

DEPARTMENT OF
CITY PLANNING

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DEPUTY DIRECTOR

Decision Date: September 1, 2022

Appeal Date: September 16, 2022

Grover Lee McCollum (A) (O)
4703 Park Jacaranda
Calabasas, CA 91302

Warren Techentin (R)
Warren Techentin Architecture, INC
2801 Hyperion Avenue Unit 103
Los Angeles, CA 90027

Case No.
Related Cases:
CEQA:

Location:

Council District:

Neighborhood Council:

Community Plan Area:

District Map:

Land Use Designation:

Zone:

Legal Description:

AA-2020-6052-PMLA-SL-HCA

ADM-2020-6054-SLD

ENV-2020-6053-CE

738 N. Maltman Avenue

13 – O'Farrell

Silver Lake

Silver Lake – Echo Park – Elysian
Valley

141A201 and 142-5A201

Medium Residential

R3-1VL

Lot 50, Block None, West End
Ocean View Tract

In accordance with provisions of Section 17.51 and 17.53 of the Los Angeles Municipal Code (LAMC), the Advisory Agency determines that the project is Categorically Exempt, and issues ENV-2020-6053-CE as the environmental clearance, and approves Parcel Map No. AA-2020-6052-PMLA-SL-HCA, located at 738 North Maltman Avenue, for a maximum of **three (3) small lots**, with a maximum height of 45 feet, pursuant to LAMC Section 12.22 C.27, as shown on the revised map stamp-dated August 3, 2021. This unit density is based on the R3-1VL Zone. (The subdivider is hereby advised that the LAMC may not permit this maximum approved density. Therefore, verification should be obtained from the Department of Building and Safety which will legally interpret the Zoning Code as it applies to this particular property.) The Advisory Agency's approval is subject to the following conditions:

NOTE on clearing conditions: When two or more **agencies** must clear a condition, subdivider should follow the sequence indicated in the condition. For the benefit of the applicant, subdivider shall maintain record of all conditions cleared, including all material supporting clearances and be prepared to present copies of the clearances to each reviewing agency as may be required by its staff at the time of its review.

BUREAU OF ENGINEERING - SPECIFIC CONDITIONS

Contact Julia Li of the Permit Case Management Division, located at 201 North Figueroa Street, Suite 290, or by calling (213) 808-8917.

1. That if this parcel map is approved as "Small Lot Subdivision" then, if necessary for street address purposes, all the common access to this subdivision be named on the final map satisfactory to the City Engineer.
2. That if this parcel map is approved as small lot subdivision then the final map be labeled as "Small Lot Subdivision per Ordinance No. "185462" satisfactory to the City Engineer.
3. That all common access easements including the vehicular access and pedestrian access easement be part of the adjoining lots.
4. That, if necessary, public sanitary sewer easements be dedicated on the final map based on an alignment approved by the Central Engineering District Office.
5. That, if necessary, the owners of the property record an agreement satisfactory to the City Engineer that they will provide name signs for the common access driveways.
6. That the subdivider make a request to the Central District Office of the Bureau of Engineering to determine the capacity of existing sewers in this area.
7. That all pedestrian common access easements be shown on the final map.

DEPARTMENT OF BUILDING AND SAFETY, GRADING DIVISION

Grading Division approvals are conducted at 221 North Figueroa Street, 12th Floor suite 1200. The approval of this Parcel Map shall not be construed as having been based upon a geological investigation such as will authorize the issuance of the building permit of the subject property. Such permits will be issued only at such time as the Department of Building and Safety has received such topographic maps and geological reports as it deems necessary to justify the issuance of such building permits.

8. Comply with any requirements with the Department of Building and Safety, Grading Division for recordation of the final map and issuance of any permit.

DEPARTMENT OF BUILDING AND SAFETY, ZONING DIVISION

Contact Eric Wong at (213) 482-6876 to schedule an appointment.

9. That prior to recordation of the final map, the Department of Building and Safety, Zoning Division shall certify that no Building or Zoning Code violations exist on the subject site. In addition, the following items shall be satisfied:
 - a. Obtain permits for the demolition or removal of all existing structures on the site. Accessory structures and uses are not permitted to remain on lots without a main structure or use. Provide copies of the demolition permits and signed inspection cards to show completion of the demolition work.
 - b. Show all street dedication as required by Bureau of Engineering and provide net lot area after all dedication. "Area" requirements shall be re-checked as per net lot area after street dedication. Front yard requirements shall be required to comply with current code as measured from new property lines after dedication.

- c. The submitted plot plan is not complete. Provide a plot plan drawn to scale that accurately dimensions the property lines required yards on the site.

Notes:

Owners are to record a Maintenance Agreement that runs with the land for the purpose of reciprocal private easements maintenance program to all common areas and shared facilities such as trees, landscaping, drainage, trash, parking, community driveway (ground floor width and width clear to sky above the ground floor level), including walkways as shown on the approved Small Lot Subdivision Map.

There is a 15 ft. Building Line along Maltman Avenue on this Subdivision.

The proposed building plans have not been checked for and shall comply with Building and Zoning Code requirements. With the exception of revised health or safety standards, the subdivider shall have a vested right to proceed with the proposed development in substantial compliance with the ordinances, policies, and standards in effect at the time the subdivision application was deemed complete. Plan check will be required before any construction, occupancy or change of use.

The proposed buildings may not comply with City of Los Angeles Building Code requirements concerning exterior wall, protection of openings and exit requirements with respect to the proposed and existing property lines. Compliance shall be to the satisfactory of LADBS at the time of plan check.

If the proposed development does not comply with the current Zoning Code, all zoning violations shall be indicated on the Map.

Backup space for parking space with less than 26'-8" shall provide sufficient parking stall width and garage door opening width to comply with the current Zoning Code requirement. Comply with the above requirement at the time of Plan Check or obtain City Planning approval.

No parking space can back up onto a street when the driveway is serving more than two dwelling unit. Comply with the above requirement at the time of Plan Check or obtain City Planning approval.

An appointment is required for the issuance of a clearance letter from the Department of Building and Safety. The applicant is asked to contact Eric Wong at (213) 482-6876 to schedule an appointment.

DEPARTMENT OF TRANSPORTATION

10. That the project be subject to any recommendations from the Department of Transportation.

FIRE DEPARTMENT

The applicant is further advised that all subsequent contact regarding these conditions must be with the Hydrant and Access Unit. This would include clarification, verification of condition

compliance and plans or building permit applications, etc., and shall be accomplished BY APPOINTMENT ONLY, in order to assure that you receive service with a minimum amount of waiting please call (213) 482-6504. You should advise any consultant representing you of this requirement as well.

11. That prior to the recordation of the final map, a suitable arrangement shall be made satisfactory to the Fire Department, binding the subdivider and all successors to the following:
 - a. Access for Fire Department apparatus and personnel to and into all structures shall be required.
 - b. Address identification. New and existing buildings shall have approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property.
 - c. One or more Knox Boxes will be required to be installed for LAFD access to project. Location and number to be determined by LAFD Field Inspector. (Refer to FPB Req # 75).
 - d. The Fire Department may require additional vehicular access where buildings exceed 28 feet in height.
 - e. The entrance or exit of all ground dwelling units shall not be more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
 - f. Where above ground floors are used for residential purposes, the access requirement shall be interpreted as being the horizontal travel distance from the street, driveway, alley, or designated fire lane to the main entrance of individual units.
 - g. No building or portion of a building shall be constructed more than 150 feet from the edge of a roadway of an improved street, access road, or designated fire lane.
 - h. The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.
 - i. The Fire Department may require additional roof access via parapet access roof ladders where buildings exceed 28 feet in height, and when overhead wires or other obstructions block aerial ladder access.
 - j. Smoke Vents may be required where roof access is not possible; location and number of vents to be determined at Plan Review.
 - k. Site plans shall include all overhead utility lines adjacent to the site.
 - l. Any roof elevation changes in excess of 3 feet may require the installation of ships

ladders.

- m. Provide Fire Department pathway front to rear with access to each roof deck via gate or pony wall less than 36 inches.
- n. Building designs for multi-storied residential buildings shall incorporate at least one access stairwell off the main lobby of the building; But, in no case greater than 150ft horizontal travel distance from the edge of the public street, Private Street or Fire Lane. This stairwell shall extend onto the roof.
- o. Where rescue window access is required, provide conditions and improvements necessary to meet accessibility standards as determined by the Los Angeles Fire Department.
- p. Any required fire hydrants to be installed shall be fully operational and accepted by the Fire Department prior to any building construction.
- q. Adequate off-site public and on-site private fire hydrants may be required. Their number and location to be determined after the Fire Department's review of the plot plan.

DEPARTMENT OF WATER AND POWER

- 12. Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power (LADWP) for compliance with LADWP's Water System Rules and requirements. Upon compliance with these conditions and requirements, LADWP's Water Services Organization will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1.(c).)

BUREAU OF SANITATION

- 13. Wastewater Collection Systems Division of the Bureau of Sanitation has inspected the sewer/storm drain lines serving the subject parcel map and found no potential problems to their structure or potential maintenance problem, as stated in the memo dated November 12, 2021. Upon compliance with its conditions and requirements, the Bureau of Sanitation, Wastewater Collection Systems Division will forward the necessary clearances to the Bureau of Engineering. (This condition shall be deemed cleared at the time the City Engineer clears Condition No. S-1. (d).)

INFORMATION TECHNOLOGY AGENCY

- 14. To assure that cable television facilities will be installed in the same manner as other required improvements, please email ita.cabletvclearance@lacity.org which provides an automated response with the instructions on how to obtain the Cable TV clearance. The automated response also provides the email address of three people in case the applicant/owner has any additional questions.

DEPARTMENT OF RECREATION AND PARKS

Please contact Park Fees staff at (213) 202-2682 or rap.parkfees@lacity.org for any questions or comments, at your convenience.

15. That the Park Fee paid to the Department of Recreation and Parks be calculated as a Subdivision (Quimby in-lieu) fee.

URBAN FORESTRY DIVISION AND THE DEPARTMENT OF CITY PLANNING

16. Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Urban Forestry Division of the Bureau of Street Services. Parkway tree removals shall be replanted at a 2:1 ratio. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree plantings, the sub divider or contractor shall notify the Urban Forestry Division at: (213) 847-3077 upon completion of construction to expedite tree planting.

Note: Removal or planting of any tree in the public right-of-way requires approval of the Board of Public Works. Contact Urban Forestry Division at: (213) 847-3077 for permit information. CEQA document must address parkway tree removals.

DEPARTMENT OF CITY PLANNING - SITE SPECIFIC CONDITIONS

Clearances may be conducted at the Figueroa, Valley, or West Los Angeles Development Services Centers. To clear conditions, an appointment is required, which can be requested at planning.lacity.org.

17. Prior to the recordation of the final map, the subdivider shall prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner satisfactory to the Planning Department, binding the subdivider and all successors to the following:
- Limit the proposed development to a maximum of 3 (small) lots.
 - A Certificate of Occupancy (temporary or final) for the building(s) in Preliminary Parcel Map No. AA-2020-6052-PMLA-SL shall not be issued until after the final map has been recorded.
 - Provide a minimum of 2 covered off-street parking spaces per dwelling unit
 - Note to City Zoning Engineer and Plan Check. The Advisory Agency has considered the following setbacks in conjunction with the approved map. Minor deviations to the map's setbacks are allowed in the event that such deviations are necessary in order to accommodate other conditions of approval as required by other City agencies. In no event shall the setback from the perimeter boundary of the subdivision measure less than the yards required pursuant to LAMC Section 12.22 C.27:

- (i) Setbacks shall be permitted as follows:

Setback Matrix				
Lot No.	Front (E)	Rear (W)	Side (N)	Side (S)
A	15-0'	3-0'	5-0'	5-0'
B	5-0'	0-6"	5-0'	5-0'
C	4'-6"	10'	5-0'	5-0'

- (ii) The Common Access Driveway may have a minimum width of 10 feet

clear-to-sky.

- d. That prior to issuance of a certificate of occupancy, a minimum 6-foot-high slumpstone or decorative masonry wall shall be constructed adjacent to neighboring residences, if no such wall already exists, except in required front yard.
- e. That a solar access report shall be submitted to the satisfaction of the Advisory Agency prior to obtaining a grading permit.
- f. That the subdivider consider the use of natural gas and/or solar energy and consult with the Department of Water and Power and Southern California Gas Company regarding feasible energy conservation measures.
- g. INDEMNIFICATION AND REIMBURSEMENT OF LITIGATION COSTS.

Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify

the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Action includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

20. A Community Maintenance Agreement shall be prepared, composed of all property owners, to maintain all common areas such as trees, landscaping, trash, parking, community driveway, walkways, monthly service for private fire hydrant (if required), etc. Each owner and future property owners shall automatically become party to the agreement and shall be subject to a proportionate share of the maintenance. The Community Maintenance Agreement shall be recorded as a Covenant and Agreement to run with the land. The subdivider shall submit a copy of this Agreement, once recorded, to the Planning Department for placement in the parcel map file.
21. That copies of all recorded Covenant and Agreement(s) for all reciprocal private easements shall be submitted to the Planning Department for placement in the parcel map file.

DEPARTMENT OF CITY PLANNING - STANDARD SMALL LOT CONDITIONS

- SL-1. That approval of this parcel map constitutes approval of model home uses, including a sales office and off-street parking. If models are constructed under this parcel map approval, the following conditions shall apply:
 1. Prior to recordation of the final map, the subdivider shall submit a plot plan for approval by the Development Services Center of the Department of City Planning showing the location of the model dwellings, sales office and off-street parking. The sales office must be within one of the model buildings.

2. All other conditions applying to Model Dwellings under Section 12.22A, 10 and 11 and Section 17.05 O of the Code shall be fully complied with satisfactory to the Department of Building and Safety.

SL-2. That a landscape plan, prepared by a licensed landscape architect, be submitted to and approved by the Advisory Agency in accordance with CP-6730 prior to obtaining any grading or building permits before the recordation of the final map. The landscape plan shall identify tree replacement on a 1:1 basis by a minimum of 24-inch box trees for the unavoidable loss of desirable trees on the site.

In the event the subdivider decides not to request a permit before the recordation of the final map, a covenant and agreement satisfactory to the Advisory Agency guaranteeing the submission of such plan before obtaining any permit shall be recorded.

BUREAU OF ENGINEERING - STANDARD CONDITIONS

- S-1. (a) That the sewerage facilities charge be deposited prior to recordation of the final map over all of the parcel map in conformance with Section 64.11.2 of the Los Angeles Municipal Code (LAMC).
- (b) That survey boundary monuments be established in the field in a manner satisfactory to the City Engineer and located within the California Coordinate System prior to recordation of the final map. Any alternative measure approved by the City Engineer would require prior submission of complete field notes in support of the boundary survey.
- (c) That satisfactory arrangements be made with both the Water System and the Power System of the Department of Water and Power with respect to water mains, fire hydrants, service connections and public utility easements.
- (d) That any necessary sewer, street, drainage and street lighting easements be dedicated. In the event it is necessary to obtain off-site easements by separate instruments, records of the Bureau of Right-of-Way and Land shall verify that such easements have been obtained. The above requirements do not apply to easements of off-site sewers to be provided by the City.
- (e) That drainage matters be taken care of satisfactory to the City Engineer.
- (f) That satisfactory street, sewer and drainage plans and profiles as required, together with a lot grading plan of the parcel map and any necessary topography of adjoining areas be submitted to the City Engineer.
- (g) That any required slope easements be dedicated by the final map.
- (h) That each lot in the parcel map complies with the width and area requirements of the Zoning Ordinance.
- (i) That 1-foot future streets and/or alleys be shown along the outside of incomplete public dedications and across the termini of all dedications abutting unsubdivided property. The 1-foot dedications on the map shall include a restriction against their use of access purposes until such time as they are accepted for public use.

- (j) That any 1-foot future street and/or alley adjoining the parcel map be dedicated for public use by the parcel map, or that a suitable resolution of acceptance be transmitted to the City Council with the final map.
- (k) That no public street grade exceeds 15%.
- (l) That any necessary additional street dedications be provided to comply with the Americans with Disabilities Act (ADA) of 1990.

S-2. That the following provisions be accomplished in conformity with the improvements constructed herein:

- (a) Survey monuments shall be placed and permanently referenced to the satisfaction of the City Engineer. A set of approved field notes shall be furnished, or such work shall be suitably guaranteed, except where the setting of boundary monuments requires that other procedures be followed.
- (b) Make satisfactory arrangements with the Department of Traffic with respect to street name, warning, regulatory and guide signs.
- (c) All grading done on private property outside the parcel map boundaries in connection with public improvements shall be performed within dedicated slope easements or by grants of satisfactory rights of entry by the affected property owners.
- (d) All improvements within public streets, private streets, alleys and easements shall be constructed under permit in conformity with plans and specifications approved by the Bureau of Engineering.
- (e) Any required bonded sewer fees shall be paid prior to recordation of the final map.

S-3. That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:

- (a) Construct on-site sewers to serve the parcel map as determined by the City Engineer.
- (b) Construct any necessary drainage facilities.
- (c) Install street lighting facilities to serve the parcel map as required by the Bureau of Street Lighting.
 - (1) No street lighting improvements if no street widening per BOE Improvement conditions. Otherwise relocate and upgrade street light; one (1) on Maltman Ave.

Notes:

The quantity of street lights identified may be modified slightly during the plan check process based on illumination calculations and equipment selection.

Conditions set: 1) in compliance with a Specific Plan, 2) by LADOT, or 3) by other legal instrument excluding the Bureau of Engineering condition S-3 (i), requiring an improvement that will change the geometrics of the public roadway or driveway apron may require additional or the reconstruction of street lighting improvements as part of that condition.

- (d) Plant street trees and remove any existing trees within dedicated streets or proposed dedicated streets as required by the Street Tree Division of the Bureau of Street Maintenance. All street tree plantings shall be brought up to current standards. When the City has previously been paid for tree planting, the subdivider or contractor shall notify the Urban Forestry Division ((213) 847-3077) upon completion of construction to expedite tree planting.
- (e) Repair or replace any off-grade or broken curb, gutter and sidewalk satisfactory to the City Engineer.
- (f) Construct access ramps for the handicapped as required by the City Engineer.
- (g) Close any unused driveways satisfactory to the City Engineer.
- (h) Construct any necessary additional street improvements to comply with the 2010 Americans with Disabilities Act (ADA) Standards for Accessible Design.
- (i) That the following improvements are either constructed prior to recordation of the final map or that the construction is suitably guaranteed:
 - (1) Improve Maltman Avenue adjoining the subdivision by the removal of the existing curb and sidewalk; and construction of a new integral concrete curb and gutter at the existing curb face and a new 5-foot wide concrete sidewalk and landscaping of the parkway; repair and replace any damaged or off-grade existing concrete roadway; including any necessary removal and reconstruction of existing improvements.
 - (2) Construct the necessary on-site mainline and house connection sewers satisfactory to the City Engineer.

NOTES:

The Advisory Agency approval is the maximum number of units permitted under the parcel map action. However the existing or proposed zoning may not permit this number of units. This map does not constitute approval of any variations from the Municipal Code, unless approved specifically for this project under separate conditions.

Any removal of the existing street trees shall require Board of Public Works approval.

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power, Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05-N of the Los Angeles Municipal Code (LAMC).

The final map must be recorded within 36 months of this approval, unless a time extension is

granted before the end of such period.

The Advisory Agency hereby finds that this parcel map conforms to the California Water Code, as required by the Subdivision Map Act.

The subdivider should consult the Department of Water and Power to obtain energy saving design features which can be incorporated into the final building plans for the subject development. As part of the Total Energy Management Program of the Department of Water and Power, this no-cost consultation service will be provided to the subdivider upon his request.

FINDINGS OF FACT (CEQA)

The City of Los Angeles has determined based on the whole of the administrative record, that substantial evidence supports that the Project is exempt from CEQA pursuant to CEQA Guidelines Section 15303, Class 3(b) (New Construction of Small Structures), and Section 15332, Class 32 (Infill Development Project) and that none of the exceptions to a categorical exemption pursuant to CEQA Guidelines Section 15300.2 apply.

A project qualifies for a Class 32 Categorical Exemption if it is developed on an infill site and meets the following criteria:

- a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations;
- b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses;
- c) The project site has no value as habitat for endangered, rare or threatened species;
- d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and
- e) The site can be adequately served by all required utilities and public services.

The project requires a Preliminary Parcel Map for the subdivision of one (1) lot into three (3) small lots on a site that totals 7,500 gross square feet. Parcel A will consist of 2,692 square feet of lot area and a new 2,945 square-foot single-family dwelling that is four-stories and 45 feet in height. Parcel B will consist of 2,417 square feet of lot area and a new 2,593 square-foot single-family dwelling that is four-stories and 45 feet in height. Parcel C will consist of 2,391 square feet of lot area and a new 3,083 square-foot single-family dwelling that is four-stories and 45 feet in height. Each dwelling unit will include two (2) covered parking spaces. The project site was not found to have any protected trees or shrubs and does not have any street trees adjacent to the public right-of-way. The project requires the export of 565 cubic yards of earth. As a new development with three (3) single-family dwellings in an urbanized area and as a project which is characterized as infill development, the project qualifies for Section 15303, Class 3(b) and Section 15332, Class 32 categorical exemptions.

The project site is zoned R3-1VL and has a General Plan Land Use Designation of Medium Residential. As shown in the case file, the project is consistent with the applicable Silver Lake – Echo Park – Elysian Valley Community Plan designation and policies and all applicable zoning

designations and regulations. The project site is wholly within the City of Los Angeles, on a site that is approximately 0.17 acres (7,500 gross square feet of lot area). The project site is a slightly-sloping, rectangular lot with a 50-foot frontage along Maltman Avenue and a depth of approximately 150 feet. The project site is currently vacant and unimproved. Surrounding properties are improved with residential uses. Properties abutting the project site to the north, south, and east are zoned R3-1VL and are improved with one- to two-story single- and multi-family residences. Properties to the west, across Maltman Avenue, are zoned RD2-1VL and are developed with one- to two-story single- and multi-family residences. The project site is previously disturbed and surrounded by development and therefore it is not, and has no value as, a habitat for endangered, rare, or threatened species. There are no protected trees or shrubs on the project site, as identified in the tree letter prepared by Jan C. Scow, ASCA Registered Consulting Arborist #382 and Board Certified Master Arborist #WE-1972B, dated March 18, 2021.

The project will be subject to Regulatory Compliance Measures (RCMs), which require compliance with the City of Los Angeles Noise Ordinance, pollutant discharge, dewatering, stormwater mitigations; and Best Management Practices for stormwater runoff. These RCMs will ensure the project will not have significant impacts on noise and water. Furthermore, a Vehicle Miles Traveled (VMT) analysis shows that the project generates 24 daily vehicle trips and does not exceed the threshold criteria established by the Los Angeles Department of Transportation (LADOT) of 250 daily vehicle trips for preparing a traffic study. Therefore, the project will not have any significant impacts to traffic. Interim thresholds were developed by Department of City Planning (DCP) staff based on CalEEMod model runs relying on reasonable assumptions, consulting with Air Quality Management District (AQMD) staff, and surveying published air quality studies for which criteria air pollutants did not exceed the established South Coast Air Quality Management District (SCAQMD) construction and operational thresholds. The project site will be adequately served by all public utilities and services given that the site has been previously developed and is consistent with the General Plan. Therefore, the project meets all the Criteria for the Class 32.

CEQA Section 15300.2: Exceptions to the Use of Categorical Exemptions.

The City has considered whether the proposed Project is subject to any of the six (6) exceptions that would prohibit the use of a categorical exemption as set forth in State CEQA Guidelines Section 15300.2. The six (6) exceptions to this Exemption are: (a) Location; (b) Cumulative Impacts; (c) Significant Effect; (d) Scenic Highways; (e) Hazardous Waste Sites; and (f) Historical Resources.

- (a) Location.** *Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located – a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply in all instances, except where the project may impact on an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.*

While the project site is located within a Special Grading Area, specific Regulatory Compliance Measures (RCMs) in the City of Los Angeles regulate the grading and construction of projects in these particular types of “sensitive” locations and will reduce any potential impacts to less than significant. Regulatory Compliance Measures (RCMs) include:

- **Regulatory Compliance Measure RC-GEO-1 (Seismic):** The design and construction of the project shall conform to the California Building Code

seismic standards as approved by the Department of Building and Safety.

- **Regulatory Compliance Measure RC-GEO-2 (Hillside Grading Area):** The grading plan shall conform with the City's Landform Grading Manual guidelines, subject to approval by the Advisory Agency and the Department of Building and Safety's Grading Division. Appropriate erosion control and drainage devices shall be provided to the satisfaction of the Building and Safety Department. These measures include interceptor terraces, berms, vee-channels, and inlet and outlet structures, as specified by Section 91.7013 of the Building Code, including planting fast-growing annual and perennial grasses in areas where construction is not immediately planned.

These RCMs have been historically proven to work to the satisfaction of the City Engineer to reduce any impacts from the specific environment the project is located. Thus, the location of the project will not result in a significant impact based on its location.

(b) Cumulative Impacts. *All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.*

The project consists of the construction of three (3) single family dwellings. Parcel A will consist of 2,692 square feet of lot area and a new 2,945 square-foot single-family dwelling. Parcel B will consist of 2,417 square feet of lot area and a new 2,593 square-foot single-family dwelling. Parcel C will consist of 2,391 square feet of lot area and a new 3,083 square-foot single-family dwelling. Each dwelling unit will be four stories, 45 feet in height, and include two (2) covered parking spaces. The project site was not found to have any protected trees or shrubs and does not have any street trees adjacent to the public right-of-way. The project requires the export of 565 cubic yards of earth.

Within a 500-foot radius, there are two (2) other subdivision projects. On June 10, 2021, the Advisory Agency approved a Vesting Tentative Tract Map, VTT-83137-CN-HCA, to permit a one lot subdivision for the construction of a nine (9) unit residential condominium building in the R3-1VL Zone located at 754 N. Maltman Avenue. On July 29, 2015, the Advisory Agency approved a Parcel Map, AA-2014-2440-PMLA-SL, to permit a one lot subdivision into three (3) small lots in the RD2-1VL Zone located at 816 N. Maltman Avenue. While there are similar subdivision projects in proximity to the project site, this does not create a cumulative impact of a succession of known projects of the same type and in the same place as the subject project. Therefore, in conjunction with Citywide Regulatory Compliance Measures (RCMs) and compliance with other applicable regulations, no foreseeable cumulative impacts are expected.

(c) Significant Effect. *A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.*

The project consists of the construction of three (3) single family dwellings in an area zoned and designated for such development. The project site is currently vacant with no protected trees on-site or in the right-of-way. Surrounding properties

are improved with residential uses. Properties abutting the project site to the north, south, and east are zoned R3-1VL and are improved with one- to two-story single- and multi-family residences. Properties to the west, across Maltman Avenue, are zoned RD2-1VL and are developed with one- to two-story single- and multi-family residences. The size of the proposed project, which contains approximately 8,621 square feet of floor area on a 7,500 square-foot site, results in a 1.15:1 Floor Area Ratio (FAR), which is not unusual for the vicinity and is similar in scope to other existing residential uses in the area. Thus, there are no unusual circumstances which may lead to a significant effect on the environment and this exception does not apply.

(d) Scenic Highways. *A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway.*

The only State Scenic Highway within the City of Los Angeles is the Topanga Canyon State Scenic Highway, State Route 27, which travels through a portion of Topanga State Park, located approximately 26 miles to the west of the project site. Therefore, the project will not result in damage to any scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway, and this exception does not apply.

(e) Hazardous Waste. *A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.*

According to Envirostor, the State of California's database of Hazardous Waste Sites, neither the Subject Site, nor any site in the vicinity, is identified as a hazardous waste site within 1,000 feet of the project site.

(f) Historic Resources. *A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.*

The project site has not been identified as a historic resource by local or state agencies, and the site has not been determined to be eligible for listing in the National Register of Historic Places, California Register of Historical Resources, the Los Angeles Historic-Cultural Monuments Register, and/or any local register; and was not found to be a potential historic resource based on the City's HistoricPlacesLA website or SurveyLA, the citywide survey of Los Angeles. As such, the City does not choose to treat the project site as a historic resource. Based on this, the Project will not result in a substantial adverse change to the significance of a historic resource and this exception does not apply.

FINDINGS OF FACT (SUBDIVISION MAP ACT)

In connection with the approval of Parcel Map No. AA-2020-6052-PMLA-SL the Advisory Agency of the City of Los Angeles, pursuant to Sections 66473.1, 66474.60, .61 and .63 of the State of California Government Code (the Subdivision Map Act), makes the prescribed findings as follows:

(a) THE PROPOSED MAP WILL BE/IS CONSISTENT WITH APPLICABLE GENERAL AND

SPECIFIC PLANS.

The Land Use Element of the General Plan consists of the 35 Community Plans within the City of Los Angeles. The Community Plans establish goals, objectives, and policies for future developments at a neighborhood level. Additionally, through the Land Use Map, the Community Plan designates parcels with a land use designation and zone. The Land Use Element is further implemented through the Los Angeles Municipal Code (LAMC). The zoning regulations contained within the LAMC regulates, but is not limited to, the maximum permitted density, height, parking, and the subdivision of land. The project site is not located within the boundaries of a Specific Plan.

The subdivision of land is regulated pursuant to Article 7 of the LAMC. Pursuant to LAMC Section 17.50, parcel maps are to be designed in conformance with the parcel map regulations to ensure compliance with the various elements of the General Plan, including the Zoning Code. Additionally, the maps are to be designed in conformance with the Street Standards established pursuant to LAMC Section 17.05 B. The project site is located within the Silver Lake – Echo Park – Elysian Valley Community Plan, which designates the site with a Medium Residential land use designation. The land use designation lists the R3 Zone as the corresponding zone. The project site is zoned R3, which is consistent with the land use designation. The project site has approximately 7,500 square feet of lot area, which would permit a maximum of 9 units. As shown on the parcel map, the Project proposes to subdivide the project site into 3 small lots, pursuant to LAMC Section 12.22 C.27, which is consistent with the density permitted by the zone.

Pursuant to LAMC Section 17.51 A, a preliminary parcel map is not required to be prepared by a licensed land surveyor or registered civil engineer, but is required to contain information regarding the boundaries of the project site, as well as the abutting public rights-of-way, hillside contours for hillside properties, location of existing buildings, existing and proposed dedication, and improvements of the parcel map. The parcel map indicates the parcel map number, notes, legal description, contact information for the owner, applicant, and engineer, as well as other pertinent information as required by LAMC Section 17.51 A. Additionally, as a small lot subdivision, the map indicates the common access easement for vehicular and pedestrian access to the proposed small lots, consistent with LAMC Section 12.22 C.27. Therefore, the proposed map demonstrates compliance with LAMC Sections 17.05 C, 17.06 B, and 12.22 C.27 and is consistent with the applicable General Plan.

- (b) THE DESIGN OR IMPROVEMENT OF THE PROPOSED SUBDIVISION IS CONSISTENT WITH APPLICABLE GENERAL AND SPECIFIC PLANS.

For purposes of a subdivision, design and improvement is defined by Section 66418 and 66419 of the Subdivision Map Act and LAMC Section 17.02. Design refers to the configuration and layout of the proposed lots in addition to the proposed site plan layout. Pursuant to Section 66427(a) of the Subdivision Map Act, the location of the buildings is not considered as part of the approval or disapproval of the map by the Advisory Agency. Easements and/or access and “improvements” refers to the infrastructure facilities serving the subdivision. LAMC Section 17.50 and 17.05 enumerates the design standards for a parcel map and requires that each map be designed in conformance with the Street Design Standards and in conformance with the General Plan. As indicated in Finding (a), LAMC Section 17.05 C requires that the parcel map be designed in conformance with the zoning regulations of the project site. As the project site is zoned R3, the zone would permit a maximum of nine (9) lots on the approximately 7,500 square-foot site. As the map

is proposed for a three (3) small lot subdivision, it is consistent with the density permitted by the zone. As a small lot subdivision, the map indicates the common access easements from the public right-of-ways for vehicular access.

The parcel map was distributed to and reviewed by the various city agencies of the Subdivision Committee that have the authority to make dedication, and/or improvement recommendations. The Bureau of Engineering reviewed the parcel map for compliance with the Street Design Standards. The Bureau of Engineering has recommended improvements to the public right-of-way along Maltman Avenue, consistent with the standards of the Mobility Element. In addition, the Bureau of Engineering has recommended the construction of the necessary on-site mainline sewers and all necessary street improvements will be made to comply with the Americans with Disabilities Act (ADA) of 2010. The Bureau of Street lighting reviewed the parcel map and recommended the relocation and improvement of one (1) street light on Maltman Avenue. As conditioned, the design and improvements of the proposed subdivision are consistent with the applicable General Plan. The project site is not located within the boundary of a Specific Plan.

(c) THE SITE IS PHYSICALLY SUITABLE FOR THE TYPE OF DEVELOPMENT.

The project site is a sloping, rectangular lot consisting of approximately 7,500 gross square feet of lot area. The project site is vacant and unimproved. The applicant proposes a Preliminary Parcel Map for the subdivision of one (1) lot into three (3) small lots on a site that totals 7,500 gross square feet. Parcel A will consist of 2,692 square feet of lot area and a new 2,945 square-foot single-family dwelling that is four-stories and 45 feet in height. Parcel B will consist of 2,417 square feet of lot area and a new 2,593 square-foot single-family dwelling that is four-stories and 45 feet in height. Parcel C will consist of 2,391 square feet of lot area and a new 3,083 square-foot single-family dwelling that is four-stories and 45 feet in height. Each dwelling unit will include two (2) covered parking spaces. The project site was not found to have any protected trees or shrubs and does not have any street trees adjacent to the public right-of-way. The project requires the export of 565 cubic yards of earth.

The project site is located within 1.05 km (0.65 miles) from the Upper Elysian Park Fault but is not located within the Alquist-Priolo Fault Zone. The project site is not located within a high fire hazard severity zone, flood zone, landslide, liquefaction, methane, or tsunami inundation zone. The project site is located within a designated hillside area and within a BOE Special Grading Area and will be required to be consistent with all applicable regulations as it pertains to development within a hillside area and BOE Special Grading Area. Prior to the issuance of any permits, the project would be required to be reviewed and approved by the Department of Building and Safety and the Fire Department. The project site is not identified as having hazardous waste or past remediation. The project site is located outside of a Flood Zone. The project site is not subject to the Specific Plan for the Management of Flood Hazards (floodways, floodplains, mud prone areas, coastal high-hazard and flood-related erosion hazard areas).

The parcel map has been approved contingent upon the satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits. Therefore, the project site will be physically suitable for the proposed type of development.

(d) THE SITE IS PHYSICALLY SUITABLE FOR THE PROPOSED DENSITY OF

DEVELOPMENT.

Surrounding properties are improved with residential uses. Properties abutting the project site to the north, south, and southwest are also zoned R3-1VL and are improved with one- to two-story multi-family residences. Properties to the west, across Maltman Avenue, are zoned RD2-1VL and are developed with one- to two-story single- and multi-family residences.

The project site is comprised of one (1) unimproved parcel consisting of approximately 7,500 square feet of land. The project requires a Preliminary Parcel Map for the subdivision of one (1) lot into three (3) small lots on a site that totals 7,500 gross square feet. Parcel A will consist of 2,692 square feet of lot area and a new 2,945 square-foot single-family dwelling that is four-stories and 45 feet in height. Parcel B will consist of 2,417 square feet of lot area and a new 2,593 square-foot single-family dwelling that is four-stories and 45 feet in height. Parcel C will consist of 2,391 square feet of lot area and a new 3,083 square-foot single-family dwelling that is four-stories and 45 feet in height. Each dwelling unit will include two (2) covered parking spaces. The project site was not found to have any protected trees or shrubs and does not have any street trees adjacent to the public right-of-way. The project requires the export of 565 cubic yards of earth. The parcel map has been approved contingent upon the satisfaction of the Department of Building and Safety, Grading Division prior to the recordation of the map and issuance of any permits. Additionally, prior to the issuance of a demolition, grading, or building permit, the project would be required to comply with conditions herein and applicable requirements of the LAMC. As conditioned the proposed parcel map is physically suitable for the proposed density of the development.

- (e) THE DESIGN OF THE SUBDIVISION OR THE PROPOSED IMPROVEMENTS ARE NOT LIKELY TO CAUSE SUBSTANTIAL ENVIRONMENTAL DAMAGE OR SUBSTANTIALLY AND AVOIDABLY INJURE FISH OR WILDLIFE OR THEIR HABITAT.

The project site is currently vacant and undeveloped. A tree letter prepared by Jan C. Scow, ASCA Registered Consulting Arborist #382 and Board Certified Master Arborist #WE-1972B, dated March 18, 2021, states that there are no trees existing on the property or in the public right of way. The surrounding area is presently developed with single- and multi-family residences. Neither the project site nor the surrounding area provides a natural habitat for fish or wildlife. It has been determined that the project and the design of the subdivision and proposed improvements will not cause substantial environmental damage or injury to wildlife or their habitat.

- (f) THE DESIGN OF THE SUBDIVISION OR TYPE OF IMPROVEMENTS IS NOT LIKELY TO CAUSE SERIOUS PUBLIC HEALTH PROBLEMS.

There appears to be no potential public health problems caused by the design or improvement of the proposed subdivision.

The development is required to be connected to the City's sanitary sewer system, where the sewage will be directed to the LA Hyperion Treatment Plant, which has been upgraded to meet Statewide ocean discharge standards. The Bureau of Engineering has reported that the proposed subdivision does not violate the existing California Water Code because the subdivision will be connected to the public sewer system and will have only a minor incremental impact on the quality of the effluent from the Hyperion Treatment Plant.

- (g) THE DESIGN OF THE SUBDIVISION OR THE TYPE OF IMPROVEMENTS WILL NOT CONFLICT WITH EASEMENTS, ACQUIRED BY THE PUBLIC AT LARGE, FOR ACCESS THROUGH OR USE OF PROPERTY WITHIN THE PROPOSED SUBDIVISION.

As required by LAMC Section 12.03, the project site has a minimum of 20 feet of frontage along North Maltman Avenue, which is a public street. The project site consists of a parcel identified as Lot No. 50 of West End Ocean View Tract and is identified by the Assessor Parcel Map No. 5401-006-004. While the project will provide a private easement for common/vehicular access purposes within the subdivision, there are no known easements acquired by the public at large for access through or use of the property within the proposed subdivision, as identified on the parcel map. Necessary easements for utilities will be acquired by the City prior to the recordation of the proposed parcel map.

Therefore, the design of the subdivision and the proposed improvements would not conflict with easements acquired by the public at large for access through or use of the property within the proposed subdivision.

- (h) THE DESIGN OF THE PROPOSED SUBDIVISION SHALL PROVIDE, TO THE EXTENT FEASIBLE, FOR FUTURE PASSIVE OR NATURAL HEATING OR COOLING OPPORTUNITIES IN THE SUBDIVISION. (REF. SECTION 66473.1)

In assessing the feasibility of passive or natural heating or cooling opportunities in the proposed subdivision design, the applicant has prepared and submitted materials which consider the local climate, contours, configuration of the parcel(s) to be subdivided and other design and improvement requirements.

Providing for passive or natural heating or cooling opportunities will not result in reducing allowable densities or the percentage of a lot which may be occupied by a building or structure under applicable planning and zoning in effect at the time the tentative map was filed.

The lot layout of the subdivision has taken into consideration the maximizing of the north/south orientation.

The topography of the project site has been considered in the maximization of passive or natural heating and cooling opportunities.

In addition, prior to obtaining a building permit, the subdivider shall consider building construction techniques, such as overhanging eaves, location of windows, insulation, exhaust fans; planting of trees for shade purposes and the height of the buildings on the project site in relation to adjacent development.

These findings shall apply to both the tentative and final maps for Parcel Map No. AA-2020-6052-PMLA-SL.

THE FOLLOWING NOTES ARE FOR INFORMATIONAL PURPOSES AND ARE NOT CONDITIONS OF APPROVAL OF THIS PARCEL MAP:

Satisfactory arrangements shall be made with the Los Angeles Department of Water and Power,

Power System, to pay for removal, relocation, replacement or adjustment of power facilities due to this development. The subdivider must make arrangements for the underground installation of all new utility lines in conformance with Section 17.05-N of the Los Angeles Municipal Code (LAMC).

Note: The above action shall become effective upon the decision date noted at the top of this letter unless an appeal has been submitted to the Central Area Planning Commission within 15 calendar days of the decision date. If you wish to file an appeal, it must be filed within 15 calendar days from the decision date as noted in this letter. For an appeal to be valid to the City Planning Commission, it must be accepted as complete by the City Planning Department and appeal fees paid, prior to expiration of the above 15-day time limit. Such appeal must be submitted on Master Appeal Form No. CP-7769 at the Department's Public Offices, located at:

Figueroa Plaza
Development Services Center
201 North Figueroa Street,
4th Floor
Los Angeles, CA 90012
(213) 482-7077

Marvin Braude San Fernando
Valley Constituent Service Center
6262 Van Nuys Boulevard,
Room 251
Van Nuys, CA 91401
(818) 374-5050

West Los Angeles
Development Services Center
1828 Sawtelle Boulevard,
2nd Floor
Los Angeles, CA 90025
(310) 231-2912

***Appeal forms are available on-line at www.planning.lacity.org**

Pursuant to Ordinance 176,321, effective January 15, 2005, Parcel Map determinations are only appealable to the Area Planning Commission. There is no longer a second level of appeal to the City Council for Parcel Map actions of the Advisory Agency.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedure Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5, only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final, including all appeals, if any.

No sale of separate parcels is permitted prior to recordation of the final parcel map. The owner is advised that the above action must record within 36 months of this approval, unless an extension of time is granted before the end of such period. No requests for time extensions or appeals received by mail shall be accepted.

VINCENT P. BERTONI, AICP
Advisory Agency

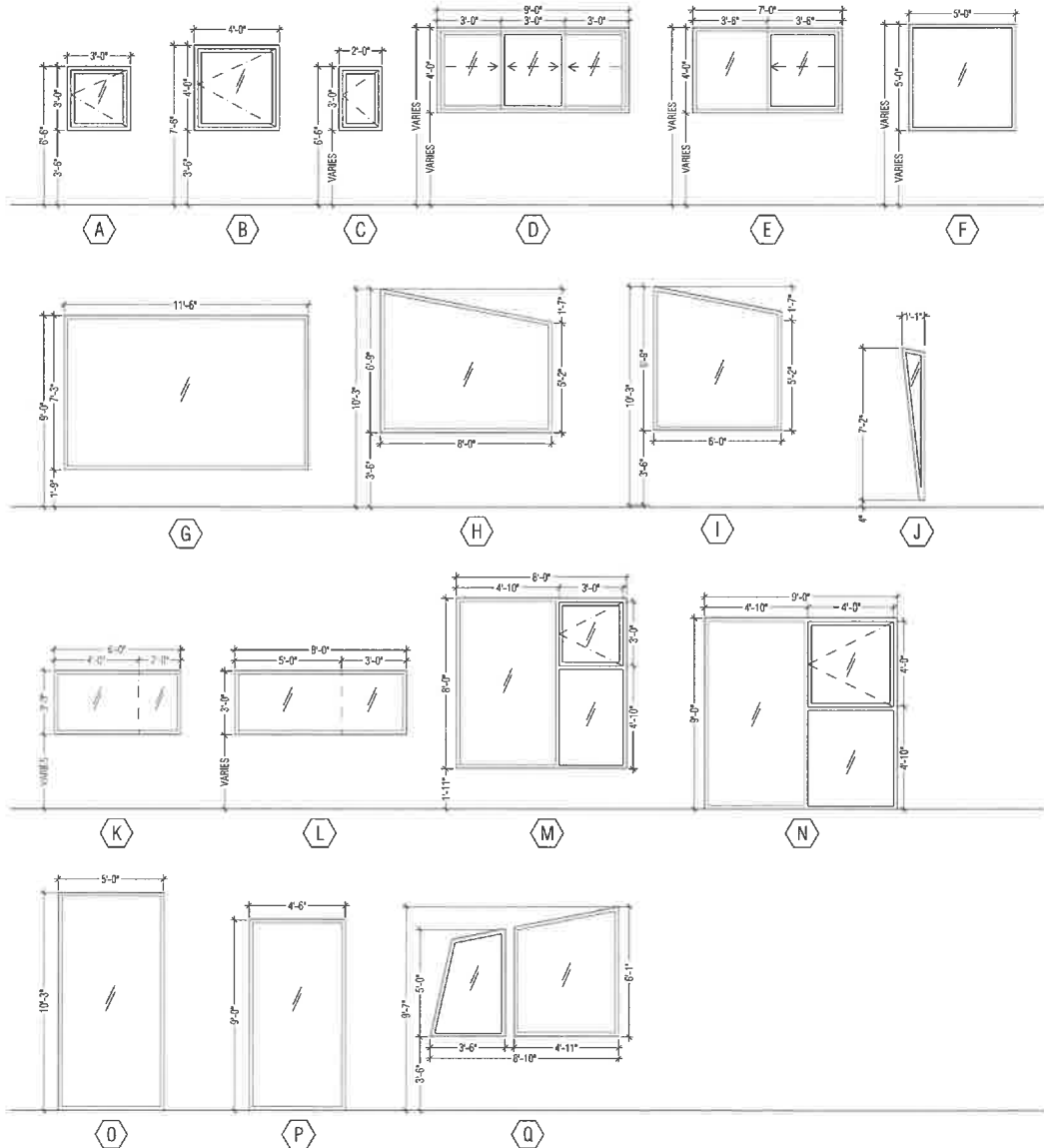
Deborah Kahan
DEBORAH KAHEN, AICP
Deputy Advisory Agency

DK:JC:EC:MA:MP

WINDOW SCHEDULE

	WINDOW SIZE		TYPE	MANUFACTURER	MODEL NO.	LOCATION	GLASS	FRAME	FINISH	DETAIL			REMARKS/NOTES
	WIDTH	HEIGHT								HD	JMB	SILL	
A	3'-0"	3'-0"	CASEMENT										
B	4'-0"	4'-0"	CASEMENT										
C	2'-0"	3'-0"	CASEMENT										
D	9'-0"	4'-0"	SLIDER										ALUMINUM FRAME & TEMPERED GLASS
E	7'-0"	4'-0"	SLIDER										ALUMINUM FRAME & TEMPERED GLASS
F	5'-0"	5'-0"	FIXED										
G	11'-6"	7'-3"	FIXED										
H	8'-0"	6'-9"	FIXED										
I	6'-0"	6'-9"	FIXED										
J	1'-1"	7'-2"	FIXED										
K	6'-0"	3'-0"	FIXED										
L	8'-0"	3'-0"	FIXED										
M	8'-0"	8'-0"	FIXED										
N	9'-0"	9'-0"	FIXED										
O	5'-0"	10'-3"	FIXED										
P	4'-6"	9'-0"	FIXED										
Q	8'-10"	6'-1"	FIXED										

WINDOW ELEVATIONS/TYPE 1/4" = 1'-0"



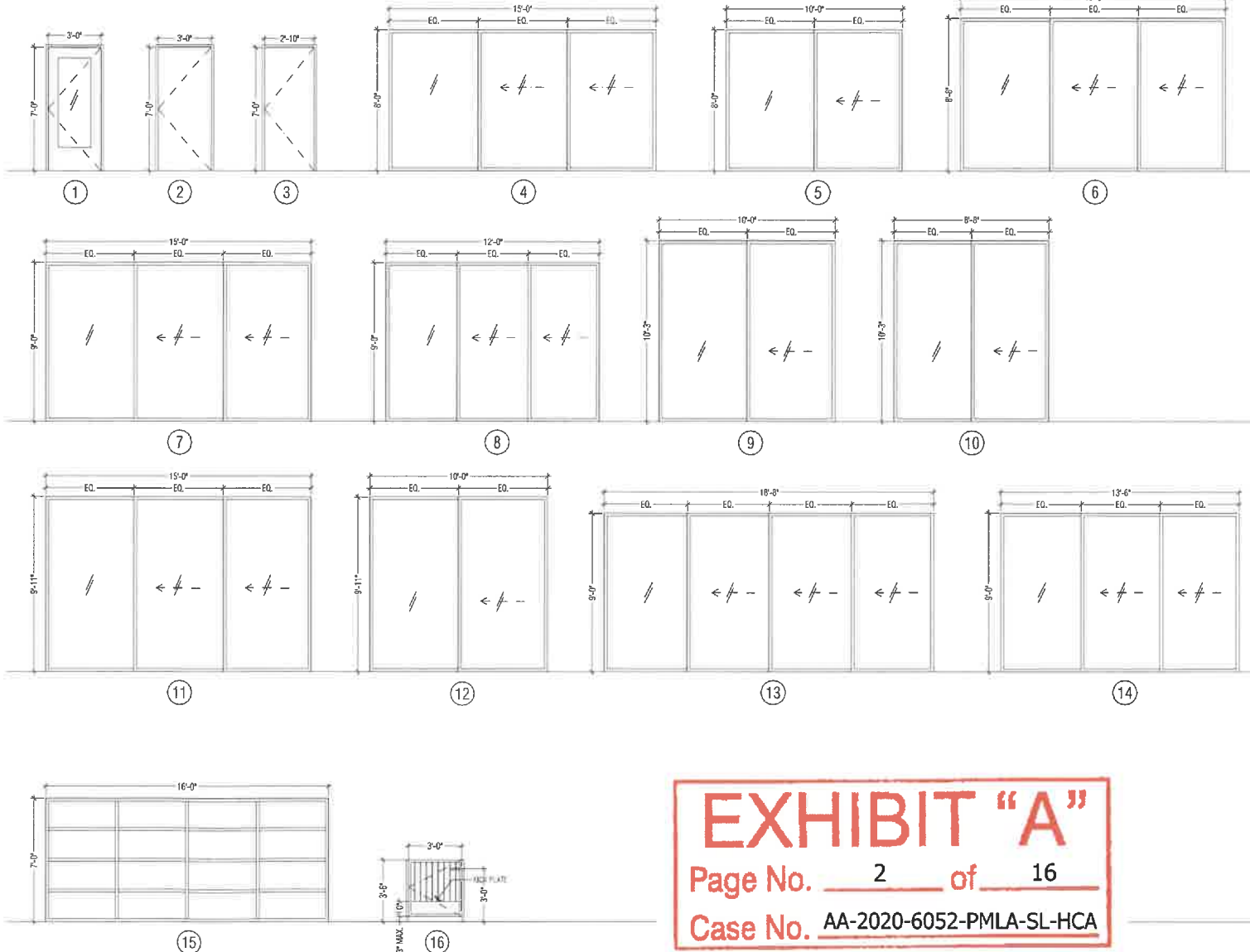
WINDOW NOTES

- WHERE GLAZED OPENINGS ARE PROVIDED IN ACCESSIBLE ROOMS OR SPACES FOR OPERATIONS BY OCCUPANTS, AT LEAST ONE OPENING SHALL COMPLY WITH SECTION 11126A.8 AND 1138A.4. 30"x48" CLEAR SPACE FOR FORWARD OR PARALLEL APPROACH, REACH RANGES 15" TO 48", REQUIRED FORCE TO OPERATE CONTROLS NO GREATER THAN 5 POUNDS.
- ONE OPENABLE WINDOW WITH AN OPENABLE AREA OF NOT LESS THAN 5.7 SQ FT MINIMUM CLEAR 24" HEIGHT AND 20" WIDTH, AND 44" ABOVE THE FLOOR IS REQUIRED IN ALL BEDROOMS BELOW THE FOURTH STORY AND BASEMENT (1030.2)
- FIRE PROTECTED-RATED GLAZING SHALL COMPLY WITH CBC 716.6:
 - FIRE RATING AS INDICATED IN T716.6.
 - INSTALLED IN FIXED POSITION OR AUTOMATIC-CLOSING.
- SHOW ALL "BUGS" ON TEMPERED GLASS.
- ALL WINDOWS TO BE CASED AND PATIO DOORS TO BE DRYWALLED.

DOOR SCHEDULE

	QTY	DOOR SIZE			RATING	TYPE	MANUFACTURER	MODEL NO.	LOCATION	DESCRIPTION	GLASS	SCREEN	ALARM	FINISH		DETAIL			REMARKS/NOTES
		WIDTH	HEIGHT	THK										FRAME	FACE	HD	JMB	SILL	
1	3	3'-0"	7'-0"	1-3/4"	20 MIN	SWING			EXTERIOR DOOR @ ENTRY	ALUMINUM FRAME & TEMPERED GLASS	1" THK INSULATED, TEMPERED						#17/ A-9.0		
2	8	3'-0"	7'-0"	1-3/4"	20 MIN	SWING			EXTERIOR DOOR	WOOD DOOR									
3	46	2'-10"	7'-0"	1-3/4"		SWING			INTERIOR DOOR	WOOD DOOR									
4	1	15'-0"	8'-0"	1-3/4"		SLIDING			BEDROOM		TEMPERED								
5	1	10'-0"	8'-0"	1-3/4"		SLIDING			BEDROOM		TEMPERED								
6	1	15'-0"	8'-8"	1-3/4"		SLIDING			BEDROOM		TEMPERED								
7	2	15'-0"	9'-0"	1-3/4"		SLIDING			LIVING ROOM		TEMPERED								
8	1	12'-0"	9'-0"	1-3/4"		SLIDING			DINING ROOM		TEMPERED								
9	2	10'-0"	10'-3"	1-3/4"		SLIDING			LIVING ROOM		TEMPERED								
10	1	8'-8"	10'-3"	1-3/4"		SLIDING			DINING ROOM		TEMPERED								
11	1	15'-0"	9'-11"	1-3/4"		SLIDING			LIVING ROOM		TEMPERED								
12	2	10'-0"	9'-11"	1-3/4"		SLIDING			LIVING ROOM		TEMPERED								
13	2	18'-8"	9'-0"	1-3/4"		SLIDING			DEN		TEMPERED								
14	1	13'-6"	9'-0"	1-3/4"		SLIDING			DEN		TEMPERED								
15	3	17'-0"	7'-0"	1-3/4"		GARAGE			GARAGE		TEMPERED								
16	2	3'-0"	3'-6"	1-3/4"		SWING			GATE @ FRONT YARD	CUSTOM METAL									

DOOR ELEVATIONS/TYPE 1/4" = 1'-0"



DOOR NOTES

- MAXIMUM EFFORT TO OPERATE DOORS OR GATES SHALL NOT EXCEED 8-1/2 POUNDS FOR EXTERIOR DOORS OR GATES
- HAND-ACTIVATED DOOR OR GATE LATCHING, LOCKING AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES (762 MM) AND 44 INCHES (1118 MM) ABOVE THE FLOOR. LATCHING AND LOCKING DOORS OR GATES THAT ARE HAND-ACTIVATED AND ON AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS OR GATES SHALL OPERATE CONSISTENT WITH SECTION 1126A.4, IN THE DIRECTION OF EGRESS. WHEN SLIDING DOORS ARE IN THE FULLY OPEN POSITION, OPERATING HARDWARE SHALL BE EXPOSED AND USABLE FROM BOTH SIDES.
 - EXCEPTION: ACCESS GATES IN BARRIER WALLS AND FENCES PROTECTING POOLS, SPAS, AND HOT TUBS SHALL BE PERMITTED TO HAVE OPERABLE PARTS OF THE RELEASE OF LATCH ON SELF-LATCHING DEVICES AT 54 INCHES (1372 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND PROVIDED THE SELF-LATCHING DEVICES ARE NOT ALSO SELF-LOCKING DEVICES OPERATED BY MEANS OF A KEY, ELECTRONIC OPENER, OR INTEGRAL COMBINATION LOCK.
 - LEVER TYPE HARDWARE, THE LEVER OR LEVER OF ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2 INCH (12.7 MM) OF THE DOOR OR GATE TO PREVENT CATCHING ON THE CLOTHING OF PERSONS DURING EGRESS.
 - EXCEPTION: GROUP R AND U OCCUPANCIES WITH AN OCCUPANT LOAD OF 10 OR LESS.
- THRESHOLDS AT THE PRIMARY ENTRY AND REQUIRED EXIT DOORS SHALL BE NO HIGHER THAN 1/2 INCH (12.7 MM). THRESHOLDS AT SECONDARY EXTERIOR DOORS, INCLUDING SLIDING DOOR TRACKS, SHALL BE NO HIGHER THAN 3/4 INCH (19.05 MM). CHANGES IN HEIGHT AT INTERIOR DOOR THRESHOLDS (E.G., FLOOR MATERIAL CHANGES AT DOOR THRESHOLDS) SHALL NOT EXCEED 1/2 INCH (12.7 MM). THRESHOLDS SHALL COMPLY WITH THE FOLLOWING:
 - THRESHOLDS WITH A CHANGE IN HEIGHT OF NOT MORE THAN 1/4 INCH (6.35 MM) MAY BE VERTICAL.
 - THRESHOLDS WITH A CHANGE IN HEIGHT BETWEEN 1/4 INCH (6.35 MM) AND 3/4 INCH (19.05 MM) SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL (50-PERCENT SLOPE).
- FIRE DOORS SHALL COMPLY WITH CBC 716.5: A. FIRE RATING AS INDICATED IN T716.5. B. SELF- OR AUTOMATIC-CLOSING

EXHIBIT "A"
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Case No. AA-2020-6052-PMLA-SL-HCA

Warren Technich Architecture, Inc.
2801 Hyperion Ave. Studio #103
Los Angeles, CA 90027
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F: 323.664.4544
www.wtarch.com



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Drawn by	Checked by
Revised by	Revised by
Date	Date
Issue/Revision	Issue/Revision

MALTMAN
SMALL LOT SUBDIVISION
7881 MALTMAN AVE.
LOS ANGELES, CA 90026



PLAN - GROUND LEVEL

$$\frac{3}{16}'' = 1'-0''$$

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Case No. AA-2020-6052-PMLA-SL-HCA

MATERIALS & FINISH LEGEND				
TYPE	MATERIAL	LOCATION	DIMENSIONS	NOTES
P1	TURF BLOCK PAVING	DRIVEWAY AISLES		ARTIFICIAL TURF OVER PAVER BLOCKS
P2	PERMEABLE PAVER WALKS	PEDESTRIAN PATHWAY		3 1/4" (80 MM) THICK INTERLOCKING CONCRETE PAVERS
C1	CONCRETE	DRIVEWAY		SAND FINISH CONCRETE
L1	PLANTING	SEE LANDSCAPE PLANS		
L2	GRAVEL	SEE LANDSCAPE PLANS		
M1	STANDING SEAM METAL	EXT. WALLS & ROOF		MATTE BLACK
S1	STUCCO	EXT. WALLS		
W1	WOOD SIDING	EXT. FLOOR & EXT. WALLS		
W2	WOOD DECK	BALCONY & ROOF DECK		

- EXTERIOR WALL / FIRE TREATED LUMBER

1. ALL EXTERIOR STUDS, PLATES, PARAPETS, RM JOIST AND PLYWOOD WITHIN 4" OF THE EXTERIOR WALL SHALL BE FIRE-TREATED.
2. FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RR NO. 25150.
3. ONLY GALVANIZED NAILS ARE ALLOWED IN FIRE-TREATED PLYWOOD.
4. SHEAR WALLS AND BEARING WALLS SHALL NOT BE COMBINED WITH PLUMBING WALLS
5. FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS



















NOTE

1. ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD 1/2" O.G.
2. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
3. WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE.
4. ALL TRASH BINS SHALL BE COVERED.
5. ROOF RUMFAGE TO DRAW TO BMP DEVICE PER LID PLANS.
6. DECK MATERIAL USE LFR-1000-42. REFER TO SECTION 803.1-DE FOR REPORT FOR ROOF ASSEMBLY AND SUBMITTAL. RUNNICE TO SEE SHEET A-1.EE.
7. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803.9. IN ADDITION PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803.804 AND TABLE 803.9.

WALL LEGEND:

- | | |
|---|---|
| | 1 HR RATED INTERIOR WAL SEE DETAIL 16/A-9.0 |
| | 1 HR RATED EXTERIOR WALL 15/A-9.0 |
| | PLUMBING WALL |

SYMBOL LEGEND

- | | | | |
|---|---|---|--|
|  | HANDWIRED SMOKE
DETECTOR WITH BATTERY
BACK-UP @ CEILING ABOVE |  | AREA DRAIN |
|  | HIGHLY COMBINATION
SMOKE DETECTOR & CARBON
MONOXIDE DETECTOR |  | DECK DRAIN |
|  | EMERGENCY ESCAPE & RESCUE |  | PLANTER DRAIN |
|  | WINDOW TYPE |  | ROOF DRAIN |
|  | DOOR TYPE |  | DOWNSPOUT |
|  | EXHAUST FAN ENERGY
STAR RATED WITH
HUMIDITY CONTROL
AND DUCTS TO
TERMINATE DIRECTLY TO
THE OUTDOORS. (4.506.1) |  | OVERFLOW SCUPPER |
|  | |  | SEE 18/ A 9.4 |
|  | |  | COMBINATION ROOF DRAIN
& OVERFLOW SCUPPER |
|  | |  | DIRECTION OF DRAINAGE
SLOPE @ 2% MIN. |

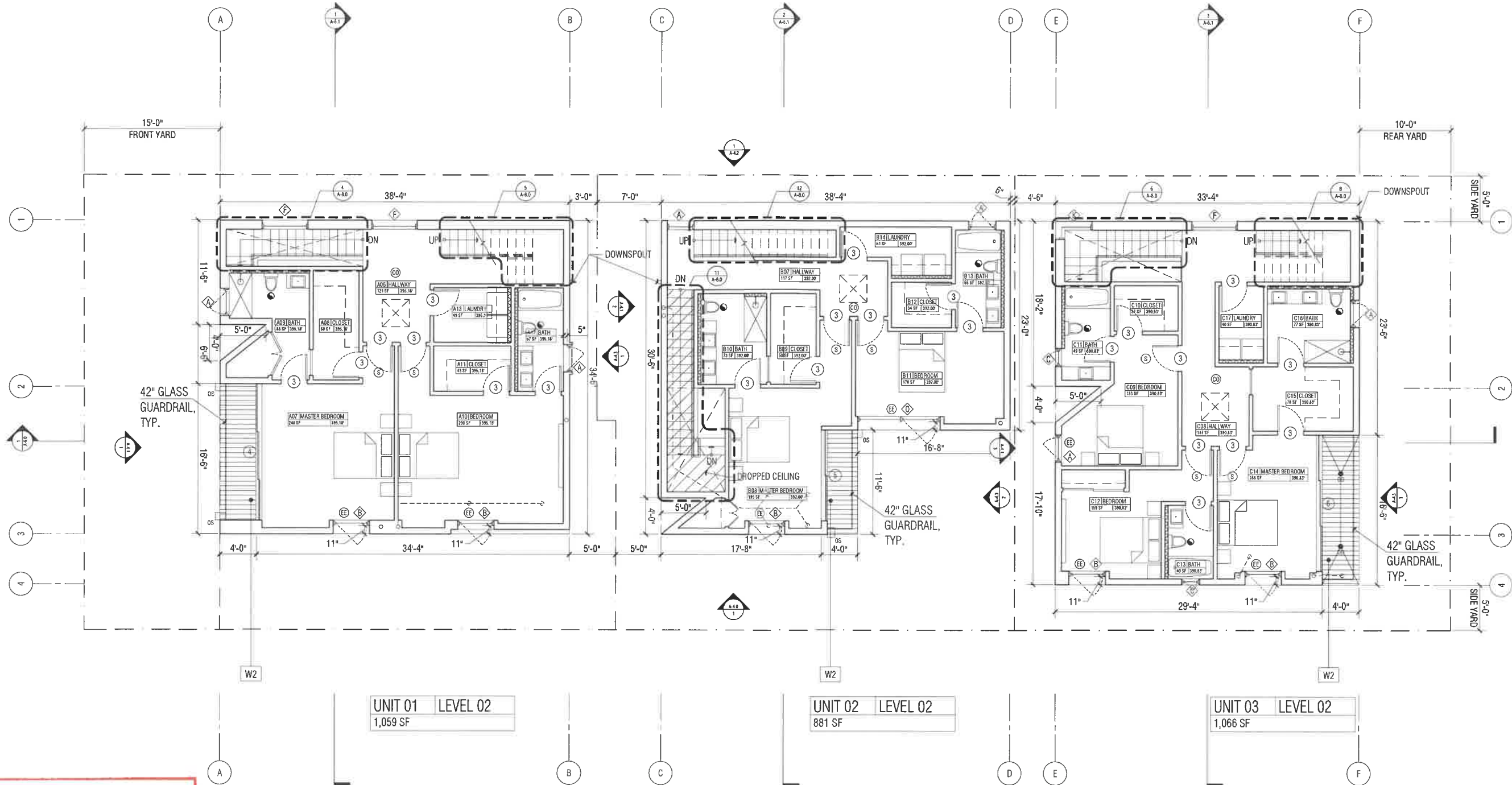


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Revised by	Revised by
Date	Date
Description	Description

MALTMAN
SMALL LOT SUBDIVISION
728 N MALTMAN AVE
LOS ANGELES, CA 90026

13 JUNE 2022
PLANS
SECOND LEVEL
A-3.1
AS NOTED

**EXHIBIT "A"**

Page No. 4 of 16

Case No. AA-2020-6052-PMLA-SL-HCA

MATERIALS & FINISH LEGEND

TYPE	MATERIAL	LOCATION	DIMENSIONS	NOTES
P1	TURF BLOCK PAVING	DRIVEWAY AISLES		ARTIFICIAL TURF OVER PAVER BLOCKS
P2	PERMEABLE PAVER WALKS	PEDESTRIAN PATHWAY		3 1/4" (80 MM) THICK INTERLOCKING CONCRETE PAVERS
C1	CONCRETE	DRIVEWAY		SAND FINISH CONCRETE
L1	PLANTING	SEE LANDSCAPE PLANS		
L2	GRAVEL	SEE LANDSCAPE PLANS		
M1	STANDING SEAM METAL	EXT. WALLS & ROOF		MATTE BLACK
S1	STUCCO	EXT. WALLS		
W1	WOOD SIDING	EXT. FLOOR & EXT. WALLS		
W2	WOOD DECK	BALCONY & ROOF DECK		

EXTERIOR WALL / FIRE TREATED LUMBER

- ALL EXTERIOR STUDS, PLATES, PARAPETS, RM JOIST AND PLYWOOD WITHIN 4" OF THE EXTERIOR WALL SHALL BE FIRE-TREATED.
- FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RM NO. 25150.
- ONLY GALVANIZED NAILS ARE ALLOWED IN FIRE-TREATED PLYWOOD.
- SHEAR WALLS AND BEARING WALLS SHALL NOT BE COMBINED WITH PLUMBING WALLS.
- FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS.

NOTE

- ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N.
- PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE.
- ALL TRASH BINS SHALL BE COVERED.
- ALL ROOF RUNOFF TO DRAIN TO BMP DEVICE PER LID PLANS.
- DECK MATERIAL UL-EP-1306-02. REFER TO SHEET A-1.60-E FOR REPORT. FOR ROOF ASSEMBLY AND SRI/THERMAL EMITTANCE REFER TO SHEET A-1.6E.
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILING SHALL BE TESTED AS SPECIFIED IN SECTION 803. IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803. 804, AND TABLE 803.9

WALL LEGEND:

- 1 HR RATED INTERIOR WALL SEE DETAIL 15/A-9.0
- 1 HR RATED EXTERIOR WALL 15/A-9.0
- PLUMBING WALL

SYMBOL LEGEND

- HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
- HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- EMERGENCY ESCAPE & RESCUE
- WINDOW TYPE
- DOOR TYPE
- EXHAUST FAN, ENERGY STAR RATED, WITH HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO THE OUTDOORS. (4.506.1)
- AREA DRAIN
- DECK DRAIN
- PLANTER DRAIN
- ROOF DRAIN
- DOWNSPOUT
- OVERFLOW SCUPPER SEE 15/A 9.4
- COMBINATION ROOF DRAIN & OVERFLOW SCUPPER
- DIRECTION OF DRAINAGE SLOPE @ 2% MIN.



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Revisions	Description

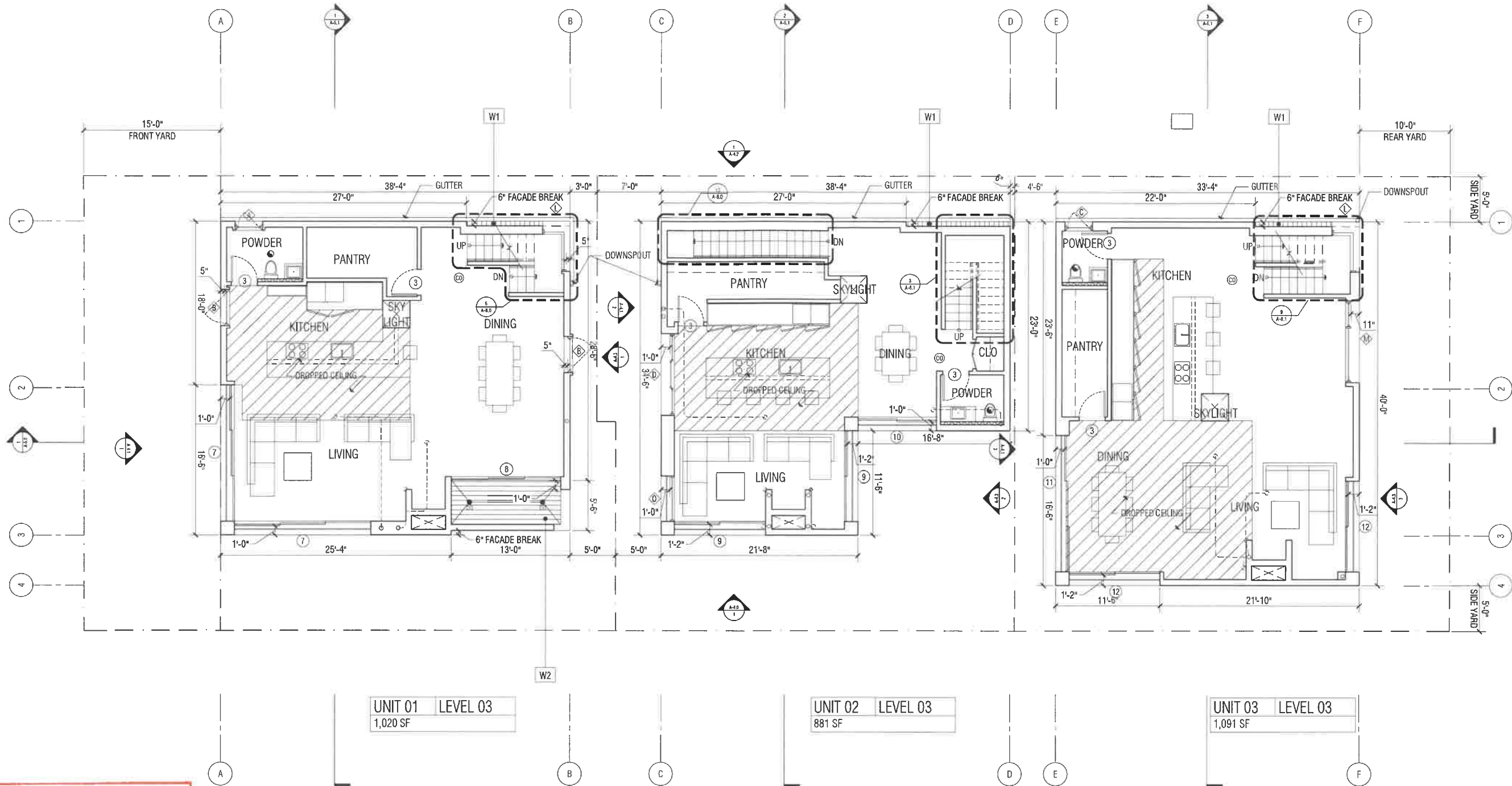
MAL TMAN
SMALL LOT SUBDIVISION
738 N. MAL TMAN AVE.
LOS ANGELES, CA 90026

13 JUNE 2022

PLANS
THIRD LEVEL

A-3.2

AS NOTED

**EXHIBIT "A"**Page No. 5 of 16Case No. AA-2020-6052-PMLA-SL-HCA

MATERIALS & FINISH LEGEND

TYPE	MATERIAL	LOCATION	DIMENSIONS	NOTES
P1	TURF BLOCK PAVING	DRIVEWAY AISLES		ARTIFICIAL TURF OVER PAVER BLOCKS
P2	PERMEABLE PAVER WALKS	PEDESTRIAN PATHWAY		3 1/4" (80 MM) THICK INTERLOCKING CONCRETE PAVERS
C1	CONCRETE	DRIVEWAY		SAND FINISH CONCRETE
L1	PLANTING	SEE LANDSCAPE PLANS		
L2	GRAVEL	SEE LANDSCAPE PLANS		
M1	STANDING SEAM METAL	EXT. WALLS & ROOF		MATTE BLACK
S1	STUCCO	EXT. WALLS		
W1	WOOD SIDING	EXT. FLOOR & EXT. WALLS		
W2	WOOD DECK	BALCONY & ROOF DECK		

EXTERIOR WALL / FIRE TREATED LUMBER

- ALL EXTERIOR STUDS, PLATES, PARAPETS, RM JOIST AND PLYWOOD WITHIN 4' OF THE EXTERIOR WALL SHALL BE FIRE-TREATED.
- FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RR NO. 25150.
- ONLY GALVANIZED NAILS ARE ALLOWED IN FIRE-TREATED PLYWOOD.
- SHEAR WALLS AND BEARING WALLS SHALL NOT BE COMBINED WITH PLUMBING WALLS.
- FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS.

NOTE

- ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N.
- PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE.
- ALL TRASH BINS SHALL BE COVERED.
- ALL ROOF FURNISH TO DRAIN TO BMP DEVICE PER LID PLANS.
- DECK MATERIAL UL-EP-1306-02, REFER TO SHEET A-1.6D-E FOR REPORT, FOR ROOF ASSEMBLY AND SRTHERMAL EMITTANCE REFER TO SHEET A-1.6E.
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803, IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803, 804, AND TABLE 803.9

WALL LEGEND:

- 1 HR RATED INTERIOR WALL SEE DETAIL 15/A-9.0
- 1 HR RATED EXTERIOR WALL 15/A-9.0
- PLUMBING WALL

SYMBOL LEGEND

- (S) HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
- (CO) HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- (EE) EMERGENCY ESCAPE & RESCUE
- (X) WINDOW TYPE
- (#) DOOR TYPE
- (E) EXHAUST FAN, ENERGY STAR RATED, WITH HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO THE OUTDOORS. (A.506.1)
- AREA DRAIN
- DECK DRAIN
- PLANTER DRAIN
- ROOF DRAIN
- DOWNSPOUT
- OVERFLOW SCUPPER SEE 18/A.9.4
- COMBINATION ROOF DRAIN & OVERFLOW SCUPPER
- DIRECTION OF DRAINAGE SLOPE @ 2% MIN.



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Revised (Notes)	Description

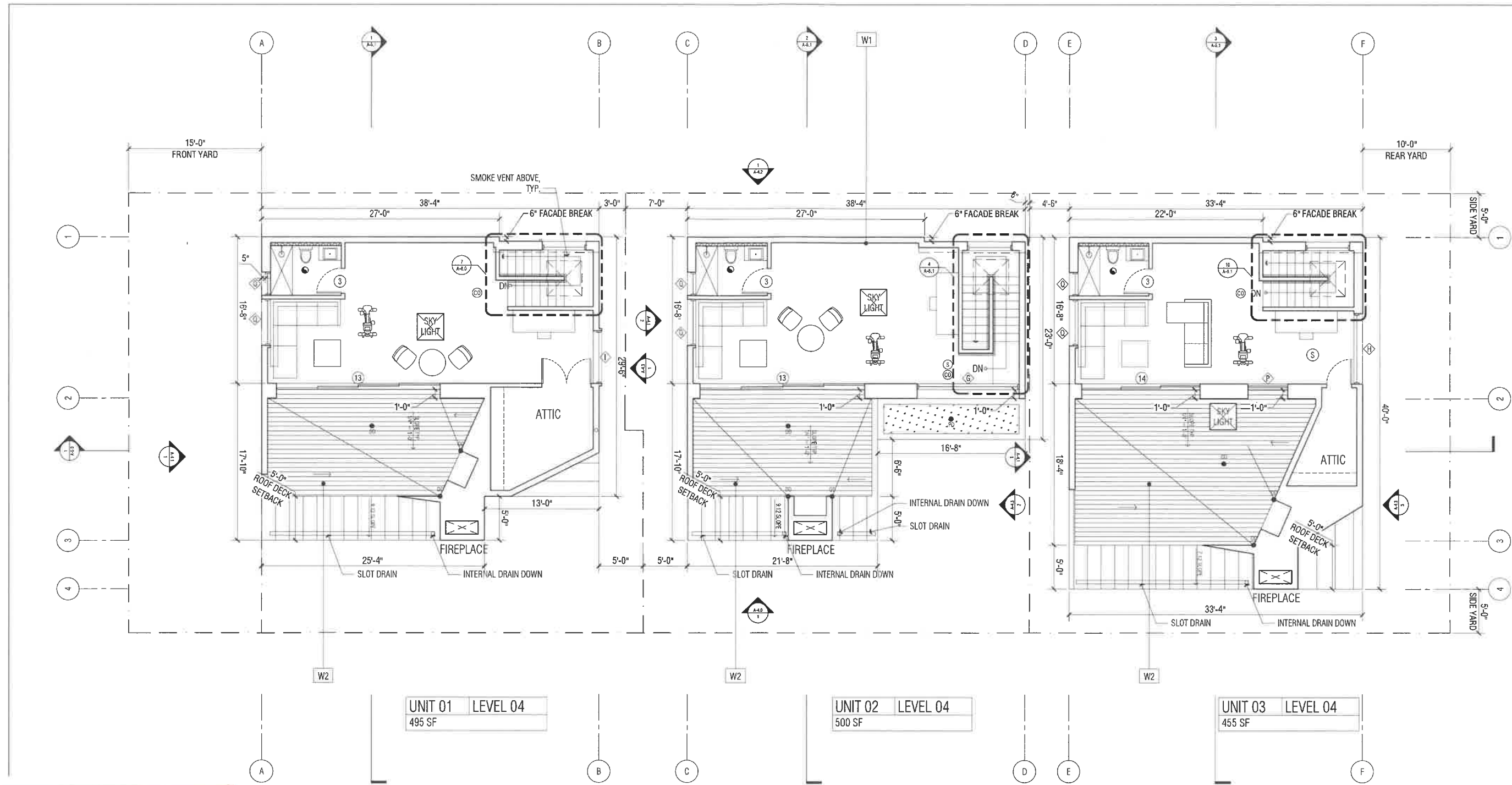
MALTMAN
SMALL LOT SUBDIVISION
738 N. MALTMAN AVE.
LOS ANGELES, CA 90026

13 JUNE 2022

PLANS
LEVEL 4

A-3.3

AS NOTED

**EXHIBIT "A"**Page No. 6 of 16Case No. AA-2020-6052-PMLA-SL-HCA

MATERIALS & FINISH LEGEND				
TYPE	MATERIAL	LOCATION	DIMENSIONS	NOTES
P1	TURF BLOCK PAVING	DRIVEWAY AISLES		ARTIFICIAL TURF OVER PAVER BLOCKS
P2	PERMEABLE PAVER WALKS	PEDESTRIAN PATHWAY		3 1/4" (80 MM) THICK INTERLOCKING CONCRETE PAVERS
C1	CONCRETE	DRIVEWAY		SAND FINISH CONCRETE
L1	PLANTING	SEE LANDSCAPE PLANS		
L2	GRAVEL	SEE LANDSCAPE PLANS		
M1	STANDING SEAM METAL	EXT. WALLS & ROOF		MATTE BLACK
S1	STUCCO	EXT. WALLS		
W1	WOOD SIDING	EXT. FLOOR & EXT. WALLS		
W2	WOOD DECK	BALCONY & ROOF DECK		

EXTERIOR WALL / FIRE TREATED LUMBER

1. ALL EXTERIOR STUDS, PLATES, PARAPETS, RIM JOIST AND PLYWOOD WITHIN 4' OF THE EXTERIOR WALL SHALL BE FIRE-TREATED.
2. FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RR NO. 25150.
3. ONLY GALVANIZED NAILS ARE ALLOWED IN FIRE-TREATED PLYWOOD.
4. SHEAR WALLS AND BEARING WALLS SHALL NOT BE COMBINED WITH PLUMBING WALLS.
5. FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS.

NOTE

1. ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.G.O.N.
2. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
3. WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE.
4. ALL TRASH BINS SHALL BE COVERED.
5. ALL ROOF RUNOFF TO DRAIN TO BMP DEVICE PER LID PLANS.
6. DECK MATERIAL UL-1886-02, REFER TO SHEET A-1.6D-F FOR REPORT, FOR ROOF ASSEMBLY AND SUBTHERMAL EMISSIONS REFER TO SHEET A-1.6E.
7. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803, IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803, 804, AND TABLE 803.9

WALL LEGEND:

- 1 HR RATED INTERIOR WALL SEE DETAIL 15/A-3.0
- 1 HR RATED EXTERIOR WALL 15/A-3.0
- PLUMBING WALL

SYMBOL LEGEND

- (S) HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
- (CO) HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- (EE) EMERGENCY ESCAPE & RESCUE
- (X) WINDOW TYPE
- (#) DOOR TYPE
- (E) EXHAUST FAN, ENERGY STAR RATED, WITH HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO THE OUTDOORS. (4.506.1)
- AD AREA DRAIN
- DD DECK DRAIN
- PD PLANTER DRAIN
- RD ROOF DRAIN
- DS DOWNSPOUT
- OS OVERFLOW SCUPPER. SEE 18/A.5.4
- SC COMBINATION ROOF DRAIN & OVERFLOW SCUPPER
- SD DIRECTION OF DRAINAGE SLOPE @ 2% MIN.

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Revised by	Revised by
Date	
Revised by	Description

MALTMAN
SMALL LOT SUBDIVISION
7881 MALTMAN AVE.
LOS ANGELES, CA 90026

13 JUNE 2022

PLANS
ROOF

A-3.4

AS NOTED

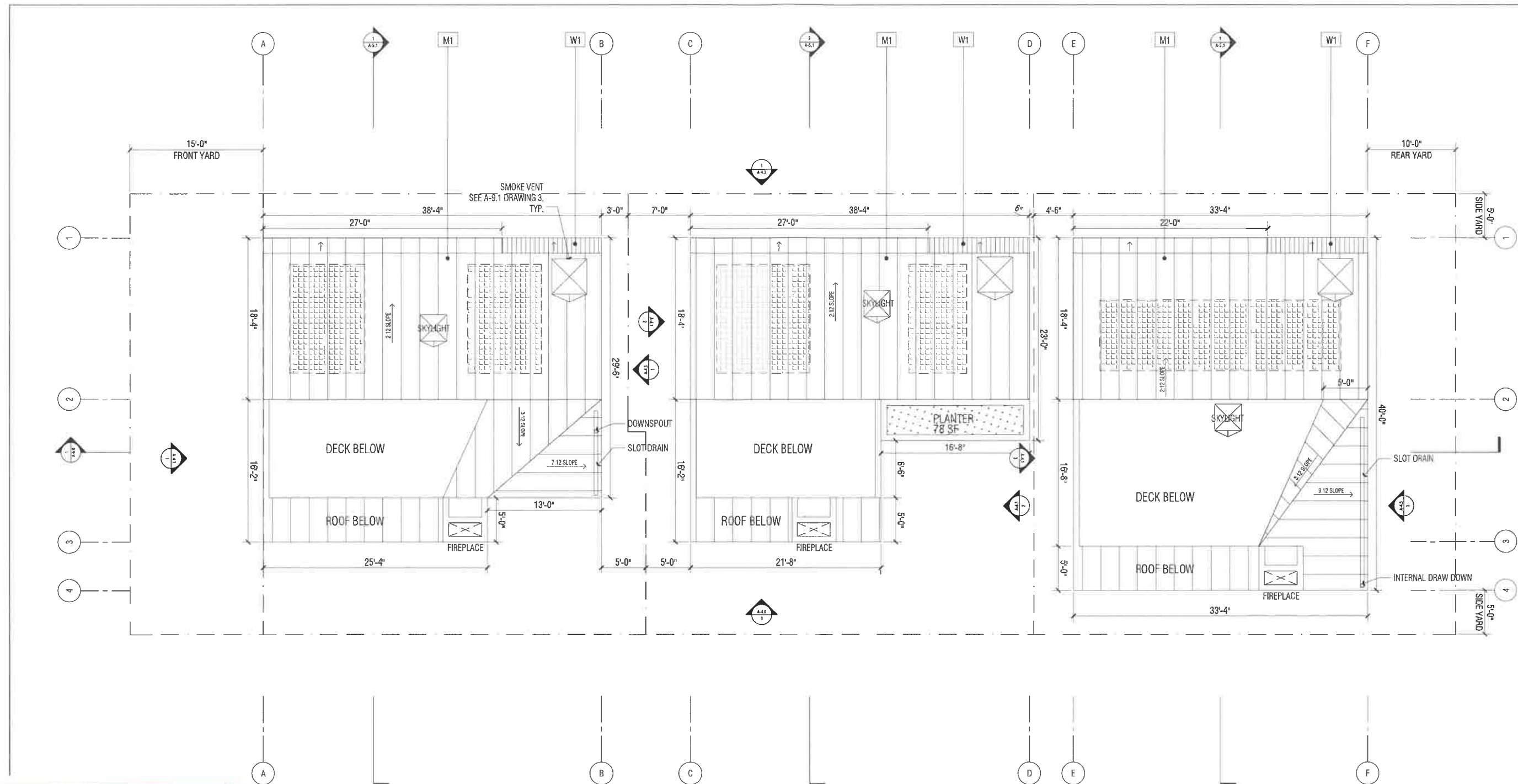


EXHIBIT "A"

Page No. 7 of 16

Case No. AA-2020-6052-PMLA-SL-HCA

MATERIALS & FINISH LEGEND				
TYPE	MATERIAL	LOCATION	DIMENSIONS	NOTES
P1	TURF BLOCK PAVING	DRIVEWAY AISLES		ARTIFICIAL TURF OVER PAVER BLOCKS
P2	PERMEABLE PAVER WALKS	PEDESTRIAN PATHWAY		3 1/4" (80 MM) THICK INTERLOCKING CONCRETE PAVERS
C1	CONCRETE	DRIVEWAY		SAND FINISH CONCRETE
L1	PLANTING	SEE LANDSCAPE PLANS		
L2	GRAVEL	SEE LANDSCAPE PLANS		
M1	STANDING SEAM METAL	EXT. WALLS & ROOF		MATTE BLACK
S1	STUCCO	EXT. WALLS		
W1	WOOD SIDING	EXT. FLOOR & EXT. WALLS		
W2	WOOD DECK	BALCONY & ROOF DECK		

EXTERIOR WALL / FIRE TREATED LUMBER

- ALL EXTERIOR STUDS, PLATES, PARAPETS, RM JOIST AND PLYWOOD WITHIN 4' OF THE EXTERIOR WALL SHALL BE FIRE-TREATED.
- FIRE-TREATED PLYWOOD SHALL BE PER CITY OF LOS ANGELES RR NO. 25150.
- ONLY GALVANIZED NAILS ARE ALLOWED IN FIRE-TREATED PLYWOOD.
- SHEAR WALLS AND BEARING WALLS SHALL NOT BE COMBINED WITH PLUMBING WALLS. FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS.

NOTE

- ALL INTERIOR FINISH MATERIALS TO BE GYPSUM WALL BOARD, U.O.N.
- PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.
- WASHER AND DRYER TO BE FRONT LOADED OR PROVIDE ASSISTIVE DEVICE.
- ALL TRASH BINS SHALL BE COVERED.
- ALL ROOF RUNOFF TO DRAIN TO BMP DEVICE PER LID PLANS.
- DECK MATERIAL UL-1306-02, REFER TO SHEET A-1.6D-4 FOR REPORT, FOR ROOF ASSEMBLY AND SMOKE/HEAT EMISSIONS REFER TO SHEET A-1.6E.
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803.3. IN ADDITION, PROVIDE DETAILS SHOWING APPLICATION IN ACCORDANCE WITH SECTION 803.3.04, AND TABLE 803.3.9.

WALL LEGEND:

- 1 HR RATED INTERIOR WALL SEE DETAIL 16/A-5.0
- 1 HR RATED EXTERIOR WALL 16/A-5.0
- PLUMBING WALL

SYMBOL LEGEND

- HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP @ CEILING ABOVE
- HARDWIRED COMBINATION SMOKE DETECTOR & CARBON MONOXIDE DETECTOR
- EMERGENCY ESCAPE & RESCUE
- WINDOW TYPE
- DOOR TYPE
- EXHAUST FAN, ENERGY STAR RATED, WITH HUMIDITY CONTROL AND DUCTED TO TERMINATE DIRECTLY TO THE OUTDOORS. (4.506.1)
- AREA DRAIN
- DECK DRAIN
- PLANTER DRAIN
- ROOF DRAIN
- DOWNSPOUT
- OVERFLOW SCUPPER SEE 16/A 9.4
- COMBINATION ROOF DRAIN & OVERFLOW SCUPPER
- DIRECTION OF DRAINAGE SLOPE @ 2% MIN.



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Date	Discipline
Revised/Revised by	Description

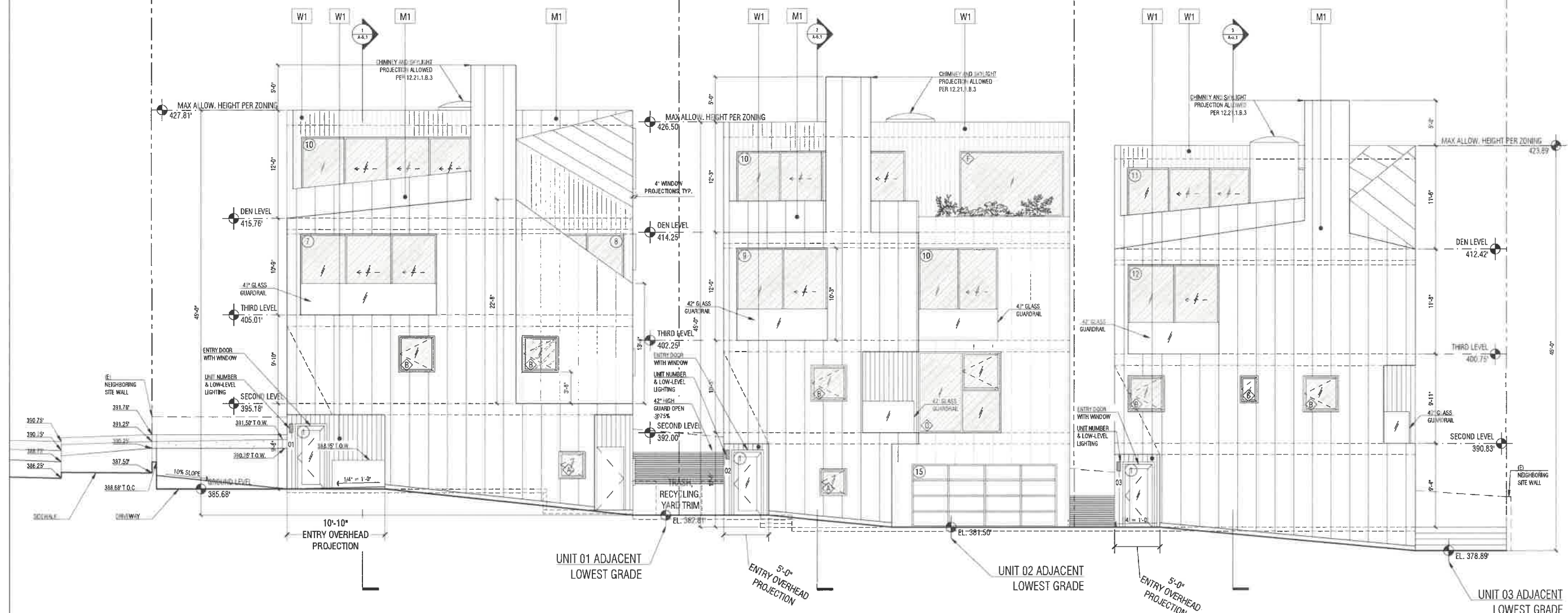
**MALTMAN
SMALL LOT SUBDIVISION**
738 N. MALTMAN AVE.
LOS ANGELES, CA 90026

13 JUNE 2022

ELEVATIONS

A4.0

AS NOTED



SYMBOL LEGEND
WINDOWS AND SLIDING DOORS RECESSED AT LEAST 3"

SOUTH ELEVATIONS

3/16" = 1'-0"

1

EXHIBIT "A"
Page No. 8 of 16
Case No. AA-2020-6052-PMLA-SL-HCA



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Client	Architect
Project	Location
Project/Phase	Description

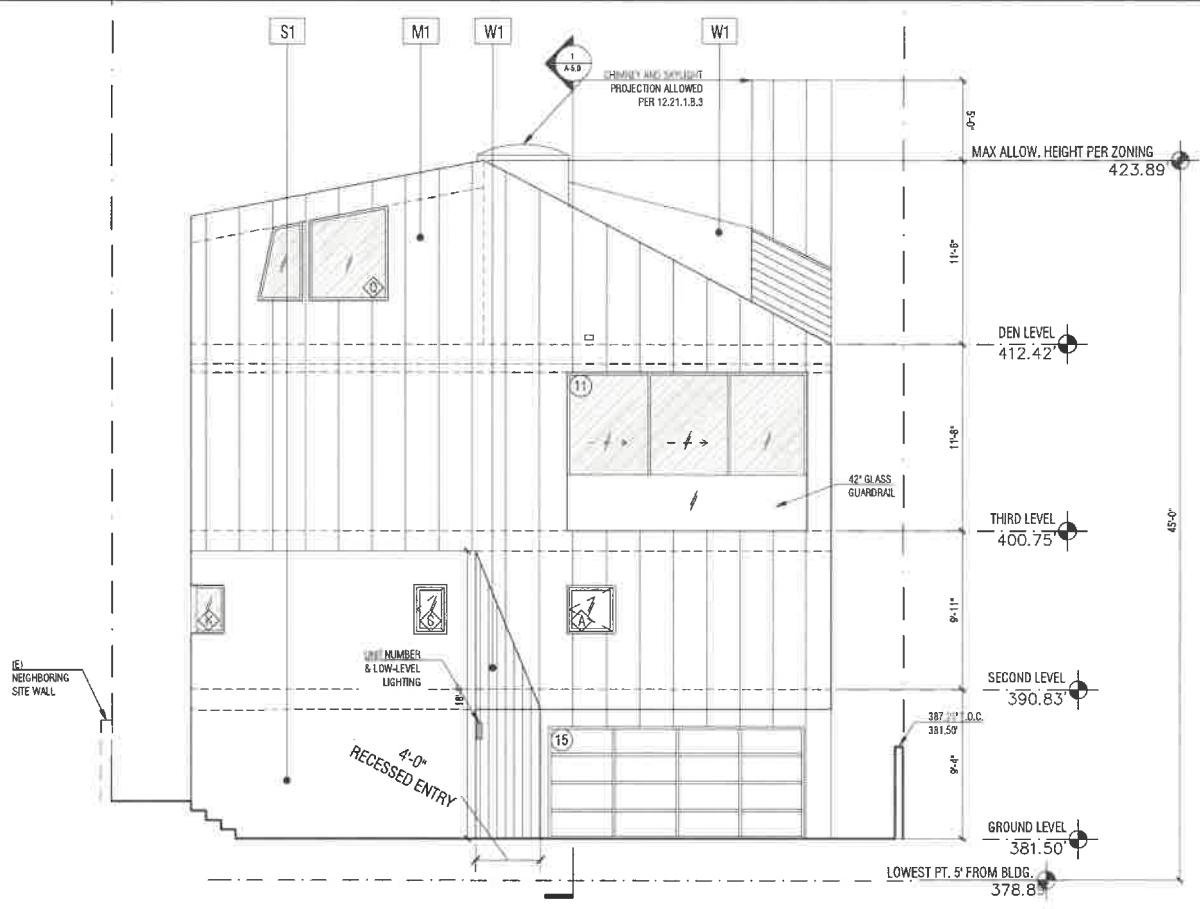
**MALTMAN
SMALL LOT SUBDIVISION**
738 N MALTMAN AVE.
LOS ANGELES, CA 90026

13 JUNE 2022

ELEVATIONS

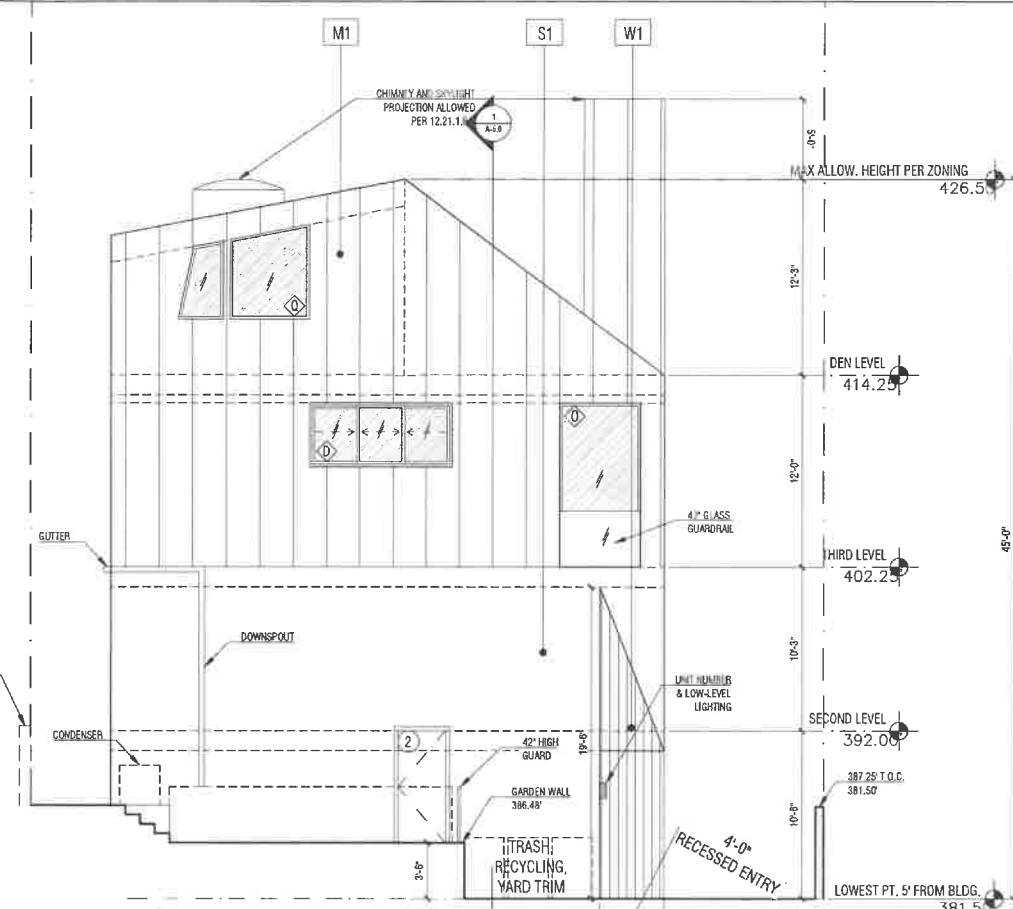
A-4.1

AS NOTED



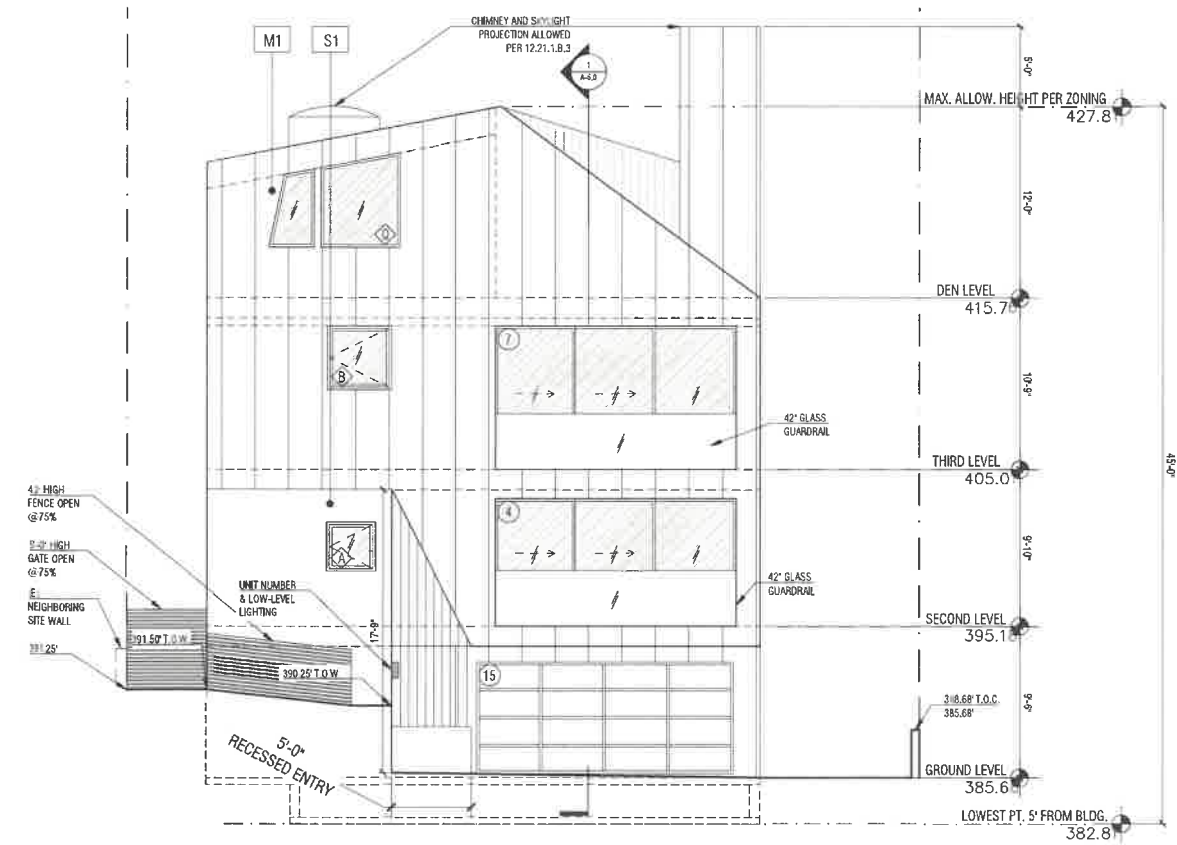
WEST ELEVATION UNIT 03

3/16" = 1'-0" 3



WEST ELEVATION UNIT 02

3/16" = 1'-0" 2



WEST ELEVATION UNIT 01

3/16" = 1'-0" 1

EXHIBIT "A"
Page No. 9 of 16
Case No. AA-2020-6052-PMLA-SL-HCA



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Revised by	Revised by
Date	Date
Revised/Revised	Description

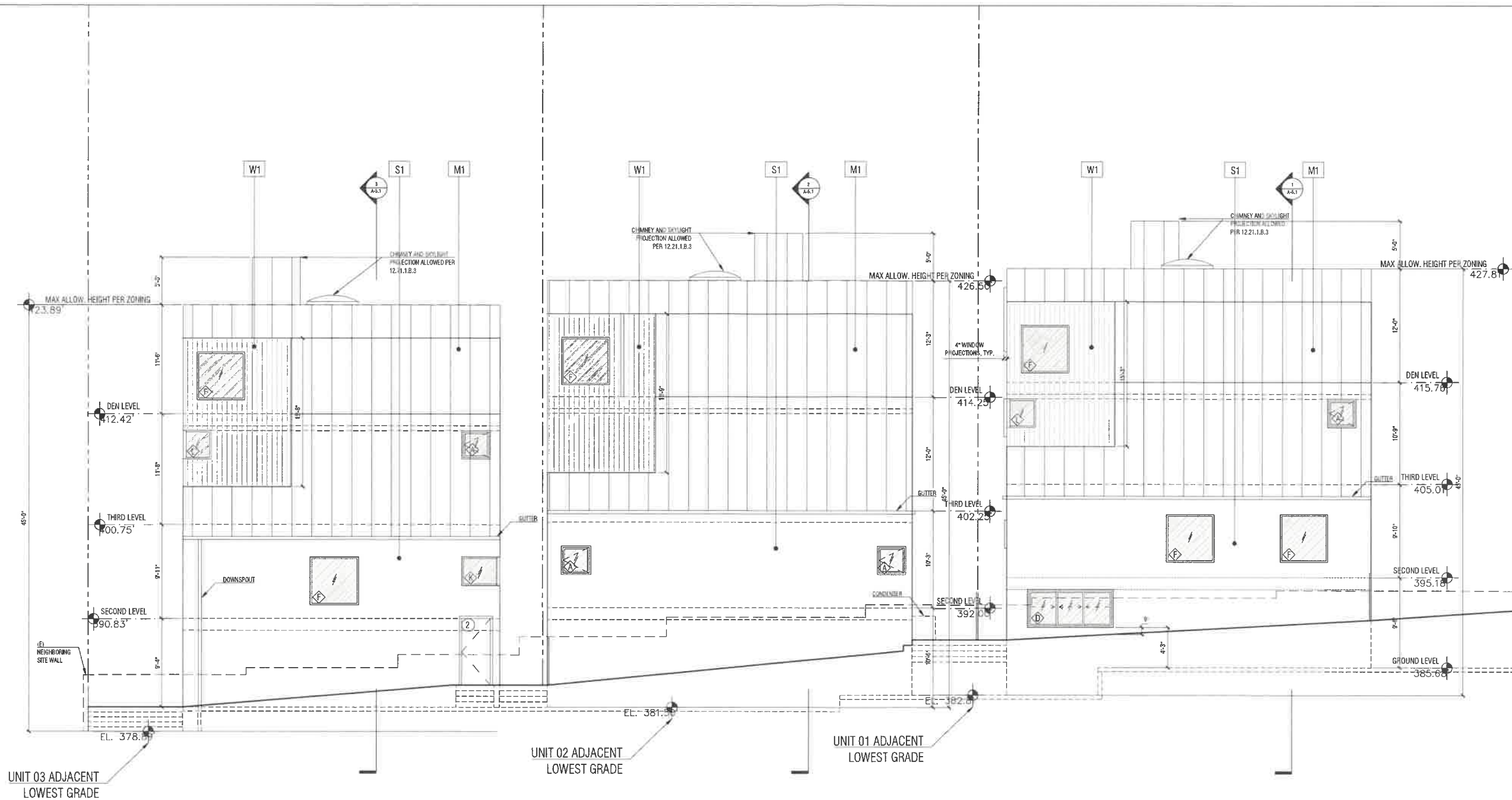
MALTMAN
SMALL LOT SUBDIVISION
738 N. MALTMAN AVE.
LOS ANGELES, CA 90026

13 JUNE 2022

ELEVATIONS

A-4.2

AS NOTED



SYMBOL LEGEND

WINDOWS AND SLIDING DOORS RECESSED AT LEAST 3"

EXHIBIT "A"
Page No. 10 of 16
Case No. AA-2020-6052-PMLA-SL-HCA

NORTH ELEVATIONS

3/16" = 1'-0"

1



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Drawn by	Checked by
Revised	
Date	
Revised/Person	Description

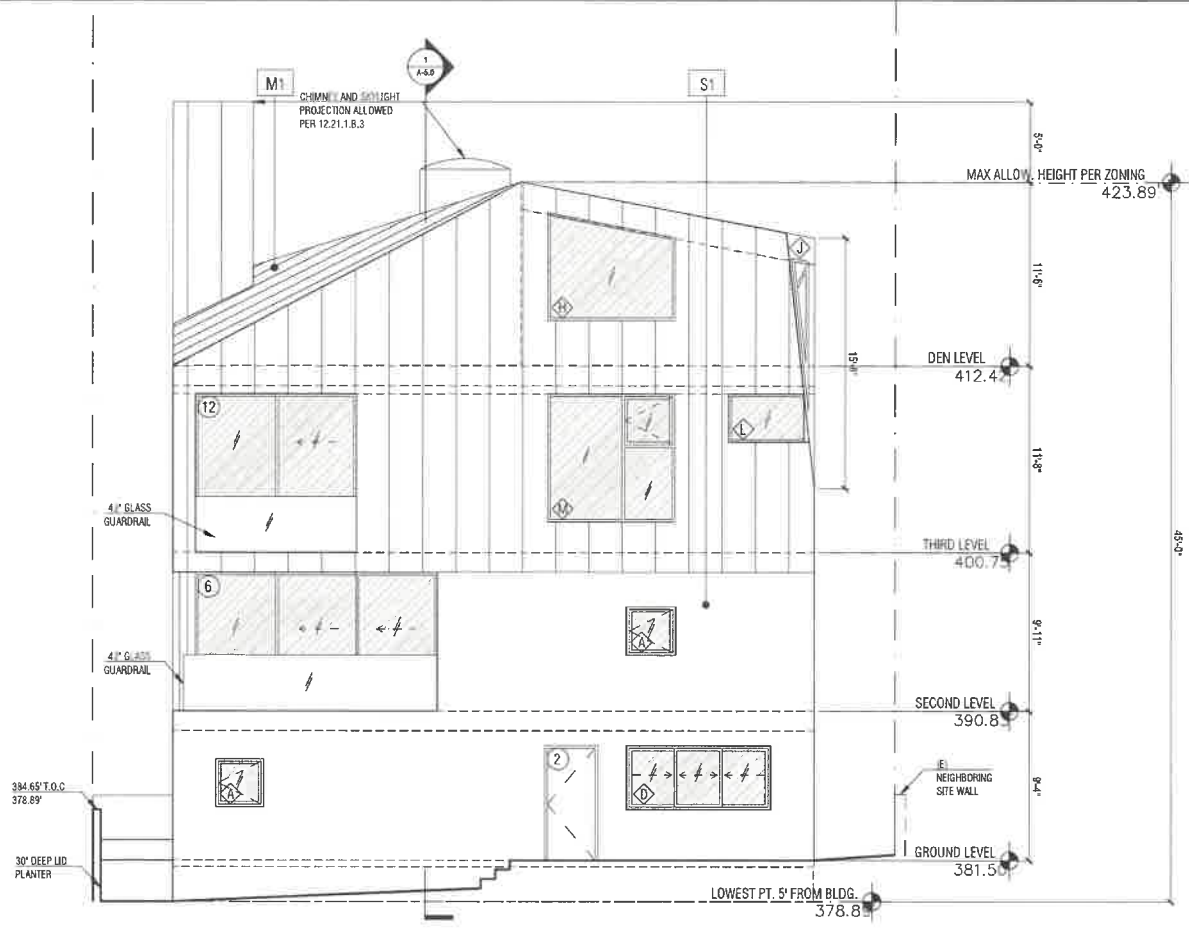
MALTMAN
SMALL LOT SUBDIVISION
738 N. MALTMAN AVE.
LOS ANGELES, CA 90026

13 JUNE 2022

ELEVATIONS

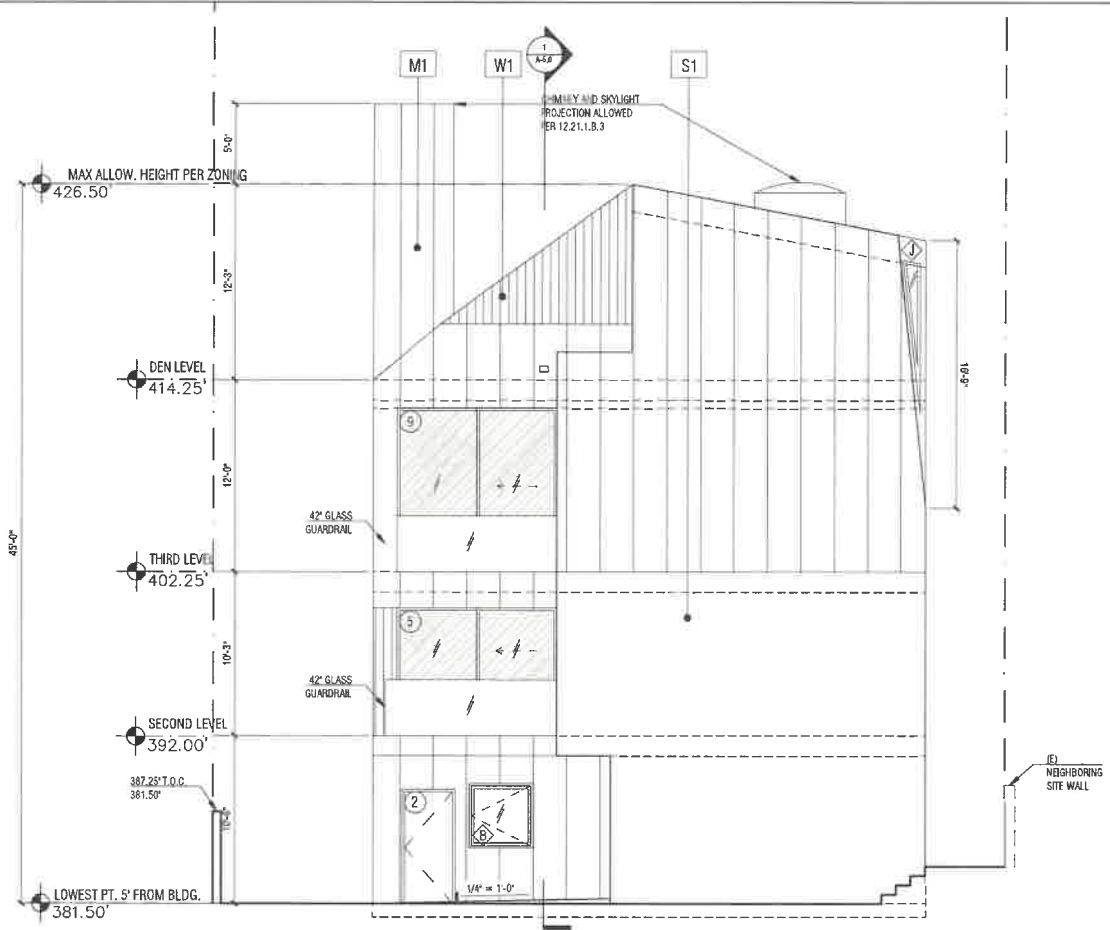
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AS NOTED



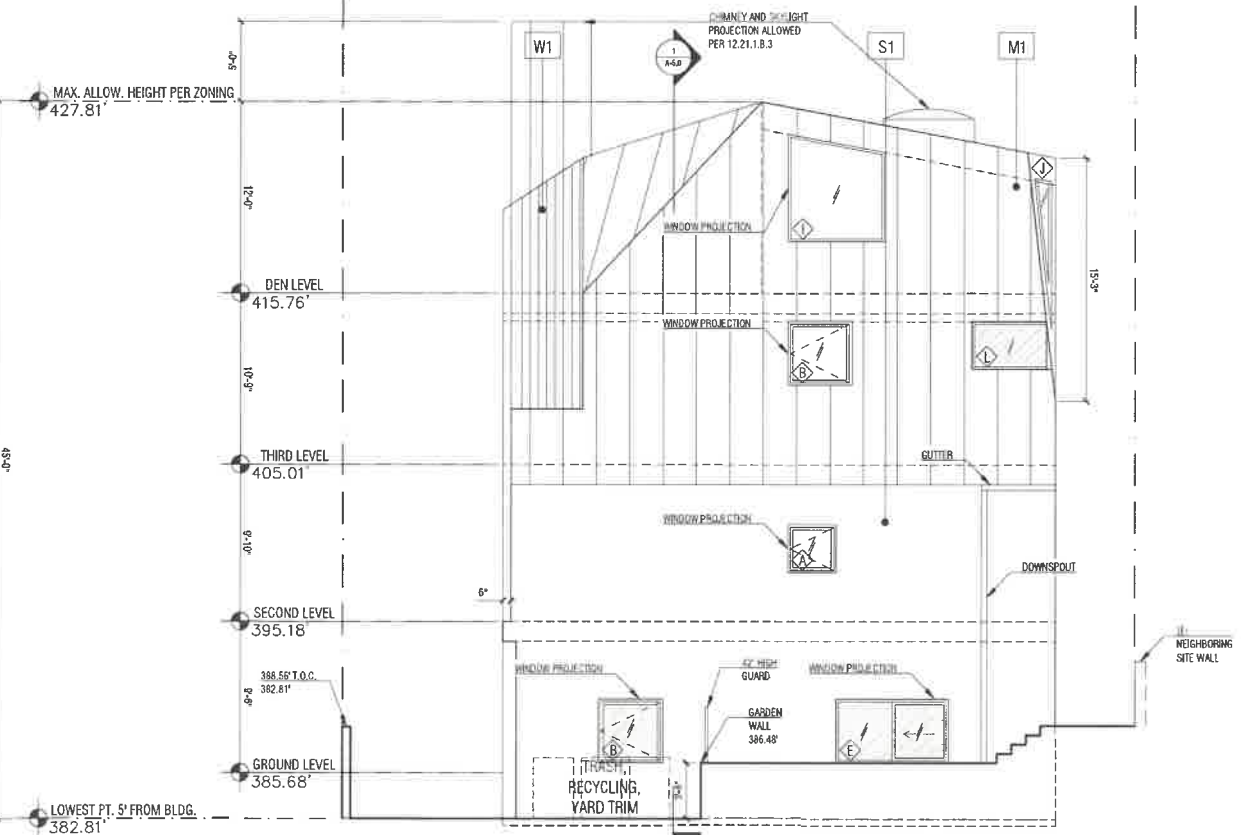
EAST ELEVATION UNIT 03

3/16" = 1'-0" 3



EAST ELEVATION UNIT 02

3/16" = 1'-0" 2



EAST ELEVATION UNIT 01

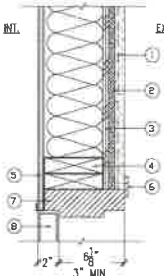
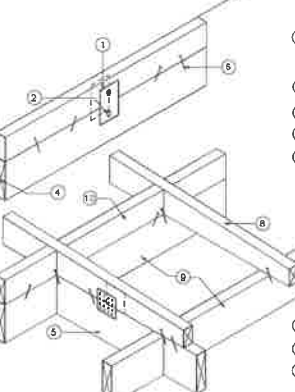
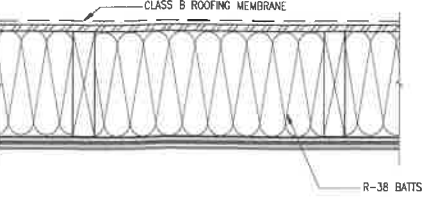
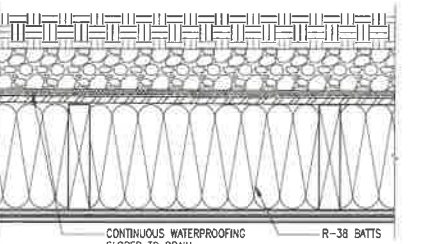
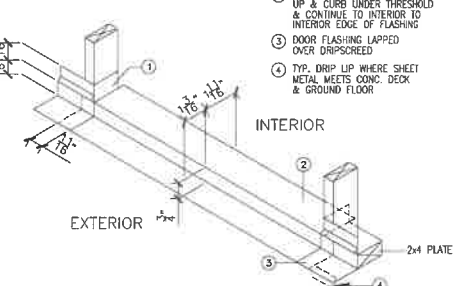
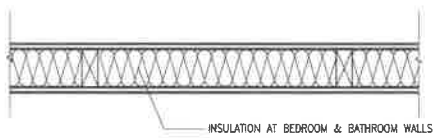
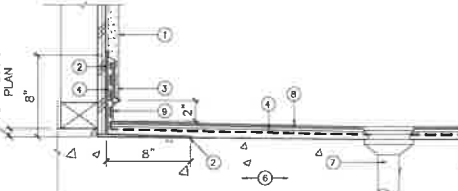
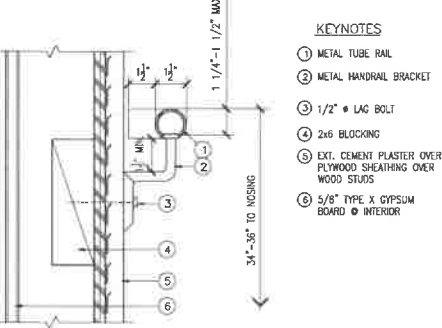
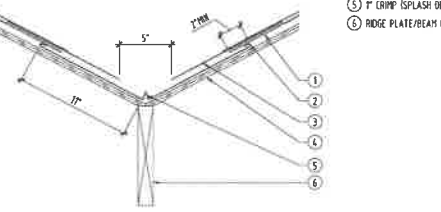
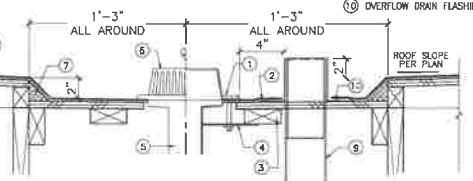
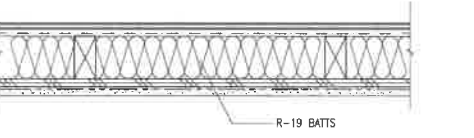
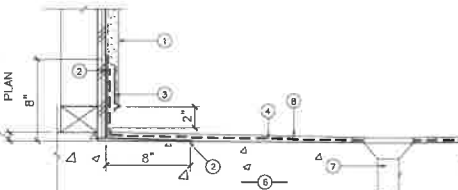
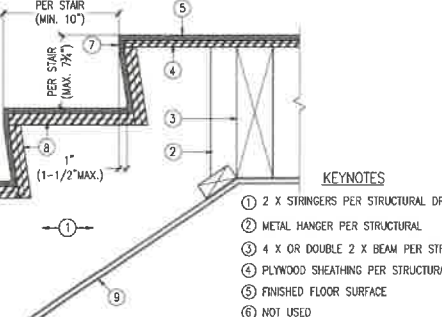
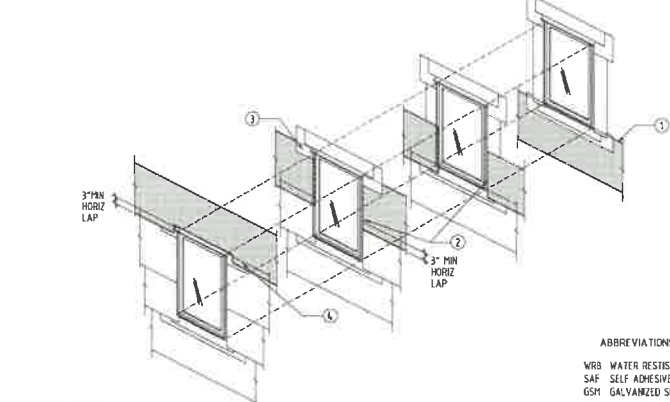
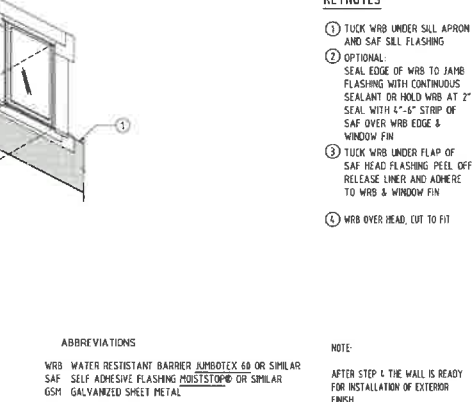
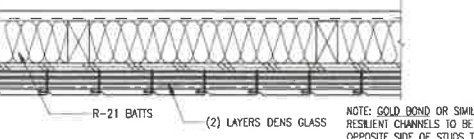
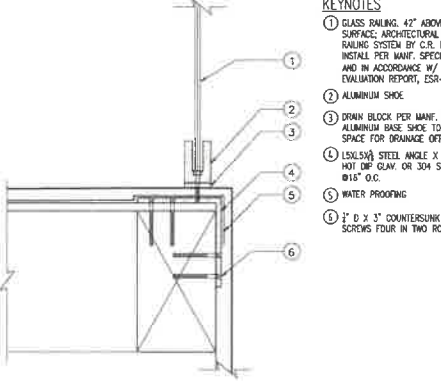
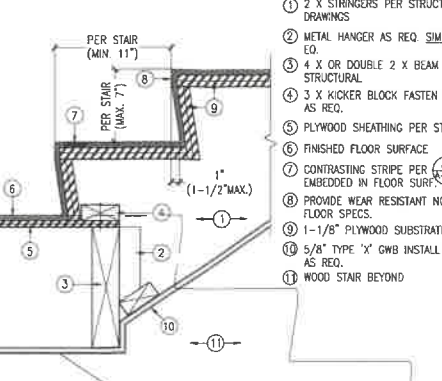
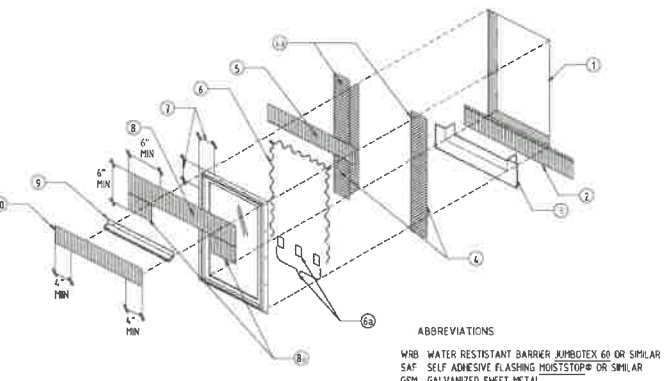
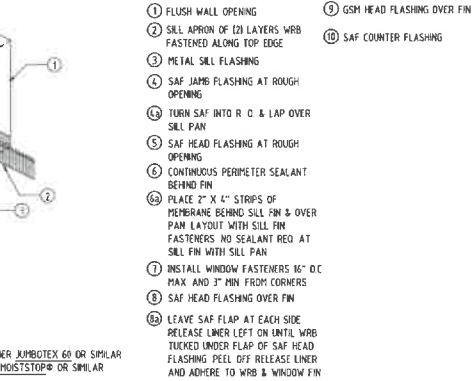
3/16" = 1'-0" 1

SYMBOL LEGEND
WINDOWS AND SLIDING DOORS RECESSED AT LEAST 3"

EXHIBIT "A"

Page No. 11 of 16

Case No. AA-2020-6052-PMLA-SL-HCA

 <p>KEYNOTES</p> <ol style="list-style-type: none">7/8" EXTERIOR STUCCO2 LAYER WATER RESISTIVE BARRIER1/2" PLYWOOD SHEATHING2 x 6 WOOD STUD PER STRUCTURAL5/8" TYPE "X" GYPSUM BOARDWOODEN CASINGWOODEN DOOR JAMB1 3/4" SWING DOOR PER SCHEDULE	 <p>KEYNOTES</p> <ol style="list-style-type: none">6x14" STD GRADE PLYWOOD CLEATS @ 16" O.C. EXTERIOR SIDE WHERE RIP STRIP IS GREATER THAN 1 5/4" DEEPNAIL WITH 6-6d TOP & BOTTOM EACH CLEAT1/2" RIP STRIPJOIST2x BLOCKING @ 5'-4" O.C. W/ PLYWOOD CLEAT EACH SIDE NAIL WITH 6-6d TOP & BOTTOM EACH CLEAT, & 2-16d T.N. PER BLOCK & BLOCK WITHOUT CLEAT, T.N. EACH JOIST16d T.N. @ 16" O.C. STAGGEREDNOTE: RIP STRIPS PARALLEL TO JOISTS WHEN RIP STRIP IS LESS THAN 1-1/2" W/16d @ 16" O.C. VERT.1/2" RIP STRIP @ 16" O.C.JOIST @ 16" O.C.2x BLOCKING @ 4'-0" O.C. WITH 2-16d T.N. PER BLOCK	 <p>CLASS B ROOFING MEMBRANE</p> <p>R-38 BATTS</p> <p>GYPSUM WALLBOARD, WOOD JOIST, ROOF COVERING</p> <p>BASE LAYER 3/4" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO 2 X 10 (PER STRUCTURAL) WOOD JOISTS 24" O.C. WITH 1 1/4" TYPE W OR S DRYWALL SCREWS 24" O.C. FACE LAYER 3/4" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO JOISTS WITH 1 3/4" TYPE W OR S DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE JOISTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOISTS. JOISTS OFFSET 24" FROM BASE LAYER JOINTS. WOOD JOISTS SUPPORTING 3/4" PLYWOOD (PER STRUCTURAL) WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO JOISTS WITH 8d NAILS. R-38 MINERAL FIBER INSULATION IN JOIST BAY. CLASS B ROOFING MEMBRANE PER WATERPROOFING DETAILS.</p> <p>GA FILE NO. FC 5406</p>	 <p>CONTINUOUS WATERPROOFING SLOPED TO DRAIN</p> <p>R-38 BATTS</p> <p>GYPSUM WALLBOARD, WOOD JOIST, ROOF COVERING</p> <p>BASE LAYER 3/4" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO 2 X 10 (PER STRUCTURAL) WOOD JOISTS 24" O.C. WITH 1 1/4" TYPE W OR S DRYWALL SCREWS 24" O.C. FACE LAYER 3/4" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO JOISTS WITH 1 3/4" TYPE W OR S DRYWALL SCREWS 12" O.C. AT JOINTS AND INTERMEDIATE JOISTS AND 1 1/2" TYPE G DRYWALL SCREWS 12" O.C. PLACED 2" BACK ON EITHER SIDE OF END JOISTS. JOISTS OFFSET 24" FROM BASE LAYER JOINTS. WOOD JOISTS SUPPORTING 3/4" PLYWOOD (PER STRUCTURAL) WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO JOISTS WITH 8d NAILS. R-38 MINERAL FIBER INSULATION IN JOIST BAY. WATERPROOFING MEMBRANE SLOPED TO DRAIN, DRAINAGE BOARD, GRAVEL LINING PER WATERPROOFING DETAILS.</p> <p>GA FILE NO. FC 5406</p>	 <p>KEYNOTES</p> <ol style="list-style-type: none">26 GA. G.SHEET METAL FLASHING SET IN BED OF SEALANTRUN ELASTOMETRIC MEMBRANE UP & CURB UNDER THRESHOLD & CONTINUE TO INTERIOR TO INTERIOR EDGE OF FLASHINGDOOR FLASHING LAPPED OVER DISPOSEDTYP. DRIP LAP WHERE SHEET METAL MEETS CONC. DECK & GROUND FLOOR
EXT. DOOR JAMB DETAIL SCALE: 1 1/2"=1'-0"	TYPICAL RIP STRIP DETAIL SCALE: NTC	1 HR ROOF / CEILING INT./EXT. ASSEMBLY SCALE: 1-1/2"=1'-0"	1 HR ROOF / CEILING INT./EXT. ASSEMBLY SCALE: 1-1/2"=1'-0"	SILL FLASHING @ DOORS SCALE: NTS
 <p>INSULATION AT BEDROOM & BATHROOM WALLS</p> <p>GYPSUM WALLBOARD, WOOD STUDS</p> <p>ONE LAYER 1/2" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2x4 WOOD STUDS 24" O.C. (OR PER STRUCTURAL) WITH 6d COATED NAILS, 1 1/2" LONG, 0.0915" SHANK, 1/2" HEADS, 7" O.C. JOINTS STAGGERED 24" ON OPPOSITE SIDES.</p> <p>GA FILE NO. WP 3510</p>	 <p>KEYNOTES</p> <ol style="list-style-type: none">7/8" THICK STUCCO24 GA. 1" GALV SHEET METAL FLASHING, ETCHED AND PRIMEDWEEP SCALEDELASTOMERIC DECK COATING, ESR #1714NOT USEDCONCRETE SLAB, SLOPED TO DRAINDECK DRAIN (WHERE OCCURS) TYPE ACCEPTS WATER AT SURFACE AND AT WATERPROOFING LEVEL. DRAIN INCLUDES EXTENSIONSEE PLANS FOR FINISH FLOOR (TILE ON MORTAR BED SHOWN)SHEET METAL FLASHING OVER WATERPROOFING, FLASHING PAINTED TO MATCH WALL	 <p>KEYNOTES</p> <ol style="list-style-type: none">METAL TUBE RAILMETAL HANDRAIL BRACKET1/2" x 1/2" LAG BOLT2x6 BLOCKINGEXT. CEMENT PLASTER OVER PLYWOOD SHEATHING OVER WOOD STUDS5/8" TYPE X GYPSUM BOARD @ INTERIOR	 <p>KEYNOTES</p> <ol style="list-style-type: none">UNDERLAYMENT1/2" EDGE CRIMP IN METAL FLASHINGASPHALT SHINGLE1/2" PLY. ROOF SHEATHING1" IRMP (FLASH OVERLAP)RIDGE PLATE/BEAM (SEE STRUCT)	 <p>KEYNOTES</p> <ol style="list-style-type: none">FLASHING COLLAR WITH GRAVEL STOPROOFING OVER PLYWOOD SHEATHING2x4 FRAMEUNDERDECK CLAMPPIPE SIZE AS PER DRAINAGE ROOF PLANDRAIN DOME, USE WASTE ROOF DRAIN OR EO.FIBER CANTRIP STRIPSOVERFLOW DRAINOVERFLOW DRAIN FLASHING
INTERIOR WOOD STUD WALL SCALE: 1 1/2"=1'-0"	TYPICAL SILL AT GROUND FLOOR SCALE: 1-1/2"=1'-0"	TYPICAL WALL MOUNTED HANDRAIL SCALE: 3"=1'-0"	ROOF VALLEY FLASHING, TYP. SCALE: 1 1/2"=1'-0"	ROOF DRAIN W/ OVERFLOW SCALE: 1-1/2"=1'-0"
 <p>STC 50-54</p> <p>R-19 BATTS</p> <p>NOTE: GOLD BOND OR SIMILAR RESISTENT CHANNELS TO BE ON OPPOSITE SIDE OF STUDS THAN SHEAR PANELING. SHEAR PER STRUCTURAL</p> <p>GYPSUM WALLBOARD, MINERAL FIBER, WOOD STUDS</p> <p>ONE LAYER 1/2" PROPRIETY TYPE X GYPSUM WALLBOARD OR VENEER BASE APPLIED PARALLEL TO RESISTENT CHANNELS 24" O.C. WITH 1-1/4" TYPE S DRYWALL SCREWS AT EDGES AND CENTER ROW 12" O.C. END JOINTS BACKBLOCKED WITH RESISTENT CHANNELS. RESISTENT CHANNELS ATTACHED AT RIGHT ANGLES TO WOOD STUDS (PER STRUCTURAL) WITH 1 1/4" TYPE S DRYWALL SCREWS. 3" MINERAL FIBER 2.0 OR 2.3 PCT IN STUD SPACE. ON OPPOSITE SIDE LAYER 7/8" THICK STUCCO OVER METAL L-CHANNEL OVER 2 LAYER OF WATER RESISTANT MEMBRANE. BASE LAYER IS A 60 MIN. PAPER BY FORTI FIBER BUILDING GROUP "SUPER JUMBO TEG" @ 60 MIN. WEATHER-RESISTIVE BARRIER KOB01025 OR SIMILAR. TOP LAYER BY FIBERWEB "TYPEX" KCC/ ESR-1404 OR SIMILAR.</p>	 <p>KEYNOTES</p> <ol style="list-style-type: none">7/8" THICK STUCCO24 GA. 1" GALV SHEET METAL FLASHING, ETCHED AND PRIMEDWEEP SCALEDELASTOMERIC DECK COATING, ESR #1714NOT USEDCONCRETE SLAB OR WOOD DECK, SLOPED TO DRAINDECK DRAIN (WHERE OCCURS)SEE PLANS FOR FINISH FLOOR	 <p>KEYNOTES</p> <ol style="list-style-type: none">2 X STRINGERS PER STRUCTURAL DRAWINGSMETAL HANGER PER STRUCTURAL4 X OR DOUBLE 2 X BEAM PER STRUCTURALPLYWOOD SHEATHING PER STRUCTURALFINISHED FLOOR SURFACENOT USEDPROVIDE WEAR RESISTANT NOSING PER FLOOR SPECS.1-1/8" PLYWOOD SUBSTRATE5/8" TYPE "X" GWB INSTALL NAILER AS REQ.	 <p>KEYNOTES</p> <ol style="list-style-type: none">TUCK WRB UNDER SILL APRON AND SAF SILL FLASHINGOPTIONAL SEAL EDGE OF WRB TO JAMB FLASHING WITH CONTINUOUS SEALANT OR HOLD WRB AT 2" SEAL WITH 1"-1/4" STRIP OF SAF OVER WRB EDGE & WINDOW FINTUCK WRB UNDER FLAP OF SAF HEAD FLASHING. PEEL OFF RELEASE LINER AND ADHERE TO WRB & WINDOW FINWRB OVER HEAD, CUT TO FIT <p>ABBREVIATIONS</p> <p>WRB WATER RESISTANT BARRIER JUMBOTEX 60 OR SIMILAR</p> <p>SAF SELF ADHESIVE FLASHING MOISTSTOP® OR SIMILAR</p> <p>GSM GALVANIZED SHEET METAL</p> <p>NOTE: AFTER STEP 1 THE WALL IS READY FOR INSTALLATION OF EXTERIOR FINISH</p>	 <p>KEYNOTES</p> <ol style="list-style-type: none">FLUSH WALL OPENINGSILL APRON OF 120 LAYERS WRB FASTENED ALONG TOP EDGEMETAL SILL FLASHINGSAF JAMB FLASHING AT ROUGH OPENINGTURN SAF INTO R.O.C. & LAP OVER SILL PANSAF HEAD FLASHING AT ROUGH OPENINGCONTINUOUS PERIMETER SEALANT BEHIND FINPLACE 2" X 1/4" STRIPS OF MEMBRANE BEHIND SILL FIN & OVER PAN LAYOUT WITH SILL FIN FASTENERS. NO SEALANT REQ AT SILL FIN WITH SILL PANINSTALL WINDOW FASTENERS 16" O.C. MAX AND 3" MIN FROM CORNERSSAF HEAD FLASHING OVER FINLEAVE SAF FLAP AT EACH SIDE RELEASE LINER LEFT ON UNTIL WRB TUCKED UNDER FLAP OF SAF HEAD FLASHING. PEEL OFF RELEASE LINER AND ADHERE TO WRB & WINDOW FINGSH HEAD FLASHING OVER FINSAF COUNTER FLASHING
1 HR RATED EXTERIOR WALL (STC 50+) SCALE: 1 1/2"=1'-0"	TYPICAL SILL AT EXTERIOR DECK SCALE: 1-1/2"=1'-0"	HEAD OF WOOD STAIR SCALE: 1-1/2"=1'-0"	FLASHING @ ALL FLUSH OPENINGS SCALE: NTS	FLASHING @ WINDOW OPENINGS SCALE: NTS
 <p>R-21 BATTS (2) LAYERS DENS GLASS</p> <p>NOTE: GOLD BOND OR SIMILAR RESISTENT CHANNELS TO BE ON OPPOSITE SIDE OF STUDS THAN SHEAR PANELING. SHEAR PER STRUCTURAL</p> <p>GYPSUM WALLBOARD, MINERAL FIBER, WOOD STUDS, WOOD SIDING</p> <p>FIRE TREATED FRAMING AND PLYWOOD TO BE USED</p> <p>TWO LAYERS OF 5/8" TYPE X GYPSUM BOARD OR 5/8" DENSEGLASS G.O.D. INSTALLED ON EA. SIDE ORIENTED HORIZONTALLY, AND FASTENED TO THE STUDS OR RC CHANNELS USING 1-5/8" DW SCREWS EVERY 8" O.C. FOR THE FIRST LAYER AND 2 1/4" DW SCREWS EVERY 8" O.C. FOR THE SECOND LAYER. ALL JOINTS AND SCREWS COVERED WITH JOINT COMPOUND. RESISTENT CHANNELS ON ONE SIDE, ATTACHED AT RIGHT ANGLES TO WOOD STUDS WITH 1 1/4" TYPE S DRYWALL SCREWS. FIRE RETARDANT WOOD FRAMING AND SHEAR PANEL PER STRUCTURAL, SPACED 16" O.C. MAX. STUD CAVITY FILLED WITH R-21 3" MINERAL FIBER 2.0 OR 2.3 PCT IN STUD SPACE.</p> <p>EXTERIOR SIDE: SINGLE LAYER FIRE RESISTANT PROTECTIVE WEATHER RETARDER PAPER STAPLED ALONG EACH EDGE AT 16" O.C. WOOD SIDING FASTENED TO STEEL FURRING CHANNELS PER MANUFACTURERS RECOMMENDATION. WOOD SIDING SHALL BE >1" NOMINAL THICKNESS, 0.438" EXTERIOR HARDBOARD SIDING, OR 0.375" EXTERIOR-TYPE WOOD STRUCTURAL PANELS AND SHALL CONFORM TO CBC 1405.5. P/BC 2017-069 WALL #3</p>	 <p>KEYNOTES</p> <ol style="list-style-type: none">GLASS RAILING, 42" ABOVE FIN. SURFACE. ARCHITECTURAL GLASS RAILING SYSTEM BY C.R. LAURENCE. INSTALL PER MANF. SPECIFICATIONS AND IN ACCORDANCE W/ IBC-115 EVALUATION REPORT, ESR-3269ALUMINUM SHOEDRAIN BLOCK PER MANF. UNDER ALUMINUM BASE SHOE TO PROVIDE SPACE FOR DRAINAGE OFF THE SHOE1/2" DIA. STEEL ANGLE X 4" LONG HOT DIP GALV. OR 304 STAINLESS @ 16" O.C.WATER PROOFING2" DIA. X 3" COUNTERSINK WOOD SCREWS FOUR IN TWO ROWS	 <p>KEYNOTES</p> <ol style="list-style-type: none">2 X STRINGERS PER STRUCTURAL DRAWINGSMETAL HANGER AS REQ. SIMPSON OR EO.4 X OR DOUBLE 2 X BEAM PER STRUCTURAL3 X KICKER BLOCK FASTEN TO BEAM AS REQ.PLYWOOD SHEATHING PER STRUCTURALFINISHED FLOOR SURFACECONTRASTING STRIPE PER EMBEDDED IN FLOOR SURF.PROVIDE WEAR RESISTANT NOSING PER FLOOR SPECS.1-1/8" PLYWOOD SUBSTRATE5/8" TYPE "X" GWB INSTALL NAILER AS REQ.WOOD STAIR BEYOND	 <p>KEYNOTES</p> <ol style="list-style-type: none">WRB WATER RESISTANT BARRIER JUMBOTEX 60 OR SIMILARSAF SELF ADHESIVE FLASHING MOISTSTOP® OR SIMILARGSM GALVANIZED SHEET METAL	 <p>KEYNOTES</p> <ol style="list-style-type: none">FLUSH WALL OPENINGSILL APRON OF 120 LAYERS WRB FASTENED ALONG TOP EDGEMETAL SILL FLASHINGSAF JAMB FLASHING AT ROUGH OPENINGTURN SAF INTO R.O.C. & LAP OVER SILL PANSAF HEAD FLASHING AT ROUGH OPENINGCONTINUOUS PERIMETER SEALANT BEHIND FINPLACE 2" X 1/4" STRIPS OF MEMBRANE BEHIND SILL FIN & OVER PAN LAYOUT WITH SILL FIN FASTENERS. NO SEALANT REQ AT SILL FIN WITH SILL PANINSTALL WINDOW FASTENERS 16" O.C. MAX AND 3" MIN FROM CORNERSSAF HEAD FLASHING OVER FINLEAVE SAF FLAP AT EACH SIDE RELEASE LINER LEFT ON UNTIL WRB TUCKED UNDER FLAP OF SAF HEAD FLASHING. PEEL OFF RELEASE LINER AND ADHERE TO WRB & WINDOW FINGSH HEAD FLASHING OVER FINSAF COUNTER FLASHING
EXTERIOR WALL (STC 50+) SCALE: 1 1/2"=1'-0"	TEMPERED GLASS GUARDRAIL @ BALC., TYP. SCALE: 1-1/2"=1'-0"	BOTTOM OF WOOD STAIR AND LANDING SCALE: 1-1/2"=1'-0"	FLASHING @ WINDOW OPENINGS SCALE: NTS	FLASHING @ WINDOW OPENINGS SCALE: NTS

IRRIGATION LEGEND			
MANUFACTURER	SYMBOL	MODEL NUMBER	DESCRIPTION/REMARKS
HUNTER		PC-4	4 STATION WEATHER-BASED CONTROLLER AND SOLAR SYNC MODULE. MOUNT ON BUILDING. CONTRACTOR TO INSTALL OUTDOOR GFCI OUTLET.
HUNTER		WSS-SEN	WIRELESS WEATHER SENSOR - MOUNT TO BUILDING ROOF
ISCO OR EQUAL		GATE VALVE	GATE VALVE. LINE SIZE. INSTALL PER DETAIL
POC		POINT OF CONNECTION	CONNECT TO WATER MAIN. VERIFY LOCATION IN FIELD
MASTER METER		BL05 WATER METER	LANDSCAPE WATER SUB-METER. LINE SIZE T.B.D. IN FIELD
FESCO		825-YA-1"	REDUCED PRESSURE BACKFLOW PREVENTER - 1"
RAINBIRD		XC2LF-100-PRF	1" PRESSURE REGULATING CONTROL VALVE WITH Y FILTER 0.2-10 GPM
HUNTER		FCT-100 FLOW-CLICK AND MODULE	1" FLOW SENSOR
RAINBIRD		SMRT-Y	SOIL MOISTURE SENSOR. ATTACH TO CONTROL VALVES IN LID PLANTERS
RAIN BIRD		RWS-M-B-C-1402 ROOT WATERING SYSTEM	0.50 GPM ROOT WATERING SYSTEM
PACIFIC PLASTICS OR EQUAL		PVC 1120 SCH 40, U.V. RESISTANT CELL CLASS 1245A, SOLVENT WELD NSF APPROVED MAINLINE PIPE	SIZE PER PLAN. INSTALL PER DETAIL
		PVC 1120 SCH 40, CELL CLASS 1245A, SOLVENT WELD NSF APPROVED MAINLINE PIPE SLEEVING	1 - 1/2 TIMES DIAMETER OF MAINLINE. INSTALL PER PLAN
		PVC 1120 SCH 40, U.V. RESISTANT CELL CLASS 1245A, SOLVENT WELD NSF APPROVED MAINLINE PIPE LATERAL	SIZE PER PLAN. INSTALL PER DETAIL
NETAFIM		TLOCV-18 TECHLINE PRESSURE COMPENSATING DRIPPER LINE WITH INTERNAL CHECK VALVES, 0.6 GPH	18" ROW SPACING, INSTALL ON SURFACE, MIN. 3" COVER MULCH
NETAFIM		TLOCV-12 TECHLINE PRESSURE COMPENSATING DRIPPER LINE WITH INTERNAL CHECK VALVES, 0.4 GPH	18" ROW SPACING, INSTALL AT 4" DEPTH IN SOIL AREA

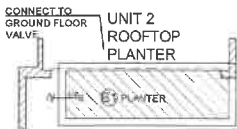


WATER MANAGEMENT POINT SYSTEM

SQUARE FOOTAGE OF SITE 7,500 S.F.
POINTS REQUIRED: 100

POINTS PROVIDED:
DRIP PER CIRCUIT - 6 CIRCUITS @ 5 EA. 30
NO LAWN OR POOL 10
AUTOMATIC IRRIGATION CONTROLLER - 3 @ 5 EA. 15
WEATHER BASED SENSOR - 3 @ 10 EA. 30
PERMEABLE PAVING 10
IRRIGATION SUBMETER 25

TOTAL POINTS PROVIDED: 120



IRRIGATION PLAN -UNIT 2, 2ND FLOOR
SCALE: 1/8" = 1'0"

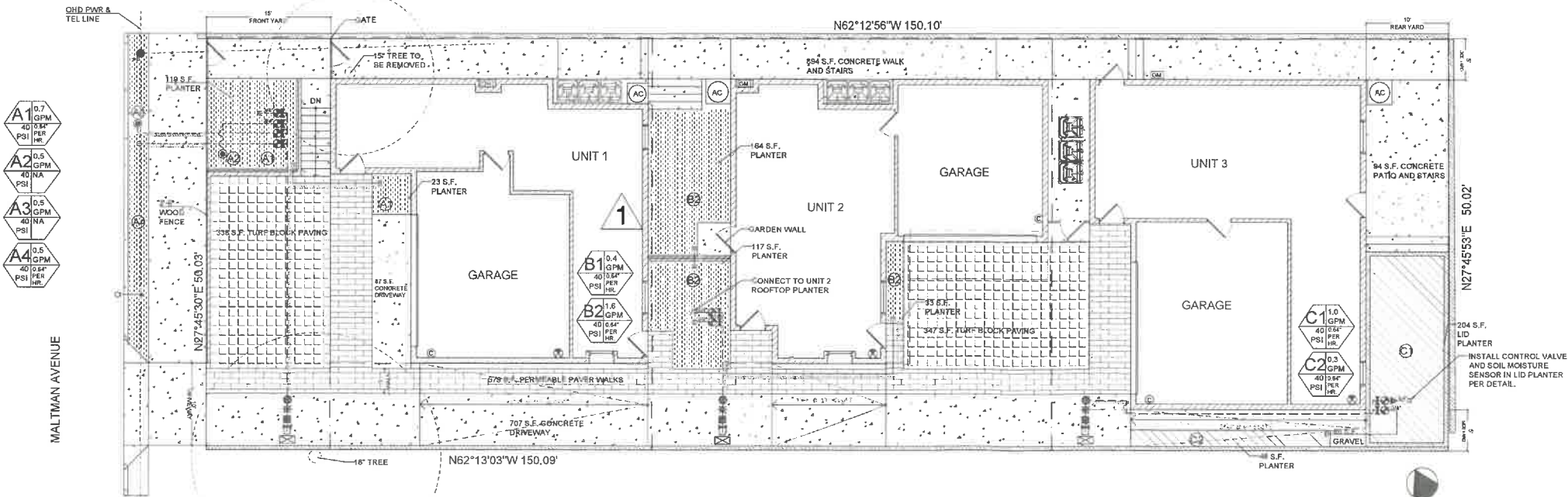


EXHIBIT "A"
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Case No. AA-2020-6052-PMLA-SL-HCA

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

MALTMAN SMALL LOT DIVISION
738 MALTMAN AVENUE
LOS ANGELES, CA 90026

VIRIDITAS
DESIGN

Landscape Architecture

Anne Jones
RLA CA 5999
viriditasdesigngroup@gmail.com
2735 W. Avenue 33
Los Angeles, CA
323.377.1018

A.P.N.: 5439-006-027
SMALL LOT SUBDIVISION



REVISIONS
APRIL 8, 2021

OWNER:
GROVER LEE MCCOLLUM
4703 PARK JACARANDA
CALABASAS, CA 91302
323.355.1422
ARCHITECT:
WARREN TECHENTIN
ARCHITECTURE
2801 HYPERION AVE. STUDIO 103
LOS ANGELES, CA 90027
323.664.4500

DATE:
APRIL 7, 2021

SCALE:
1/8" = 1'0"

IRRIGATION
PLAN
L.1

Site Information								
Site Name → 738 MALTMAN AVENUE, LOS ANGELES, CA 90026								
Site Type → Residential Allowed ETAF: 0.55								
Annual Eto (inches/yr) → 50.1								
Hydrozone or Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Hydrozone Area (sqft.)	ETAF x Area	Estimated Total Water Use (gal./yr.)	
Regular Landscape Areas								
A1	0.3	Low	Drip	0.81	0.4	134	50	1,553
A2	0.3	Low	Bubbler	0.81	0.4	8	3	93
A3	0.3	Low	Bubbler	0.81	0.4	8	3	93
A4	0.3	Low	Drip	0.81	0.4	89	33	1,025
B1	0.3	Low	Drip	0.81	0.4	69	26	808
B2	0.3	Low	Drip	0.81	0.4	317	117	3,634
C1	0.3	Low	Drip	0.81	0.4	204	76	2,361
C2	0.3	Low	Drip	0.81	0.4	48	18	559
SUBTOTAL →					877	326	10,126	
Special Landscape Areas								
				1		0	0	
				1		0	0	
				1		0	0	
				1		0	0	
SUBTOTAL →					0	0	0	
Estimated Total Water Use (ETWU) →							10,126	
Maximum Allowed Water Allowance (MAWA) →							14,983	
ETAF Calculations								
Regular Landscape Areas								
Total ETAF x Area		326						
Total Area		877						
Average ETAF		0.37						
All Landscape Areas								
Total ETAF x Area		326						
Total Area		877						
Sitewide ETAF		0.37						
				Notes:				
				Water Efficient Landscape Worksheet				
				Adapted from California Code of Regulations Title 23, Division 2, Chapter 2.7. Model Water Efficient Landscape Ordinance				

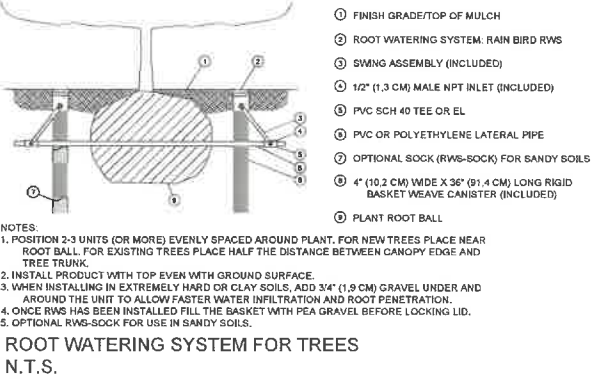
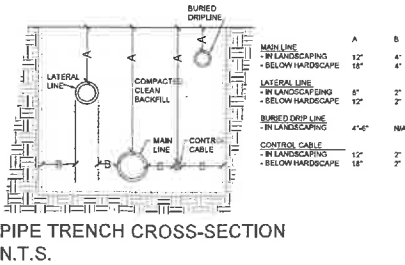
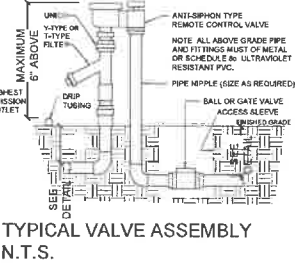
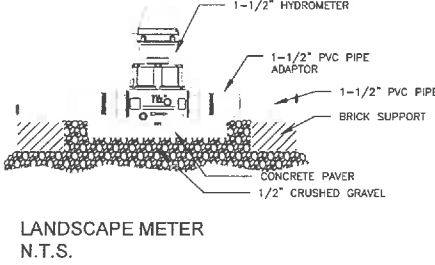
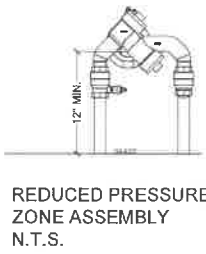
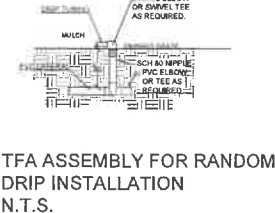
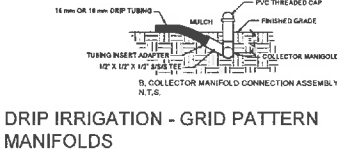
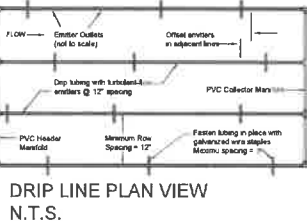
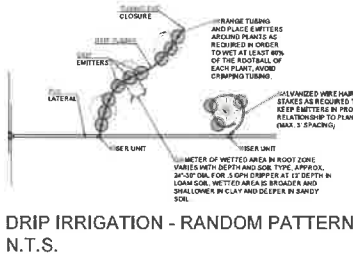


EXHIBIT "A"

Page No. 15 of 16

Case No. AA-2020-6052-PMLA-SL-HCA

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

MALTMAN SMALL LOT DIVISION
738 MALTMAN AVENUE
LOS ANGELES, CA 90026

VIRIDITAS
DESIGN
Landscape Architecture
Anne Jones
RLA CA 5999
viriditasdesigngroup@gmail.com
2735 W. Avenue 33
Los Angeles, CA
323.377.1018

A.P.N.: 5439-006-027
SMALL LOT SUBDIVISION

REVISIONS

OWNER:
GROVER LEE MCCOLLUM
4703 PARK JACARANDA
CALABASAS, CA 91302
323.565.1422
ARCHITECT:
WARREN TECHENTIN
ARCHITECTURE
2801 HYPERION AVE, STUDIO 103
LOS ANGELES, CA 90027
323.664.4500

DATE:
APRIL 7, 2021

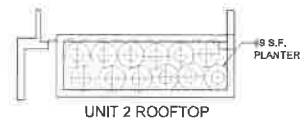
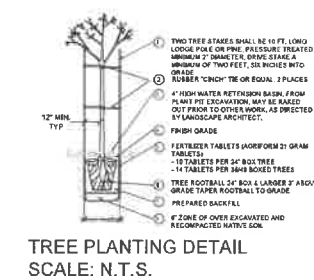
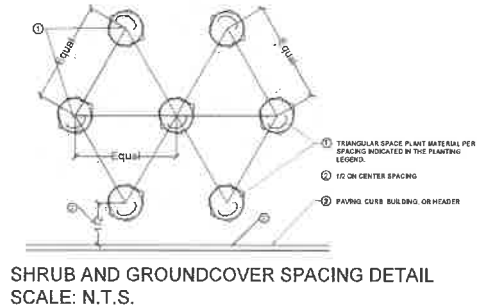
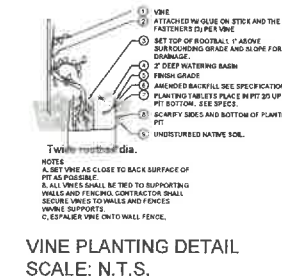
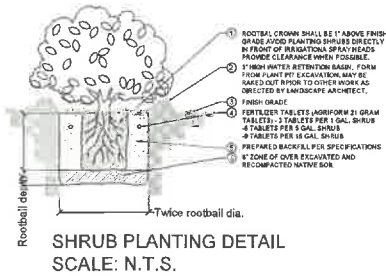
SCALE:
N.T.S.

IRRIGATION
DETAILS
L.1.1

PLANT LEGEND						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS PLANT FACTOR	HYDROZONE
	ACHILLEA MILLEFOLIUM 'SONOMA COAST'	YARROW @ 12" O.C.	1 GAL	33	0.3/L	C1 LOW
	AEONIUM UNULATUM	STALKED AEONIUM	1 GAL	10	0.3/L	B2 LOW
	ALOE STRIATA	CORAL ALOE	1 GAL	15	0.3/L	A1, B2 LOW
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	54	0.3/L	B2, C1 LOW
	CORDYLINE AUSTRALIS 'TORBAY DAZZLER'	CORDYLINE	15 GAL	1	0.3/L	A1 LOW
	HARDENBERGIA VIOLACEA	LILAC VINE	5 GAL	4	0.3/L	C2 LOW
	LOMANDRA 'BREEZE'	DWARF MAT RUSH	1 GAL	8	0.3/L	C1 LOW
	MASCAGNIA MACROPTERA	YELLOW ORCHID VINE	5 GAL	4	0.3/L	C1 LOW
	OLEA EUROPAEA 'LITTLE OLLIE'	LITTLE OLLIE DWARF OLIVE	5 GAL	7	0.3/L	A1 LOW
	PHYLLA NODIFLORA 'KURAPIA'	KURAPIA	SOD - 88 S.F.		0.3/L	A4 LOW
	RHUS INTEGRIFOLIA	LEMONADE BERRY	1 GAL	7	0.1/VL	B2 LOW
	RUSCHIA LINEOLATA	CARPET OF STARS @ 8" O.C.	FLATS	7	0.3/L	A1, B2 LOW
	SANSEVIERIA MASONIANA	MASON'S CONGO	5 GAL	7	0.3/L	A1, B2 LOW
	SETARIA PALMIFOLIA	PALM GRASS	1 GAL	15	0.3/L	B1, B2 LOW
TREES						
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS PLANT FACTOR	HYDROZONE
	CHILOPSIS LINEARIS 'LUCRETIA HAMILTON'	LUCRETIA HAMILTON DESERT WILLOW	24" BOX	2	0.3/L	C1 LOW
	LYONOTHAMNUS FLORIBUNDUS SSP ASPLENIFOLIUS	CATALINA IRONWOOD	24" BOX	2	0.3/L	A2, A3 LOW

NOTES:

- A MINIMUM 3 INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF 4 CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- RECIRCULATING WATER SYSTEMS SHALL BE USED FOR ALL WATER FEATURES.
- LANDSCAPE CONTRACTOR TO VERIFY PLANT QUANTITIES.
- LID PLANTER SOIL MIX SHALL CONSIST OF 45% SAND, 40% SANDY LOAM AND 15% COMPOST WITH A MINIMUM 3" LAYER OF MULCH TOP DRESSING.



PLANTING PLAN -UNIT 2, 2ND FLOOR
SCALE: 1/8" = 1'0"

LANDSCAPE POINT SYSTEM

SQUARE FOOTAGE OF SITE POINTS REQUIRED	7,500 S.F.
POINTS PROVIDED:	
2 STREET TREES - 24" BOX	1
TREE TAXON THAT DOES NOT EXIST WITHIN 1000' RADIUS - 5 PTS. PER TREE	10
TOTAL POINTS PROVIDED:	11

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

PLANTING PLAN
SCALE: 1/8" = 1'0"

MALTMAN SMALL LOT DIVISION
738 MALTMAN AVENUE
LOS ANGELES, CA 90026

VIRIDITAS
DESIGN

Landscape Architecture

Anne Jones
RLA CA 5999
viriditasdesigngroup@gmail.com
2735 W. Avenue 33
Los Angeles, CA
323.377.1018

A.P.N.: 5439-006-027
SMALL LOT SUBDIVISION



REVISIONS
APRIL 8, 2021

OWNER:
GROVER LEE MCCOLLUM
4703 PARK JACARANDA
CALABASAS, CA 91302
323.365.1422

ARCHITECT:
WARREN TECHENTIN
ARCHITECTURE
2801 HYPERION AVE. STUDIO 103
LOS ANGELES, CA 90027
323.664.4500

DATE:
APRIL 7, 2021

SCALE:
1/8" = 1'0"

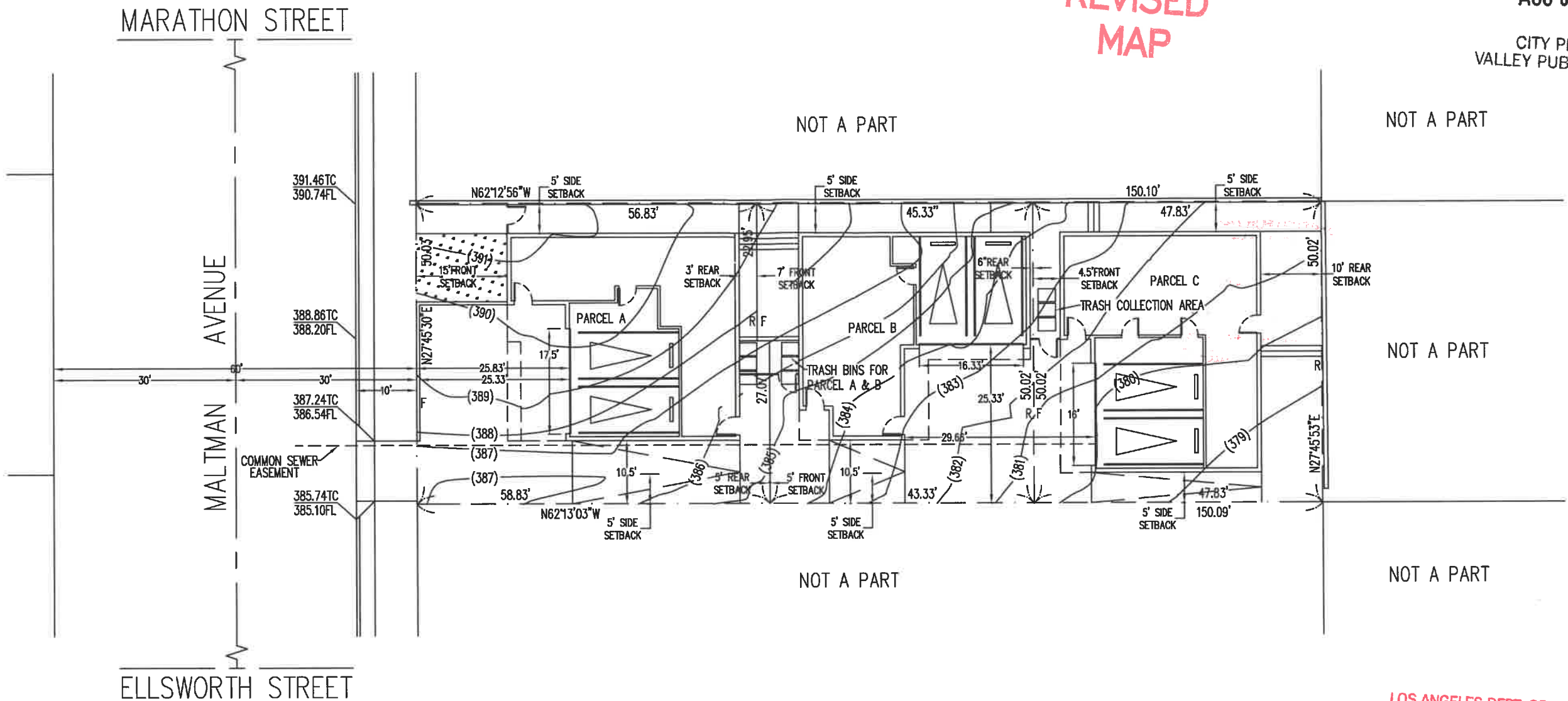
PLANTING
PLAN
L.2

PRELIMINARY PARCEL MAP NO. AA-2020-6052

RECEIVED
CITY OF LOS ANGELES
AUG 03 2021

CITY PLANNING
VALLEY PUBLIC COUNTER

REVISED
MAP



OWNER/APPLICANT:

LAKESIDE MANAGEMENT
4703 PARK JACARANDA
CALABASAS, CA. 91302
(323) 365-1422

ARCHITECT:

WARREN TECHENTIN ARCHITURE, INC.
2801 HYPERION AVE STE 103
LOS ANGELES, CA. 90027
323-664-4500


MATRIX:

PARCEL	FRONT (E)	REAR (W)	SIDE (N)	SIDE (S)
A	15'-0"	3'-0" / 5'-0"	5'-0"	5'-0"
B	7'-0" / 5'-0"	0'-6"	5'-0"	5'-0"
C	4'-6"	10'-0"	5'-0"	5'-0"

SUMMARY:

PARCEL	PARCEL SF	PARCEL ACRE
A	2,692 SF	0.061
B	2,417 SF	0.055
C	2,391 SF	0.054

LEGEND:

- F — FRONT YARD
R — REAR YARD
 — COMMON ACCESS DWY
— — — — — ABOVE GROUND LEVEL PROJECTION

LEGAL DESCRIPTION:

LOT 50 WEST END OCEAN VIEW TRACT, IN THE CITY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER RECORDED IN BOOK 8, PAGE 66 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA.
APN: 5401-006-004

NOTES:

- THREE LOT SMALL LOT SUBDIVISION WITH 4 STORY SINGLE FAMILY DWELLINGS.
- LOT AREA: 7,500 SQ. FT./ 0.17 ACRE
- NO TREES ON SITE
- ZONE: R3-1VL
- NO HAZARDOUS CONDITIONS EXIST
- SMALL LOT SINGLE FAMILY SUBDIVISION IN THE R3-1VL ZONE, PURSUANT TO ORDINANCE NO. 174,354
- PROJECT LOCATED IN A HILLSIDE AREA

LOS ANGELES DEPT. OF CITY PLANNING
SUBMITTED FOR FILING
☒ PARCEL MAP
AUG 03 2021

☐ REVISED MAP ☐ EXTENSION OF TIME
☐ FINAL MAP UNIT ☐ MODIFIED
DEPUTY ADVISORY AGENCY

SCALE: 1"=20'

PROJECT:
PRELIMINARY PARCEL MAP NO.
738 N MALTMAN AVE
LOS ANGELES, CA. 90026

PREPARED BY:
**WESTCON ENGINEERING, INC.**
LAND PLANNING ENGINEERING LAND SURVEYING
6355 TOPANGA CANYON BLVD., SUITE 345
WOODLAND HILLS, CA. 91367
818-226-0444 VOICE 818-226-0448 FAX
E-MAIL: info@westconeng.com

W.O. 20-109
SCALE: 1"=20'
DATE: 07/28/20
SHEET 1 OF 1