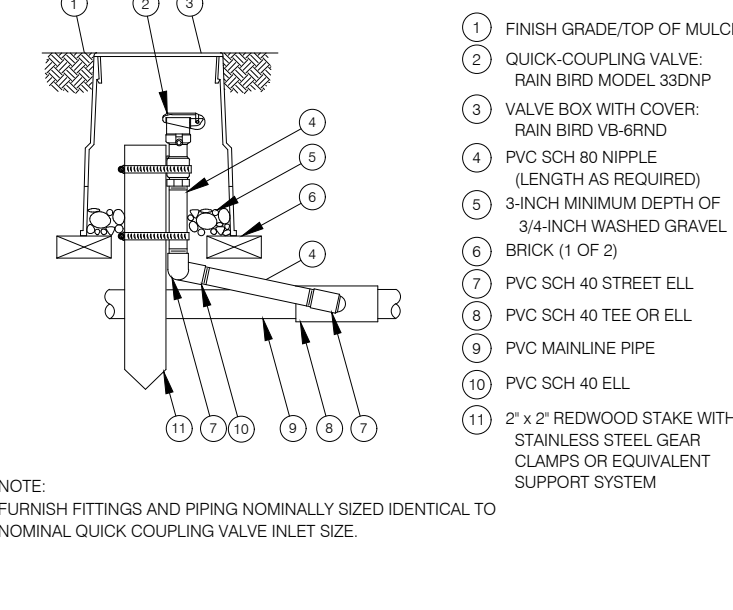
#### WIRE CONNECTION

SCALE: N.T.S.



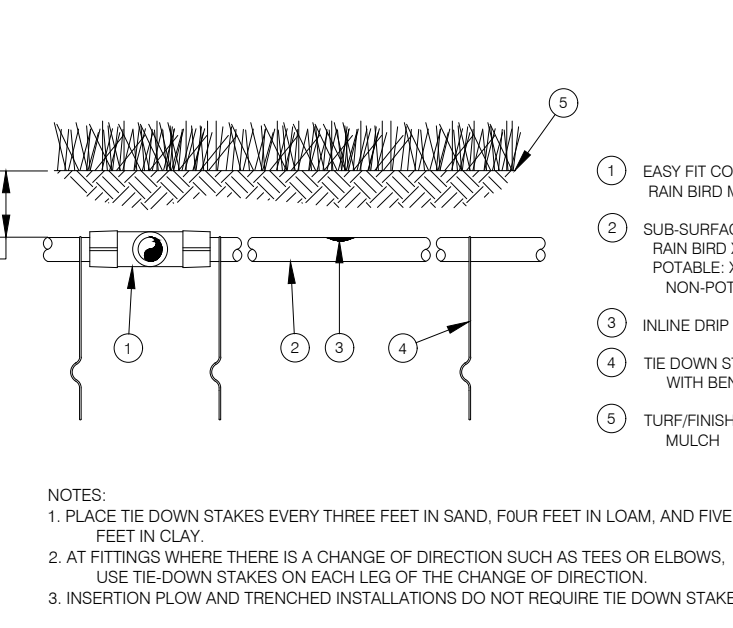
#### BALL VALVE NIBCO T-580

SCALE: N.T.S.



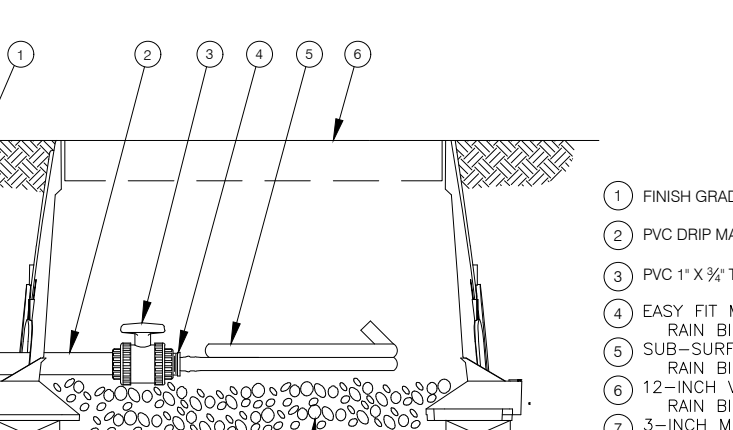
#### QUICK COUPLER VALVE

SCALE: N.T.S.



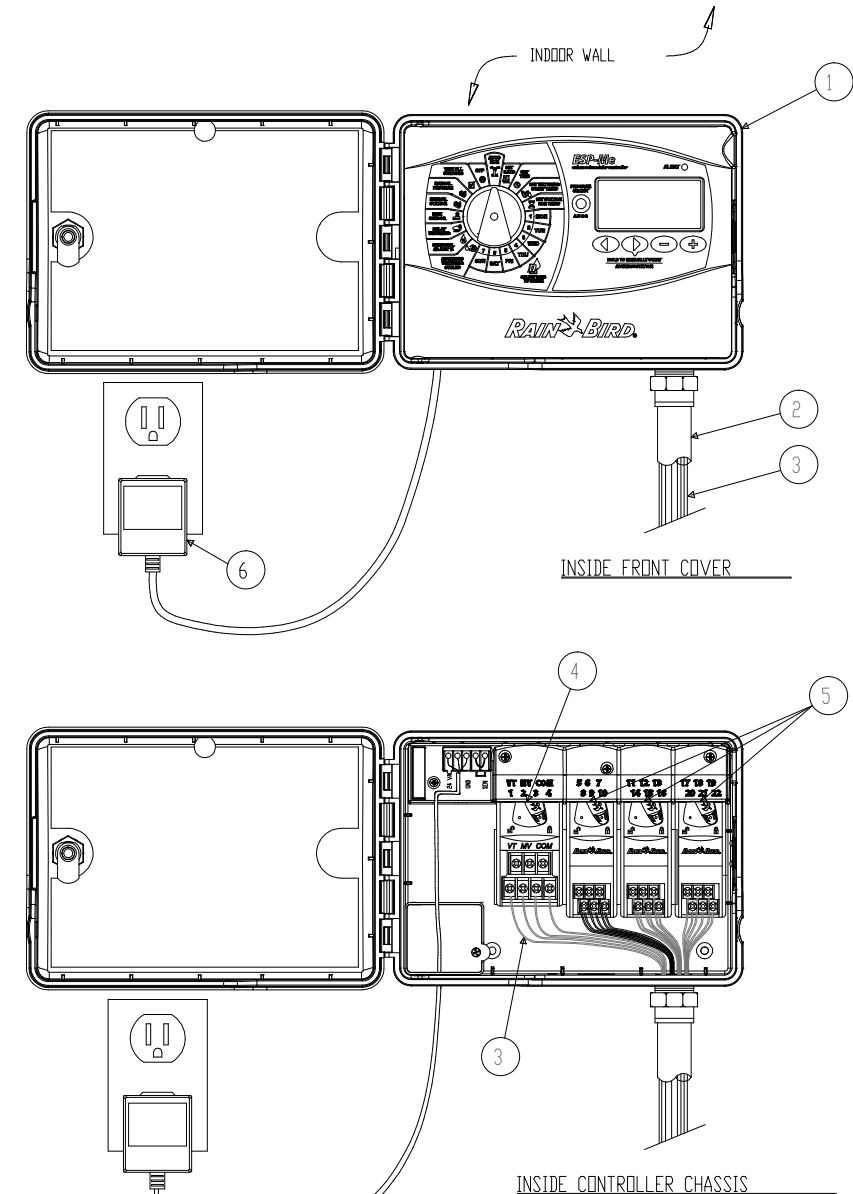
#### XFS SUB-SURFACE DRIPLINE BURIAL

SCALE: N.T.S.



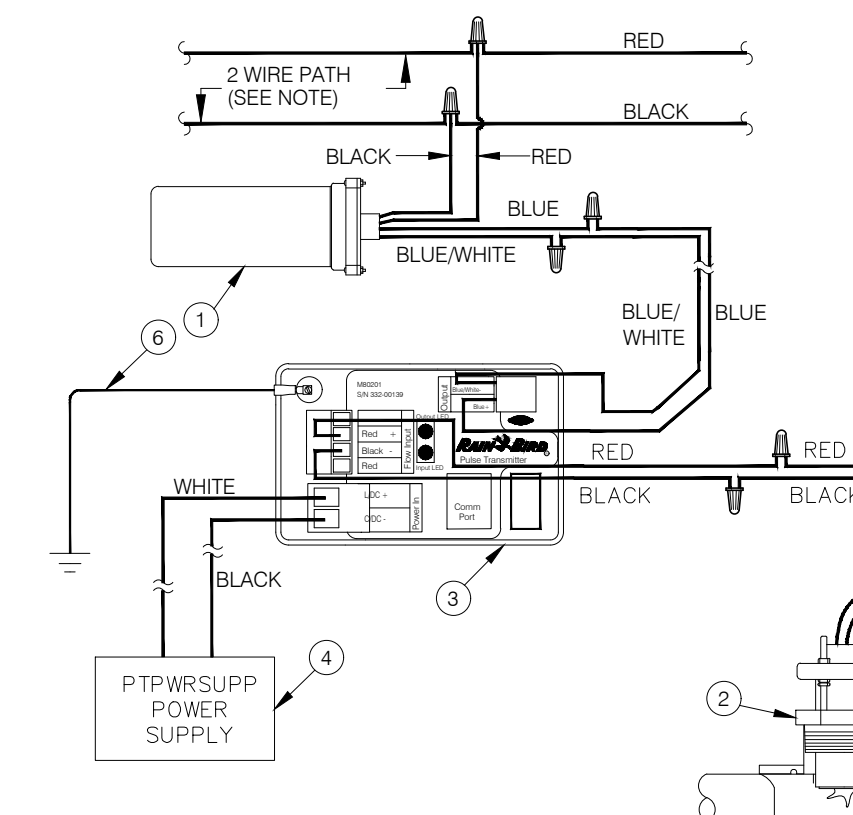
#### SUB-SURFACE FLUSH POINT WITH BALL VALVE

SCALE: N.T.S.



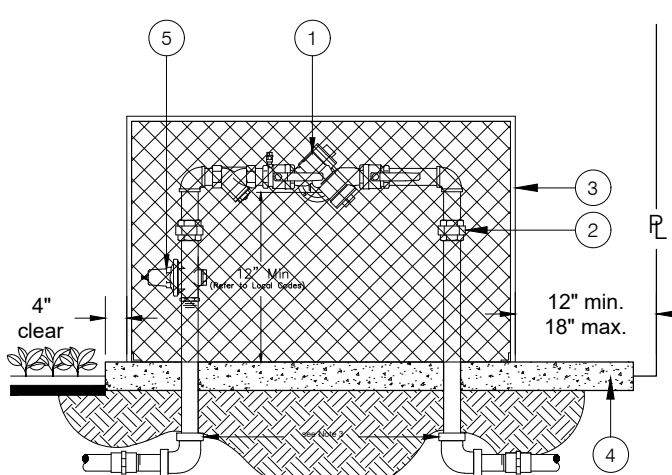
#### ESP-ME SMART CONTROL SYSTEM

SCALE: N.T.S.



#### FLOW SENSOR TWO-WIRE COMMUNICATION

SCALE: N.T.S.



LIST OF MATERIALS:  
1. REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY (U.S.C. APPROVED TYPE).  
2. BRASS UNION REQUIRED IF THREADED FITTINGS ELBOWS ARE USED.  
3. BACKFLOW PREVENTION ASSEMBLY ENCLOSURE PER MANUFACTURER'S RECOMMENDATIONS (SEE NOTES 1 AND 2). LIST OF APPROVED ENCLOSURES WILL BE PROVIDED BY DESIGNER.  
4. CONCRETE PAD, CLASS 3000-C-2500, MUST BE CONSTRUCTED TO ENSURE 4" CLEARANCE AROUND THE BACKFLOW ENCLOSURE.  
5. WATER PRESSURE REGULATOR (UPR) W/UNION 1" 1/2" 3000L.

NOTES:  
1. See Section 3 of these Specifications for approved backflow assemblies, backflow enclosures, testing requirements, placement of backflow assemblies, and other requirements.  
2. Proposed location of the backflow device, protection enclosure and all parts must be approved by the Engineer prior to installation.  
3. Backflow prevention assembly enclosure must be constructed to meet the following requirements:  
a. All fittings and pipe shall be made of copper or other approved material.  
b. A new enclosure must be constructed if the existing enclosure is not suitable for the proposed assembly.  
c. The enclosure must be constructed of a material that is resistant to corrosion.  
d. The enclosure must be constructed of a material that is resistant to corrosion.  
e. The enclosure must be constructed of a material that is resistant to corrosion.  
f. The enclosure must be constructed of a material that is resistant to corrosion.  
g. The enclosure must be constructed of a material that is resistant to corrosion.  
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s. The enclosure must be constructed of a material that is resistant to corrosion.  
t. The enclosure must be constructed of a material that is resistant to corrosion.  
u. The enclosure must be constructed of a material that is resistant to corrosion.  
v. The enclosure must be constructed of a material that is resistant to corrosion.  
w. The enclosure must be constructed of a material that is resistant to corrosion.  
x. The enclosure must be constructed of a material that is resistant to corrosion.  
y. The enclosure must be constructed of a material that is resistant to corrosion.  
z. The enclosure must be constructed of a material that is resistant to corrosion.

#### 3/4" THROUGH 2 1/2" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY

SCALE: N.T.S.



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"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".