

# WILKINS

10756 W WILKINS AVE

**OWNER**  
 WILKINS GROUP LLC AND FIN HOLDINGS LLC  
 PO BOX 252233  
 LOS ANGELES, CA 90025

**ARCHITECT**  
 LABRYINTH DESIGN STUDIO INC.  
 1600 SAWTELLE BLVD, #230  
 LOS ANGELES, CA 90025  
 POUYA@LABYRINTH-DS.COM

**LAND USE CONSULTANT**  
 nūr - DEVELOPMENT | CONSULTING  
 864 S ROBERTSON BLVD, 3RD FLOOR  
 LOS ANGELES, CA 90035  
 DANIEL@NURDEVELOPMENT.COM

**LANDSCAPE ARCHITECT**  
 SQA INC.  
 380 N PALM ST, SUITE B  
 BREA, CA 92821  
 LA@SQLAINC.COM

**EXHIBIT "A"**  
 Page No. 1 of 48  
 Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



Tel: 818.200.5005  
 These drawings and specifications are the property and copyright of the Designer and shall not be used for any other work except by written agreement with the Designer.

**PROJECT:**  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

<b>ADDRESS</b>	10756 W WILKINS AVE	<b>RESIDENTIAL UNIT MIX</b>	
<b>LEGAL DESCRIPTION</b>	LOT 1 OF BLOCK 30 OF TRACT NO. 7803	1-BR	5
<b>APN</b>	4325-019-001	2-BR	6
<b>REQUESTED ENTITLEMENTS</b>	<ul style="list-style-type: none"> <li>- CUP to allow a 102.5% density increase for 11 units</li> <li>- On-Menu Incentive for FAR increase of 20% from 3:1 to 3.6:1</li> <li>- Off-Menu Incentive for Front Yard Setback reduction of 5' from 15' to 10' on Wilkins</li> <li>- Off-Menu Incentive for Front Yard Setback reduction of 3' 5" from 15' to 11' 7" on Ohio</li> <li>- Waiver to increase height by 11' from 45' to 56'</li> <li>- Waiver to allow 72% of open space to be above ground level in lieu of the 25% max</li> <li>- Westwood Specific Plan DRB and SPP</li> </ul>	TOTAL	11
<b>LOT AREA</b>	6,774	<b>FLOOR AREA &amp; FAR (ZONING)</b>	
<b>ZONING</b>	[Q]RD1.5-1	BUILDABLE AREA	3,261
<b>RESIDENTIAL DENSITY</b>		ALLOWABLE FAR PER R3-1	3:1
LOT AREA FOR DENSITY	6,774	MAX SQUARE FOOTAGE: 3,145 x 3 =	9,783
DENSITY RATIO FOR RD1.5	1 DU/1,500 SF	DB INCENTIVE INCREASE: 9,435 x 35% =	3,424
BASE DENSITY: 6,774 / 1,500 = 4.5 =	4	MAX FLOOR AREA ALLOWED	13,207
BASE DENSITY (ROUND UP)	5		
MINISTERIAL DENSITY BONUS: 35% OF 5 = 1.75 =	2	TOTAL FLOOR AREA PROVIDED	11,941
MAX MINISTERIAL DENSITY: 5 + 2 =	7	TOTAL FAR PROVIDED	3.66
PROPOSED DENSITY	11	<b>HEIGHT / STORIES</b>	
PROPOSED DENSITY BONUS %AGE	102.5%	MAX HEIGHT / STORIES PER [Q]RD1.5-1	45-FEET / NO LIMIT
RESTRICTED SET-ASIDE %AGE @ 102.5% DENSITY INCREASE	38%	MAX HEIGHT W/ DB INCENTIVE: 45 + 11 =	56-FEET / NO LIMIT
VLI UNITS REQUIRED PER DB: 38% X 5 = 1.9 =	2	PROPOSED HEIGHT	56-FEET / 5-STORIES
VLI UNITS REQUIRED PER LAHD RUD:	1	<b>AUTO PARKING</b>	
TOTAL PROVIDED UNITS	11	PARKING REQUIRED PER AB 2097 (SITE IS WITHIN 1/2 MILE OF TRANSIT)	0
MARKET RATE UNITS	9	TOTAL PARKING PROVIDED	7
VLI UNITS PER DB	2	EV PARKING REQUIREMENT (30%)	2
		EVCS (FULL INSTALL) (10%)	1
		EVSE (FUTURE INSTALL)	1
		<b>BIKE PARKING</b>	
		RES LONG-TERM REQUIRED: (11/1) =	11
		RES SHORT-TERM REQUIRED: (11/10) =	1
		RESIDENTIAL LONG-TERM PROVIDED	12
		RESIDENTIAL SHORT-TERM PROVIDED	1
		TOTAL BIKE PARKING REQUIRED	12
		TOTAL BIKE PARKING PROVIDED	13
		<b>OPEN SPACE</b>	
		OPEN SPACE REQUIRED PER WESTWOOD SP: 11 X 350 =	3,850
		OPEN SPACE PROVIDED (SEE OPEN SPACE DIAGRAM FOR DETAIL)	
		FRONT YARDS (QUALIFIED)	1,111
		LEVEL 3 PATIO	547
		LEVEL 5 PATIO	248
		ROOFTOP DECK #1	1,329
		ROOFTOP DECK #1	679
		TOTAL PROVIDED SQUARE FOOTAGE	3,914
		OPEN SPACE %AGE ALLOWED ABOVE GRADE PER WESTWOOD SP	25%
		REQUIRED OPEN SPACE PROVIDED ABOVE GRADE	2,739
		OPEN SPACE %AGE PROVIDED ABOVE GRADE W/ DB INCENTIVE	72%
		REQUIRED # OF TREES: 11 DU / 4 TREES	2.8
		TREES PROVIDED	4
		<b>SETBACK</b>	
		FRONT	15-FEET
		FRONT	15-FEET
		SIDE	8-FEET
		SIDE	8-FEET
		LOCATION	
		WILKINS	10-FEET
		OHIO	11.5-FEET
		WESTERLY PL	8-FEET
		NORTHWEST PL	8-FEET

Revisions

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OWNER:  
 WILKINS OWNER  
 CO

Drawing Title

COVER SHEET

Scale:  
 Date: March 2021  
 Job No: 2021 - WILKINS  
 Drawn By: A.A.  
 Checked By: P.P.  
 Drawing No.

A-01.1



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PROJECT:  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

OWNER:  
 WILKINS OWNER  
 CO

Drawing Title

COVER SHEET 2

Scale:  
 Date: March 2021  
 Job No: 2021 - WILKINS  
 Drawn By: A.A.  
 Checked By: P.P.  
 Drawing No.

A-01.2

PLOT DATE 03/07/2024

**LEGAL DESCRIPTION:**

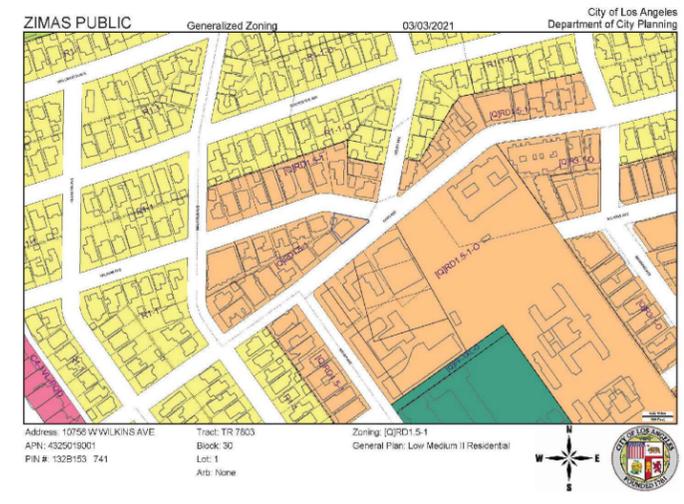
LOTS: 1  
 BLOCK: 30  
 TRACT NO.: TR 7803  
 M.B. 88-73/75 ( SHTS 3-5) MAP SHEET 132B153  
 APN: 4325019001

**PROJECT INFORMATION**

ADDRESS: 10756 W WILKINS AVE, LOS ANGELES, CALIFORNIA 90024  
 LOT AREA BEFORE DEDICATION: 6,774 S.F.  
 LOT AREA AFTER DEDICATION: 6,217 S.F.

ZONING: [Q] RD 1.5-1  
 COMMUNITY PLAN AREA: WESTWOOD  
 AREA PLANNING COMMISSION: WEST LOS ANGELES  
 NEIGHBORHOOD COUNCIL: WESTWOOD  
 COUNCIL DISTRICT: CD 5- PAUL KORETZ  
 GENERAL PLAN LAND USE: LOW MEDIUM II RESIDENTIAL  
 SPECIFIC PLAN AREA: WEST L.A. TRANSPORTATION IMPROVEMENT  
 SPECIFIC PLAN AREA: WESTWOOD COMMUNITY DRB  
 SPECIFIC PLAN AREA: WESTWOOD COMMUNITY MULTIPLE FAMILY DEVELOPMENT STANDARDS  
 LA TRANSIT PRIORITY AREA (ZI-2452)- TOC 3 SEE A-01.2

OCCUPANCY: R-2 (RESIDENTIAL), S-2 (PARKING)  
 SPRINKLER THROUGHOUT (NFPA 13 SPRINKLER SYSTEM PER 903.1.1 REQUIRED PER 506.3)



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**SCOPE OF WORK**

NEW 5 STORY ( 11 UNIT) MULTY FAMILY APARTMENT BUILDING WITH SUBTERRANEAN GARAGE UTILIZING 3 OFF MENU INCENTIVES AND 2 DEVELOPMENT STANDARDS WAIVER

**GRADING**

NEW PROJECT PROPOSES 3,000 CU YD GRADING CUT/EXPORT

**CONSULTANTS AND SHEET TITLE**

<b>ARCHITECT</b> LABYRINTH DESIGN STUDIO 1600 SAWTELLE BLVD., SUITE 230 LOS ANGELES, CA. 90025 VASA KOSTIC POUYA PAYAN TEL: (310) 473-1416 EMAIL: Pouya@labyrinth-ds.com	<b>TREE CONSULTANT:</b> Lisa Smith Registered Consulting Arborist #464 ISA Certified Arborist #WE3782 ISA Tree Risk Assessor Qualified 310-663-2290 www.THETREERESOURCE.com	<b>LAND USE CONSULTANT</b> nur - DEVELOPMENT   CONSULTING 864 S ROBERTSON BLVD, 3RD FLOOR LOS ANGELES, CA 90035 DANIEL@NURDEVELOPMENT.COM
<b>PROPERTY SURVEYOR:</b> FRED GHALCHI M&G CIVIL ENGINEERING & LAND SURVEYING 347 SOUTH ROBERTSON BLVD. BEVERLY HILLS, CA 90211 TEL: (310) 659-0871 FAX: (310) 659-0845	<b>ELECTRICAL ENGINEER</b> ROBERT TOMASIAN, P.E. TOMTECH ENGINEERING 2550 HONOLULU AVE., SUITE 206 MONTROSE, CA 91020 T (818) 219-7192 / W (818) 275-3888 ROBERT@TOMTECHENG.COM	
<b>SOILS ENGINEER:</b> IRVINE GEOTECHNICAL INC 145 NJ SIERRA MADRE BLVD., SUITE # 1 PASADENA, CA 91107 626-844-6641	<b>SHADE SHADOW STUDY</b> DHS & ASSOCIATES INC 275 Centennial Way #205 Tustin CA 92780 (714) 665 6569	
<b>LANDSCAPE ARCHITECT</b> SQLA INC., C/O SAMUEL KIM 2669 SATURN ST. BREA, CA, 92821 T: (213) 383-1788 - (562)905-0800 F: (562)905-0880 la@sqlainc.com, samuel@sqlainc.com, www.sqlainc.com	<b>OWNER</b> Babak Nehoray PO Box 252233, Los Angeles, CA 90025 babak@LuMarCorporation.com office 310.477.6333   mobile 310.571.8822	

**SHEET INDEX**

<b>ARCHITECT</b>	
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A-01.6	OPEN SPACE CALCULATIONS
A-01.7	OPEN SPACE CALCULATIONS
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A-02.2	SHADE STUDY
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**SHEET INDEX**

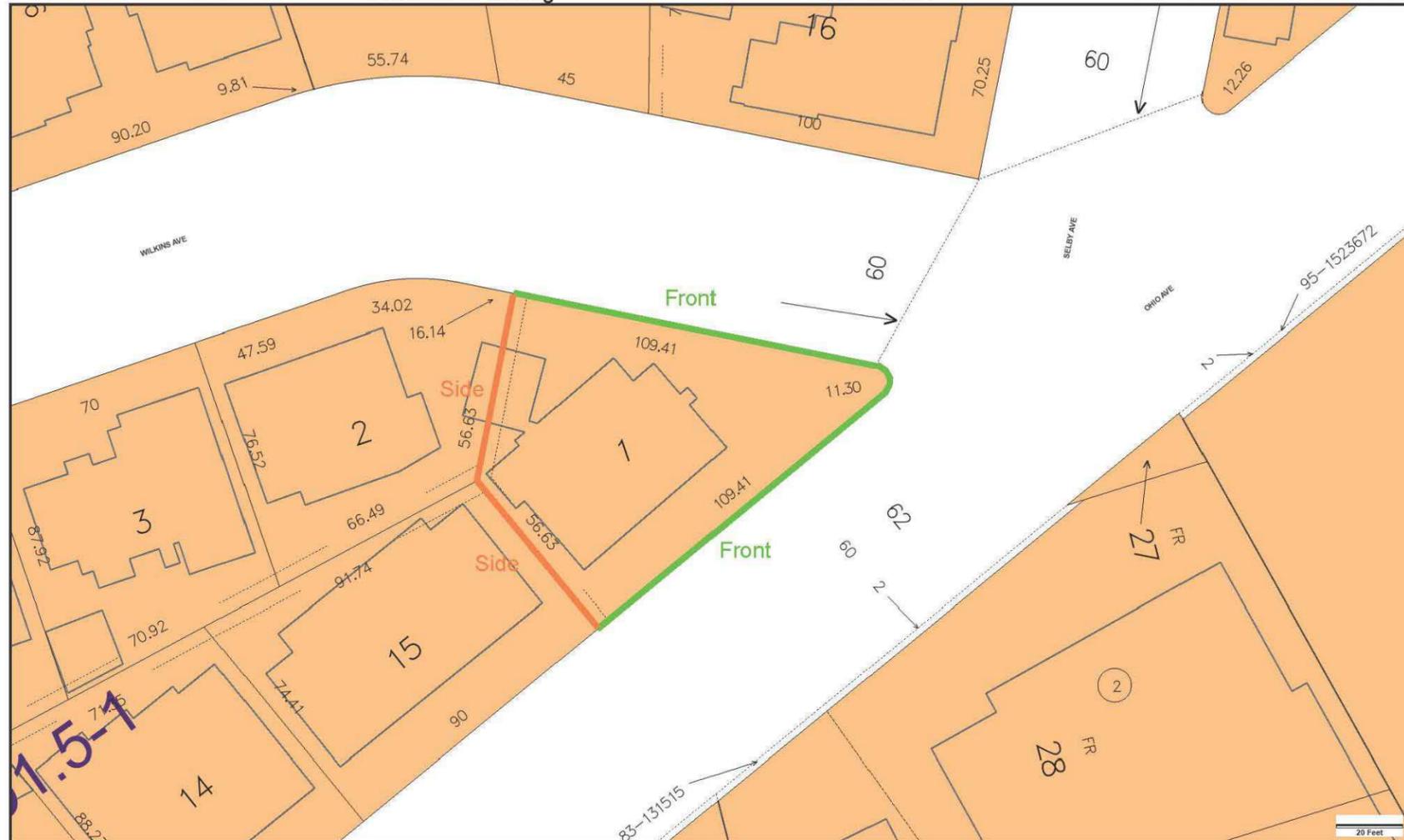
<b>SURVEY</b>	
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**REPORT**

- 1- SOIL REPORT
- 2- SHADE SHADOW STUDY
- 3- TREE REPORT

ZIMAS INTRANET Generalized Zoning 05/12/2021 City of Los Angeles Department of City Planning

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Address: 10756 W WILKINS AVE  
APN: 4325019001  
PIN #: 132B153 741

Tract: TR 7803  
Block: 30  
Lot: 1  
Arb: None

Zoning: [Q]RD1.5-1  
General Plan: Low Medium II Residential



PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title

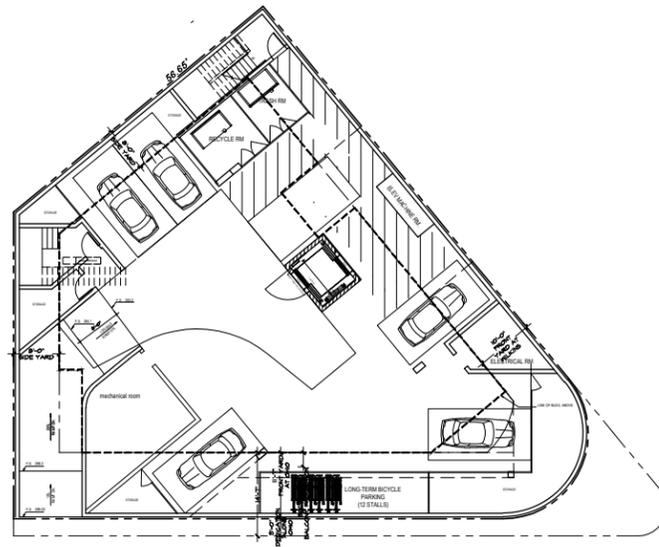
FRONT YARD  
DETERMINATION  
MAP

Scale:

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

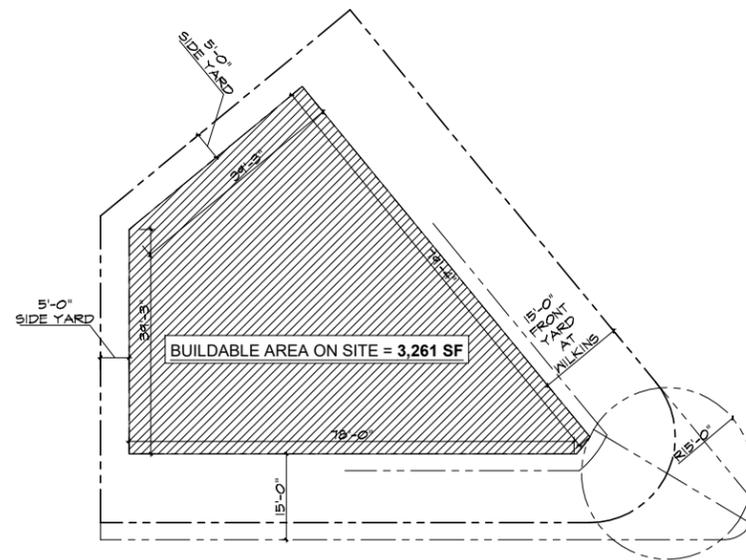
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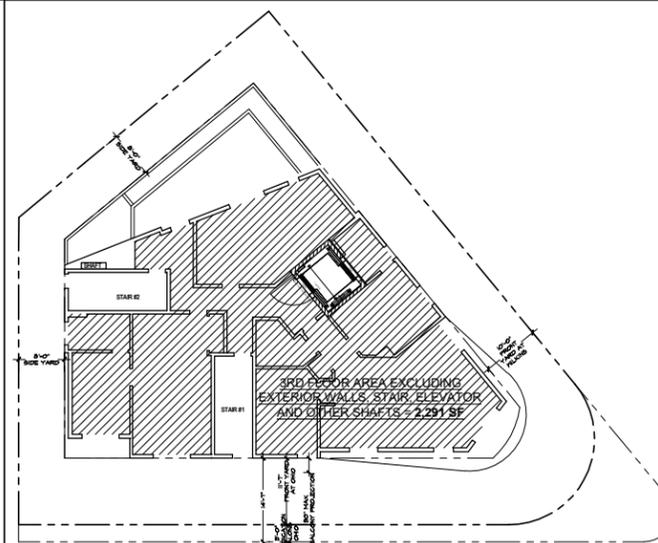


basement zoning floor area diagram. Any area that is not used for parking/driveway/storage room/building maintenance equipment room needs to be counted for zoning floor area ALL OF BASEMENT IS USED FOR ABOVE MENTIONED USES AND THERE IS NO ZONNING FLOOR AREA IN BASEMENT

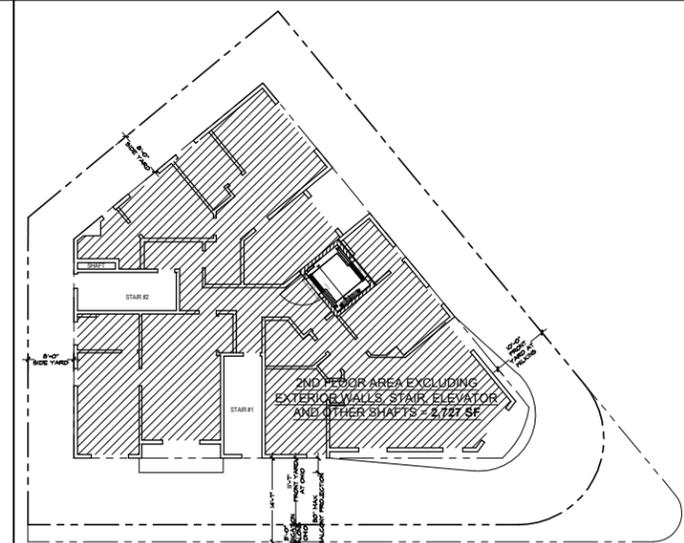
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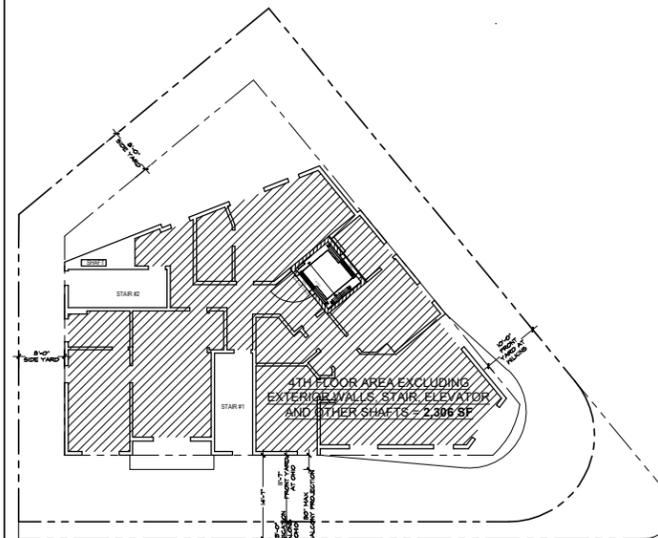
**BUILDABLE AREA DIAGRAM**



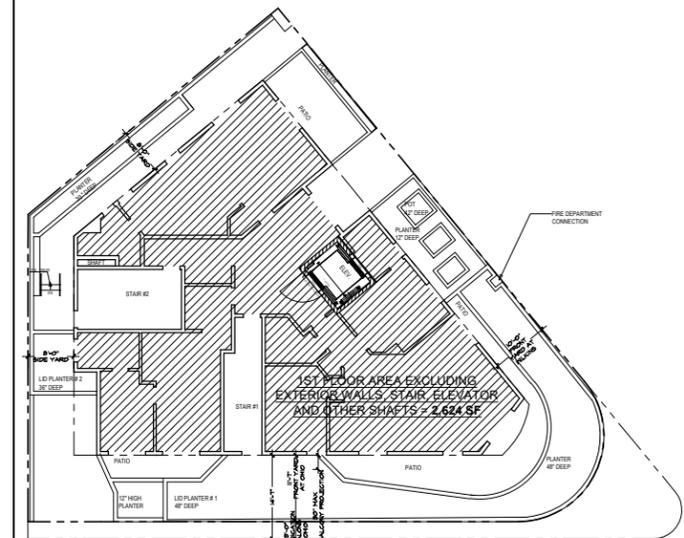
**3RD FLOOR (FAR)**



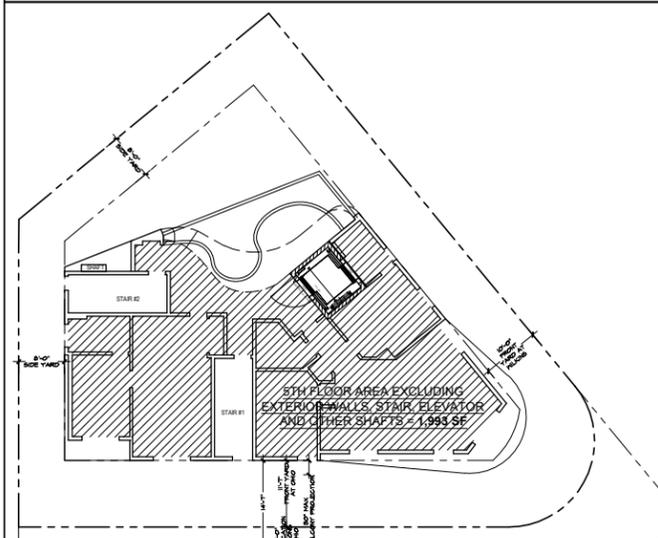
**2ND FLOOR (FAR)**



**4TH FLOOR (FAR)**



**1ST FLOOR (FAR)**



**5TH FLOOR (FAR)**

**TABLE OF GROSS BUILDING AREA (PER ZONING AND BUILDING CODE):**

LEVEL	GROSS BUILDING AREA - FAR (EXCLUDING EXT. WALLS, PROJECTED BALCONIES, ELEV., STAIRS, AND MECH. SHAFTS)	GROSS BUILDING AREA - BUILDING CODE (INCLUDING EXT. WALLS, PARKING, PROJECTED BALCONIES, EXCLUDING VENT SHAFTS AND COURTS)
BASEMENT	--	6,113 SF
1ST FLOOR	2,624 SF	2,801 SF
2ND FLOOR	2,727 SF	2,904 SF
3RD FLOOR	2,291 SF	2,468 SF
4TH FLOOR	2,306 SF	2,483 SF
5TH FLOOR	1,993 SF	2,270 SF
<b>TOTAL:</b>	<b>11,941 SF</b>	<b>19,039 SF</b>

	REQUIRED ( PER LAMC)	REQUIRED (PER DB )
FINAL FLOOR AREA RATIO	3:1	4.05:
BUILDABLE AREA ON SITE	3,261 SF	3,261 SF (SEE A-01.4)
MAX. ALLOWED	9,783 SF	13,207 SF
PROPOSED		11,941 ~ 3.6:1

**PROJECT:**  
10756 W. WILKINS AVE.  
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Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title

**AREA  
CALCULATIONS  
AND DIAGRAMS**

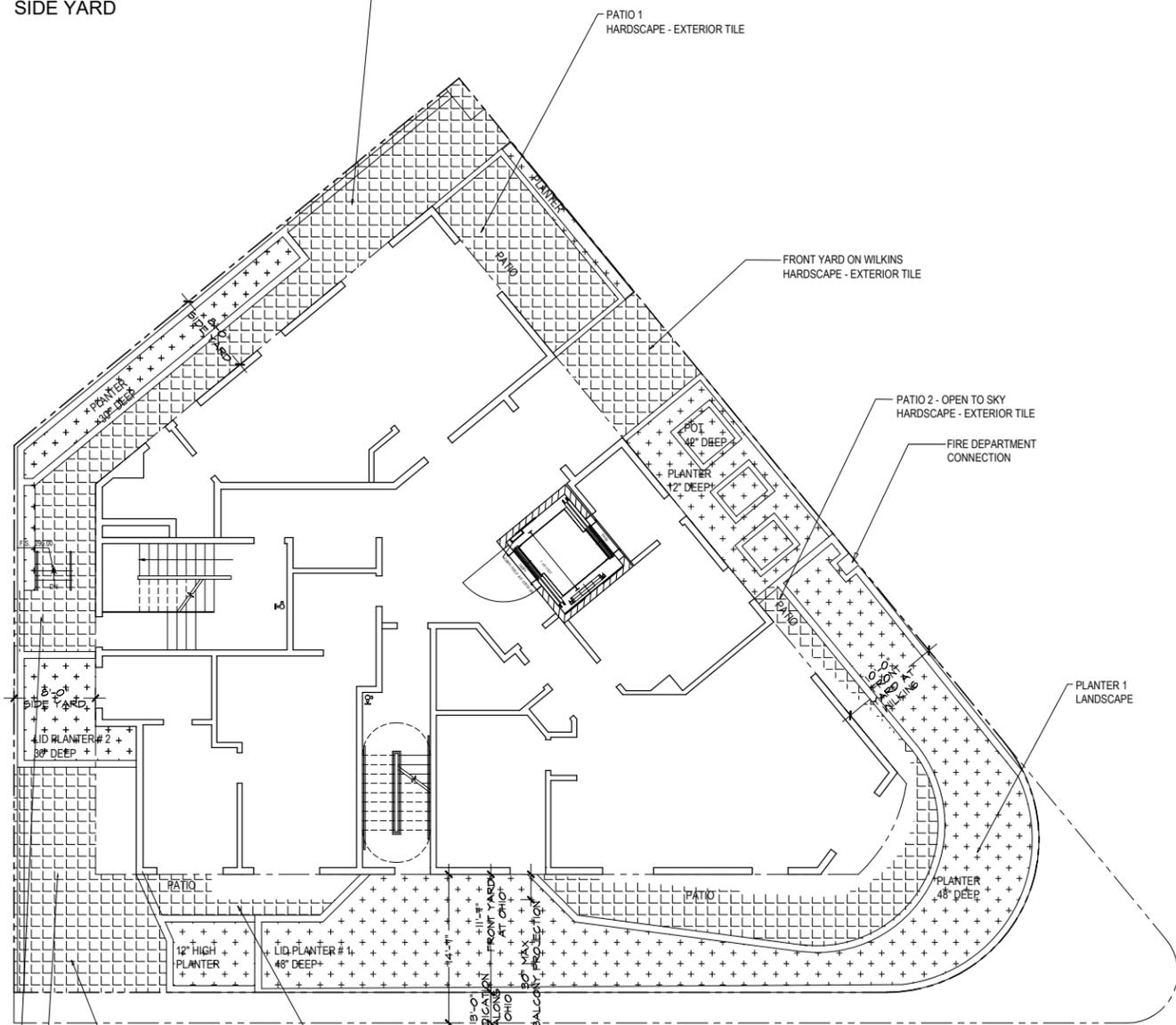
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Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-01.5**

TOTAL WEST SIDE YARDS = 358 S.F.  
 LANDSCAPE IN SIDE YARD = 180 S.F.  
 LANDSCAPE > 50% OF REQUIRED  
 SIDE YARD



**1ST FLOOR PLAN**

DRIVE WAY ON OHIO  
 HARDSCAPE - CONCRETE

PATIO 3  
 HARDSCAPE - EXTERIOR TILE

TOTAL SOUTH WEST SIDE YARD = 321 S.F.  
 LANDSCAPE IN SOUTH WEST SIDE YARD = 161 S.F.  
 LANDSCAPE > 50% OF REQUIRED SIDE YARD

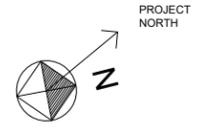
TOTAL AREA OF BOTH FRONT YARDS = 2223 S.F.  
 LANDSCAPE AREA IN BOTH FRONT YARDS = 1434 S.F.  
 OPEN SPACE PROVIDED IN FRONT YARDS = 1111  
 LANDSCAPE > 50% OF REQUIRED SIDE YARD

**LEGEND:**



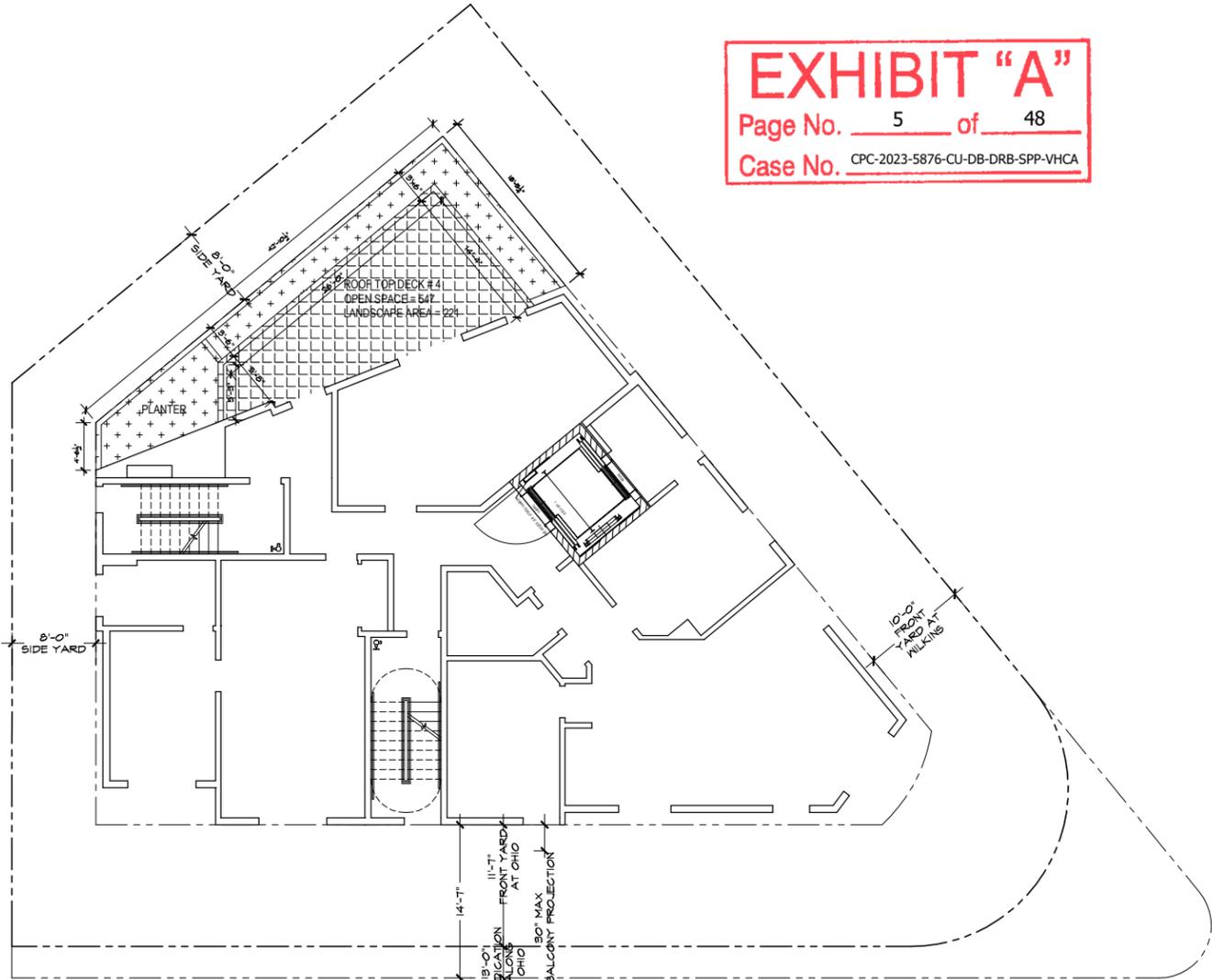
TABLE OF PROVIDED LANDSCAPE AT SIDE-YARD  
 (NOT CONTRIBUTED TOWARDS OPEN SPACE):

LOCATION	HARDSCAPE	LANDSCAPE	TOTAL AREA	LANDSCAPE %
WEST SIDE-YARD	178 SF	180 SF	358 SF	51%
SIDE-YARD	190 SF	161 SF	321 SF	51%



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 Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



**3RD FLOOR PLAN**

TABLE OF PROVIDED OPEN SPACE (CONTRIBUTED TOWARDS REQUIRED OPEN SPACE):

LOCATION	HARD-SCAPE	LAND-SCAPE	TOTAL AREA	% LAND-SCAPE	CONTRIBUTED TOWARD OPEN SPACE
<b>OPEN SPACE AT GRADE</b>					
FRONT YARDS	960 SF	1434 SF	2223 SF	64%	1111 SF
<b>OPEN SPACE ABOVE GRADE</b>					
LEVEL 3 PRIVATE PATIO	326 SF	221 SF	547 SF	41%	2803 SF*
LEVEL 5 COMMON PATIO	108 SF	140 SF	248 SF	56%	
ROOF TOP DECK # 1	734 SF	595 SF	1329 SF	44%	
ROOF TOP DECK # 2	407 SF	272 SF	679 SF	41%	
SUB-TOTAL:	1603 SF	1181 SF	2803 SF	--	
<b>TOTAL:</b>					<b>3,914 SF</b>

REQUESTED ENTITLEMENT # 6: WAIVER OF DEVELOPMENT STANDARDS TO ALLOW 72% OF OPEN SPACE TO BE ABOVE THE

REQUIRED OPEN SPACE PER WESTWOOD  
 350 S.F. per unit  
**11 X 350 = 3850**

PROJECT:  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

OWNER:  
 WILKINS OWNER  
 CO

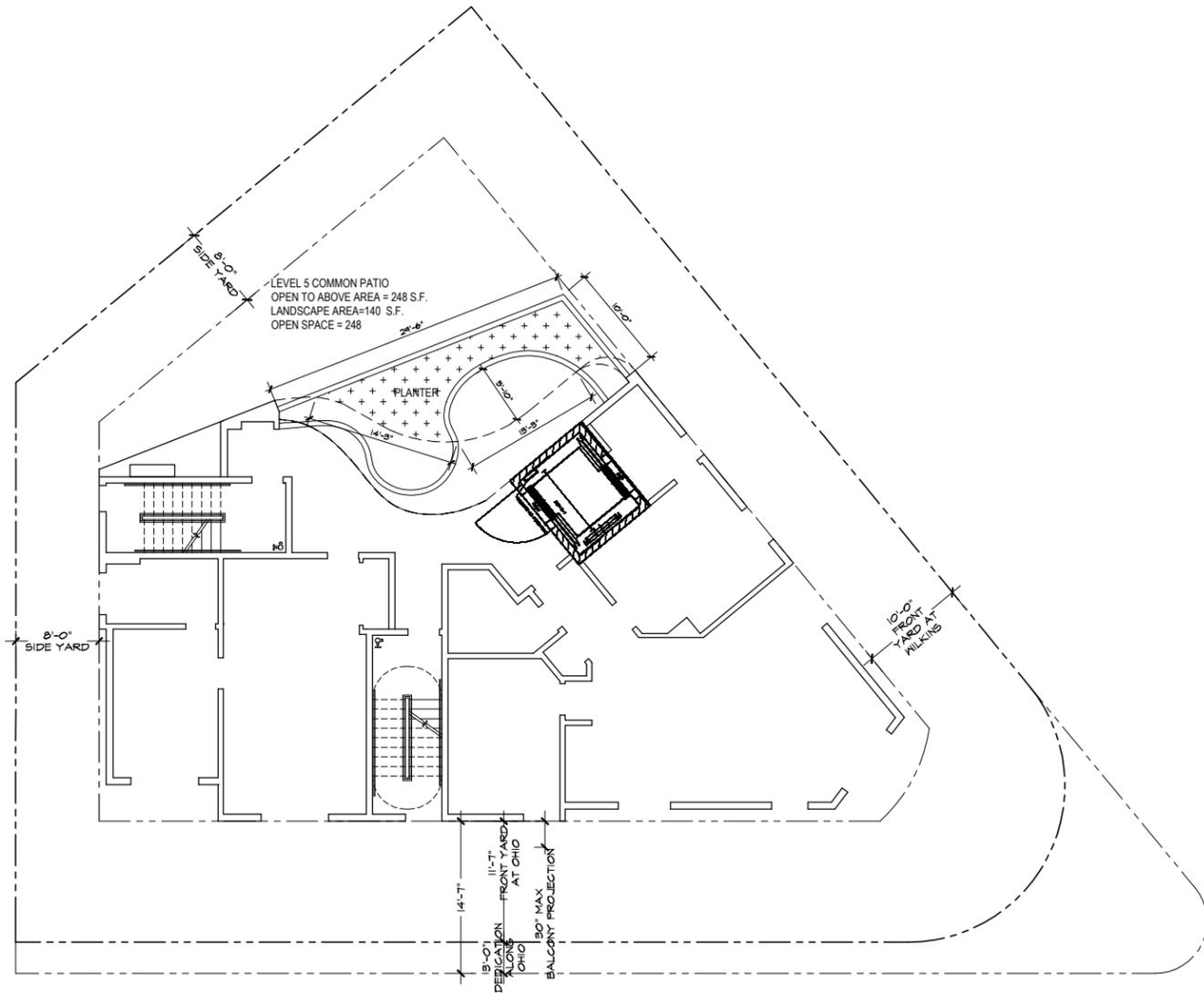
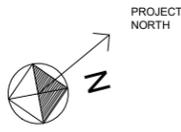
Drawing Title  
**OPEN SPACE DIAGRAM**

Scale: 1/16

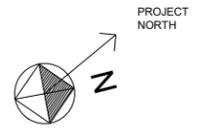
Date: March 2021  
 Job No: 2021 - WILKINS  
 Drawn By: A.A.  
 Checked By: P.P.

Drawing No.

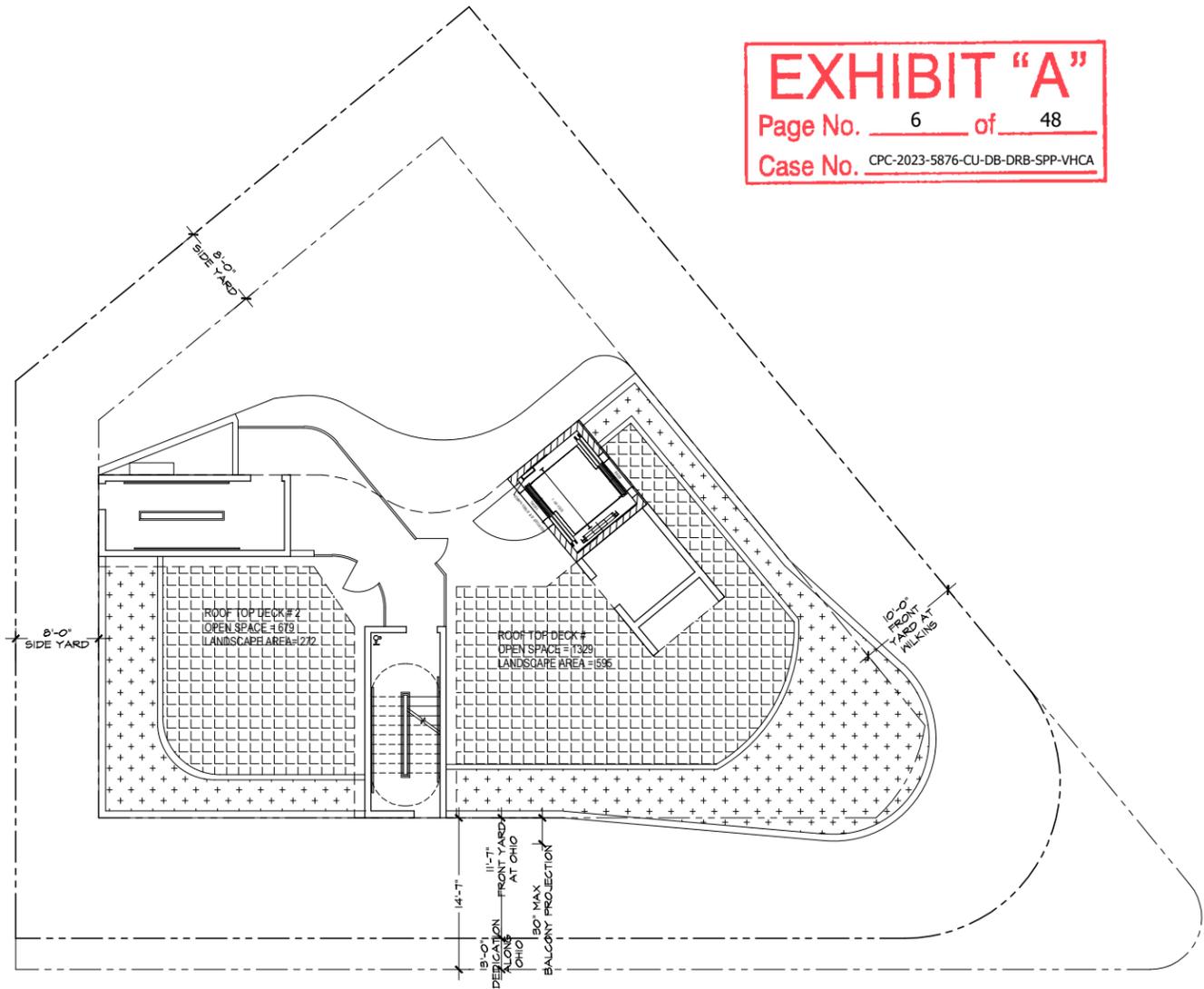
**A-01.6**



5TH FLOOR PLAN



**EXHIBIT "A"**  
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ROOF PLAN

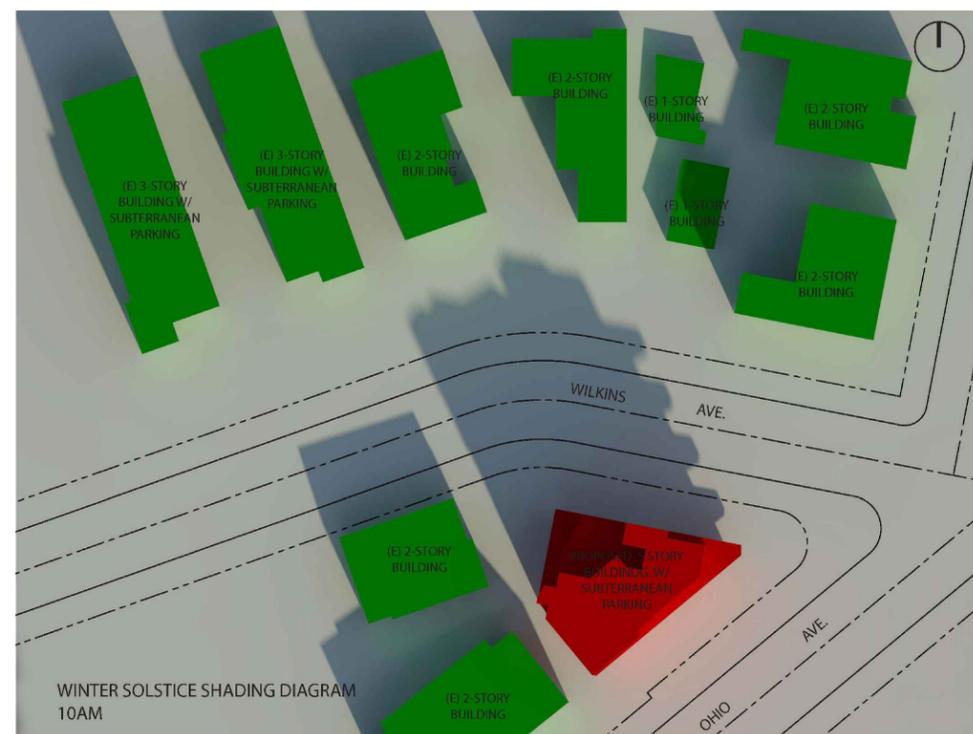
TABLE OF PROVIDED OPEN SPACE (CONTRIBUTED TOWARDS REQUIRED OPEN SPACE):

LOCATION	HARD-SCAPE	LAND-SCAPE	TOTAL AREA	% LAND-SCAPE	CONTRIBUTED TOWARD OPEN SPACE
<b>OPEN SPACE AT GRADE</b>					
FRONT YARDS	960 SF	1434 SF	2223 SF	64%	1111 SF
<b>OPEN SPACE ABOVE GRADE</b>					
LEVEL 3 PRIVATE PATIO	326 SF	221 SF	547 SF	41%	2803 SF*
LEVEL 5 COMMON PATIO	108 SF	140 SF	248 SF	56%	
ROOF TOP DECK # 1	734 SF	595 SF	1329 SF	44%	
ROOF TOP DECK # 2	407 SF	272 SF	679 SF	41%	
SUB-TOTAL:	1603 SF	1181 SF	2803 SF	--	
<b>TOTAL:</b>					<b>3,914 SF</b>

NOTE:  
WESTWOOD SPECIFIC PLAN SECTION 3.B. : WHENEVER THIS SPECIFIC PLAN CONTAINS PROVISIONS WHICH DIFFER FROM PROVISIONS CONTAINED IN CHAPTER I OF THE LOS ANGELES MUNICIPAL CODE. THE SPECIFIC PLAN SHALL PREVAIL AND SUPERSEDE THE APPLICABLE PROVISIONS OF THAT CODE.

LEGEND:





**SHADE AND SHADOW STUDY**

**Prepared By:**  
**DHS & ASSOCIATES INC**  
275 Centennial Way #205  
Tustin CA 92780  
(714) 665 6569

**PROJECT DATA**  
Date: 8-10-2021

**PROJECT ADDRESS:**

10756 W. Wilkins Ave.  
Los Angeles CA 90024

**OWNER:**

Karim M. Makarehchi  
and Tahereh Korhani  
C/O Babak Nehoray  
10756 W. Wilkins Ave.  
Los Angeles CA 90024

**SUMMARY OF SHADING DIAGRAMS**

The enclosed shading Diagrams show the shading effect of the new project on the roofs of buildings located on the adjacent properties on the north side of the proposed five-story multifamily dwelling. The winter solstice shading diagrams are the critical ones for determining shading effects, and representative diagrams of the "Vernal/ Autumnal Equinox has been included to show the minimal effect the project has in those months. The proposed five-story multifamily dwelling has less than 1/3 shade on the adjacent two-story building on the north side between 9 am and 10 am. We can say that the proposed project dose not casts shadows on approximately 1/3 of the adjacent two-story residential structures, as projected on a plan view, for more than two hours between the hours of 9 am and 3 pm on December 21.

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LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
C/O

Drawing Title

SHADE STUDY

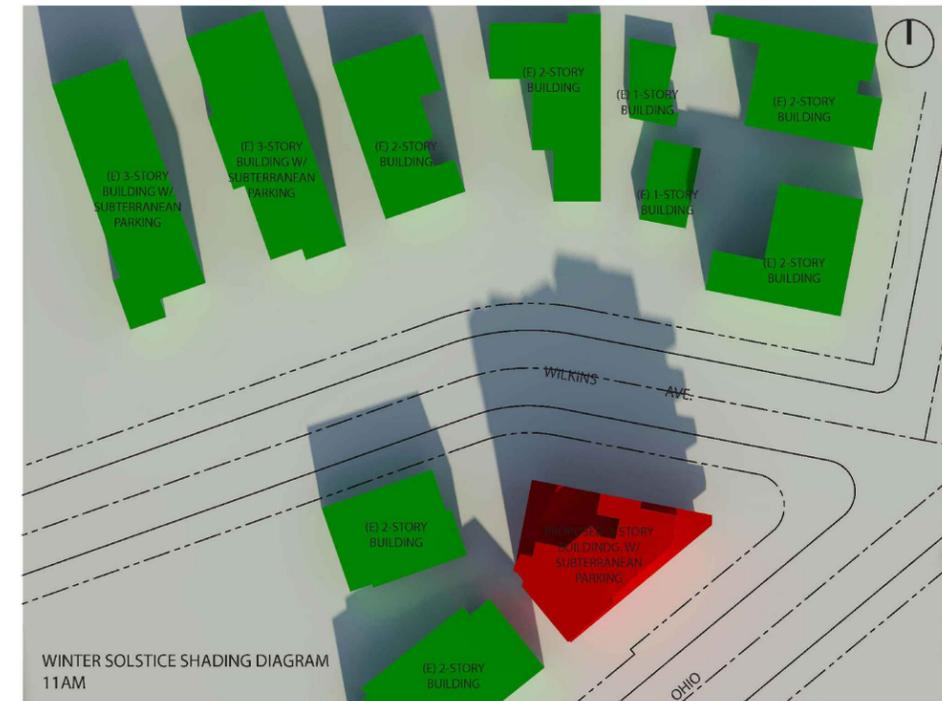
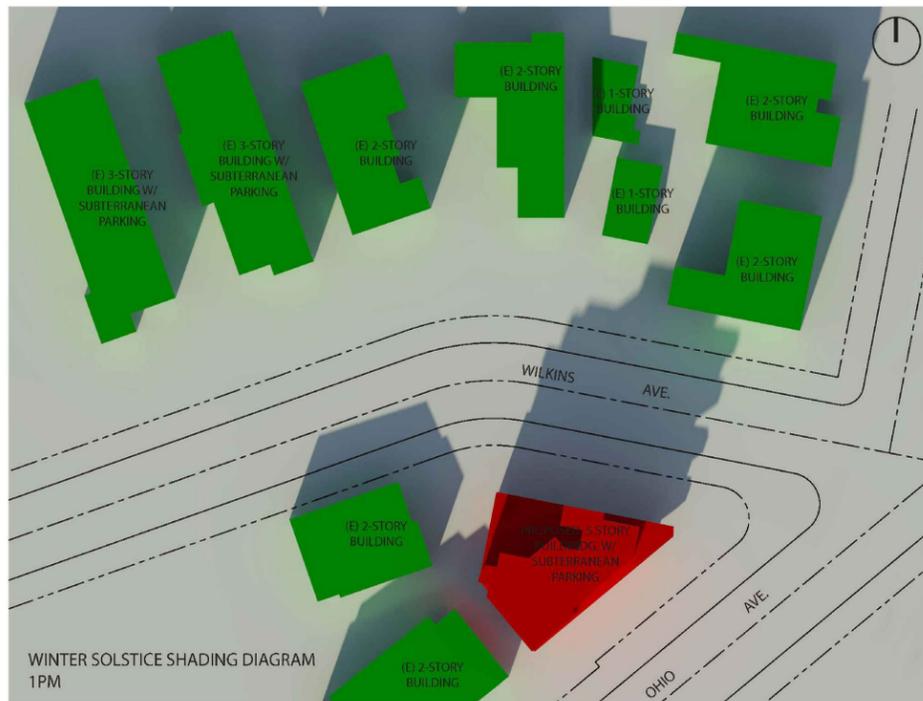
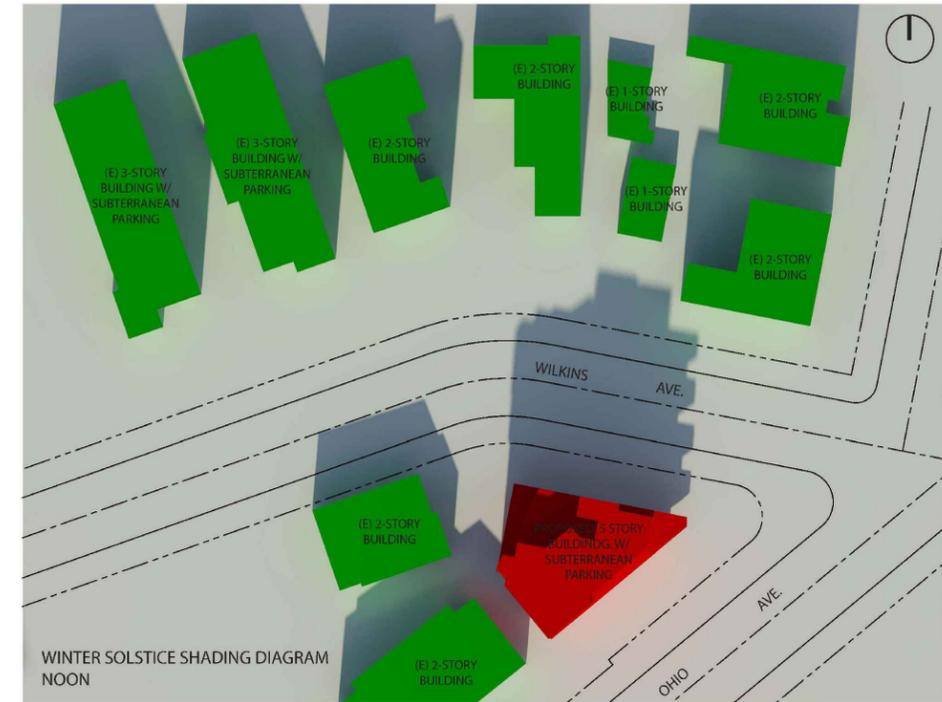
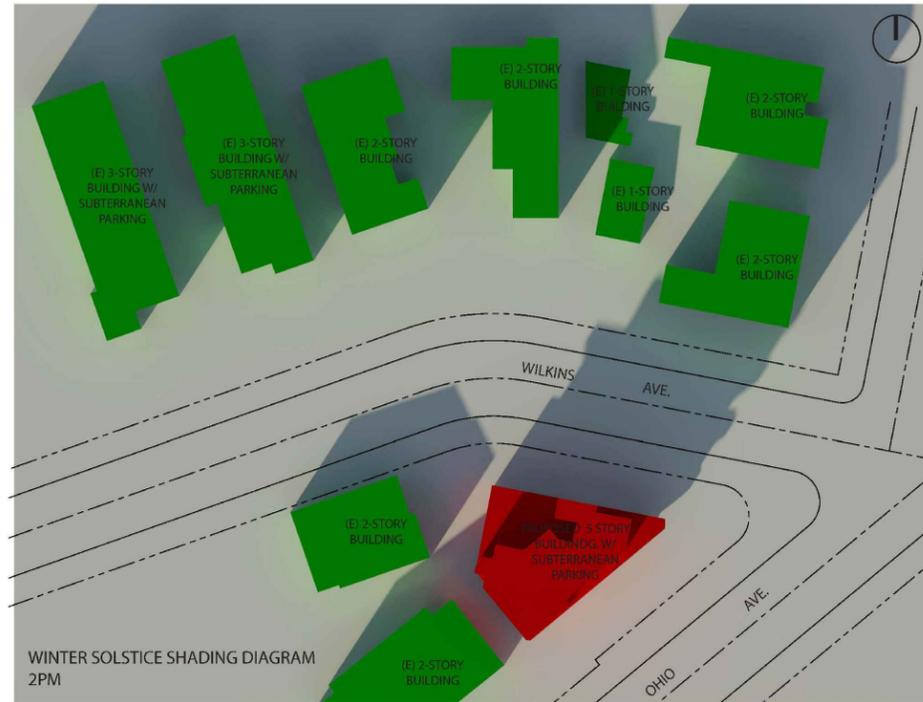
Scale:

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-02.1**

**EXHIBIT "A"**  
Page No. 8 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
C/O

Drawing Title

**SHADE STUDY**

Scale:

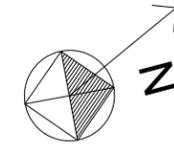
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

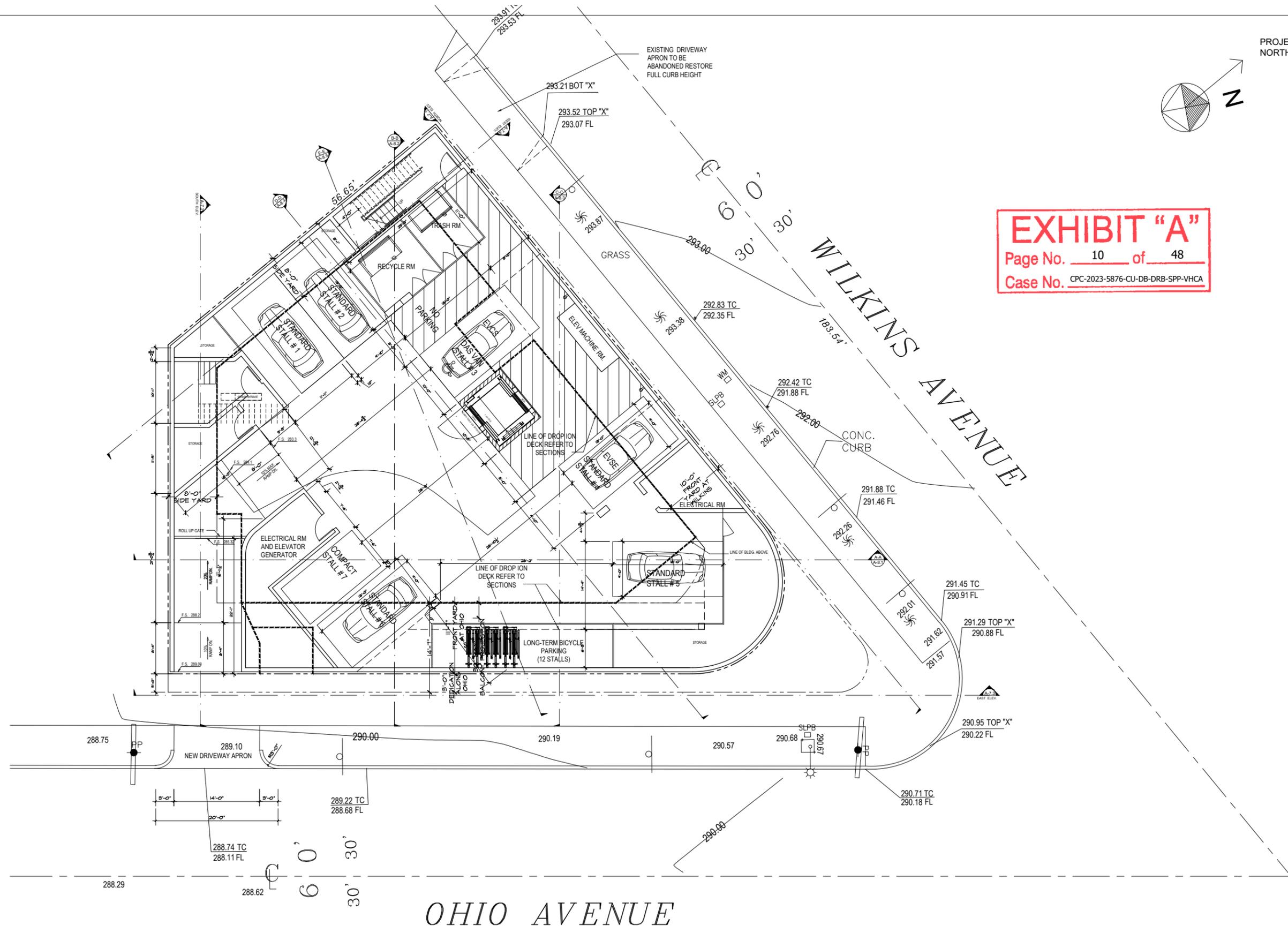
**A-02.2**



PROJECT NORTH



**EXHIBIT "A"**  
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PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

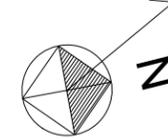
OWNER:  
WILKINS OWNER  
CO

Drawing Title  
**BASEMENT FLOOR PLAN**

Scale: 1/16  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-04.1**



**EXHIBIT "A"**  
Page No. 11 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

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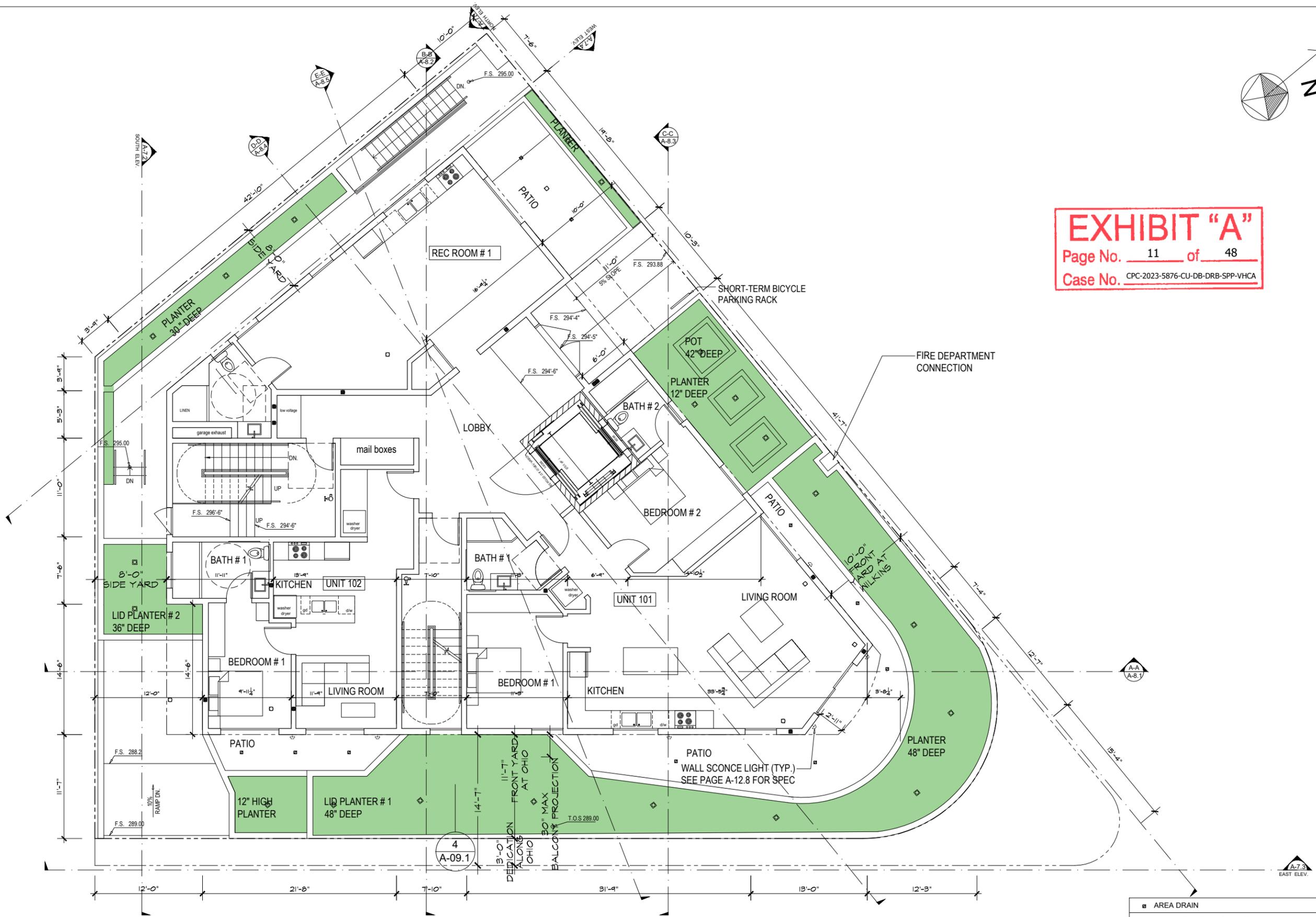
OWNER:  
WILKINS OWNER  
CO

Drawing Title  
1ST FLOOR PLAN

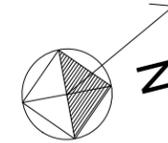
Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-05.1**



■	AREA DRAIN
■	CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL)
□	CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL) ABOVE TO BE RELOCATED TO THE OTHER ONE



**EXHIBIT "A"**  
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PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:

WILKINS OWNER  
CO

Drawing Title

2ND FLOOR PLAN

Scale: 3/32" = 1'-0"

Date: March 2021

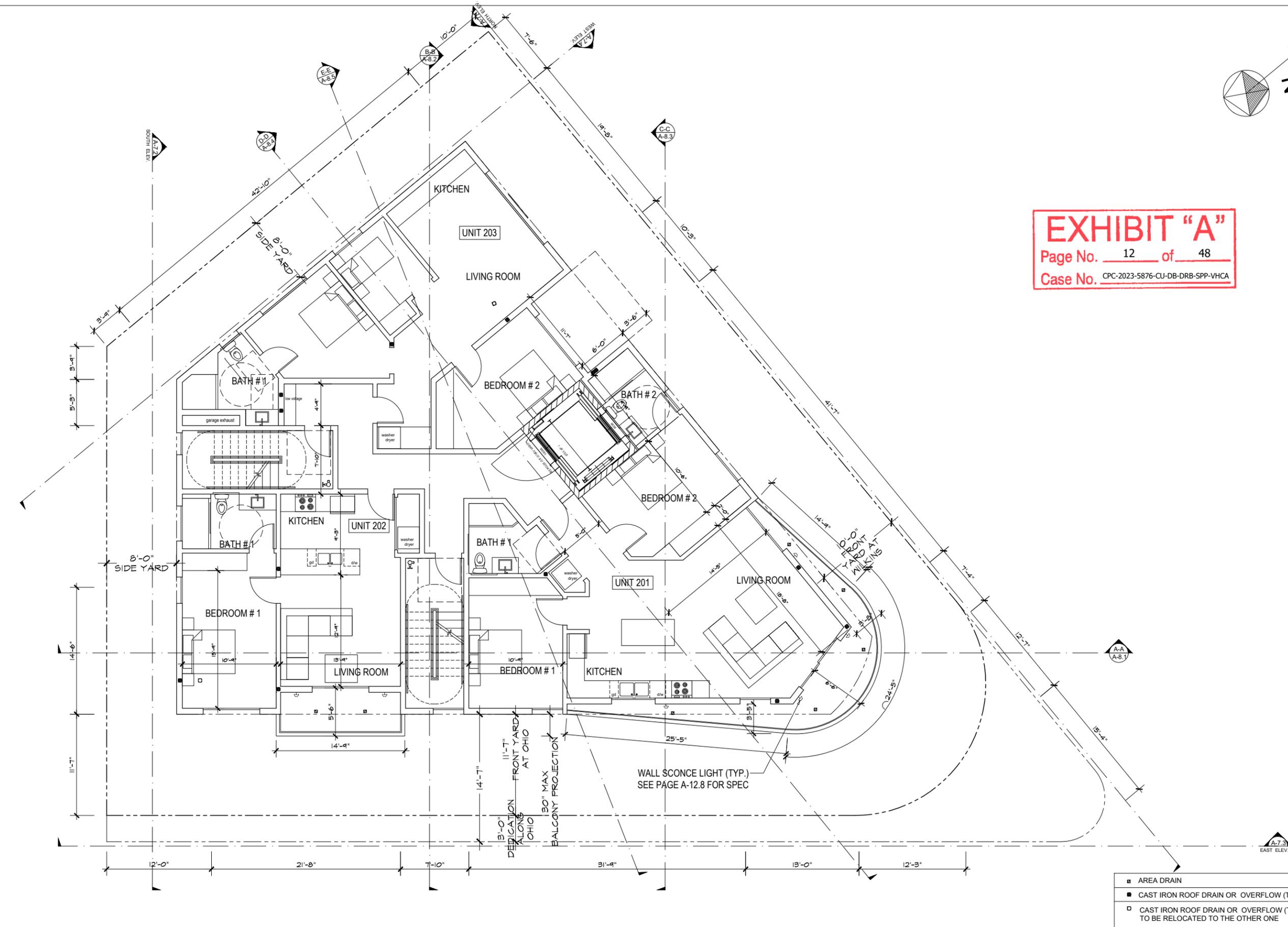
Job No: 2021 - WILKINS

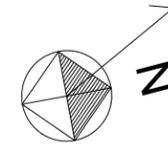
Drawn By: A.A.

Checked By: P.P.

Drawing No.

**A-05.2**





**EXHIBIT "A"**  
Page No. 13 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:

WILKINS OWNER  
CO

Drawing Title

3RD FLOOR PLAN

Scale: 3/32" = 1'-0"

Date: March 2021

Job No: 2021 - WILKINS

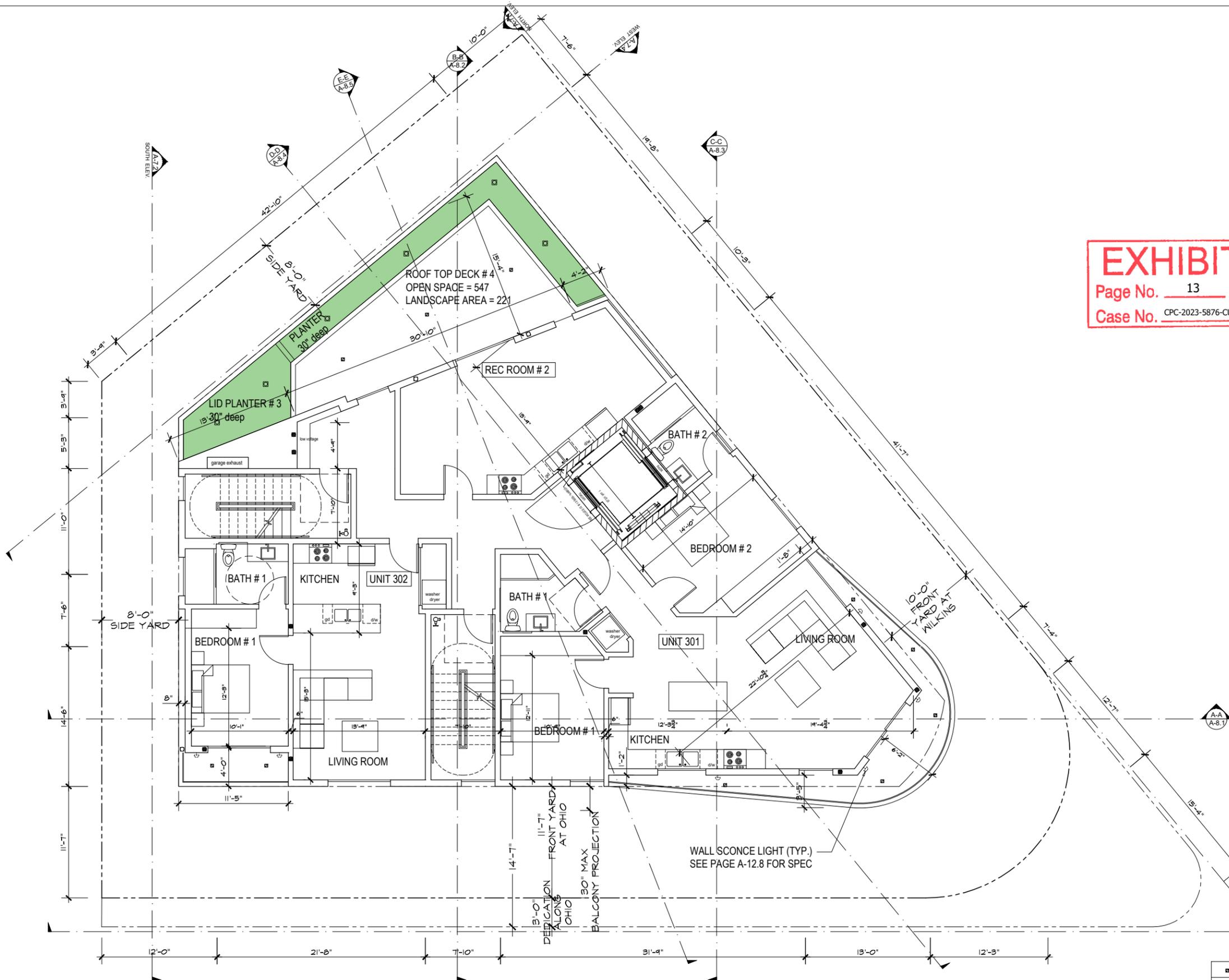
Drawn By: A.A.

Checked By: P.P.

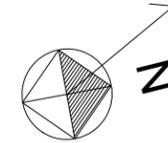
Drawing No.

**A-05.3**

PLOT DATE 03/07/2024



- AREA DRAIN
- CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL)
- CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL) ABOVE TO BE RELOCATED TO THE OTHER ONE



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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

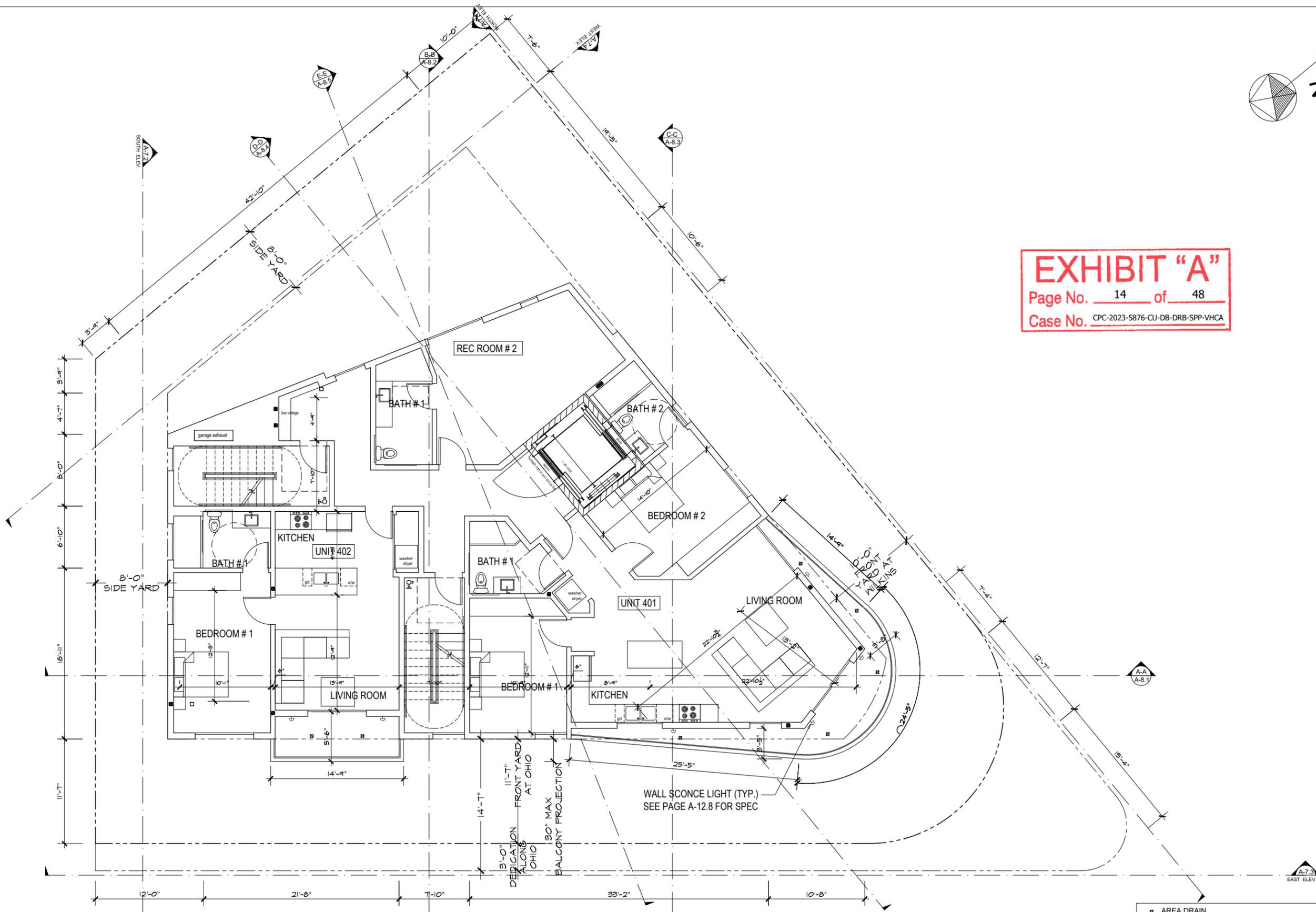
Drawing Title  
4TH FLOOR PLAN

Scale: 3/32" = 1'-0"

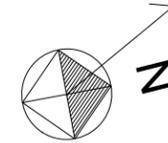
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-05.4**



- AREA DRAIN
- CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL)
- CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL) ABOVE TO BE RELOCATED TO THE OTHER ONE



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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

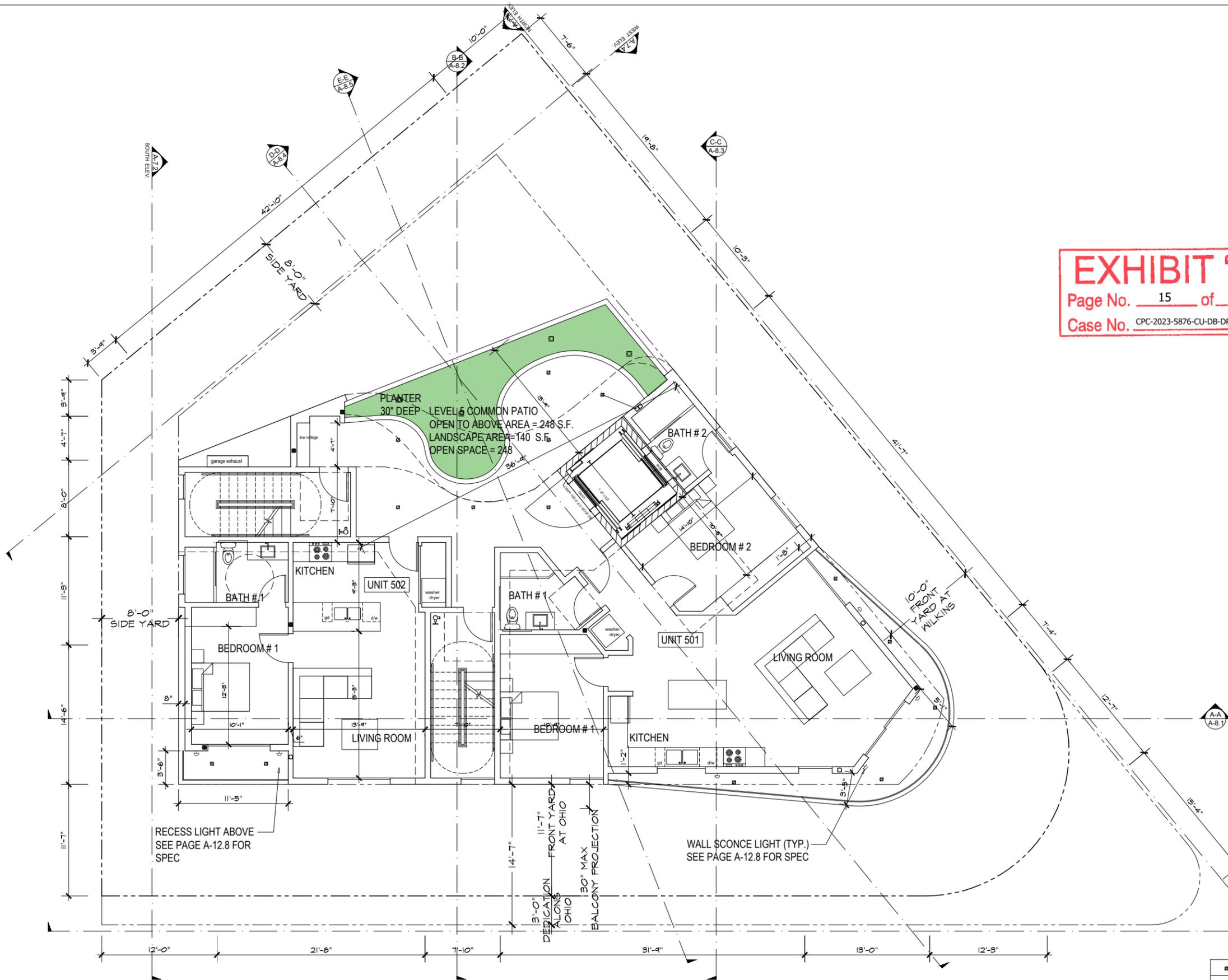
Drawing Title  
5TH FLOOR PLAN

Scale: 3/32" = 1'-0"

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-05.5**



■	AREA DRAIN
■	CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL)
□	CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL) ABOVE TO BE RELOCATED TO THE OTHER ONE

**SOLAR ZONE**  
 TOTAL ROOF AREA: 2,788 SF  
 REQUIRED SOLAR ZONE:  
 2,788 x 15% = 418 SF  
 PROVIDED SOLAR ZONE: 596 SF

AREA UNDER SOLAR  
 PANELS WITH SOLID  
 ROOF  
 AREA UNDER SOLAR  
 PANELS WITH 3X6 METAL  
 FRAME

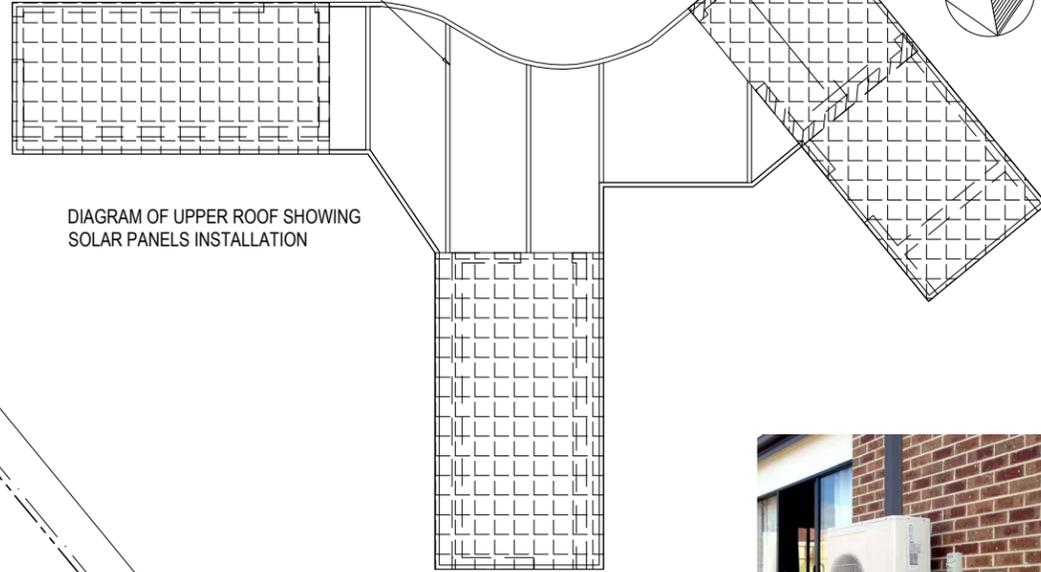


DIAGRAM OF UPPER ROOF SHOWING  
 SOLAR PANELS INSTALLATION



CONDENSING UNIT ON  
 STAIR SHAFT WALL

**EXHIBIT "A"**  
 Page No. 16 of 48  
 Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

- AREA DRAIN
- CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL)
- CAST IRON ROOF DRAIN OR OVERFLOW (TYPICAL) ABOVE TO BE RELOCATED TO THE OTHER ONE



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PROJECT:  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

Revisions

OWNER:  
 WILKINS OWNER  
 CO

Drawing Title  
 ROOF PLAN

Scale: 3/32" = 1'-0"  
 Date: March 2021  
 Job No: 2021 - WILKINS  
 Drawn By: A.A.  
 Checked By: P.P.

Drawing No.

**A-05.6**

PLOT DATE 03/07/2024

**NOTE:** ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.



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**FRONT(NORTH) ELEVATION - WILKINS AVE**

**ELEVATION MATERIAL & COLOR LEGEND:**

KEYNOTE	DESCRIPTION
E1	SPANISH WALNUT EUROPEAN SIDING, MANUFACTURER: NEWTECHWOOD
E2	SMOOTH FINISH PORTLAND CEMENT PLASTER - COLOR: OATMEAL X-81 (68)
E3	WINDOW- FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E4	STEEL PICKET RAILING - COLOR: DARK BRONZE
E5	SHEET METAL FASCIA PANEL - COLOR: TO MATCH STUCCO (E2)
E6	WALL SCONE EXTERIOR LIGHT (SEE SPECS AT SHEET A-12.8)
E7	SLIDING GLASS DOOR & WINDOW - FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E8	PENDANT CHANDELIER
E9	WATER FEATURE AT ENTRY DOOR

**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
GIC

Drawing Title  
**NORTH  
ELEVATION**

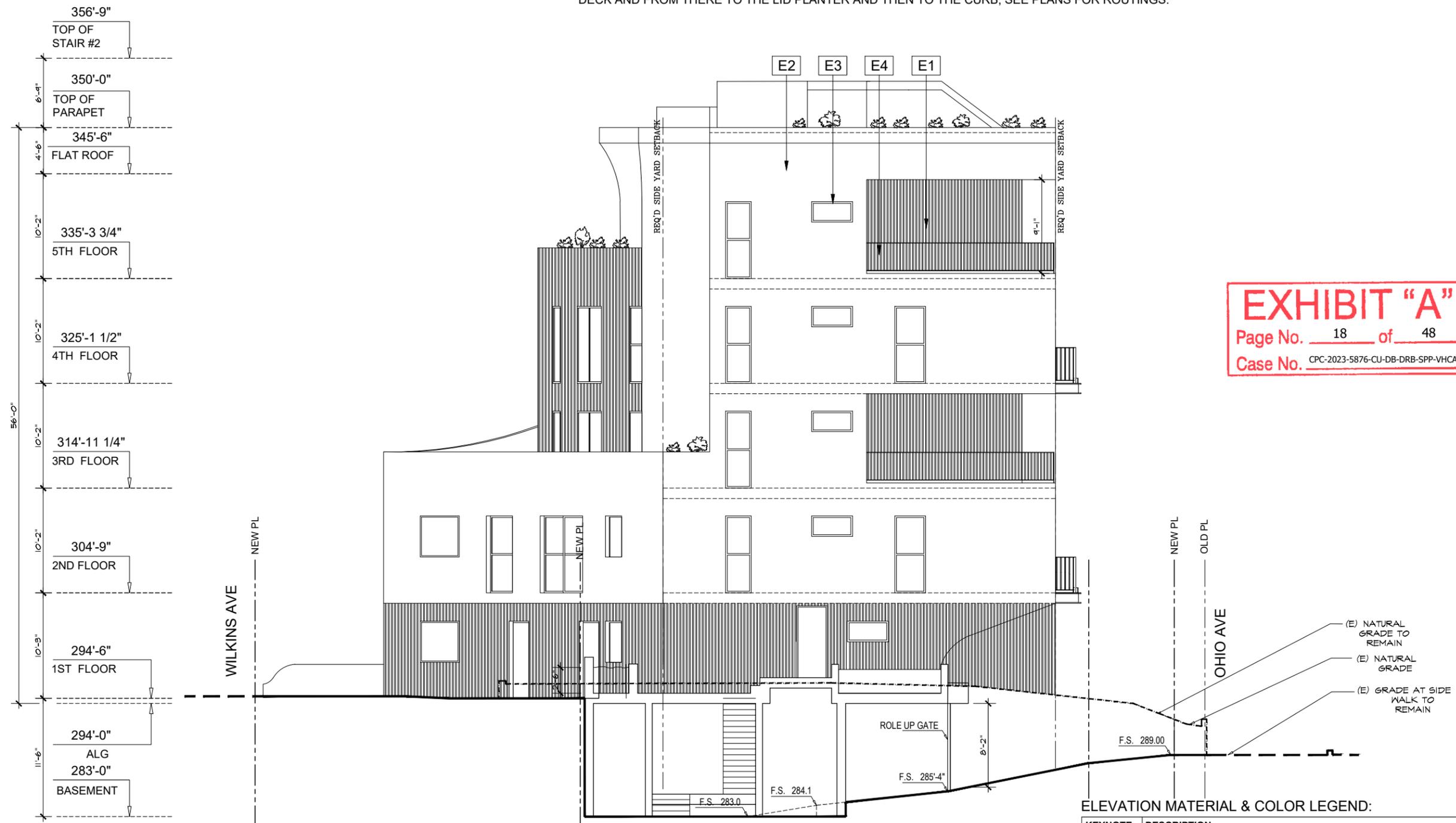
Scale: 3/32" = 1'-0"

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-07.1**

**NOTE: ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.**



**SOUTH ELEVATION**

**ELEVATION MATERIAL & COLOR LEGEND:**

KEYNOTE	DESCRIPTION
E1	SPANISH WALNUT EUROPEAN SIDING, MANUFACTURER: NEWTECHWOOD
E2	SMOOTH FINISH PORTLAND CEMENT PLASTER - COLOR: OATMEAL X-81 (68)
E3	WINDOW- FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E4	STEEL PICKET RAILING - COLOR: DARK BRONZE
E5	SHEET METAL FASCIA PANEL - COLOR: TO MATCH STUCCO (E2)
E6	WALL SCONE EXTERIOR LIGHT (SEE SPECS AT SHEET A-12.8)
E7	SLIDING GLASS DOOR & WINDOW - FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E8	PENDANT CHANDELIER
E9	WATER FEATURE AT ENTRY DOOR

**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
C/O

Drawing Title  
**SOUTH  
ELEVATION**

Scale: 3/32" = 1'-0"

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-07.2**

**NOTE: ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.**



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EAST ELEVATION - OHIO AVE

ELEVATION MATERIAL & COLOR LEGEND:

KEYNOTE	DESCRIPTION
E1	SPANISH WALNUT EUROPEAN SIDING, MANUFACTURER: NEWTECHWOOD
E2	SMOOTH FINISH PORTLAND CEMENT PLASTER - COLOR: OATMEAL X-81 (68)
E3	WINDOW- FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E4	STEEL PICKET RAILING - COLOR: DARK BRONZE
E5	SHEET METAL FASCIA PANEL - COLOR: TO MATCH STUCCO (E2)
E6	WALL SCONE EXTERIOR LIGHT (SEE SPECS AT SHEET A-12.8)
E7	SLIDING GLASS DOOR & WINDOW - FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E8	PENDANT CHANDELIER
E9	WATER FEATURE AT ENTRY DOOR

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

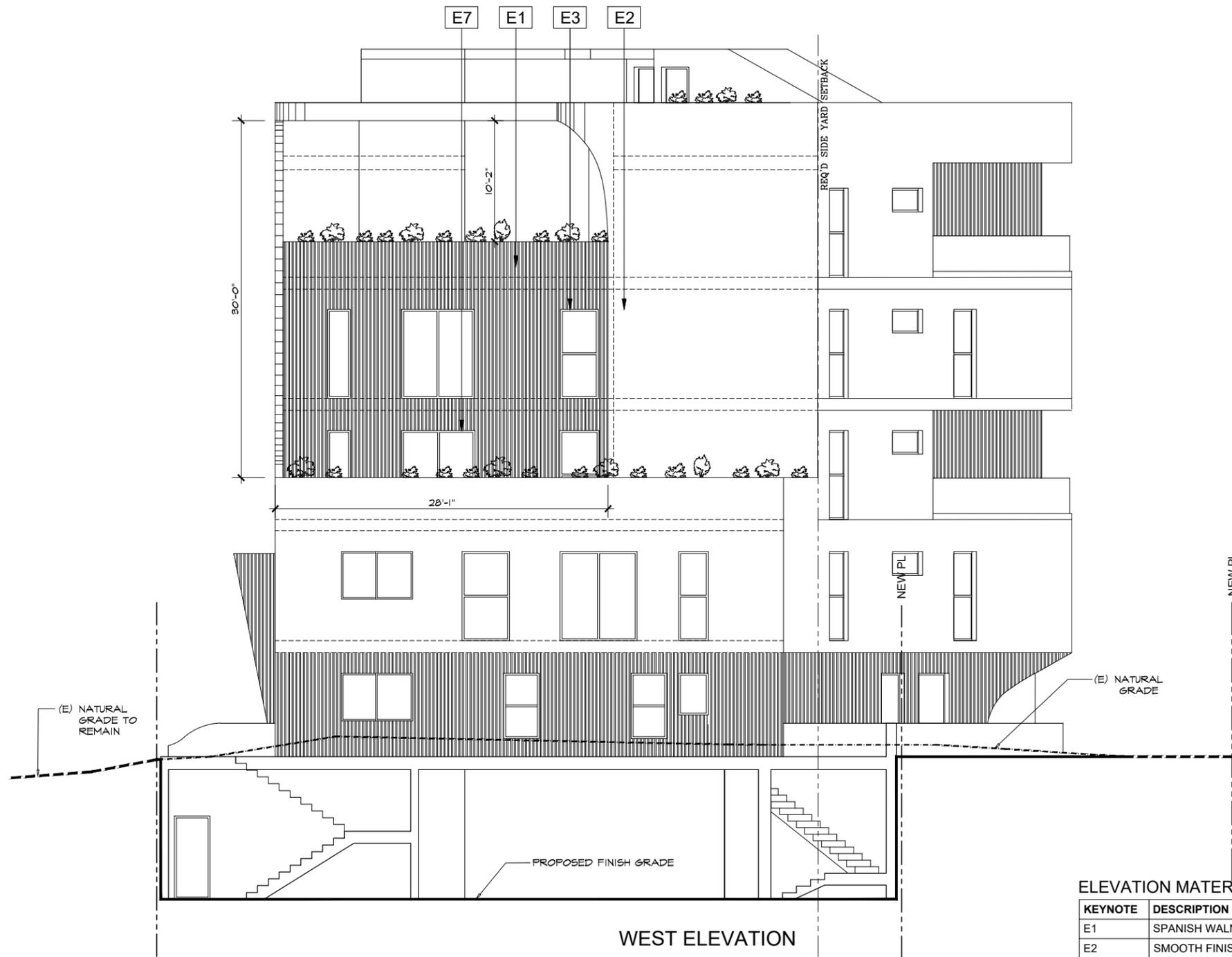
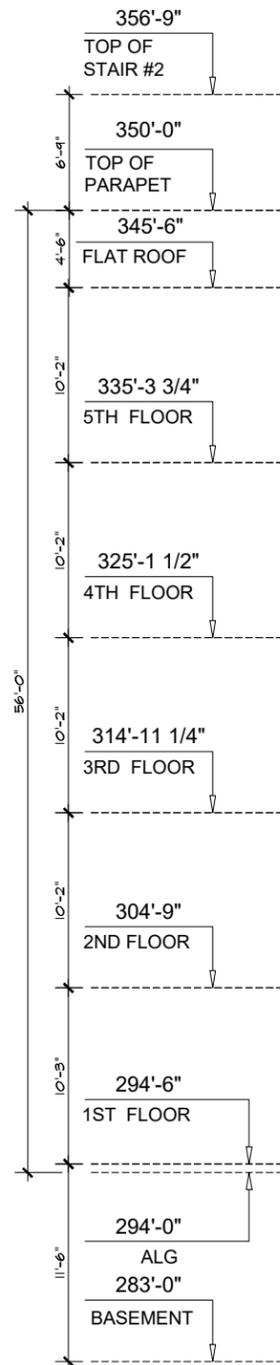
Drawing Title  
**EAST  
ELEVATION**

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-07.3**

**NOTE:** ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.



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Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

**ELEVATION MATERIAL & COLOR LEGEND:**

KEYNOTE	DESCRIPTION
E1	SPANISH WALNUT EUROPEAN SIDING, MANUFACTURER: NEWTECHWOOD
E2	SMOOTH FINISH PORTLAND CEMENT PLASTER - COLOR: OATMEAL X-81 (68)
E3	WINDOW- FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E4	STEEL PICKET RAILING - COLOR: DARK BRONZE
E5	SHEET METAL FASCIA PANEL - COLOR: TO MATCH STUCCO (E2)
E6	WALL SCONE EXTERIOR LIGHT (SEE SPECS AT SHEET A-12.8)
E7	SLIDING GLASS DOOR & WINDOW - FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE
E8	PENDANT CHANDELIER
E9	WATER FEATURE AT ENTRY DOOR

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

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OWNER:  
WILKINS OWNER  
CO

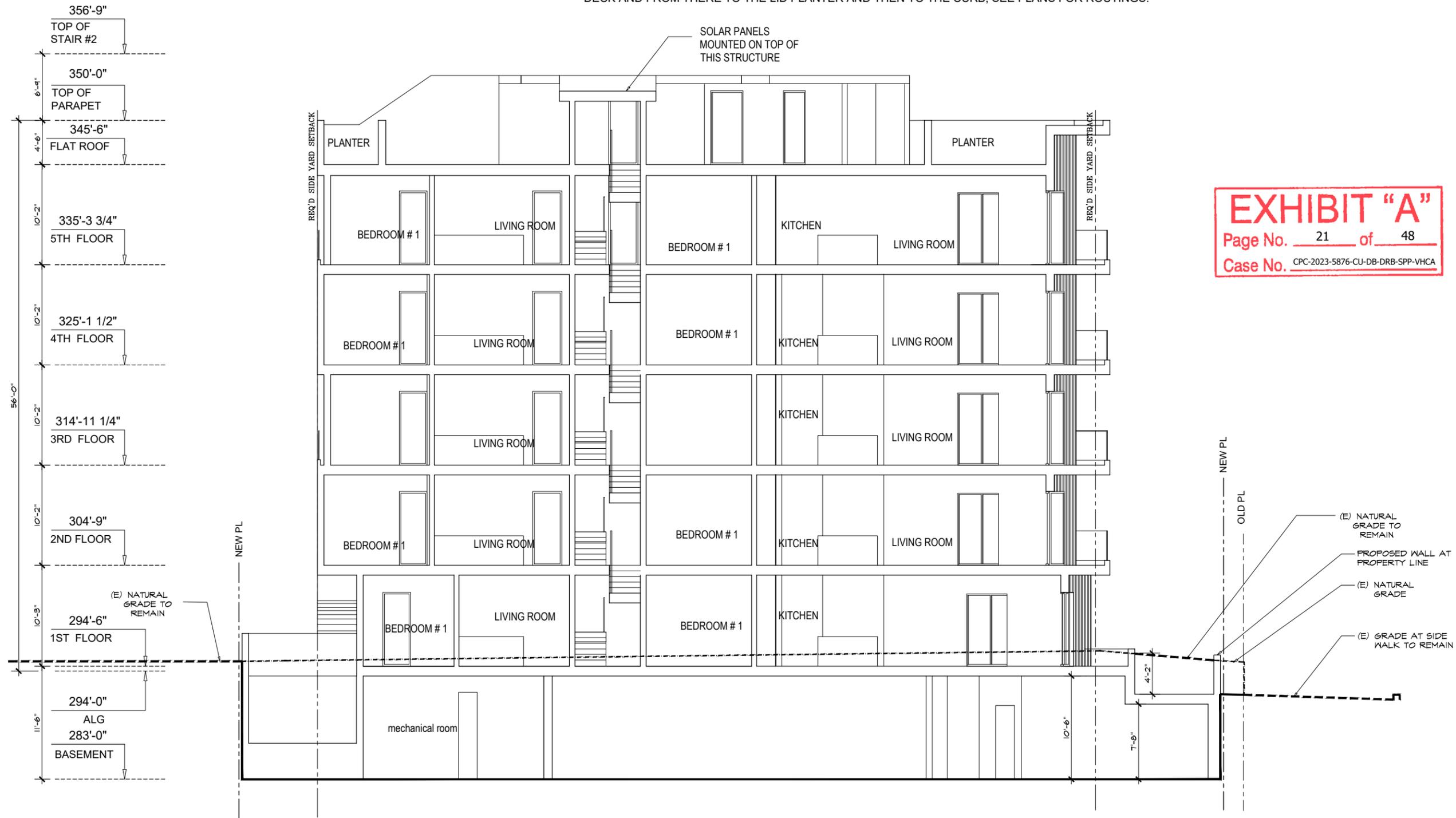
Drawing Title  
WEST  
ELEVATION

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-07.4**

**NOTE: ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.**



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**PROJECT:**  
10756 W. WILKINS AVE.  
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OWNER:  
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CO

Drawing Title  
SECTION A-A

Scale: 3/32" = 1'-0"

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

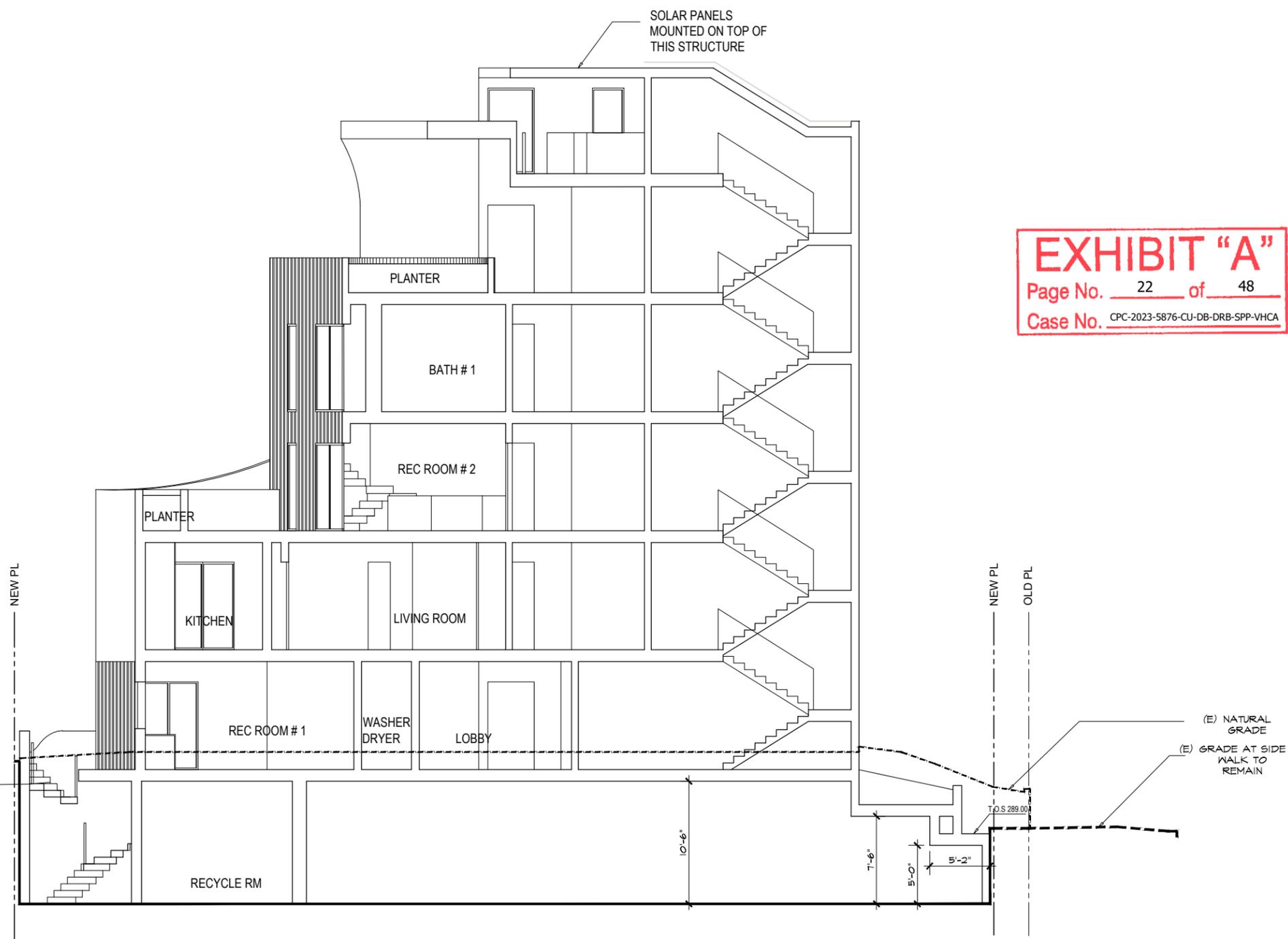
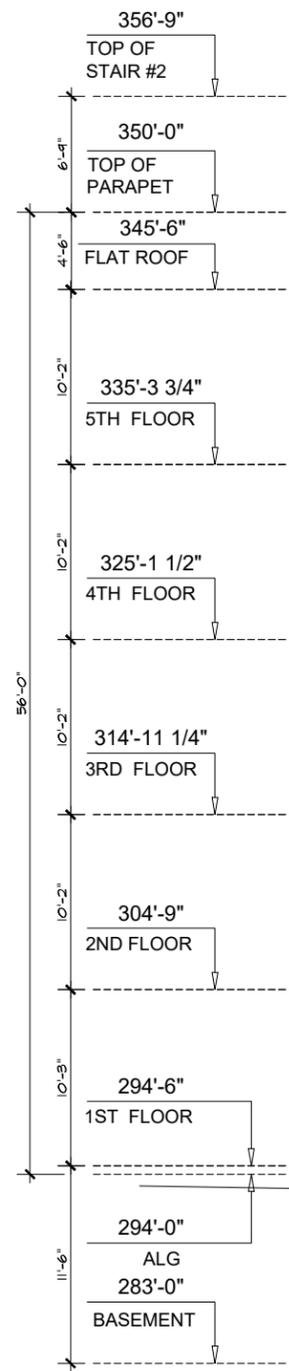
Drawing No.

**A-08.1**

**NOTE: ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.**



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**PROJECT:**  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

Revisions

OWNER:  
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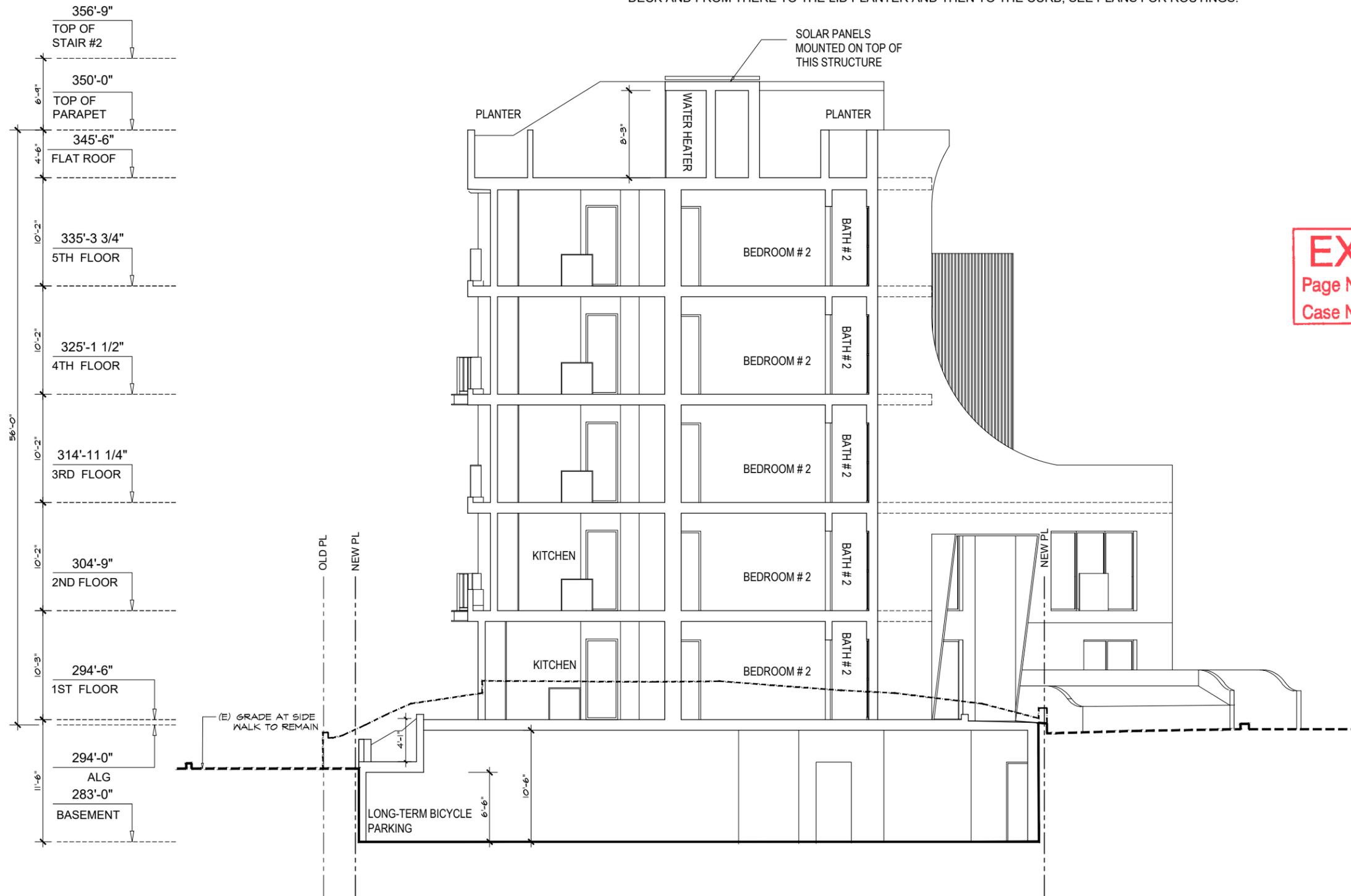
Drawing Title  
 SECTION B-B

Scale: 3/32" = 1'-0"  
 Date: March 2021  
 Job No: 2021 - WILKINS  
 Drawn By: A.A.  
 Checked By: P.P.

Drawing No.

**A-08.2**

**NOTE:** ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.



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**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
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Drawing Title  
SECTION C-C

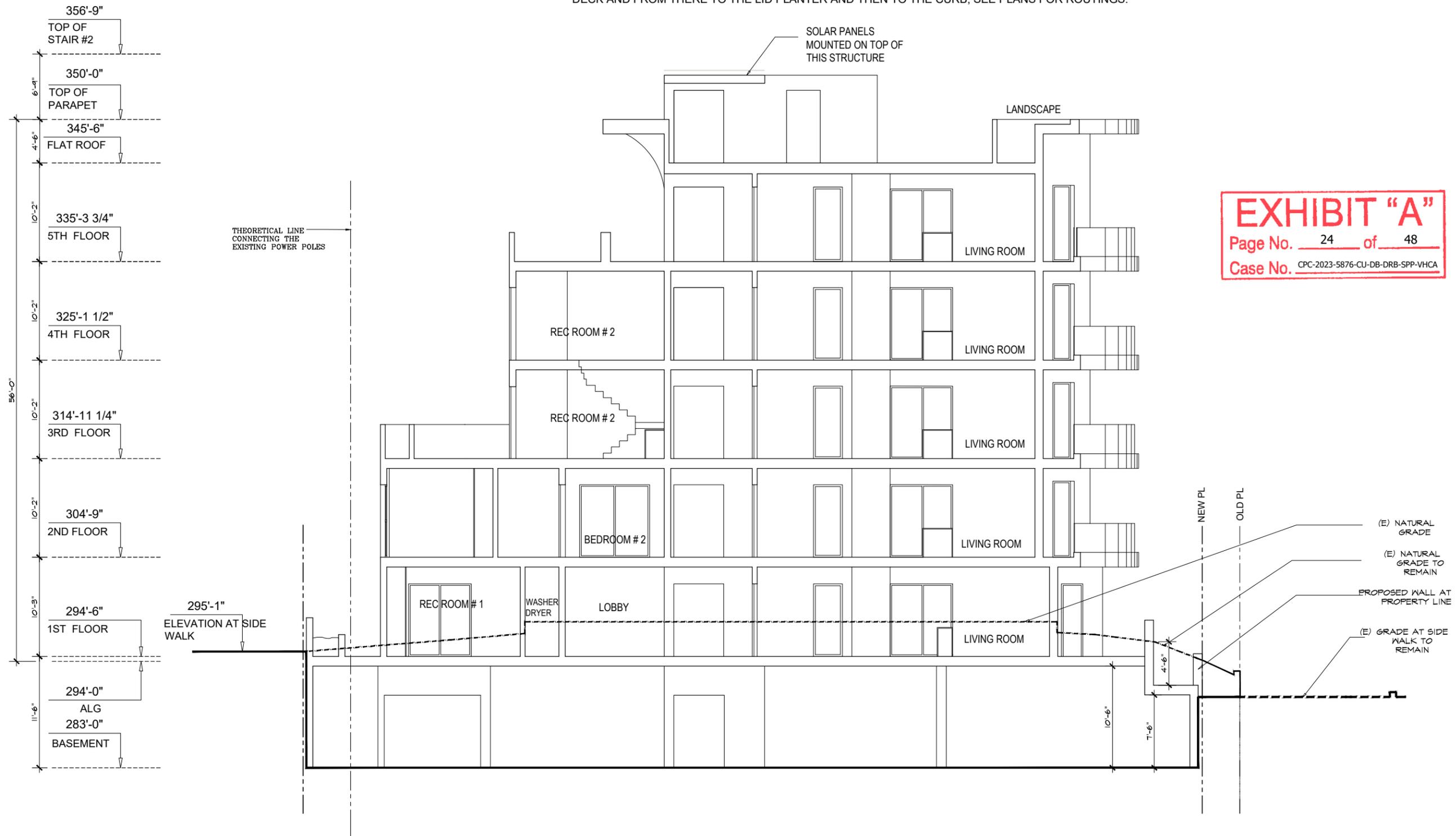
Scale: 3/32" = 1'-0"

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-08.3**

**NOTE: ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.**



**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
**SECTION D-D**

Scale: 3/32" = 1'-0"  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

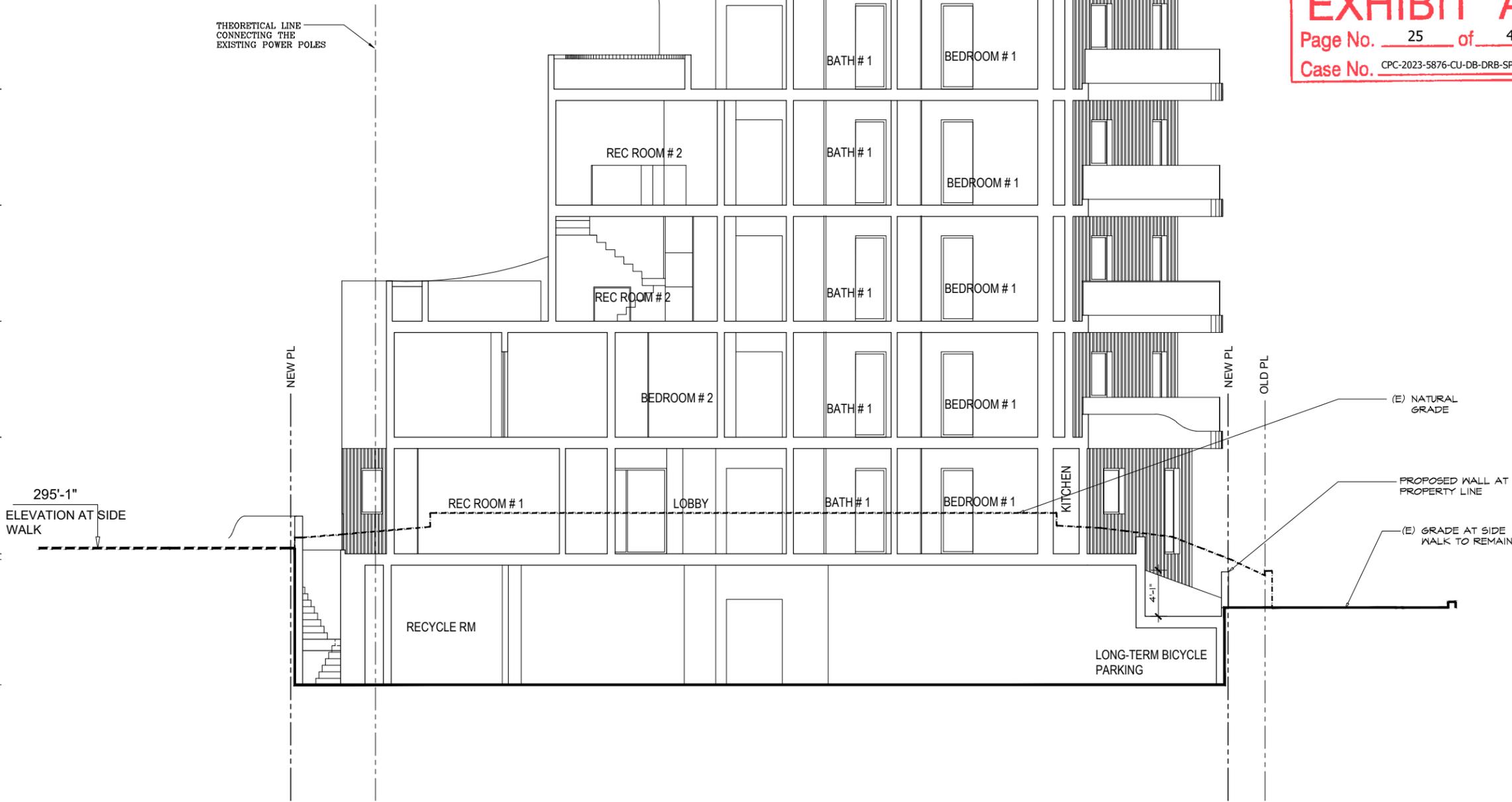
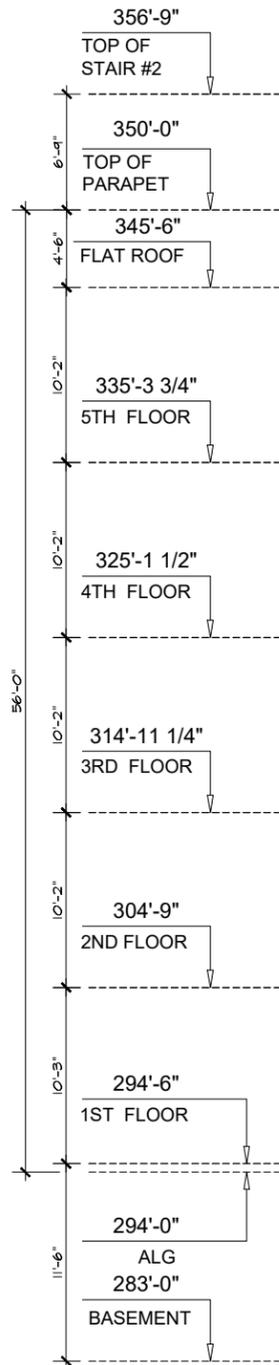
Drawing No.

**A-08.4**

**NOTE: ALL DOWNSPOUTS WILL BE ROUTED INSIDE THE BUILDING TO THE UNDER SIDE OF THE CON. DECK AND FROM THERE TO THE LID PLANTER AND THEN TO THE CURB, SEE PLANS FOR ROUTINGS.**



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**EXHIBIT "A"**  
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PROJECT:  
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Revisions

OWNER:  
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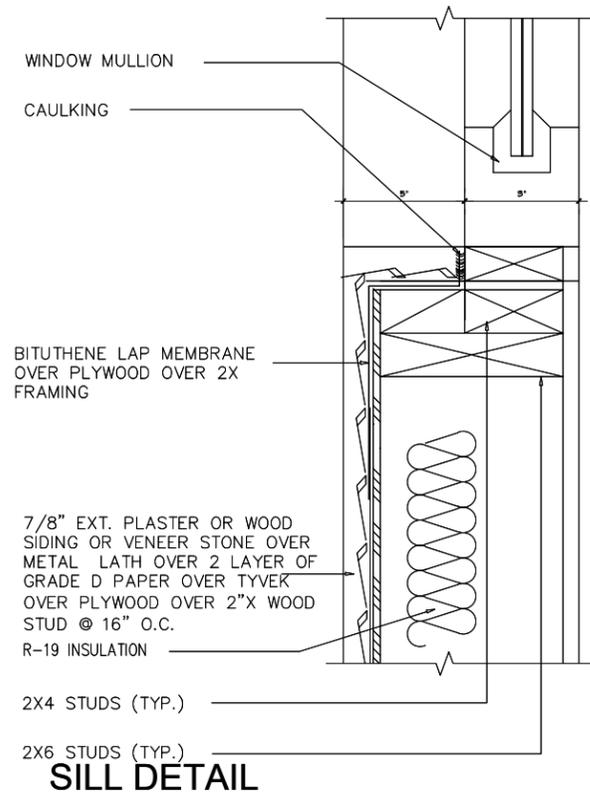
Drawing Title  
 SECTION E-E

Scale: 3/32" = 1'-0"

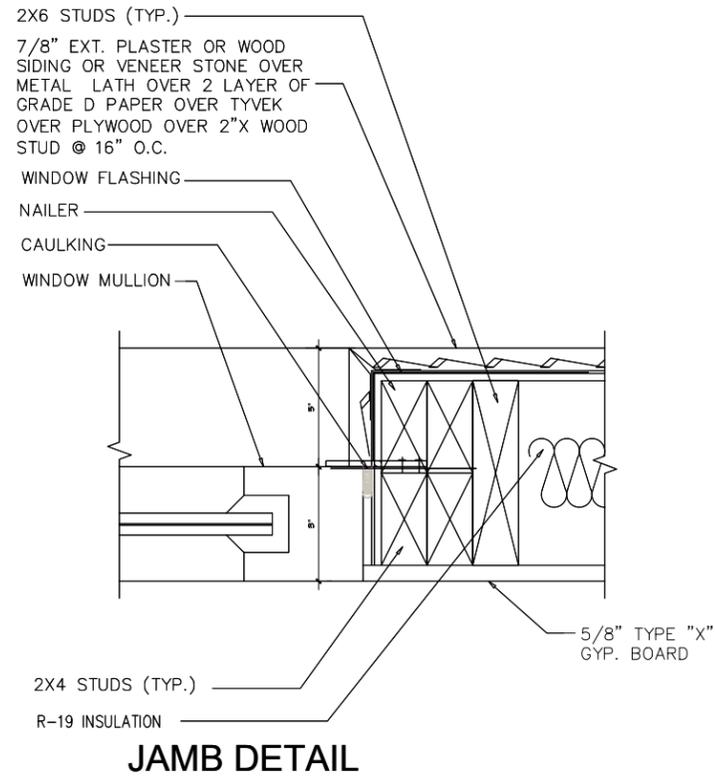
Date: March 2021  
 Job No: 2021 - WILKINS  
 Drawn By: A.A.  
 Checked By: P.P.

Drawing No.

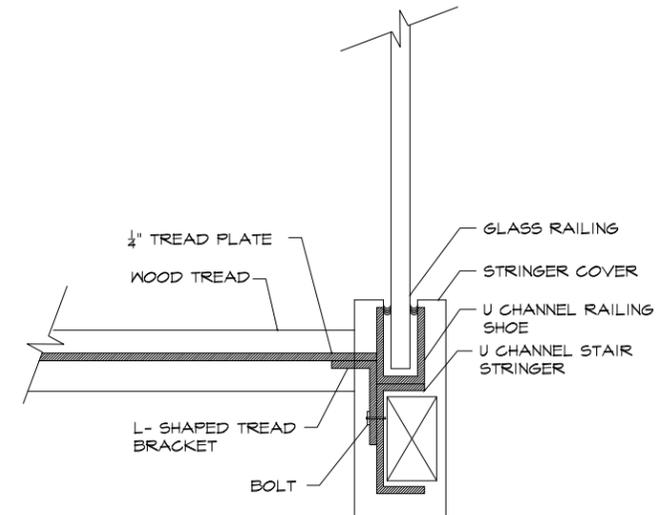
**A-08.5**



**SILL DETAIL**

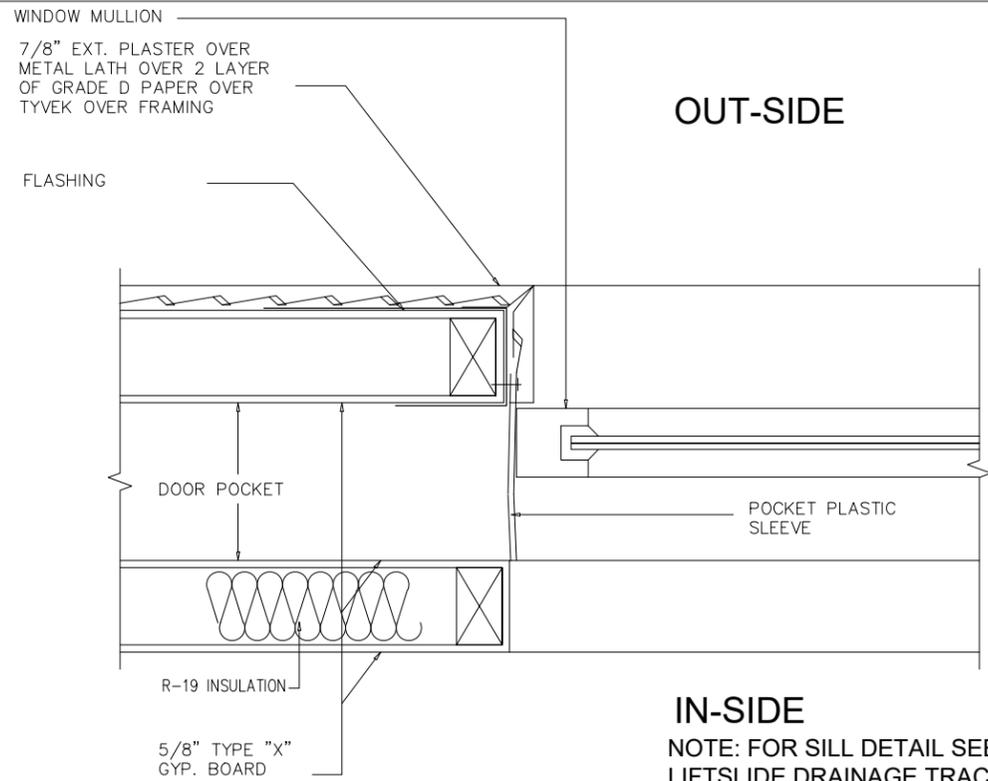


**JAMB DETAIL**

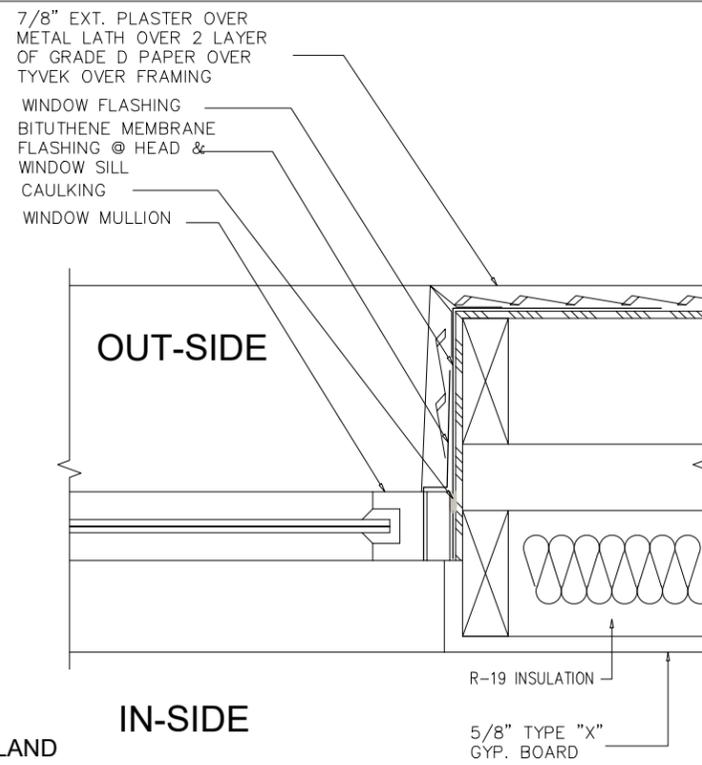


**2 RAILING @ BALCONY**

**1 RECESSED WINDOW AND DOOR DETAIL @ FRONT ELEVATION**



**JAMB DETAIL ON POCKET SIDE**



**JAMB DETAIL ON WALL SIDE**

**3 RECESSED POCKET DOOR DETAIL @ FAMILY ROOM**

**EXHIBIT "A"**  
Page No. 26 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

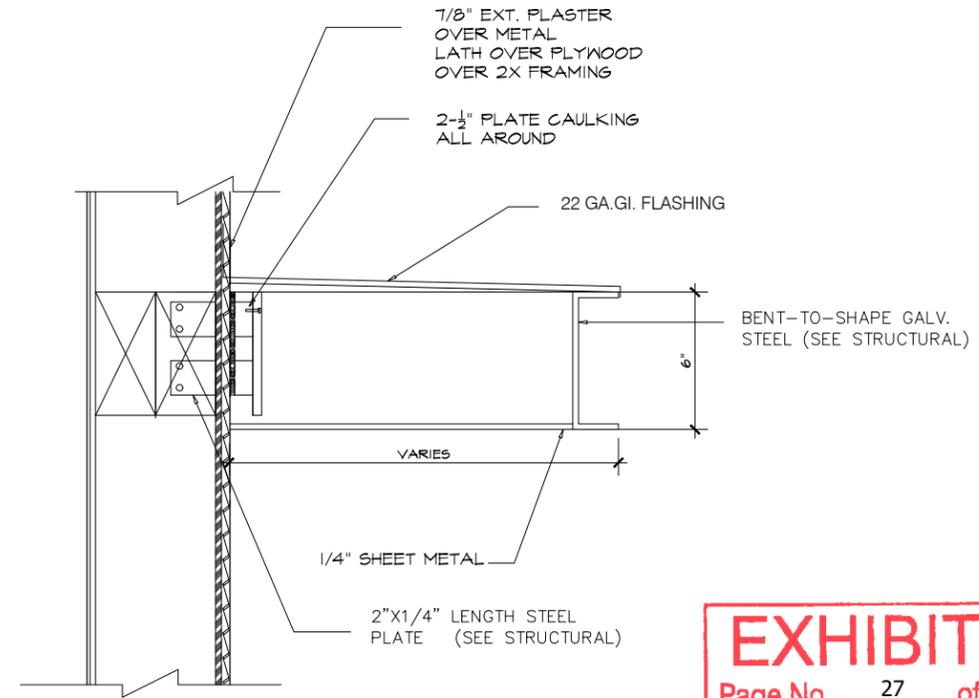
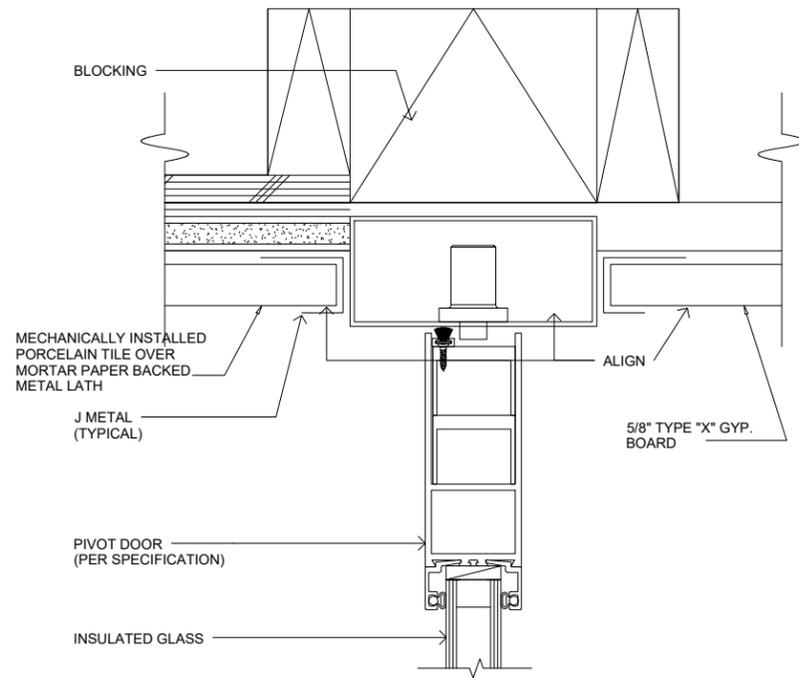
Drawing Title  
**DETAILS**

Scale: 3/32" = 1'-0"

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

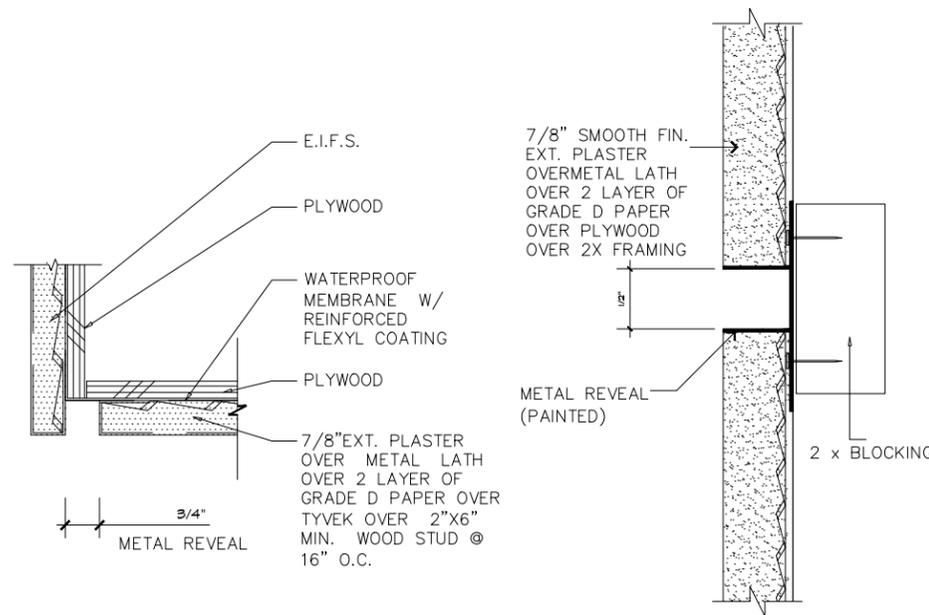
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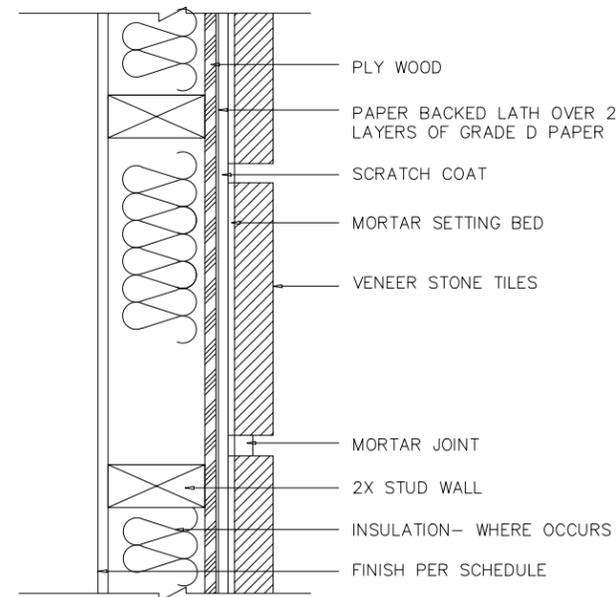
**EXHIBIT "A"**  
Page No. 27 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

**1** ENTRY PIVOT DOOR HEAD DETAIL

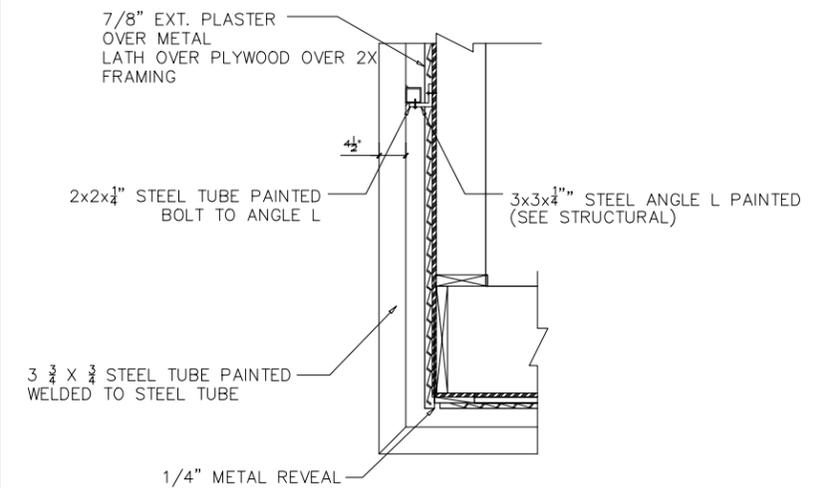
**2** METAL AWNING DETAIL



**3** METAL REVEAL DETAIL



**4** STONE INSTALLATION DETAIL



**5** METAL SCREEN WALL DETAIL



**EXHIBIT "A"**  
Page No. 28 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title

MATERIAL BOARD

Scale:

Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-12.1**

PLOT DATE 03/07/2024

<p><b>E1 WOOD SIDING</b></p> <p>SPANISH WALNUT EUROPEAN SIDING, MANUFACTURER: NEWTECHWOOD</p> 	<p><b>E2 CEMENT PLASTER</b></p> <p>EXTERIOR PORTLAND CEMENT PLASTER BY LAHABRA OR EQUAL</p>  <p>Oatmeal X-81 (68) Base 200</p>	<p><b>E3 WINDOW</b></p> <p>WINDOW- FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE</p> 	<p><b>E4 PICKET RAILING</b></p> <p>PAINTED STEEL PICKET RAILING - COLOR DARK BRONZE</p> 	<p><b>E5 SHEET METAL</b></p> <p>SHEET METAL FASCIA PANEL - COLOR TO MATCH STUCCO (E2)</p>  <p>Oatmeal X-81 (68) Base 200</p>	<p><b>E6 EXTERIOR LIGHTING</b></p> <p>WALL SCONCE LIGHT</p> 	<p><b>E7 SLIDING GLASS</b></p> <p>DOOR &amp; WINDOW FRAME COLOR ON EUROPEAN SIDING FACADE TO BE STATUARY BRONZE AND FRAME COLOR ON EXTERIOR PLASTER FACADE TO BE WHITE</p> 
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**EXHIBIT "A"**  
Page No. 29 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
**RENDERING**

Scale:  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**PHOTO MONTAGE**

**A-12.2**



**EXHIBIT "A"**  
Page No. 30 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
**RENDERING**

Scale:  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**PHOTO MONTAGE**

**A-12.3**



Tel: 818.200.5005

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**EXHIBIT "A"**  
Page No. 31 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
RENDERING

Scale:  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

PHOTO MONTAGE

A-12.4



**EXHIBIT "A"**  
Page No. 32 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
**RENDERING**

Scale:  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**PHOTO MONTAGE**

**A-12.5**



WALL SCONCE LIGHT FIXTURES,  
REFER TO FLOOR PLANS FOR LOCATIONS (⊕)

**WINDFALL WALL SCONCE**

Modern, crisp lines and a slim profile combine in the handsome Windfall LED outdoor fixture. Indirect light bounces off the smooth, matte finish of the back plate to create a gentle glow for way-finding in outdoor corridors and walkways.

**Outstanding protection against the elements:**

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

**SPECIFICATIONS**

DELIVERED LUMENS	1680
WATTS	20
VOLTAG	120V, 277V
DIMMING	EVV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Wall
CCT	3000K
CRI	80
COLOR RENDERING	3-Steps
BUG RATING	IFA
DARK SKY	Non-compliant
WET LISTED	WES
GENERAL LISTING	ETL-ADA
CALIFORNIA TITLE 24	Can be used to comply with CECS 1616.24 Part 4.6.1a provided you register as a UL EFC Appliance Database not required.
SHADE TEMP	30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HAZARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70 70,000 Hours
WARRANTY**	5 years
WEIGHT	5 lbs.

\*\* All tech lighting.com for specific warranty information and details.

**WINDFALL WALL SCONCE**

**PHOTOMETRICS\***

WINDFALL	70
Total Lumen Output:	1680
Total Power:	20
Luminaire Efficacy:	84
Color Temp:	3000K
CRI:	80
BUG Rating:	N/A

**PROJECT INFO**

TITLE, TYPE & QUANTITY	JOBNAME & DATE	NOTES
------------------------	----------------	-------

**ORDERING INFORMATION**

7000WIND	120V	LED
7000WIND	277V	LED

© 2019 Tech Lighting, LLC. All rights reserved. The "Tech Lighting" mark is a registered trademark of Tech Lighting, LLC. For a full list of products, please visit [www.techlighting.com](http://www.techlighting.com) for product information and literature.

**SPECIFICATIONS**

**EXHIBIT "A"**  
Page No. 33 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
**EXTERIOR  
LIGHT FIXTURES  
SPECS**

Scale:  
Date: March 2021  
Job No: 2021 - WILKINS  
Drawn By: A.A.  
Checked By: P.P.

Drawing No.

**A-12.8**

**LIGHTING LEGEND**

⊕ UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.voltlighting.com/>

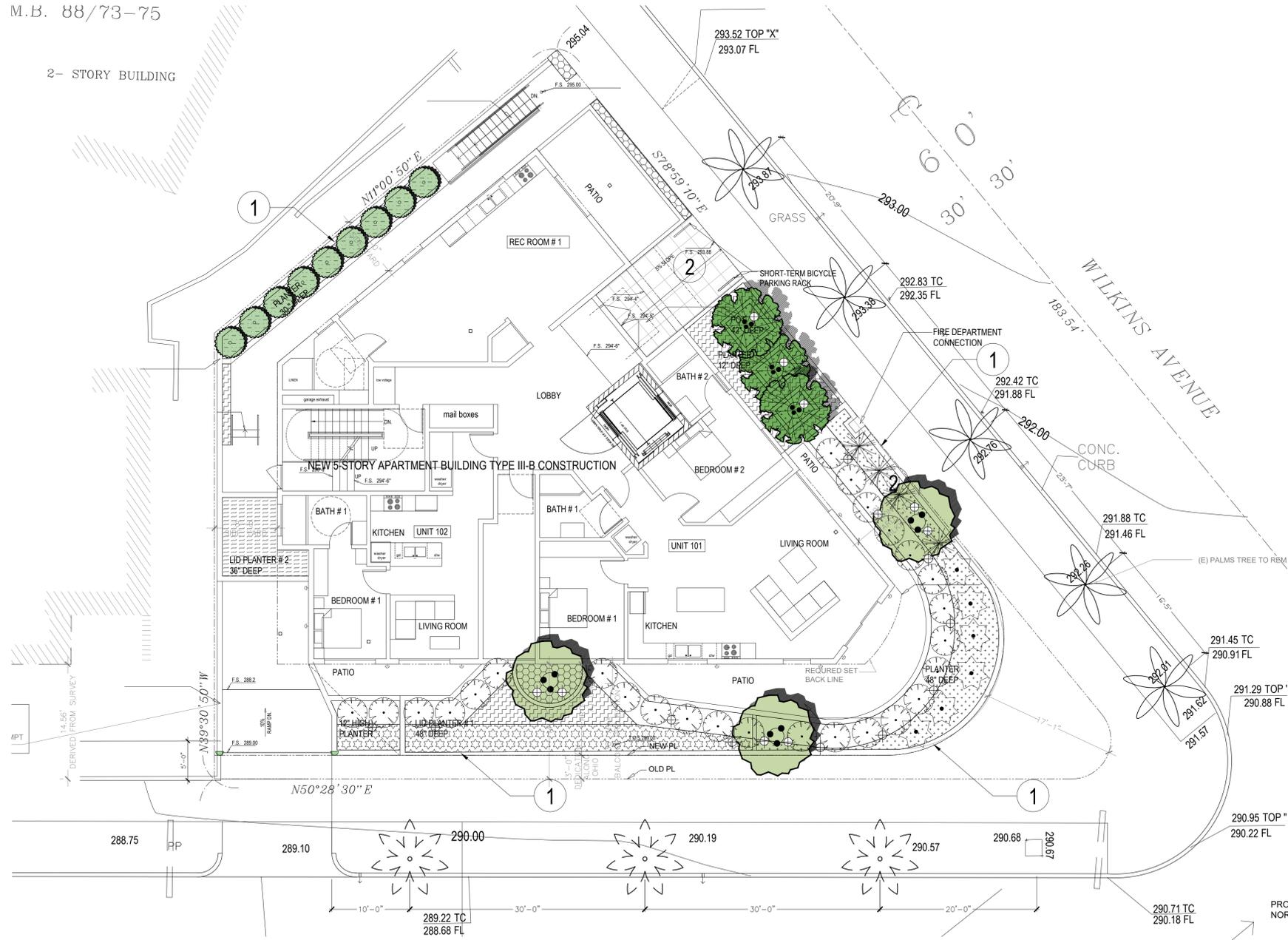


⊙ PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ



REFER TO LANDSCAPE PLANS SHEET LP-3 FOR  
THE LOCATION OF LIGHTINGS

2- STORY BUILDING



**1 PLANTING PLAN - FIRST FLOOR**  
SCALE: 1/8" = 1'-0"

**LIGHTING LEGEND**  
UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.vollighting.com/>



**KEYNOTES**  
1. CONC. PLANTER  
2. TILE PAVING  
TILETECH PORCELAIN PAVER  
24"x24" TERRAZZO GRAY BLACK  
[www.tiletechpavers.com](http://www.tiletechpavers.com)



WESTWOOD SPECIFIC PLAN SECTION 3.B.: WHENEVER THIS SPECIFIC PLAN CONTAINS PROVISIONS WHICH DIFFER FROM PROVISIONS CONTAINED IN CHAPTER 1 OF THE LOS ANGELES MUNICIPAL CODE, THE SPECIFIC PLAN SHALL PREVAIL AND SUPERSEDE THE APPLICABLE PROVISIONS OF THAT CODE.

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".



**PLANTING LEGEND**

TREES	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
OLEA EUROPAEA 'SWAN HILL' FRUITLESS OLIVE TREE	24" BOX/ 3 EA.	LOW	25'-30' HT. & 25'-30' W.	10-15 YRS.
ARBUTUS 'MARINA' STRAWBERRY TREE	24" BOX/ 3 EA.	LOW	20'-30' HT. & 15'-20' W.	8-10 YRS.
PRUNUS ILICIFOLIA SSP. ILICIFOLIA CATALINA CHERRY	15 GAL./ 9 EA.	LOW	25'-30' HT. & 6'-20' W.	10-15 YRS.
PITTIOSPORUM TENUIFOLIUM 'SILVER SHEEN' SILVER SHEEN KOHUU	15 GAL./ 27 EA.	MODERATE	12'-15' HT. & 6'-8' W.	10-20 YRS.
EXISTING STREET TREE (QUEEN PALMS) TO REMAIN				
NEW STREET TREE SPECIES AND SIZES PER URBAN FORESTRY STREET TREE DIV.				

**NOTE:**  
1. STREET TREES SHALL BE APPROVED BY THE STREET TREE DIVISION OF THE BUREAU OF STREET MAINTENANCE AND SHALL BE PLANTED AT A MINIMUM RATIO OF ONE FOR EVERY 30 LINEAL FEET OF STREET FRONTAGE ABUTTING THE PROJECT.  
2. STREET TREES SHALL BE AT LEAST 12 FEET IN HEIGHT AND NOT LESS THAN THREE INCHES IN CALIPER AT THE TIME OF PLANTING.

SHRUBS AND GROUNDCOVER	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
DASYLIUM WHEELERI DESERT SPOON	5 GAL./ 4 EA.	LOW	3'-5' HT. & 4'-5' W.	15-25 YRS.
AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL./ 6 EA.	LOW	4'-5' HT. & 6'-8' W.	7-10 YRS.
DIETES BICOLOR FORTNIGHT LILY (SUITABLE FOR LID PLANTERS)	1 GAL. @ 30" O.C./ 13 EA.	LOW	2'-3' HT. & 2'-3' W.	2-3 YRS.
JUNCUS PATENS 'ELK BLUE' CALIFORNIA GREY RUSH (SUITABLE FOR LID PLANTERS)	1 GAL. @ 24" O.C./ 52 EA.	LOW	1'-2' HT. & 2'-3' W.	2-3 YRS.
ALOE X 'BLUE ELF' BLUE ELF ALOE	1 GAL. @ 18" O.C./ 26 EA.	LOW	1'-2' HT. & 1'-2' W.	2-3 YRS.
CAREX TUMULICOLA BERKELEY SEDGE	1 GAL. @ 18" O.C./ 41 EA.	LOW	1'-2' HT. & 2'-3' W.	1-2 YRS.
SENECIO MANDRALISCAE KLEINIA	1 GAL. @ 12" O.C./ 241 EA.	LOW	1'-2' HT. & 1'-2' W.	1-2 YRS.
ARCHILLEA MILLEFOLIUM COMMON YARROW (SUITABLE FOR LID PLANTERS)	1 GAL. @ 12" O.C./ 164 EA.	LOW	1'-2' HT. & 1'-2' W.	1-2 YRS.

**TABLE OF PROVIDED OPEN SPACE (CONTRIBUTED TOWARDS REQUIRED OPEN SPACE):**

LOCATION	HARD-SCAPE	LAND-SCAPE	TOTAL AREA	% LAND-SCAPE	CONTRIBUTED TOWARD OPEN SPACE
<b>OPEN SPACE AT GRADE</b>					
FRONT YARDS	960 SF	1263 SF	2223 SF	56%	1111 SF
<b>OPEN SPACE ABOVE GRADE</b>					
LEVEL 3 PRIVATE PATIO	326 SF	221 SF	547 SF	41%	2784 SF*
LEVEL 5 COMMON PATIO	136 SF	93 SF	229 SF	41%	
ROOF TOP DECK # 1	734 SF	595 SF	1329 SF	44%	
ROOF TOP DECK # 2	407 SF	272 SF	679 SF	41%	
SUB-TOTAL:	1603 SF	1181 SF	2784 SF	--	
<b>TOTAL:</b>					<b>3,895 SF</b>

**TABLE OF PROVIDED LANDSCAPE AT SIDE-YARD (NOT CONTRIBUTED TOWARDS OPEN SPACE):**

LOCATION	HARDSCAPE	LANDSCAPE	TOTAL AREA	LANDSCAPE %
WEST SIDE-YARD	178 SF	180 SF	358 SF	51%
SIDE-YARD	190 SF	161 SF	321 SF	51%

REQUIRED # OF TREES: 15 DU / 4 TREES  
TREES PROVIDED: 3 TREES / 6 TREES



**SQLA INC**  
Landscape Architects  
380 N. PALM ST. SUITE B 1, 542-905-0800 (Main)  
BREA, CA, 92821  
los@sqlainc.com  
www.sqlainc.com



Tel: 818.200.5005  
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**EXHIBIT "A"**  
Page No. 34 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER CO

Drawing Title  
PLANTING PLAN - FIRST FLOOR

Scale: AS SHOWN

Date: March 2021  
Job No: SQLA# 22193  
Drawn By: D.P.  
Checked By: S.K.

Drawing No.

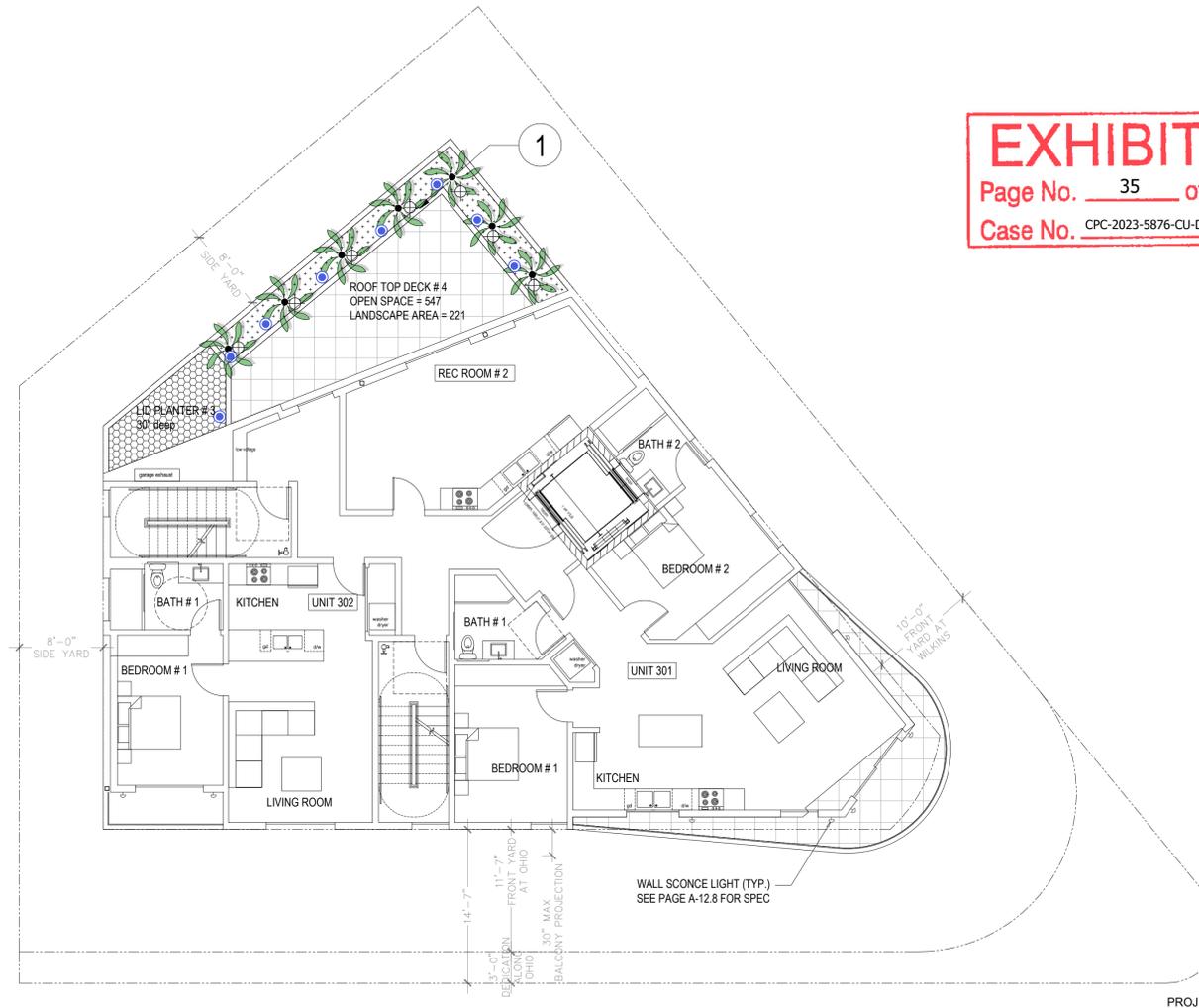
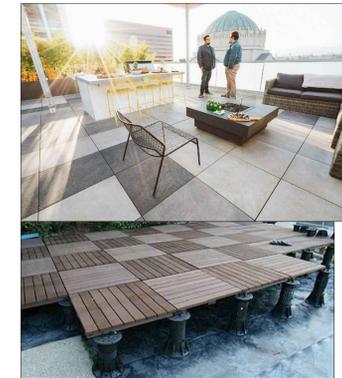
LP-1

PLOT DATE: 10/26/2021

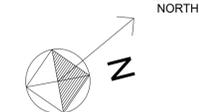
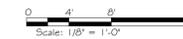
**EXHIBIT "A"**  
Page No. 35 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

**KEYNOTES**

- BUILT-IN PLANTER PER ARCH.
- TILE PAVING OVER PEDESTALS  
TILETECH PORCELAIN PAVER  
24"x24" STONE SERIES PAVER  
COLOR: GRAY STONE  
www.tiletechpavers.com



**1 PLANTING PLAN - 3RD FLOOR**  
SCALE: 1/8" = 1'-0"



**LIGHTING LEGEND**



UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
https://www.voltlighting.com/



PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ



**PLANTING LEGEND**

TREES	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM	15 GAL / 7 EA.	LOW	10'-20' HT. & 10'-20' W.	8-10 YRS.

SHRUBS AND GROUNDCOVER	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
DIETES BICOLOR FORTNIGHT LILY (SUITABLE FOR LID PLANTERS)	1 GAL @ 24" O.C. / 18 EA.	LOW	2'-3' HT. & 2'-3' W.	2-3 YRS.
SENECIO MANDRALISCAE KLEINIA	1 GAL @ 12" O.C. / 119 EA.	LOW	1'-2' HT. & 1'-2' W.	1-2 YRS.

TOTAL OPEN SPACE AREA PROVIDED: 547 SF.  
LANDSCAPE AREA PROVIDED: 221 SF. (40%)



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
PLANTING PLAN  
- THIRD FLOOR

Scale: AS SHOWN

Date: March 2021  
Job No: SQLA# 22193  
Drawn By: D.P.  
Checked By: S.K.

Drawing No.



**SQLA INC**  
Landscape Architects  
380 N. PALM ST. SUITE B | T. 562-905-0800 (Main)  
BREA, CA 92821 | F. 562-905-0890  
lo@sqlainc.com | www.sqlainc.com | T. 213-383-1788 (Studio)

LP-2

PLOT DATE: 10/26/2021



**EXHIBIT "A"**  
Page No. 36 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

**1 PLANTING PLAN - FIFTH FLOOR**  
SCALE: 1/8" = 1'-0"



**LIGHTING LEGEND**

UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
<https://www.vollighting.com/>



PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ

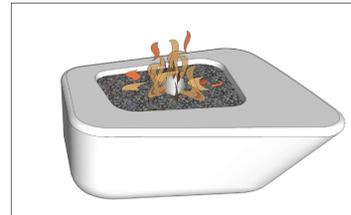


**KEYNOTES**

1. SQUARO PLANTER POT BY B2G



2. BUILT-IN PLANTER PER ARCH.  
3. SQUARISH FIREPIT BY B2G



4. TILE PAVING OVER PEDESTALS  
TILETECH PORCELAIN PAVER  
24"x24" STONE SERIES PAVER  
COLOR: GRAY STONE  
[www.tiletechpavers.com](http://www.tiletechpavers.com)



**PLANTING LEGEND**

TREES	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
GEIJERA PARVIFLORA AUSTRALIAN WILLOW	15 GAL./ 1 EA.	LOW	25'-30" HT. & 15'-18" W.	10-15 YRS.
RHAPIS EXCELSA LADY PALM	15 GAL./ 7 EA.	MODERATE	6'-12" HT. & 6'-10" W.	6-8 YRS.
RAVENEA RIVULARIS MAJESTIC PALM	15 GAL./ 1 EA.	LOW	10'-12" HT. & 5'-10" W.	6-8 YRS.

**SHRUBS AND GROUNDCOVER**

	SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
LIRIOPE SPICATA CREEPING LIRIOPE	1 GAL. @ 24" O.C. / 38 EA.	MODERATE	1'-2" HT. & 1'-2" W.	2-3 YRS.

TOTAL COMMON OPEN SPACE AREA PROVIDED: 229 SF.  
LANDSCAPE AREA PROVIDED: 93 SF. (41%)



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".



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**EXHIBIT "A"**  
Page No. 37 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA



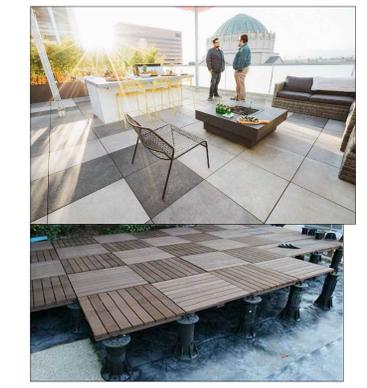
**1 PLANTING PLAN - ROOF DECK**  
SCALE: 1/8" = 1'-0"



<b>TOTAL OPEN SPACE AREA PROVIDED:</b>	2,008 SF.
ROOF DECK #1:	1,329 SF.
ROOF DECK #2:	679 SF.
<b>TOTAL LANDSCAPE AREA PROVIDED:</b>	867 SF.
ROOF DECK #1:	595 SF.
ROOF DECK #2:	272 SF.

PLANTING LEGEND		SIZE & QUAN.	WUCOLS	SIZE @ MATURITY	YEARS TO MATURITY
<b>TREES</b>					
	ARBUTUS 'MARINA' STRAWBERRY TREE	15 GAL./ 2 EA.	LOW	20'-30' HT. & 15'-20' W.	8-10 YRS.
	CHAMAEROPS HUMILIS MEDITERRANEAN FAN PALM	15 GAL./ 12 EA.	LOW	10'-20' HT. & 10'-20' W.	8-10 YRS.
<b>SHRUBS AND GROUNDCOVER</b>					
	AGAVE ATTENUATA FOXTAIL AGAVE	5 GAL./ 6 EA.	LOW	4'-5' HT. & 6'-8' W.	7-10 YRS.
	YUCCA FILAMENTOSA 'BRIGHT EDGE' BRIGHT EDGE YUCCA	5 GAL./ 6 EA.	LOW	3'-4' HT. & 4'-5' W.	4-5 YRS.
	ALOE X 'BLUE ELF' BLUE ELF ALOE	5 GAL./ 42 EA.	LOW	1'-2' HT. & 1'-2' W.	2-3 YRS.
	DIETES BICOLOR FORTNIGHT LILY	1 GAL. @ 24"O.C./ 7 EA.	LOW	2'-3' HT. & 2'-3' W.	2-3 YRS.
	SENECIO MANDRALISCAE KLEINIA	1 GAL. @ 12"O.C./ 658 EA.	LOW	1'-2' HT. & 1'-2' W.	1-2 YRS.

**KEYNOTES**  
1. BUILT-IN PLANTER PER ARCH.  
2. TILE PAVING OVER PEDESTALS  
TILETECH PORCELAIN PAVER  
24"x24" STONE SERIES PAVER  
COLOR: GRAY STONE  
www.tiletechpavers.com



**LIGHTING LEGEND**  
UPLIGHT  
VOLT ALL STAR CAST BRASS SPOTLIGHT  
VAL-2000-4-BBZ  
https://www.vollighting.com/



PATH LIGHT  
VOLT ELEVATOR CAST BRASS PATH LIGHT  
VPL-3024-4-BBZ



**PROJECT:**  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
PLANTING PLAN  
- ROOF DECK

Scale: AS SHOWN

Date: March 2021  
Job No: SQLA# 22193  
Drawn By: D.P.  
Checked By: S.K.

Drawing No.



**SQLA INC**  
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BREA, CA 92821 F. 542-905-0890  
la@sqlainc.com www.sqlainc.com T. 213-383-1788 (Studio)

**LP-4**

PLOT DATE 10/26/2021

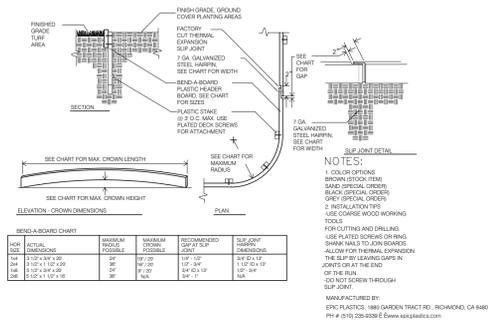
"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

LANDSCAPE PLANTING NOTES

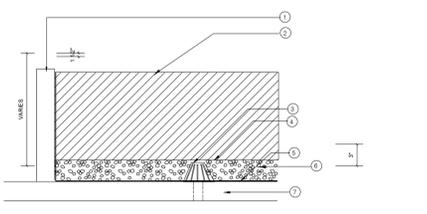
1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES FOR THE COMPLETE INSTALLATION AS DESCRIBED BY THE LANDSCAPE DRAWINGS
2. ANY DEVIATION FROM THE PLAN IS TO HAVE PRIOR WRITTEN APPROVAL BY THE OWNER OR HIS REPRESENTATIVE.
3. THE LANDSCAPE CONTRACTOR IS TO REMOVE ALL WEEDS AND OR GRASSES (INCLUDING THE ROOTS) EXISTING IN THE PROPOSED GROUND COVER AREA.
4. THE PROPOSED GROUND COVER AREA SHALL RECEIVE THE PRE-EMERGENT HERBICIDE SURFLAN 75W PER MANUFACTURER'S INSTRUCTIONS. APPLICATION OF THIS HERBICIDE SHALL BE DONE BY PERSONNEL LICENSED TO HANDLE AGRICULTURAL CHEMICALS.
5. ROUGH GRADING OTHER THAN THAT NOTED ON THE LANDSCAPE FINISH GRADING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. FINISH GRADING WILL CONSIST OF RAKING ALL AREAS TO A SMOOTH GRADE, LOOSENING THE SOIL TO A DEPTH OF 6" AND REMOVING ALL ROCKS OR CLODS OF 2" DIAMETER OR LARGER. FINISH GRADE IS TO BE 2" BELOW TOP OF ADJACENT CURBS AND SIDEWALKS.
6. SOIL PREPARATION FOR ALL LANDSCAPE AREAS PLEASE SEE WALLACE LAB RECOMMENDATION.
7. ALL ROCK OR UNBROKEN SOIL CLODS OVER 1" IN DIAMETER BROUGHT TO THE SURFACE ARE TO BE REMOVED FROM THE SITE.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE HORTICULTURAL SOILS FERTILITY REPORT PRIOR TO SOIL PREPARATION AND PLANT INSTALLATION. SOIL CONDITIONING AMENDMENTS AND PLANTING BACKFILL MIXES SHALL BE IN ACCORDANCE TO WALLACE LABORATORIES, LLC RECOMMENDATIONS. WALLACE LAB: (310)-615-0116, 365 CORAL CIRCL, EL SEGUNDO, CA 90245
9. GROUNDCOVERS ARE TO BE PLANTED SO THAT AFTER SETTLING, THE CROWN OF THE THE PLANT IS EVEN WITH FINISH GRADE, ROOTS FULLY COVERED WITH SOIL AND FIRMED.
10. WATERING OF PLANTS IS TO TAKE PLACE IMMEDIATELY AFTER PLANTING.
11. MULCH ALL SHRUB AND GROUNDCOVER AREAS WITH A 3" MIN. LAYER OF 1/2" TO 3/4" REDWOOD BARK.
12. AT THE COMPLETION OF ALL PLANTING OPERATIONS, THE PREMISES ARE TO BE LEFT NEAT AND CLEAN. ALL SURPLUS MATERIALS, NURSERY TAGS AND WASTE ARE ARE TO BE REMOVED FROM THE SITE.
13. THE LANDSCAPE CONTRACTOR IS TO MAINTAIN ALL LANDSCAPE AREAS FOR A PERIOD OF THIRTY CALENDAR DAYS FROM THE DATE OF COMPLETION, ESTABLISHED BY THE OWNER OR HIS REPRESENTATIVE. ALL AREAS ARE TO BE KEPT WELL WATERED, FREE OF GRASSES AND TRASH DURING THIS MAINTENANCE PERIOD.
14. SITE MAINTENANCE (PLEASE SEE WALLACE LAB RECOMMENDATION) IS TO BE MADE JUST PRIOR TO THE COMPLETION OF THE MAINTENANCE PERIOD, OR AT 30 DAYS INTERVALS IF MAINTENANCE PERIOD IS GREATER THAN 30 DAYS.
15. ALL TREES, SHRUBS AND PLANT MATERIAL (OTHER THAN FLATTED MATERIAL) LESS THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 MONTH; 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS. ALL MATERIAL LARGER THAN 15 GALLON SIZE SHALL BE GUARANTEED FOR A PERIOD OF 1 YEAR.

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"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

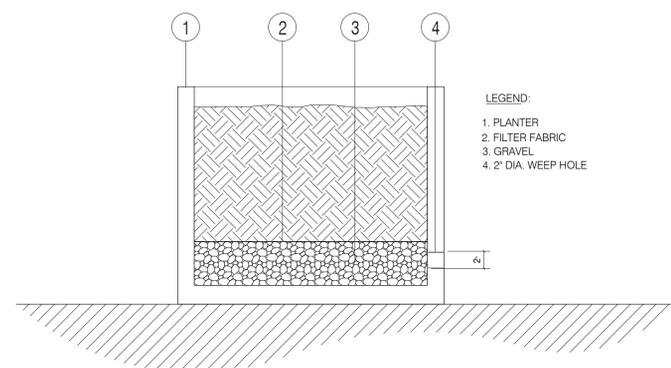


**PLASTIC EDGING**  
SCALE: N.T.S. 4

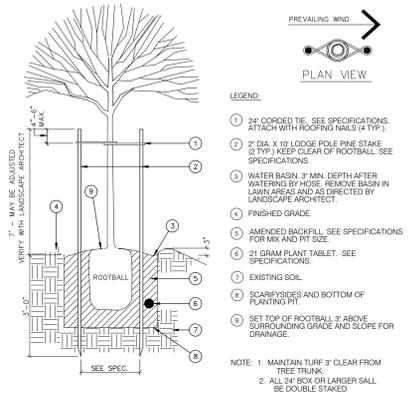


- LEGEND:**
- 1 TOP OF PLANTER WALL
  - 2 LIGHTWEIGHT BACKFILL MIX: 50% MEDIUM SAND, 35% MINERALIZED FIR BARK, 15% PEAT MOSS
  - 3 PLANTER DRAIN BY OTHERS
  - 4 94% SHADE SARAN CLOTH
  - 5 PROTECTION BOARD AND WATERPROOFING BY OTHERS, PROTECT IN PLACE
  - 6 1/2" CRUSHED ROCK
  - 7 STRUCTURAL SLAB
- NOTE:** PRE-MOISTEN ALL BACKFILL MIX PRIOR TO PLANTING

**OVER STRUCTURE PLANTER**  
SCALE: N.T.S. 5

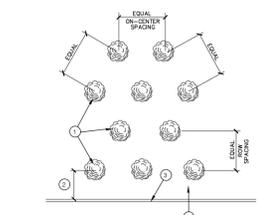


- LEGEND:**
- 1 PLANTER
  - 2 FILTER FABRIC
  - 3 GRAVEL
  - 4 2" DIA. WEEP HOLE



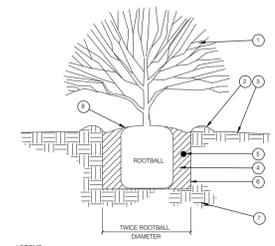
- LEGEND:**
- 1 2x4 CORDED TIE. SEE SPECIFICATIONS. ATTACH WITH ROOFING NAILS (4 TYP.)
  - 2 2" DIA. X 10' LODGE POLE PINE STAKE (2 TYP.) KEEP CLEAR OF ROOTBALL. SEE SPECIFICATIONS.
  - 3 WATER BASIN 3" MIN. DEPTH AFTER WATERING BY HOSE. REMOVE BASIN IN LAWN AREAS AND AS DIRECTED BY LANDSCAPE ARCHITECT.
  - 4 FINISHED GRADE.
  - 5 AMENDED BACKFILL. SEE SPECIFICATIONS FOR MIX AND PIT SIZE.
  - 6 21 GRAM PLANT TABLET. SEE SPECIFICATIONS.
  - 7 EXISTING SOIL.
  - 8 SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
  - 9 SET TOP OF ROOTBALL 1" ABOVE SURROUNDING GRADE AND SLOPE FOR DRAINAGE.
- NOTE:** 1. MAINTAIN TURF 3" CLEAR FROM TREE TRUNK.  
2. ALL 2" DI. ROCK OR LARGER CALL BE DOUBLE STAKED.

**TREE PLANTING-DOUBLE STAKING**  
SCALE: N.T.S. 1



- LEGEND:**
- 1 LOCATE PLANTS WITH EQUAL SPACING AS INDICATED IN THE PLANTING LEGEND.
  - 2 1/2" ON-CENTER SPACING.
  - 3 PAVING, CURB, BUILDING, OR HEADER - SHOWING PLANTING AREA LIMIT.
  - 4 PROVIDE A MINIMUM OF 2" DEPTH MULCH LAYER IN ALL LANDSCAPE AREAS.

**SHRUBS/ GROUNDCOVER PLANTING**  
SCALE: N.T.S. 2



- LEGEND:**
- 1 SHRUB - CENTER IN PIT
  - 2 DEEP WATERING BASIN. SEE SPECIFICATIONS.
  - 3 FINISH GRADE.
  - 4 AMENDED BACKFILL. SEE SPECIFICATIONS.
  - 5 PLANTING TABLETS. PLACE IN PIT 20" UP FROM PIT BOTTOM. SEE SPECIFICATIONS.
  - 6 SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
  - 7 UNDISTURBED NATIVE SOIL.
  - 8 SET TOP OF ROOTBALL 1" ABOVE SURROUNDING GRADE AND SLOPE FOR DRAINAGE.



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**PROJECT:**  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

Revisions

OWNER:  
 WILKINS OWNER  
 CO

Drawing Title  
 PLANTING DETAILS

Scale: AS SHOWN  
 Date: March 2021  
 Job No: SQLA# 22193  
 Drawn By: D.P.  
 Checked By: S.K.

Drawing No.



**SQLA INC**  
 Landscape Architects  
 380 N. PALM ST. SUITE B | T. 562-905-0800 (Main)  
 BREA, CA, 92821 | F. 562-905-0880  
 lo@sqlainc.com | www.sqlainc.com | T. 213-383-1788 (Studio)

**LP-5**

PLOT DATE: 10/26/2021

NO. 7803  
88/73-75

2- STORY BUILDING

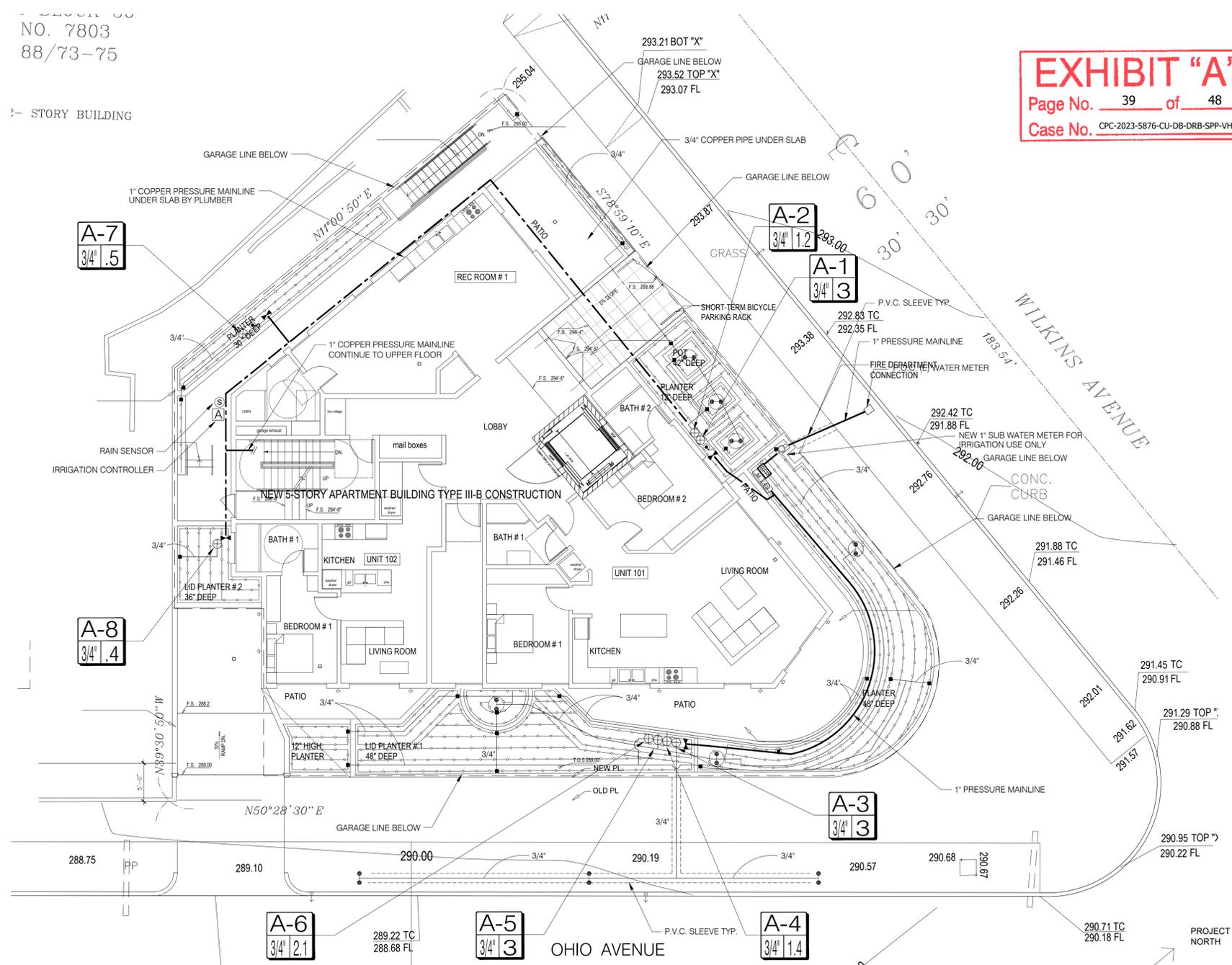
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**IRRIGATION LEGEND**

- 1" COPPER PRESSURE MAINLINE UNDER SLAB BY PLUMBER
  - PRESSURE MAINLINE - SCH. 40 IPS PVC (SIZE PER PLAN) W/ P.V.C. SLEEVE UNDER IN PAVING
  - COPPER PIPE UNDER SLAB BY PLUMBER (SIZE PER PLAN)
  - NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
  - P.V.C. SLEEVE (UNDER IN PAVING), SCH. 40 P.V.C. 2X DIA. OF PIPE. INSTALL SLEEVE UNDER ALL PAVEMENT. (PER PLAN) PLACE WIRES IN MAINLINE SLEEVE
  - RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
  - SUB LANDSCAPE WATER METERS MJ 100B 1" BRASS
  - REDUCED PRESSURE BACKFLOW FEBCO 825-Y 1"
  - MASTER VALVE RAIN BIRD 1" BRASS VALVE
  - FLOW SENSOR RAIN BIRD FS100B 1" BRASS TEE FLOW SENSOR
  - 1" MANUAL SHUT OFF VALVE
  - ROOT ZONE WATERING SYSTEM RAINBIRD RWS-MINI 18" TUBE RAINBIRD RWS-M-B-C-1402 (0.5 GPM PER TUBE)
  - LOW FLOW CONTROL ZONE KITS W/ PR FILTER RAINBIRD XCZ-075-PRF
  - QUICK COUPLER VALVE - RAINBIRD 33 DRC--3/4"
  - WEATHER-BASED AUTOMATIC IRRIGATION CONTROLLER RAINBIRD ESP-ME3 4-22 STATION MODEL W/ PLASTIC WALL-MOUNT CABINET (PER LAMC. 4.304.1) ②
  - RAINBIRD - RSD-BEx RSD SERIES RAIN SHUT OFF (PER LAMC. 4.304.1) ③
- VALVE SIZE **A-1** VALVE SEQUENCE  
**1" 10** G.P.M.

**IRRIGATION NOTES**

1. IRRIGATION PLAN IS DIAGRAMATIC. ALL PIPING AND IRRIGATION IMPROVEMENTS SHALL BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
2. DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN THE FIELD CONDITIONS ARE OBVIOUS, THAT OBSTRUCTIONS, GRADE DIFFERENCE AND AREA DIMENSIONS ARE NOT ACCURATE. SUCH DIFFERENCES SHALL BE BROUGHT IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
3. VALVE BOXES SHALL BE LOCATED 12" FROM THE EDGE OF CURB, WALKWAYS AND VALVE BOXES SHALL BE A MINIMUM OF 12" APART.
4. PROVIDE MINIMUM 18" COVER FROM FINISH GRADE TO TOP OF PIPE, PRESSURE PIPE (MAINLINE), AND 12" COVER FOR NON PRESSURE PIPE, LATERAL LINE.
5. ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER SPRAY ON TO WALKS, ROADS, AND/OR BUILDINGS INCLUDING SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS.
6. CONTROL WIRES SHALL BE BUNDLED WITH ELECTRICAL TAPE AT 10 FT. ON CENTER AND BURIED BENEATH THE MAINLINE.
7. WIRE CONNECTIONS, ALL SPLICES SHALL BE MADE WITH PEN-TILE OR EQUAL. WIRE CONNECTORS SHALL BE IN VALVE BOXES ONLY.
8. ROUTE ONE EXTRA WIRE WITH A COLOR DIFFERENT THAN THE CONTROL AND COMMON WIRES. ALL WIRE RUNS ARE TO FOLLOW MAINLINE.
9. TRENCHES SHALL BE COMPACTED TO PREVENT SETTLEMENT.
10. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE:
  - A: PRESSURE TEST MAINLINE UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR A MINIMUM OF 2 HOURS. CONTRACTOR MAY CENTER-LOAD PIPE WITH BACKFILL TO PREVENT ARCHING OR SLIPPING OF PIPE. ALL JOINTS SHALL REMAIN EXPOSED FOR INSPECTION.
  - B: COVERAGE TEST, SHALL BE PERFORMED TO DETERMINE IF THE COVERAGE IS COMPLETED AND ADEQUATE.
11. CONTRACTOR SHALL GUARANTEE WORK AGAINST DEFECTIVE INSTALLATION AND FAULTY PARTS FOR PERIOD OF 12 MONTHS.



**1 IRRIGATION PLAN - FIRST FLOOR**  
SCALE: 1/8" = 1'-0"

**NOTES:**

- WATER SUPPLY TYPE: DOMESTIC/ POTABLE WATER.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES."
- CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR."
- WIRES TO BE 14 GAGE DIRECT BURIAL WITH THE COMMON WIRE WHITE AND FLOW SENSOR AND MASTER VALVE A DIFFERENT COLOR. TIE EVERY 10' WITH ELECTORAL TAPE.

**CONSTRUCTION NOTES**

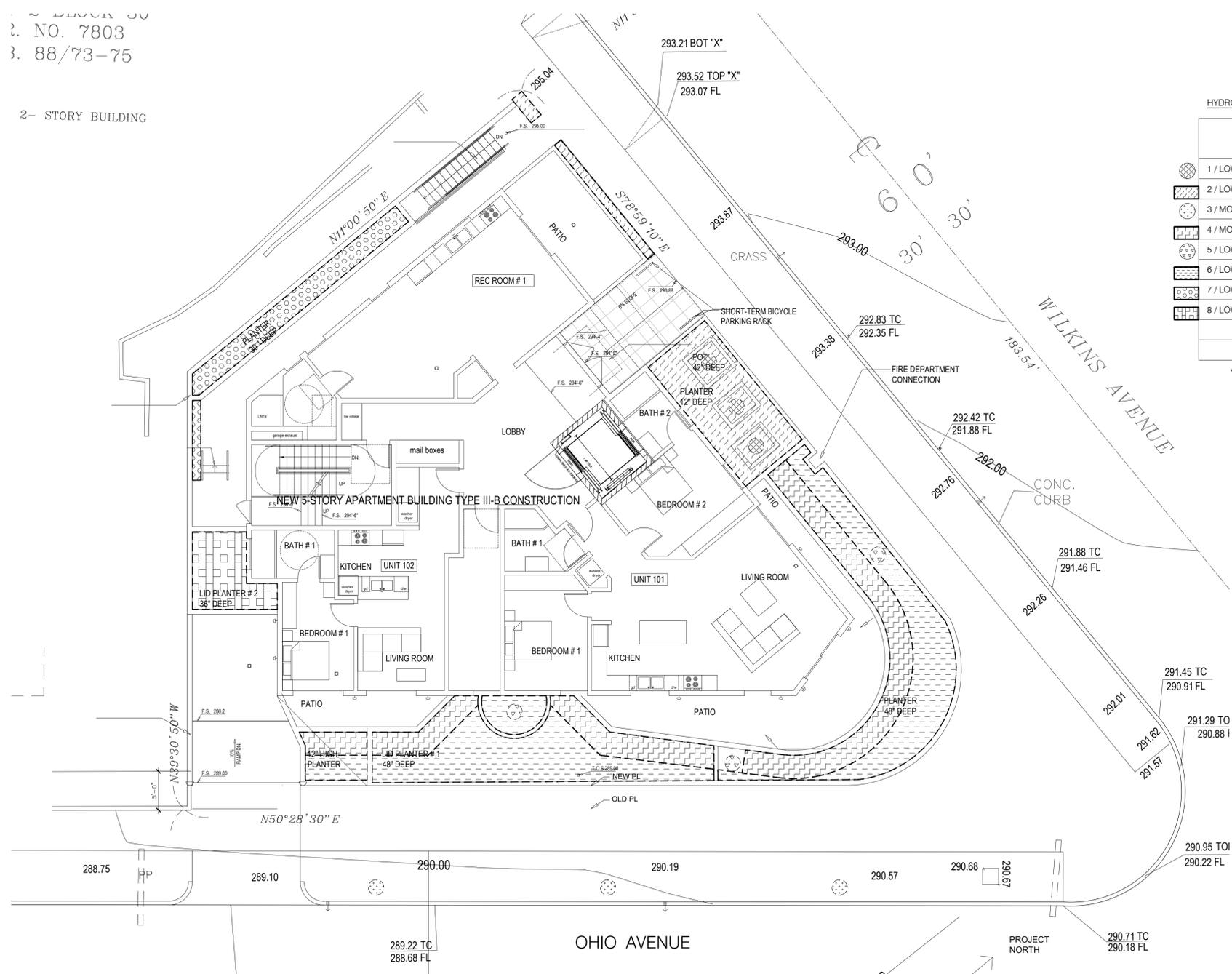
1. WATER METER AND SERVICE LINE SHALL BE A MINIMUM SIZE OF 1".
2. CONTRACTOR SHALL CONFIRM WATER PRESSURE PRIOR TO INSTALLING THE IRRIGATION SYSTEM AND REQUEST PLAN CHANGE IF PRESSURE IS LOWER THAN THE DESIGN RATING.
3. RIGID PIPE, COPPER TYPE "K" AND/OR BRONZE PIPE SHALL CONNECT THE BACK FLOW TO THE SERVICE LINE.
4. CONTRACTOR SHALL CONTACT UNDERGROUND MODIFICATION SERVICE, "DIG ALERT," PRIOR TO ANY UNDERGROUND ACTIVITY AND REQUEST DRAWINGS OF THE EXISTING SITE UTILITIES.
5. OWNER SHALL PROVIDE AN 1" GATE VALVE AT THE EXISTING WATER SERVICE FOR THE IRRIGATION MAINLINE POINT OF CONNECTION (P.O.C).
6. OWNER SHALL PROVIDE 120 VOLT ELECTRICAL POWER OUTLET AT THE IRRIGATION CONTROLLER LOCATION, CONTRACTOR SHALL MAKE FINAL ELECTRICAL CONNECTION TO THE CONTROLLER.
7. CONTRACTOR SHALL ADHERE TO ALL CAL OSHA REQUIREMENTS, AND PROTECT THE PUBLIC FROM HIS CONSTRUCTION ACTIVITIES.
8. ALL WORK SHALL COMPLY WITH THE LATEST UNIFORM PLUMBING CODES AS WELL AS LOCAL ORDINANCES.
9. CONTRACTOR SHALL PULL ALL WIRES THROUGH CONDUIT FROM STREET LEVEL TO PODIUM LEVEL.
10. ALL CONDUITS SHALL BE COORDINATED WITH GENERAL CONTRACTOR.
11. SUBSLAB COPPER PIPES SHALL BE PROVIDED BY PLUMBING CONTRACTOR W/ STUB - OUT AT PLANTERS.
12. ELECTRICAL CONDUITS FOR CONTROL WIRES TO CONTROLLERS SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR.
13. LANDSCAPE CONTRACTOR SHALL PULL WIRES THROUGH EXISTING CONDUIT FROM CONTROLLER LOCATION TO EACH REMOTE CONTROL VALVE ABOVE SLAB.
14. CONTRACTOR SHALL COORDINATE ALL UNDER SLAB WORK WITH GENERAL CONTRACTOR PRIOR TO COMMENCING ANY WORK

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".



**SQLA INC**  
Landscape Architects  
380 N. PALM ST. SUITE B 1, 542-905-0800 (Main)  
BREA, CA 92821 F. 542-905-0890  
lo@sqlainc.com www.sqlainc.com T. 213-383-1788 (Studio)

**LI-1A**



HYDROZONE INFORMATION TABLE (FIRST FLOOR ONLY)

HYDROZONE *	ZONE OR VALVE	IRRIGATION METHOD **	AREA (SQ-FT)	% OF LANDSCAPE AREA
1 / LOW WATER USE PLANTINGS (TREE)	A-1	B	9	4%
2 / LOW WATER USE PLANTINGS (SHRUB & GROUNDCOVER)	A-2	D	207	12%
3 / MODERATE WATER USE PLANTINGS (TREE)	A-3	B	9	4%
4 / MODERATE WATER USE PLANTINGS (TREE)	A-4	D	315	13%
5 / LOW WATER USE PLANTINGS (TREE)	A-5	B	9	4%
6 / LOW WATER USE PLANTINGS (SHRUB & GROUNDCOVER)	A-6	D	480	20%
7 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	A-7	D	104	4%
8 / LOW WATER USE PLANTINGS (SHRUB)	A-8	D	83	4%
TOTAL (FROM OTHER LEVELS)			1,056	45%
TOTAL			2,272	100.0%

\*HYDROZONE  
HW = HIGH WATER USE PLANTS  
MW = MODERATE WATER USE PLANTS  
LW = LOW WATER USE PLANTS

\*\*IRRIGATION METHOD  
MS = MICRO-SPRAY B = BUBBLER  
S = SPRAY D = DRIP  
R = ROTOR O = OTHER

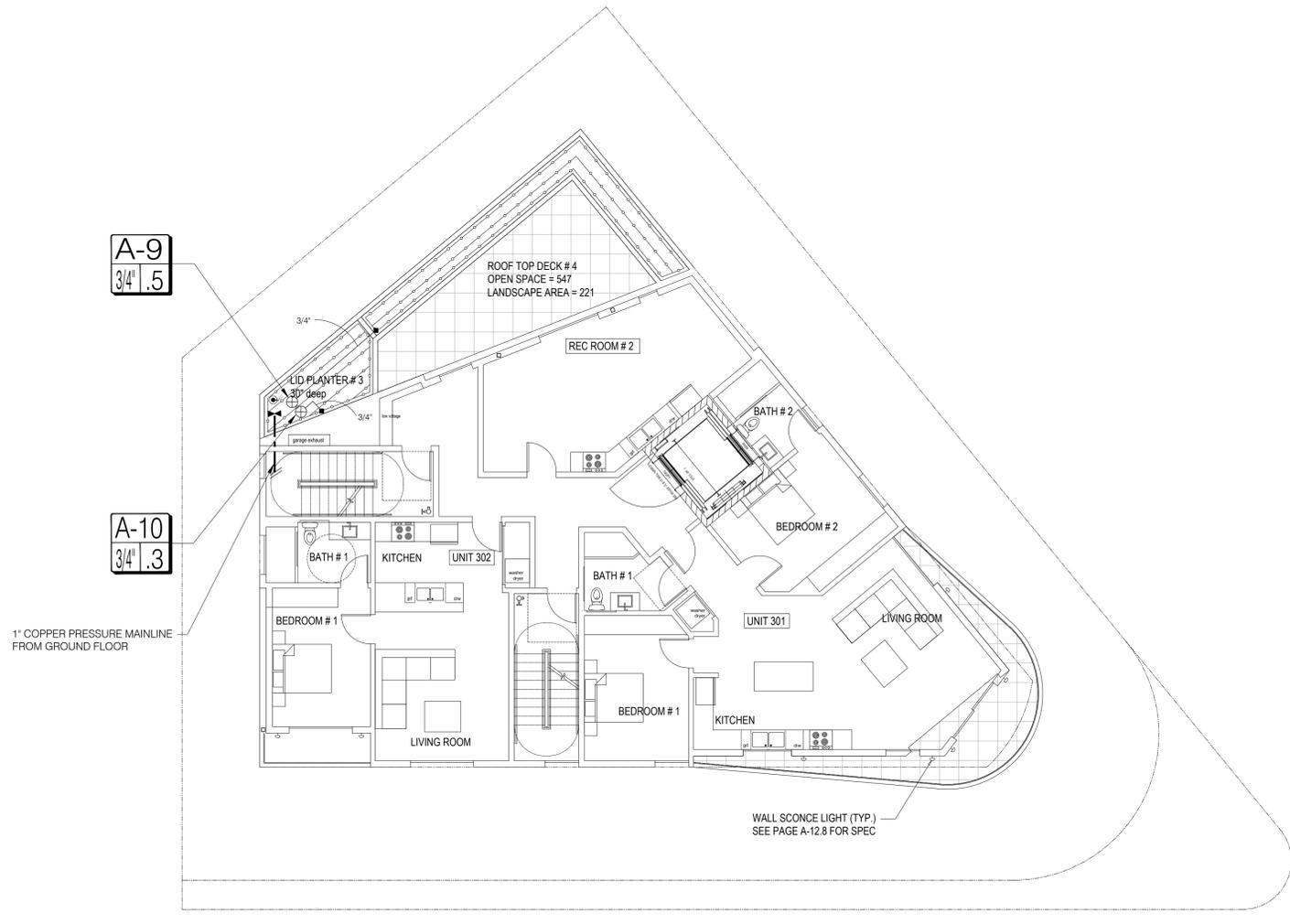
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**1 HYDROZONE PLAN - FIRST FLOOR**  
SCALE: 1/8" = 1'-0"



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

2- STORY BUILDING



**IRRIGATION LEGEND**

- 1" COPPER PRESSURE MAINLINE UNDER SLAB BY PLUMBER
- NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
- RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
- 1" MANUAL SHUT OFF VALVE
- LOW FLOW CONTROL ZONE KITS W/ PR FILTER RAINBIRD XCZ-075-PRF
- QUICK COUPLER VALVE - RAINBIRD 33 DRC--3/4"

VALVE SIZE 

A-1
1" 10

 VALVE SEQUENCE G.P.M.

**1 IRRIGATION PLAN - THIRD FLOOR**  
 SCALE: 1/8" = 1'-0"

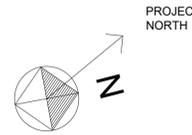


EXHIBIT "A"

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 Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

PROJECT:  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

Revisions

OWNER:  
 WILKINS OWNER  
 CO

Drawing Title  
 PLANTING PLAN  
 - THIRD FLOOR

Scale: AS SHOWN

Date: March 2021  
 Job No: SQLA# 22193  
 Drawn By: D.P.  
 Checked By: S.K.

Drawing No.



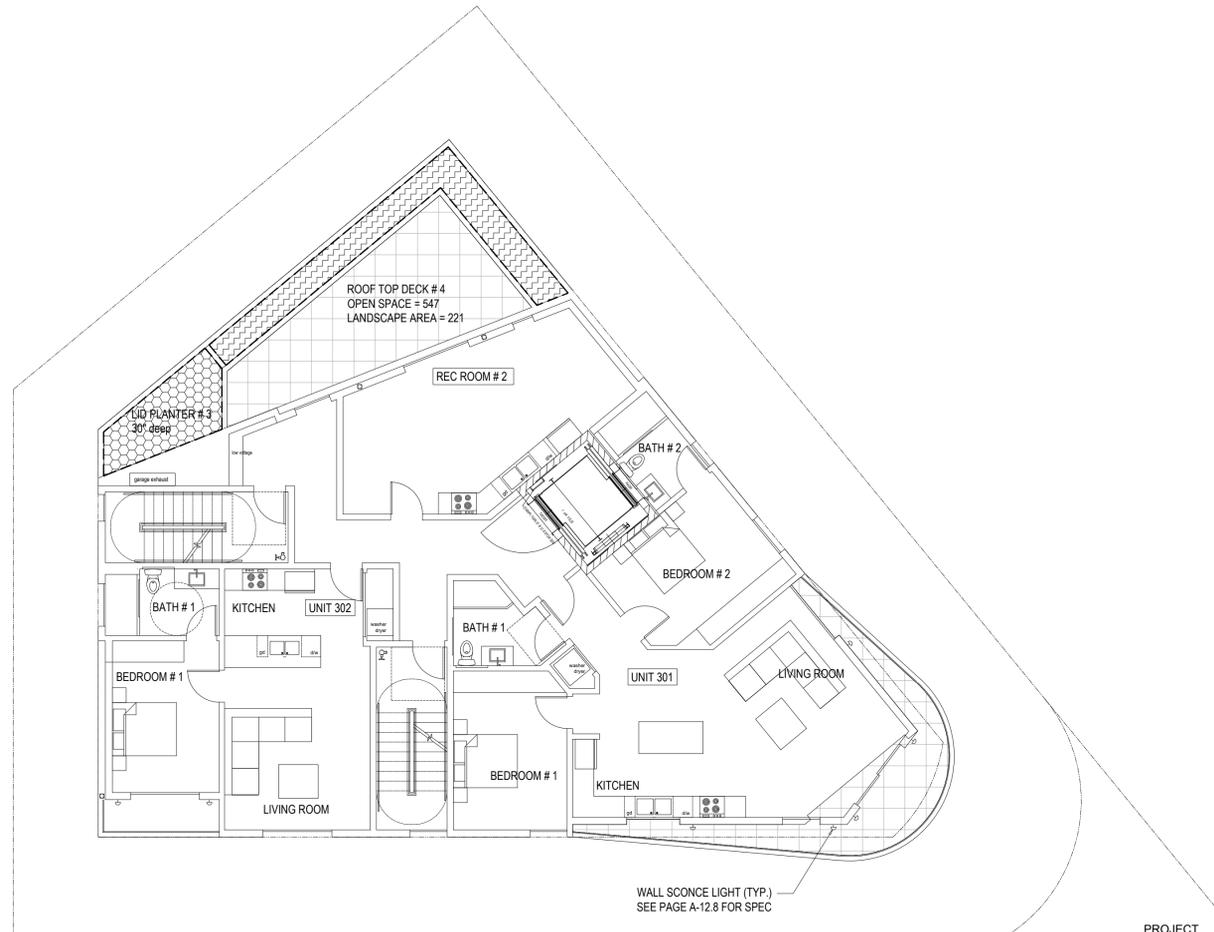
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 Landscape Architects  
 380 N. PALM ST. SUITE B 1, 562-905-0800 (Main)  
 BREA, CA 92821 F. 562-905-0880  
 lo@sqlainc.com www.sqlainc.com T. 213-383-1788 (Studio)

**LI-2**

PLOT DATE 10/26/2021



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1 HYDROZONE PLAN - THIRD FLOOR  
 SCALE: 1/8" = 1'-0"



HYDROZONE INFORMATION TABLE (THIRD FLOOR ONLY)

HYDROZONE *	ZONE OR VALVE	IRRIGATION METHOD **	AREA (SQ-FT)	% OF LANDSCAPE AREA
9 / LOW WATER USE PLANTINGS (GROUNDCOVER)	A-9	D	117	5%
10 / LOW WATER USE PLANTINGS (SHRUB)	A-10	D	70	3%
TOTAL (FROM OTHER LEVELS)			2,085	92%
TOTAL			2,272	100.0%

\*HYDROZONE  
 HW = HIGH WATER USE PLANTS  
 MW = MODERATE WATER USE PLANTS  
 LW = LOW WATER USE PLANTS

\*\*IRRIGATION METHOD  
 MS = MICRO-SPRAY B = BUBBLER  
 S = SPRAY D = DRIP  
 R = ROTOR O = OTHER

**EXHIBIT "A"**  
 Page No. 42 of 48  
 Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

PROJECT:  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

Revisions

OWNER:  
 WILKINS OWNER  
 CO

Drawing Title  
 HYDROZONE PLAN  
 - THIRD FLOOR

Scale: AS SHOWN

Date: March 2021  
 Job No: SQLA# 22193  
 Drawn By: D.P.  
 Checked By: S.K.

Drawing No.



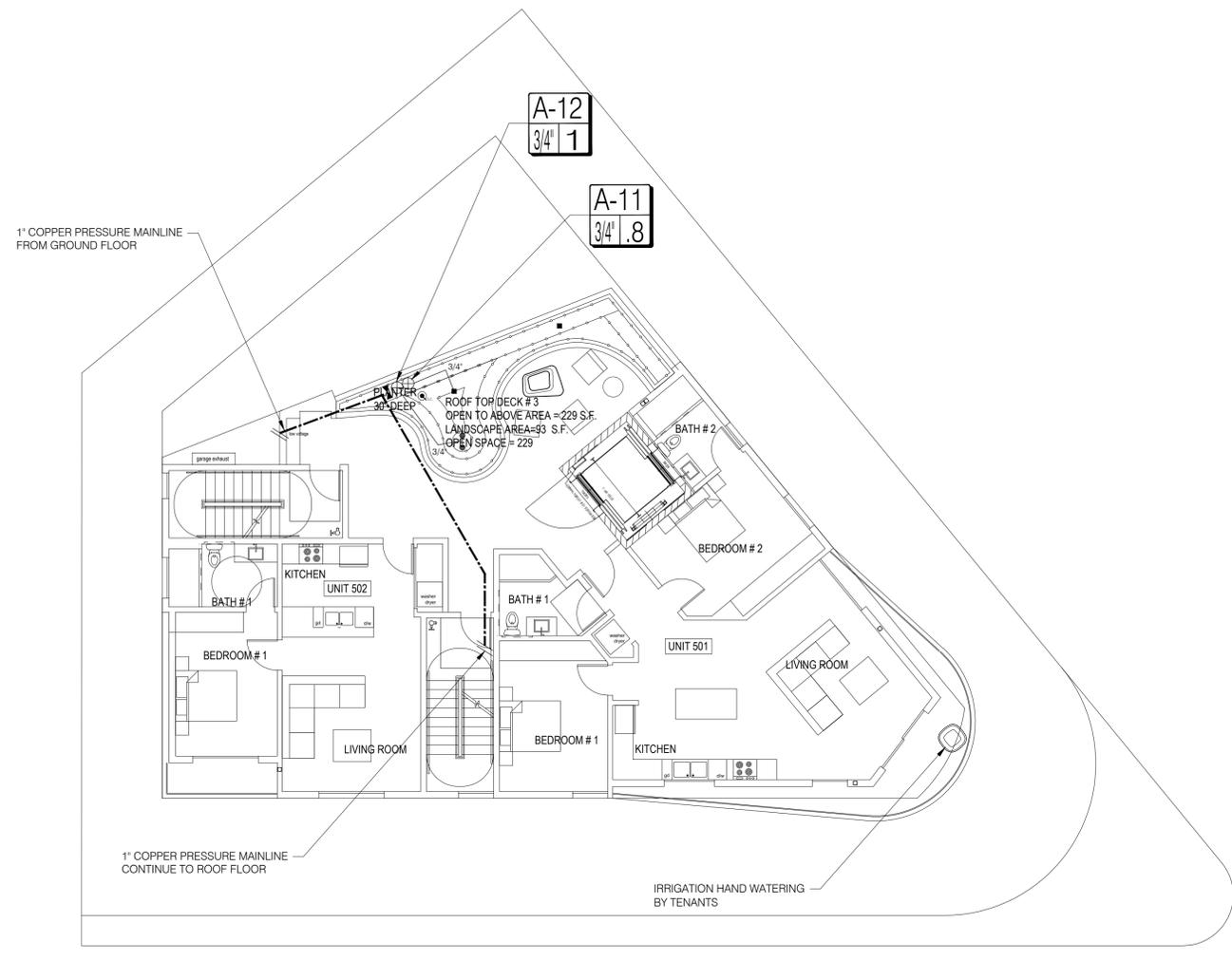
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 Landscape Architects  
 380 N. PALM ST. SUITE B 1, 542-905-0800 (Main)  
 BREA, CA 92821 F. 542-905-0880  
 lo@sqlainc.com www.sqlainc.com T. 213-383-1788 (Studio)

LI-2A

PLOT DATE: 10/26/2021



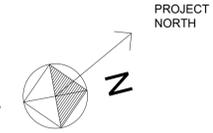
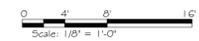
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**IRRIGATION LEGEND**

- 1" COPPER PRESSURE MAINLINE UNDER SLAB BY PLUMBER
  - NON-PRESSURE LATERAL - SCH. 40 IPS PVC (SIZE PER PLAN)
  - P.V.C. SLEEVE (UNDER IN PAVING), SCH. 40 P.V.C. 2X DIA. OF PIPE. INSTALL SLEEVE UNDER ALL PAVEMENT. (PER PLAN) PLACE WIRES IN MAINLINE SLEEVE
  - RAINBIRD LANDSCAPE DRIP XF SERIES XFS-06-18 (SUB SURFACE)
  - 1" MANUAL SHUT OFF VALVE
  - LOW FLOW CONTROL ZONE KITS W/ PR FILTER RAINBIRD XCZ-075-PRF
  - QUICK COUPLER VALVE - RAINBIRD 33 DRC--3/4"
- VALVE SEQUENCE: A-1
- VALVE SIZE: 1" 10 G.P.M.

**1 IRRIGATION PLAN - FIFTH FLOOR**  
 SCALE: 1/8" = 1'-0"



**EXHIBIT "A"**  
 Page No. 43 of 48  
 Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

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PROJECT:  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

Revisions

OWNER:  
 WILKINS OWNER  
 CO

Drawing Title  
 IRRIGATION PLAN  
 - FIFTH FLOOR

Scale: AS SHOWN  
 Date: March 2021  
 Job No: SQLA# 22193  
 Drawn By: D.P.  
 Checked By: S.K.  
 Drawing No.

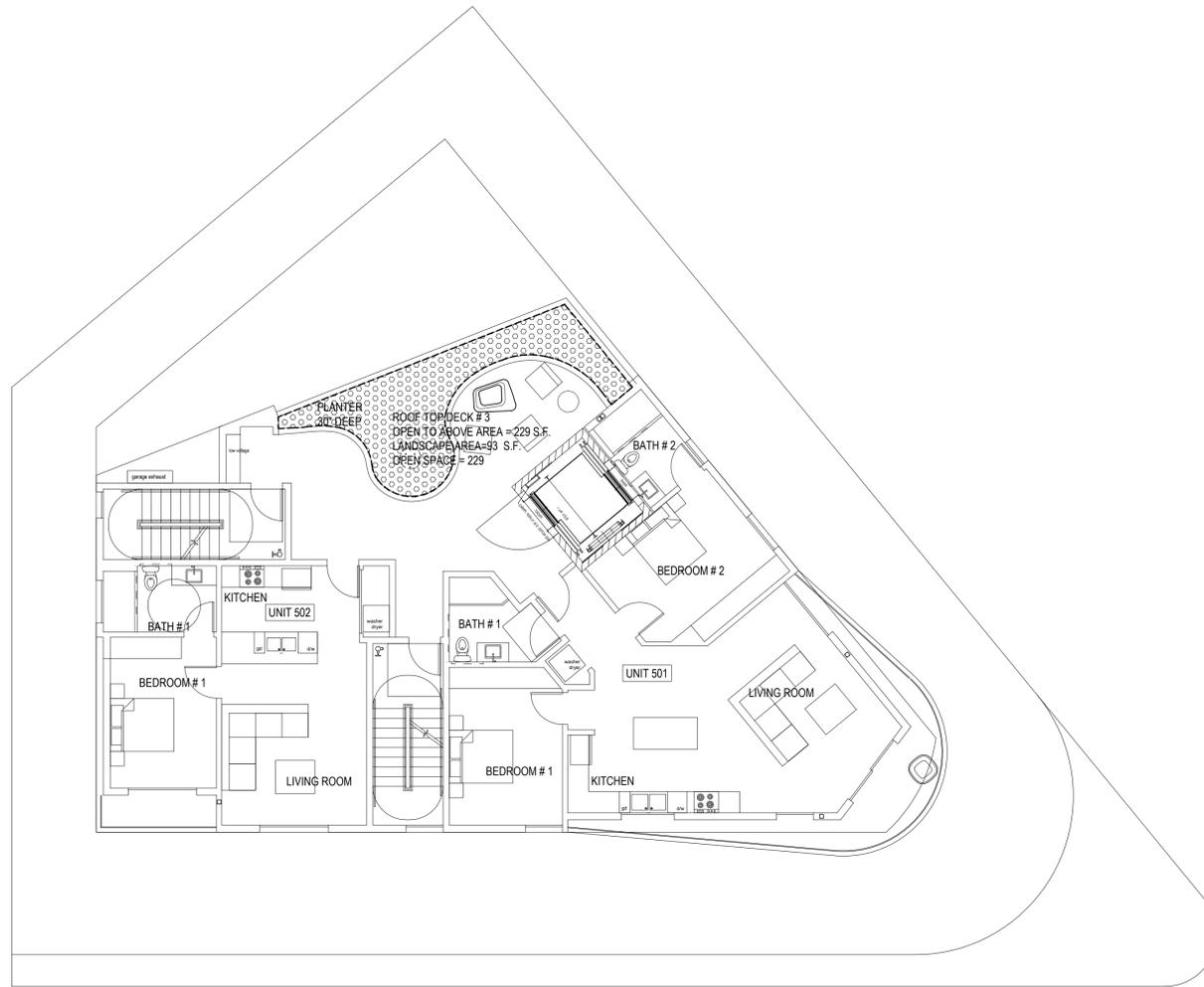
LI-3

PLOT DATE 10/26/2021



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HYDROZONE INFORMATION TABLE (FIFTH FLOOR ONLY)

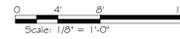
HYDROZONE *	ZONE OR VALVE	IRRIGATION METHOD **	AREA (SQ-FT)	% OF LANDSCAPE AREA
11 / MODERATE MIX WATER USE PLANTINGS (TREE & GROUNDCOVER)	A-11	D	174	7%
12 / LOW WATER USE PLANTINGS (TREE)	A-12	B	3	.1%
TOTAL (FROM OTHER LEVELS)			2,095	92%
TOTAL			2,272	100.0%

\*HYDROZONE  
HW = HIGH WATER USE PLANTS  
MW = MODERATE WATER USE PLANTS  
LW = LOW WATER USE PLANTS

\*\*IRRIGATION METHOD  
MS = MICRO-SPRAY  
S = SPRAY  
R = ROTOR  
B = BUBBLER  
D = DRIP  
O = OTHER

PROJECT NORTH

1 HYDROZONE PLAN - FIFTH FLOOR  
SCALE: 1/8" = 1'-0"



**EXHIBIT "A"**  
Page No. 44 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".



**SQLA INC**  
Landscape Architects  
380 N. PALM ST. SUITE B 1, 542-905-0800 (Main)  
BREA, CA 92821 F. 542-905-0880  
lo@sqlainc.com www.sqlainc.com T. 213-383-1788 (Studio)

PROJECT:  
10756 W. WILKINS AVE.  
LOS ANGELES, CA 90024

Revisions

OWNER:  
WILKINS OWNER  
CO

Drawing Title  
HYDROZONE PLAN  
- FIFTH FLOOR

Scale: AS SHOWN

Date: March 2021  
Job No: SQLA# 22193  
Drawn By: D.P.  
Checked By: S.K.

Drawing No.

LI-3A

PLOT DATE: 10/26/2021

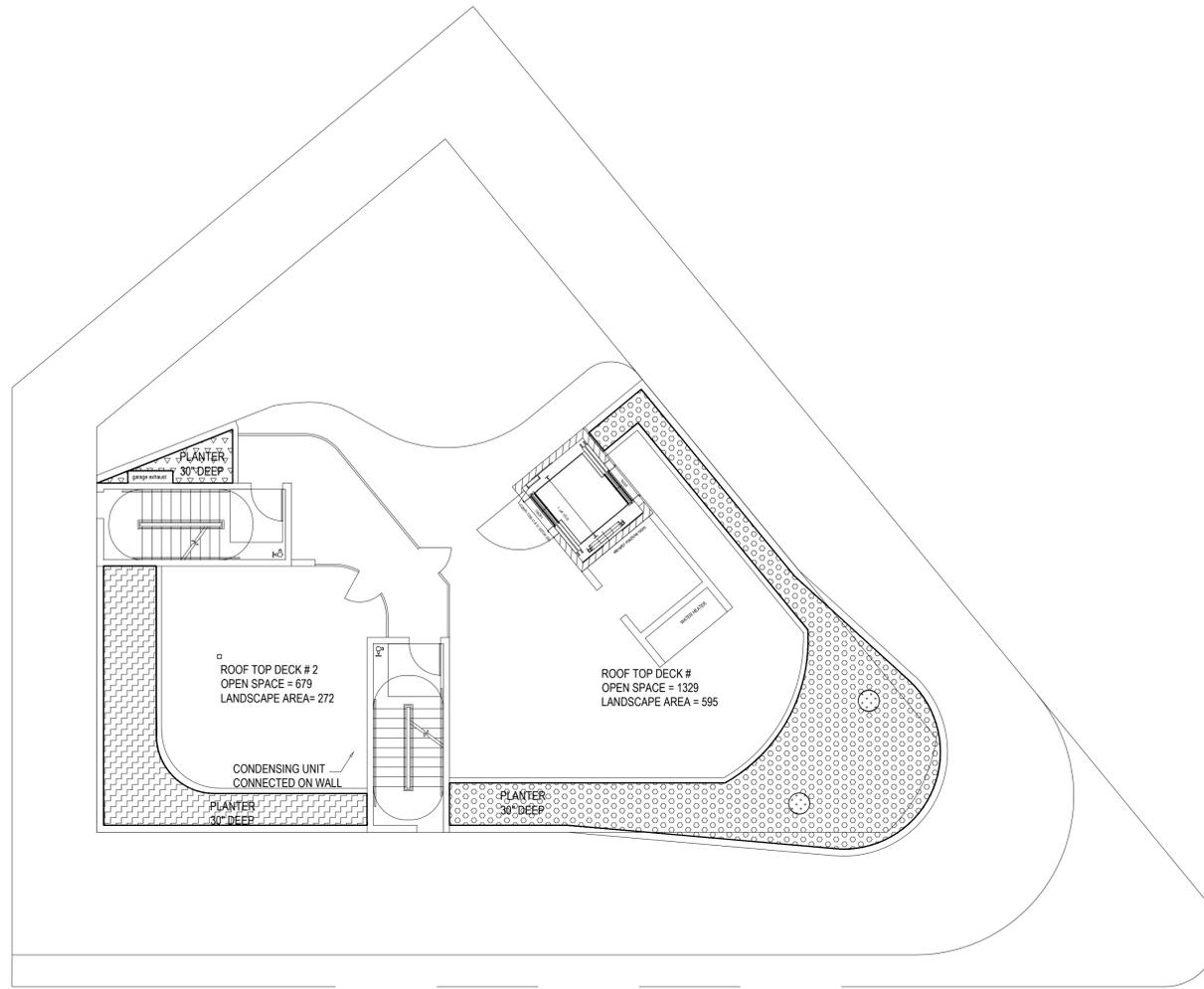




DESIGN STUDIO INC.

Tel: 818.200.5005

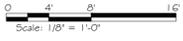
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PROJECT NORTH

1 HYDROZONE PLAN - ROOF DECK

SCALE: 1/8" = 1'-0"



HYDROZONE INFORMATION TABLE (ROOF DECK ONLY)

HYDROZONE *	ZONE OR VALVE	IRRIGATION METHOD **	AREA (SQ-FT)	% OF LANDSCAPE AREA
13 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	A-13	D	189	8%
14 / LOW WATER USE PLANTINGS (TREE)	A-14	B	6	.3%
15 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	A-15	D	469	20%
16 / LOW WATER USE PLANTINGS (SHRUB)	A-16	D	28	1%
TOTAL (FROM OTHER LEVELS)			1,580	70%
TOTAL			2,272	100.0%

\*HYDROZONE  
HW = HIGH WATER USE PLANTS  
MW = MODERATE WATER USE PLANTS  
LW = LOW WATER USE PLANTS

\*\*IRRIGATION METHOD  
MS = MICRO-SPRAY  
S = SPRAY  
R = ROTOR  
B = BUBBLER  
D = DRIP  
O = OTHER

**EXHIBIT "A"**  
Page No. 46 of 48  
Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".

PROJECT:  
10756 W. WILKINS AVE.  
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Revisions

OWNER:  
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Drawing Title  
HYDROZONE PLAN  
- ROOF DECK

Scale: AS SHOWN

Date: March 2021  
Job No: SQLA# 22193  
Drawn By: D.P.  
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LI-4A

**WATER EFFICIENT LANDSCAPE WORKSHEET**

CITY OF L.A. MAXIMUM APPLIED WATER ALLOWENCE  
 THE ETo REFERENCE FOR CITY OF L.A. IS 50.1 (INCHES PER YEAR)  
 REFERENCE EVAPOTRANSPIRATION (ETo) 50.1

HYDROZONE # / PLANTING DESCRIPTION <sup>a</sup>	PLANT FACTOR (PF)	IRRIGATION METHOD <sup>b</sup>	IRRIGATION EFFICIENCY (IE) <sup>c</sup>	ETAF (PF / IE)	LANDSCAPE AREA (SQ-FT)	ETAF x AREA	ESTIMATED TOTAL WATER USED (ETWU) <sup>d</sup>	
<b>REGULAR LANDSCAPE AREA</b>								
1 / LOW WATER USE PLANTINGS (TREE)	0.2	DRIP	0.81	0.25	9	2	62	
2 / LOW WATER USE PLANTINGS (SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	207	52	1,615	
3 / MODERATE WATER USE PLANTINGS (TREE)	0.5	DRIP	0.81	0.62	9	6	186	
4 / MODERATE WATER USE PLANTINGS (TREE)	0.5	DRIP	0.81	0.62	315	195	6,057	
5 / LOW WATER USE PLANTINGS (TREE)	0.2	DRIP	0.81	0.25	9	2	62	
6 / LOW WATER USE PLANTINGS (SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	480	120	3,727	
7 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	104	26	808	
8 / LOW WATER USE PLANTINGS (SHRUB)	0.2	DRIP	0.81	0.25	83	21	652	
9 / LOW WATER USE PLANTINGS (GROUNDCOVER)	0.2	DRIP	0.81	0.25	117	29	901	
10 / LOW WATER USE PLANTINGS (SHRUB)	0.2	DRIP	0.81	0.25	70	18	559	
11 / MODERATE MIX WATER USE PLANTINGS (TREE & GROUNDCOVER)	0.5	DRIP	0.81	0.62	174	108	3,355	
12 / LOW WATER USE PLANTINGS (TREE)	0.2	DRIP	0.81	0.25	3	1	31	
13 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	189	47	1,460	
14 / LOW WATER USE PLANTINGS (TREE)	0.2	DRIP	0.81	0.25	6	2	62	
15 / LOW WATER USE PLANTINGS (TREE, SHRUB & GROUNDCOVER)	0.2	DRIP	0.81	0.25	469	117	3,634	
16 / LOW WATER USE PLANTINGS (SHRUB)	0.2	DRIP	0.81	0.25	28	7	217	
					<b>TOTALS</b>	<b>(A) 2,272</b>	<b>(B) 753</b>	<b>23,234</b>
<b>SPECIAL LANDSCAPE AREA</b>								
-----				1.0	-----	-----	-----	
-----				1.0	-----	-----	-----	
-----				1.0	-----	-----	-----	
					<b>TOTALS</b>	<b>(C) -----</b>	<b>(D) -----</b>	<b>0</b>
							<b>ETWU TOTAL</b>	<b>23,234</b>
							<b>MAXIMUM ALLOWED WATER ALLOWANCE (MAWA) <sup>e</sup></b>	<b>38,815</b>

<sup>a</sup> HYDROZONE #/ PLANTING DESCRIPTION E.G. 1.) FRONT LAWN 2.) LOW WATER USE PLANTINGS 3.) MEDIUM WATER USE PLANTINGS	<sup>b</sup> IRRIGATION METHOD OVERHEAD SPRAY OR DRIP	<sup>c</sup> IRRIGATION EFFICIENCY 0.75 FOR SPRAY HEAD 0.81 FOR DRIP	<sup>d</sup> ETWU (ANNUAL GALLONS REQUIRED) = ETo x 0.62 x ETAF x AREA **WHERE 0.62 IS A CONVERSION FACTOR THAT CONVERTS ACRE- INCHES PER ACRE PER YEAR TO GALLONS PER SQUARE FOOT PER YEARS.**
---	---	--	---

<sup>e</sup>MAWA (ANNUAL GALLONS ALLOWED) = (ETo) (0.62) [(ETAF X LA) + ((1-ETAF) x SLA)]  
 \*\*WHERE 0.62 IS A CONVERSION FACTOR THAT CONVERTS ACRE-  
 INCHES PER ACRE PER YEAR TO GALLONS PER SQUARE FOOT PER  
 YEAR, LA IS THE TOTAL LANDSCAPE AREA IN SQUARE FEET,  
 AND ETAF IS .55 FOR RESIDENTIAL AREAS AND 0.45 FOR NON-  
 RESIDENTIAL AREAS.\*\*

**ETAF CALCULATIONS**

**REGULAR LANDSCAPE AREA**

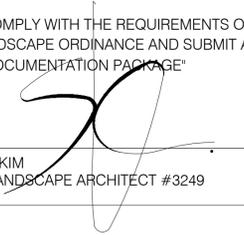
TOTAL ETAF x AREA	(B)	753
TOTAL AREA	(A)	2,272
AVERAGE ETAF	(B/A)	0.3

**ALL LANDSCAPE AREA**

TOTAL ETAF x AREA	(B+D)	753
TOTAL AREA	(A+C)	2,272
SITEWIDE ETAF	(B+D) / (A+C)	0.3

\*\*AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST  
 BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR  
 BELOW FOR NON-RESIDENTIAL AREAS.

"I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER  
 EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE  
 LANDSCAPE DOCUMENTATION PACKAGE"



SAMUEL KYUN KIM  
 REGISTERED LANDSCAPE ARCHITECT #3249

03-05-2024  
 DATE

"I HAVE COMPLIED WITH THE CRITERIA OF THE  
 ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER  
 IN THE LANDSCAPE DESIGN PLANS".

**NOTE:**

"AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE."

"USELESS CONTRADICTED BY A SOIL TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL."

"FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6" OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL."

"A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES."

"A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT."

"AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION."

**EXHIBIT "A"**  
 Page No. 47 of 48  
 Case No. CPC-2023-5876-CU-DB-DRB-SPP-VHCA

**WATER AUDIT NOTE :**

THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR. AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.

- THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:
- PLACE FLAGS AT EACH HEAD IN THE ZONE.
  - MEASURE SPACING AND MARK MID-POINTS BETWEEN HEADS.
  - PLACE WATER MEASURING RECEPTACLES.
  - TAKE READINGS OF WATER LEVEL IN RECEPTACLES AND RECORD RESULTS.
  - MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS.
  - AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE.
  - SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT.

THE IRRIGATION MAINTENANCE SCHEDULE TASKS LISTED BELOW ARE INTENDED AS MINIMUM STANDARDS AND MORE FREQUENT ATTENTION MAY BE REQUIRED DEPENDING ON THE PARTICULAR SITE CONDITIONS.

MAINTENANCE TASK	FREQUENT
CONTROLLER CABINET - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND RESET IF NECESSARY.	QUARTERLY
IRRIGATION SCHEDULE - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLAN HEALTH ADJUST AS NECESSARY.	MONTHLY
POC - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT REPAIR AS NEEDED.	QUARTERLY
REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR OR ADJUST AS NEEDED.	QUARTERLY
MAINLINE & LATERALS VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH.	QUARTERLY
SPRINKLERS VISUALLY CHECK FOR ANY BROKEN MISSIGNED OR CLOGGED HEADS, HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE REPAIR AS NEEDED.	WEEKLY
FILTERS AND STRAINERS VISUALLY CHECK FOR LEAKS, BROKEN FITTING CLEAN AND FLUSH SCREENS.	MONTHLY

**MAINTENANCE SCHEDULES :**

A REGULAR MAINTENANCE SCHEDULE SATISFYING THE FOLLOWING CONDITIONS SHALL BE SUBMITTED AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

LANDSCAPE SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT, RESETTING THE AUTOMATIC CONTROLLER, AERATING AND DETHATCHING TURF AREAS, REPLENISHING MULCH, FERTILIZING, PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.

WHENEVER POSSIBLE, REPAIR OF IRRIGATION EQUIPMENT SHALL BE DONE WITH THE ORIGINALLY SPECIFIED MATERIALS OR THEIR EQUIVALENTS.

A LANDSCAPE IRRIGATION AUDIT SCHEDULE AS REQUIRED IN CHAPTER 20.09 OF TITLE 20 MAY BE RECOMMENDED. THE MAXIMUM PERIOD BETWEEN AUDITS SHALL BE FIVE YEARS.

**IRRIGATION AUDIT SCHEDULES :**

LANDSCAPE IRRIGATION AUDIT SCHEDULES. A SCHEDULE OF LANDSCAPE IRRIGATION AUDITS OF AT LEAST EVERY FIVE YEARS MUST BE ESTABLISHED, FOR ALL BUT SINGLE-FAMILY RESIDENCES, AND OTHER PROJECTS WITH A LANDSCAPE AREA LESS THAN 1 ACRE (0.405 HA). AS REQUIRED IN CHAPTER 20.09 OF TITLE 20 (UTILITIES CODES), AN AUDIT SATISFYING THE FOLLOWING CONDITIONS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

AT A MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LANDSCAPE IRRIGATION AUDITOR HANDBOOK, PREPARED FOR THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, WATER CONSERVATION OFFICE, THE ENTIRE DOCUMENT, WHICH IS HEREBY INCORPORATED BY REFERENCE.

THE SCHEDULE SHALL PROVIDE FOR LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AS DETERMINED BY THE DIRECTOR AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE.



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**PROJECT:**  
 10756 W. WILKINS AVE.  
 LOS ANGELES, CA 90024

Revisions

OWNER:  
 WILKINS OWNER  
 CO

Drawing Title  
 WATER EFFICIENT  
 LANDSCAPE WORKSHEET

Scale: AS SHOWN

Date: March 2021  
 Job No: SQLA# 22193  
 Drawn By: D.P.  
 Checked By: S.K.

Drawing No.



**SQLA INC**  
 Landscape Architects  
 380 N. PALM ST. SUITE B 1, 542-905-0800 (Main)  
 BREA, CA, 92821 F. 542-905-0890  
 la@sqlainc.com www.sqlainc.com T. 213-383-1788 (Studio)

**LI-5**

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 10756 W. WILKINS AVE.  
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Revisions

OWNER:  
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Drawing Title  
**IRRIGATION DETAILS**

Scale: AS SHOWN

Date: March 2021  
 Job No: SOL# 22193  
 Drawn By: D.P.  
 Checked By: S.K.

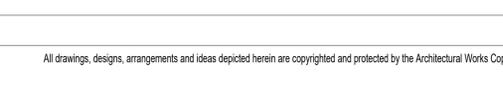
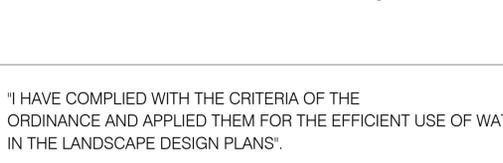
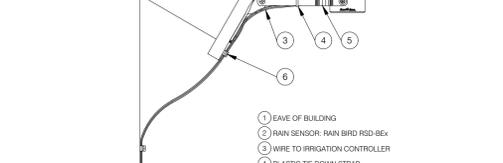
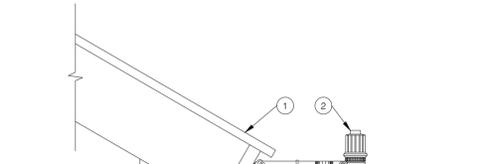
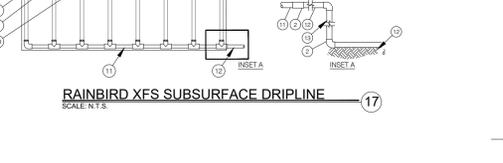
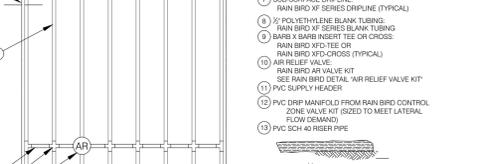
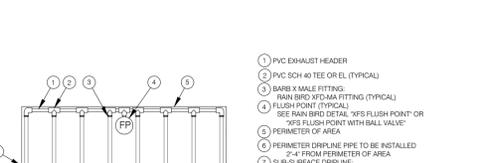
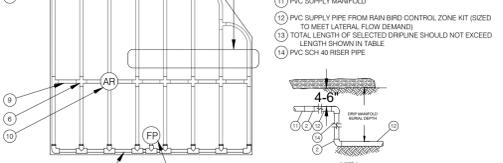
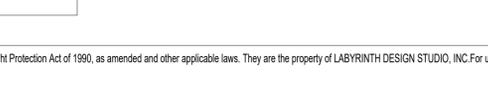
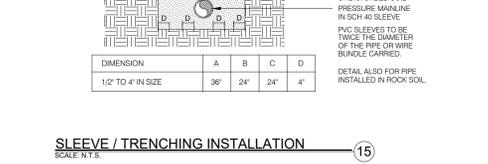
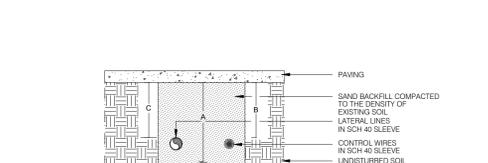
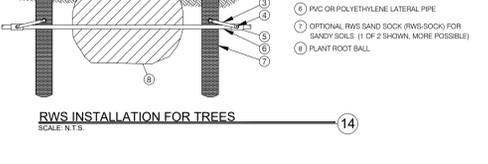
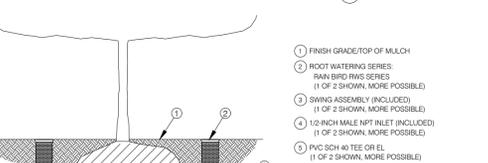
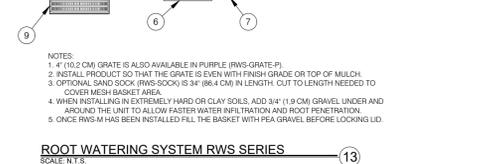
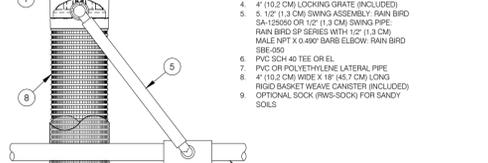
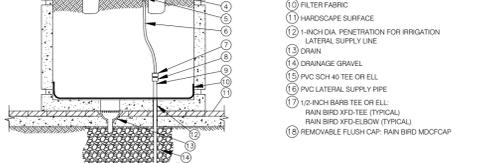
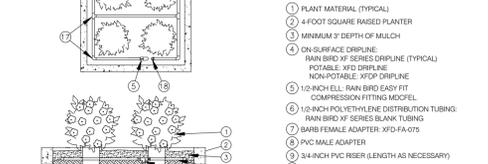
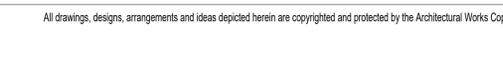
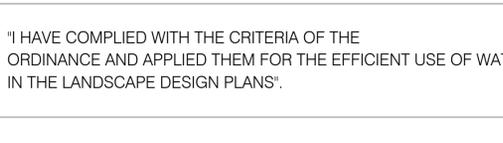
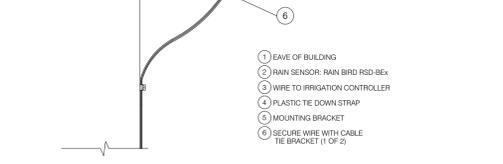
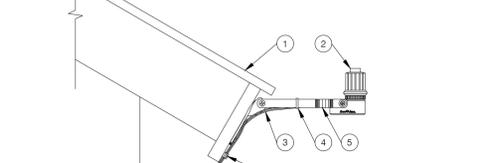
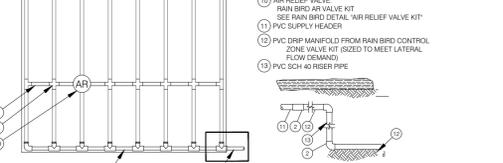
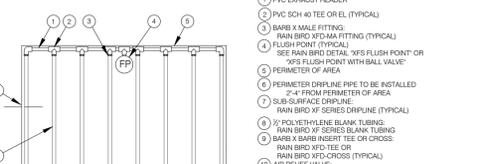
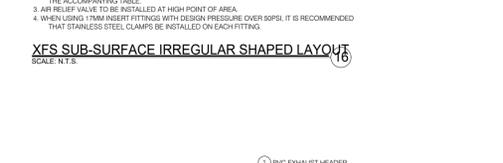
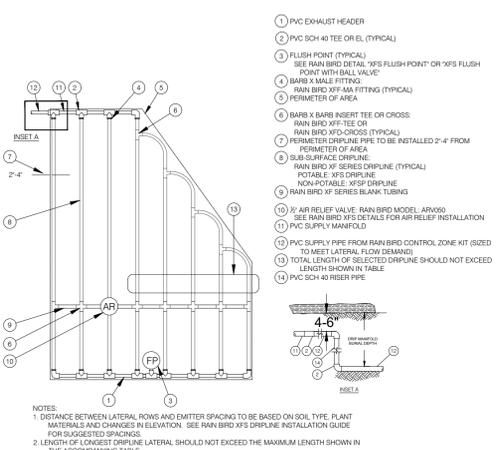
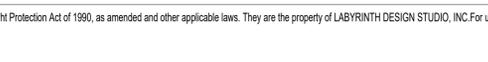
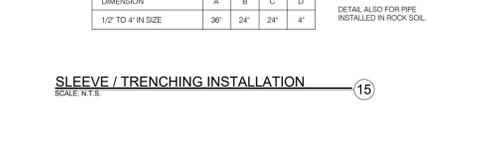
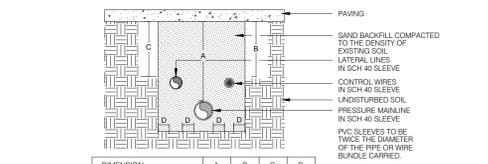
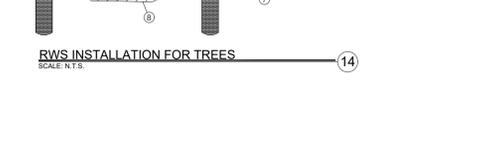
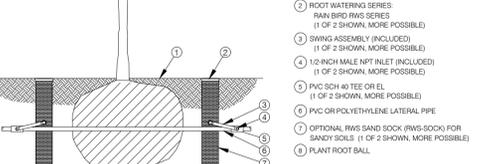
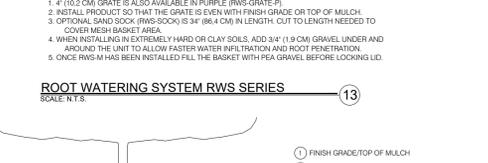
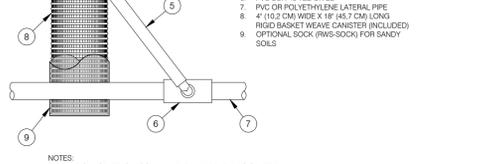
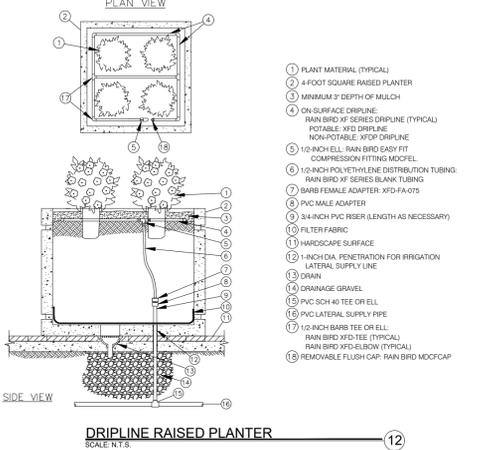
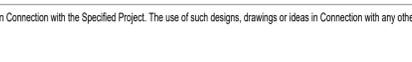
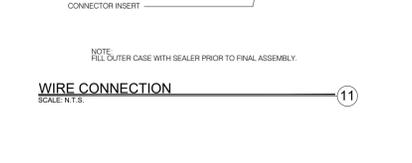
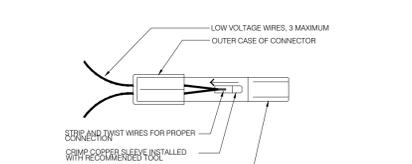
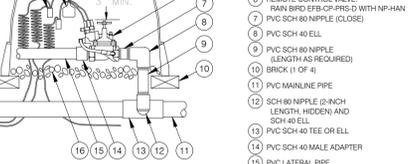
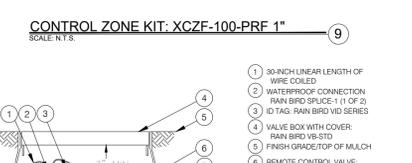
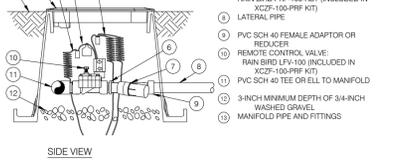
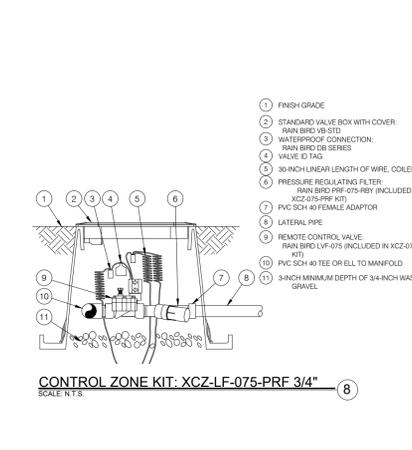
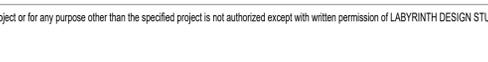
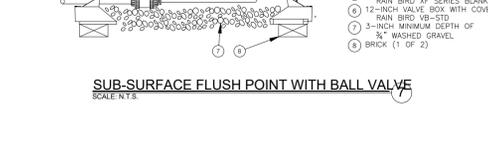
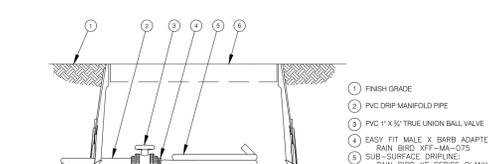
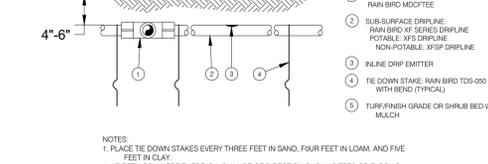
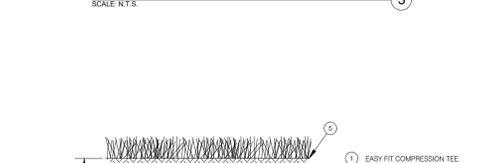
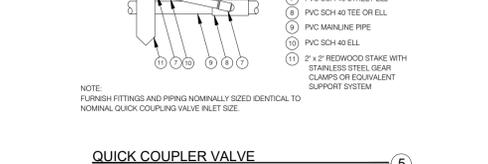
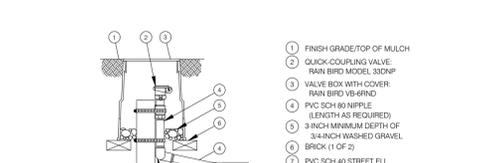
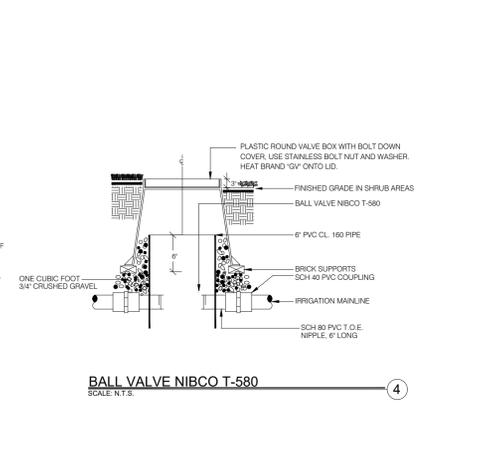
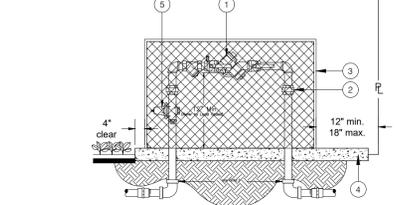
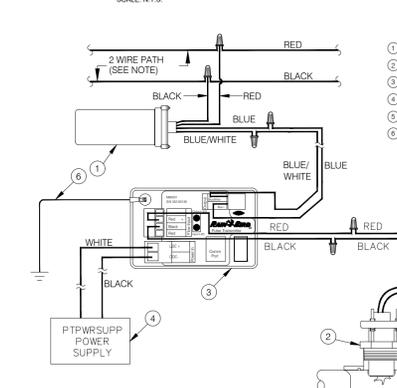
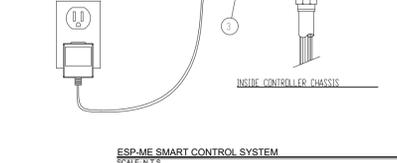
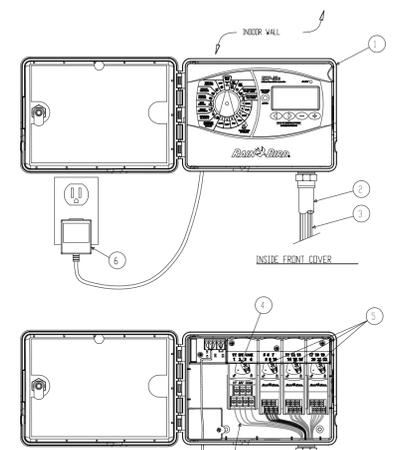
Drawing No.



**SOLA INC**  
 Landscape Architects  
 380 N. PALM ST. SUITE B 1, 542-905-0800 (Main)  
 BREA, CA 92821 F. 542-905-0880  
 los@solainc.com www.solainc.com T. 213-383-1788 (Studio)

**LI-6**

PLOT DATE: 10/26/2021



"I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS".