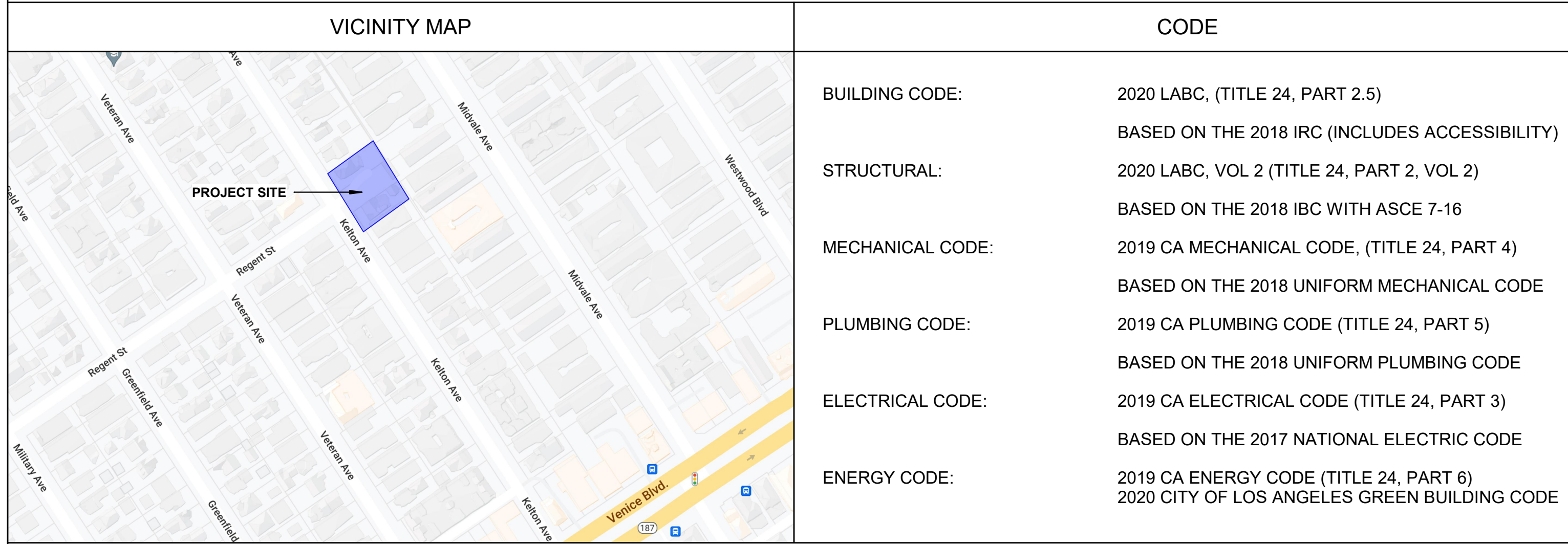


KELTON AVE

EXHIBIT "A"
Page No. 1 of 32
Case No. CPC-2023-582-CU-DB-HCA-RHP



breakformdesign



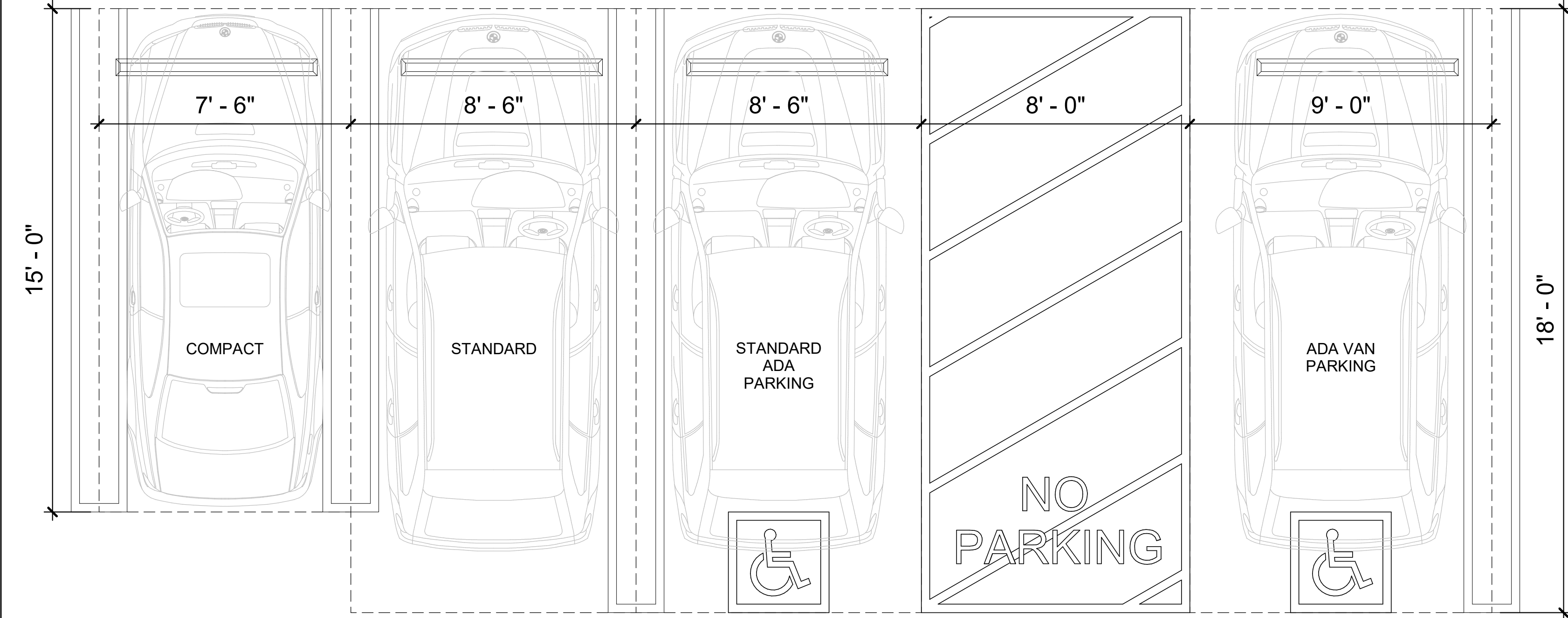
PROJECT DIRECTORY		
OWNER	STRUCTURAL ENGINEER	TITLE 24
NAME: LG ALLIANCE CORP.	NAME: D.S.P.	NAME: D.S.P.
ADDRESS: 9440 SANTA MONICA BLVD., SUITE 301 BEVERLY HILLS, CA 90210	ADDRESS: C.E.M.	ADDRESS: C.E.M.
	PHONE NO.: B.U.R.	PHONE NO.: B.U.R.
ARCHITECT	LAND SURVEYOR	TRACT MAP
NAME: BREAKFORM DESIGN	NAME: ANODIZED	NAME: ANODIZED
ADDRESS: 127 ARENA STREET EL SEGUNDO, CA 90245	ADDRESS: C.O.N.T.R.	ADDRESS: C.O.N.T.R.
PHONE NO.: 310-322-3700	PHONE NO.: C.T.S.K.	PHONE NO.: C.T.S.K.

PROJECT INFORMATION	
PROJECT SUMMARY:	NEW 5 STORY RESIDENTIAL BUILDING WITH 43 APARTMENT UNITS (32 MARKET RATE, 11 AFFORDABLE) + 1 FLOOR OF SUBTERRANEAN PARKING PROJECT UTILIZES INCENTIVES PER LAMC 12.22A.25
PROJECT ADDRESS:	3676 & 3704 KELTON AVE., LOS ANGELES, CA 90034
LOT SIZE:	5,053.9 SF, 5,286.4 SF, 4,994.3 SF
LOT AREA:	15,334.6 SF
ASSESSOR'S PARCEL #:	4252024020, 4252025042
TRACT:	TR 5848
MAP REFERENCE:	M B 67-57 (SHT 2), M B 61-59 (SHT 1)
BLOCK:	NONE
LOT:	77, VAC 20090809493, 19
CENSUS TRACT:	2718.04,
ZONING:	RD2-1, R3-1
HILLSIDE AREA:	NO
SPECIFIC PLAN AREA:	WEST LOS ANGELES TRANSPORTATION IMPROVEMENT & MITIGATION
METHANE HAZARD SITE:	NONE
SPECIAL GRADING AREA:	YES
USE:	RESIDENTIAL
HEIGHT LIMIT:	45'-0"
BUILDING FOOTPRINT:	
BUILDING SQUARE FOOTAGE:	42,490 SF
BUILDING HEIGHT:	62'-0"
TYPE OF CONSTRUCTION:	
OCCUPANCY GROUP:	R2 & S-2
NUMBER OF STORY:	5 + 1 FLOOR SUBTERRANEAN
PARKING REQUIREMENT:	45 PARKING SPACES
PARKING PROVIDED:	33 PARKING SPACES
SPRINKLER:	NFPA-13

RESIDENTIAL UNITS			
UNIT #	OCCUPANCY	S.F.	TYPE
101	1 BD / 1 BTH	974 SF	AFFORDABLE
103	/ 1 BTH	469 SF	MARKET RATE
104	/ 1 BTH	551 SF	AFFORDABLE
201	2 BD / 2 BTH	842 SF	MARKET RATE
202	/ 1 BTH	525 SF	MARKET RATE
203	2 BD / 2 BTH	988 SF	AFFORDABLE
204	1 BD / 1 BTH	712 SF	MARKET RATE
205	/ 1 BTH	434 SF	MARKET RATE
206	/ 1 BTH	434 SF	MARKET RATE
207	2 BD / 2 BTH	966 SF	AFFORDABLE
208	2 BD / 2 BTH	965 SF	MARKET RATE
209	/ 1 BTH	490 SF	AFFORDABLE
210	1 BD / 1 BTH	849 SF	MARKET RATE
301	2 BD / 2 BTH	842 SF	MARKET RATE
302	/ 1 BTH	525 SF	MARKET RATE
303	2 BD / 2 BTH	988 SF	MARKET RATE
304	1 BD / 1 BTH	712 SF	AFFORDABLE
305	/ 1 BTH	434 SF	MARKET RATE
306	/ 1 BTH	434 SF	AFFORDABLE
307	2 BD / 2 BTH	966 SF	MARKET RATE
308	2 BD / 2 BTH	965 SF	AFFORDABLE
309	/ 1 BTH	490 SF	MARKET RATE
310	1 BD / 1 BTH	849 SF	MARKET RATE
401	2 BD / 2 BTH	842 SF	MARKET RATE
402	/ 1 BTH	525 SF	MARKET RATE
403	2 BD / 2 BTH	988 SF	MARKET RATE
404	1 BD / 1 BTH	712 SF	MARKET RATE
405	/ 1 BTH	434 SF	MARKET RATE
406	/ 1 BTH	434 SF	AFFORDABLE
407	2 BD / 2 BTH	966 SF	MARKET RATE
408	2 BD / 2 BTH	965 SF	MARKET RATE
409	/ 1 BTH	490 SF	MARKET RATE
410	1 BD / 1 BTH	849 SF	AFFORDABLE
501	2 BD / 2 BTH	842 SF	AFFORDABLE
502	/ 1 BTH	525 SF	MARKET RATE
503	2 BD / 2 BTH	988 SF	MARKET RATE
504	1 BD / 1 BTH	709 SF	MARKET RATE
505	/ 1 BTH	434 SF	MARKET RATE
506	/ 1 BTH	434 SF	MARKET RATE
507	1 BD / 1 BTH	663 SF	MARKET RATE
508	1 BD / 1 BTH	666 SF	MARKET RATE
509	/ 1 BTH	490 SF	MARKET RATE
510	1 BD / 1 BTH	849 SF	MARKET RATE

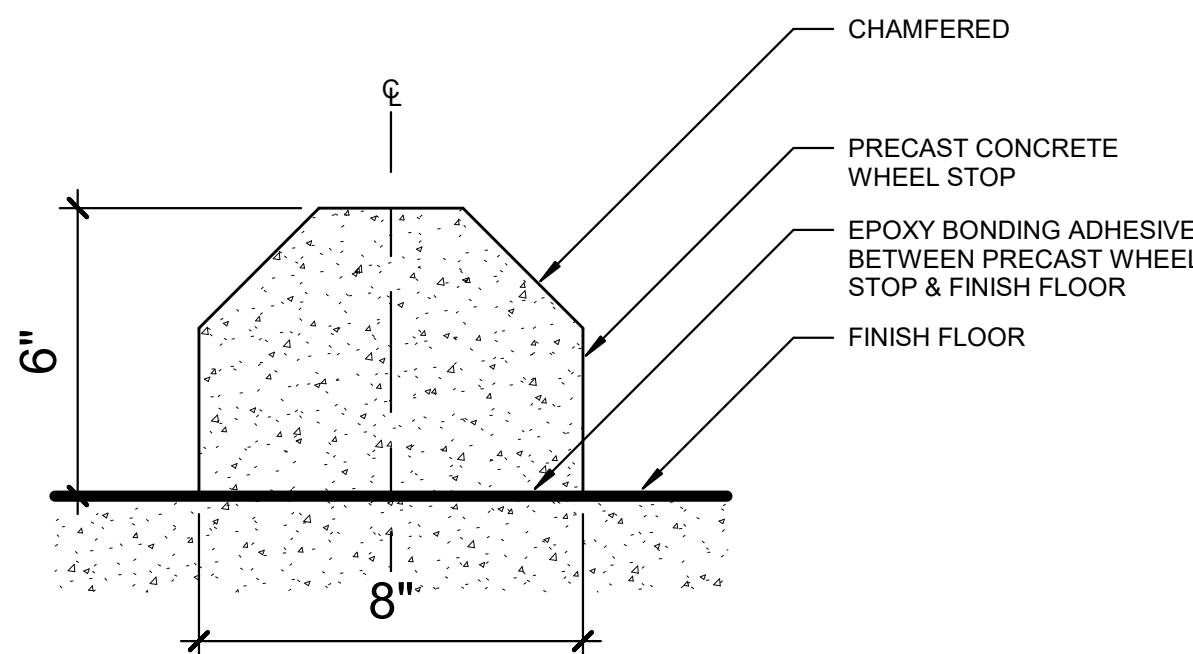
ABREVIATIONS & SYMBOLS	
& Angle	BLKG Blocking
< Bottom	DBL Double
@ Centerline	DET Detail
Ø Diameter or Round	D.F. Drinking Fountain
∟ Perpendicular	DIA Diameter
# Number	DM Dimension
(E) Existing	DIS Dispenser
AB Anchor Bolt	DN Down
A/C Air Conditioning	DOOR Door Opening
A.C. Asphaltic Concrete	DR Door
ACT Acoustical Tile	DRS Downspout
ACOUS Acoustical	D.S.P. Dry Standpipe
ADJ Adjustable	DWG Drawing
ADU Above Finish Floor	DWR Drawer
ALUM Aluminum	CLR Closet
ANOD Anodized	CMU Concrete Masonry Unit
A.P. Access Panel	CNTR Counter
APPROX Approximate	COL Column
ARCH Architectural	CONC Concrete
ASPH Asphalt	CONSTR Construction
BD Board	CONT Continuous
BITUM Bituminous	CORR Corridor
BLDG Building	C.T. Ceramic Tile
BLK Block	CTR Center
	CTSK Countersunk
	C.W. Cold Water
	D Deep, Depth
	DBL Double
	DET Detail
	D.F. Drinking Fountain
	DIA Diameter
	DM Dimension
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	DN Down
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	DR Door
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	DWR Drawer
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	DIA Diameter

EXHIBIT "A"
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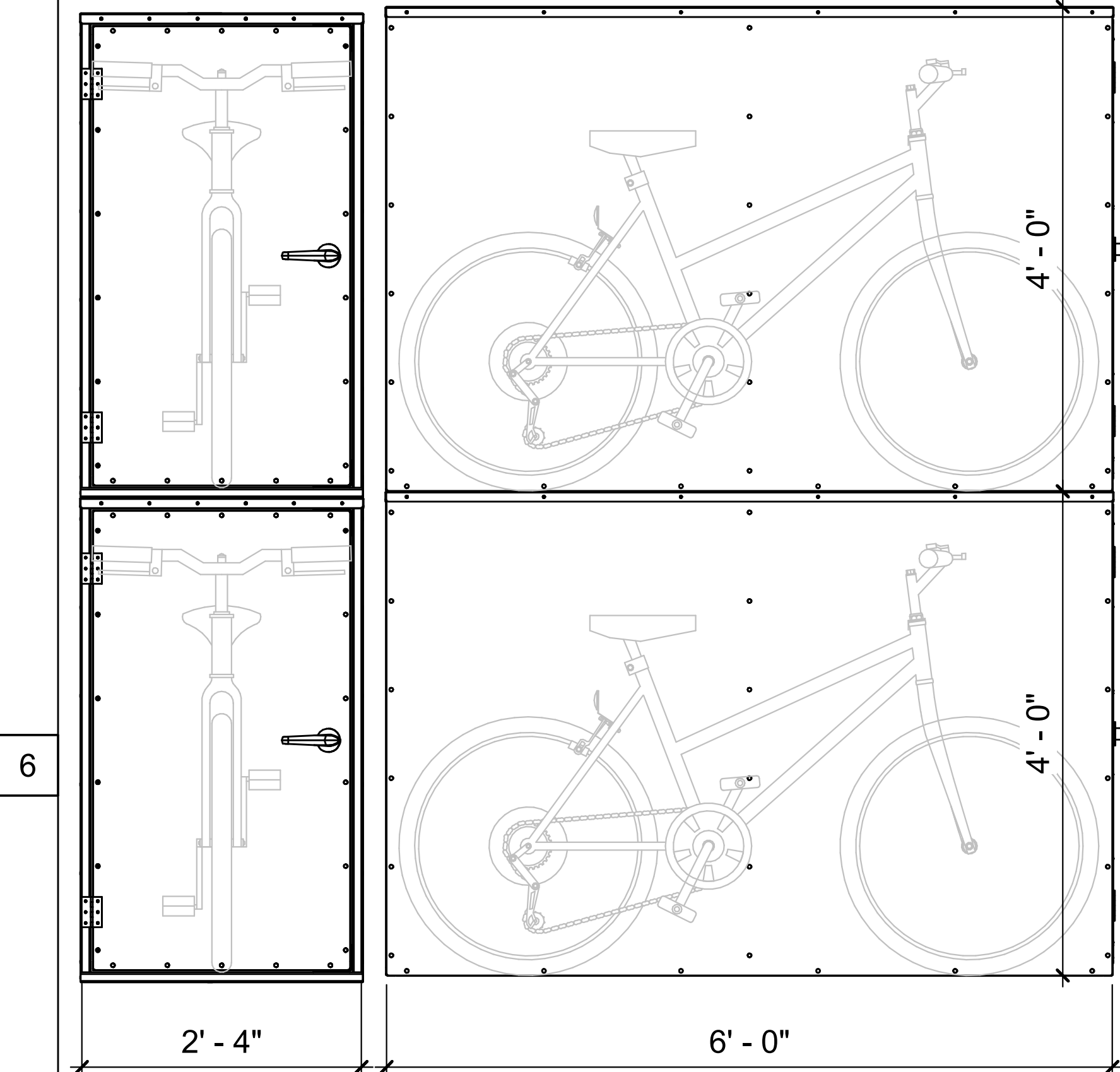


DETAIL - TYPICAL PARKING
3/8" = 1'-0"

3

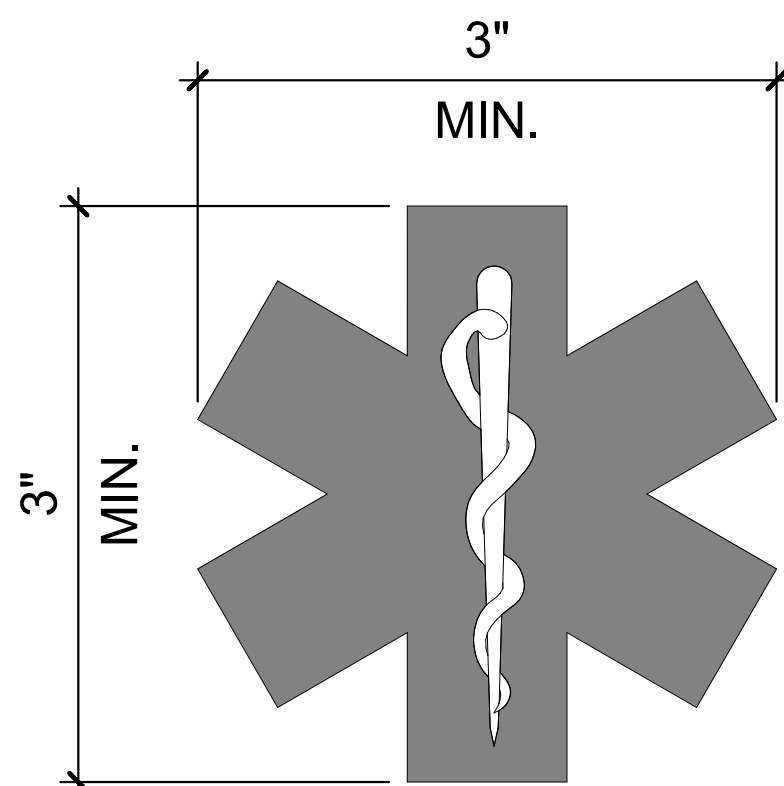


DETAIL - WHEEL STOP
3" = 1'-0"



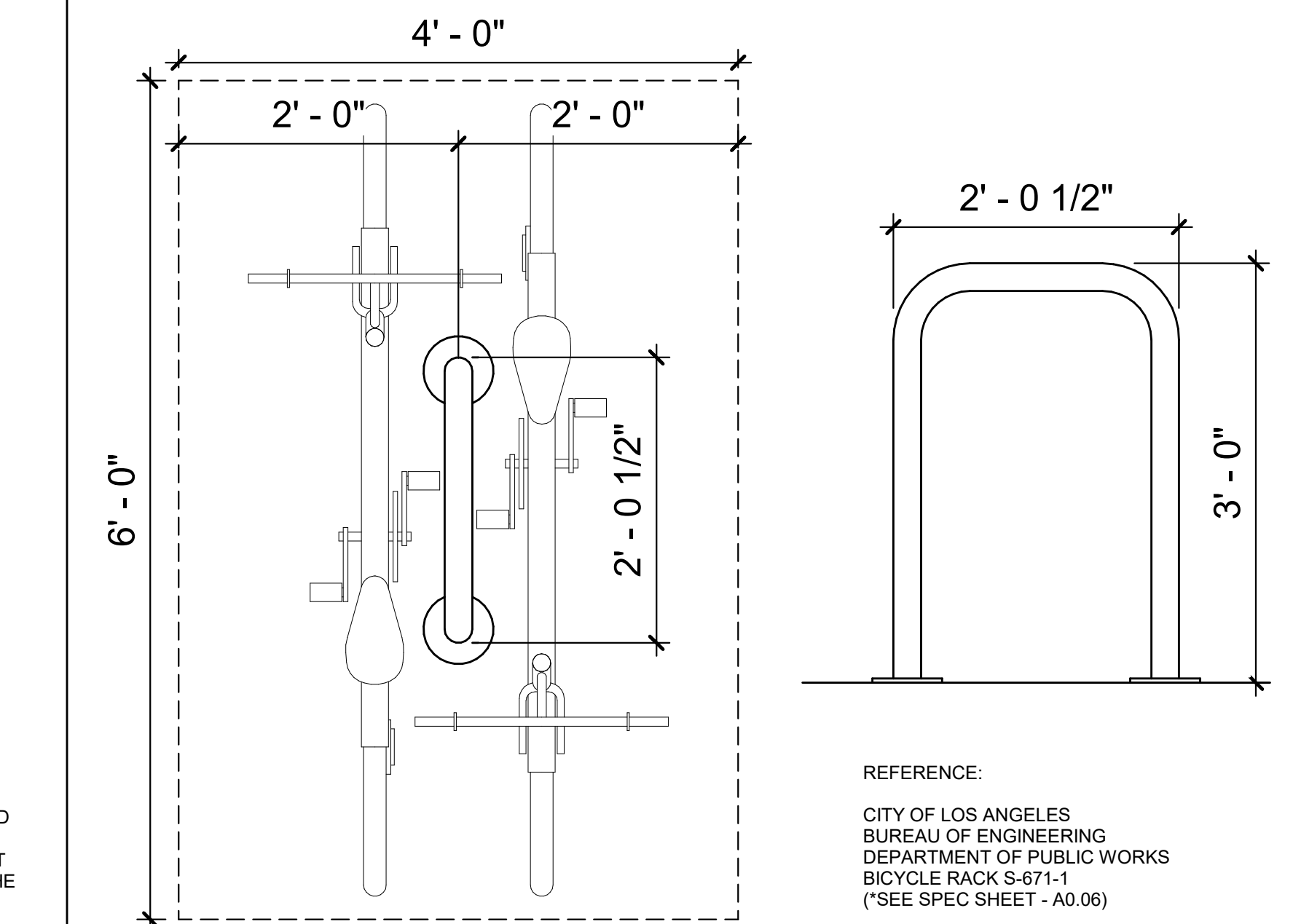
DETAIL - BICYCLE PARKING LONG TERM LOCKER
1" = 1'-0"

2



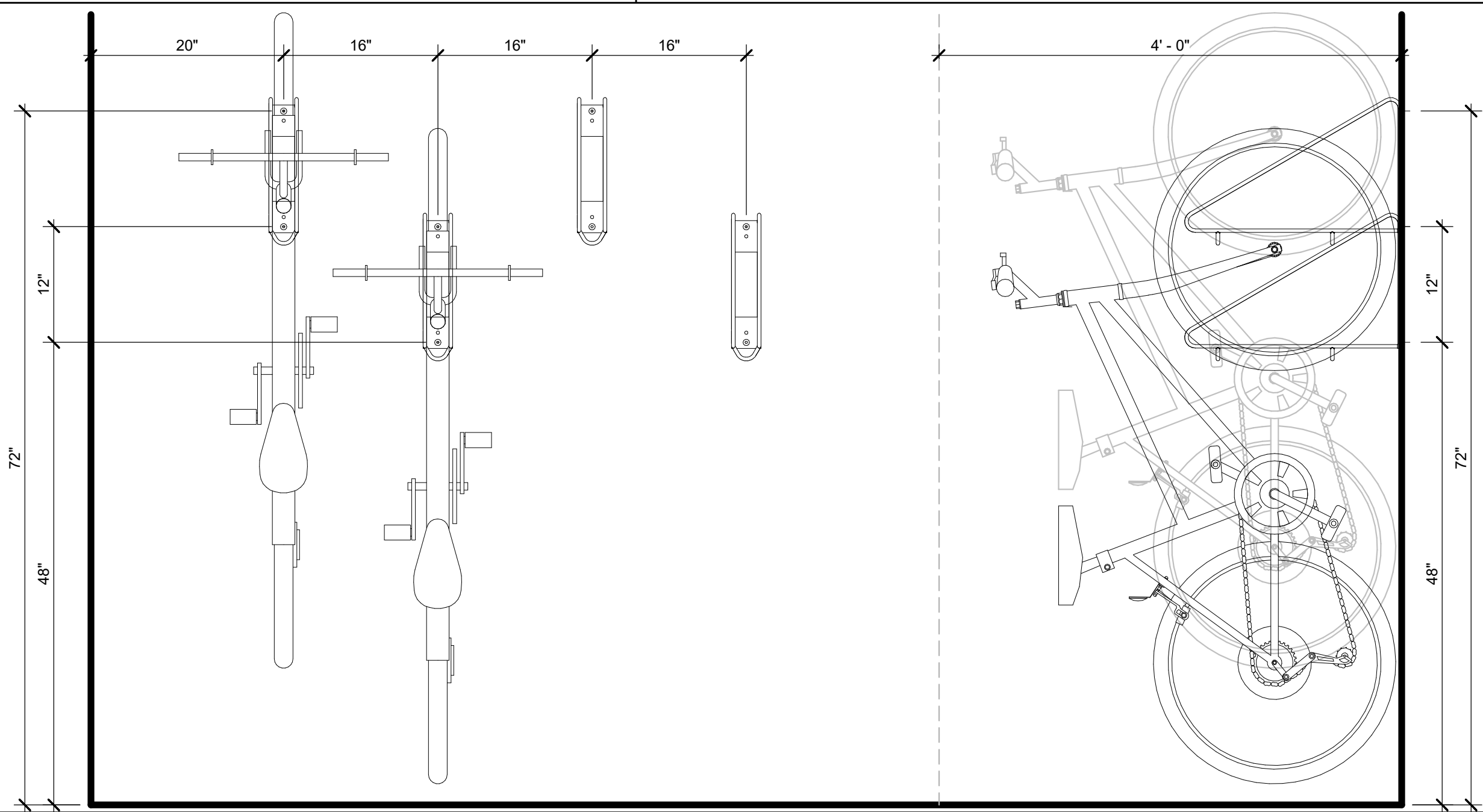
NOTE:
INTERNATIONAL SYMBOL FOR MEDICAL SERVICES (STAR OF LIFE). THE SYMBOL SHALL NOT BE LESS THAN 3 INCHES HIGH & SHALL BE PLACED INSIDE OF THE HOISTWAY DOOR FRAME.

DETAIL - MEDICAL SERVICES SYMBOL
12" = 1'-0"



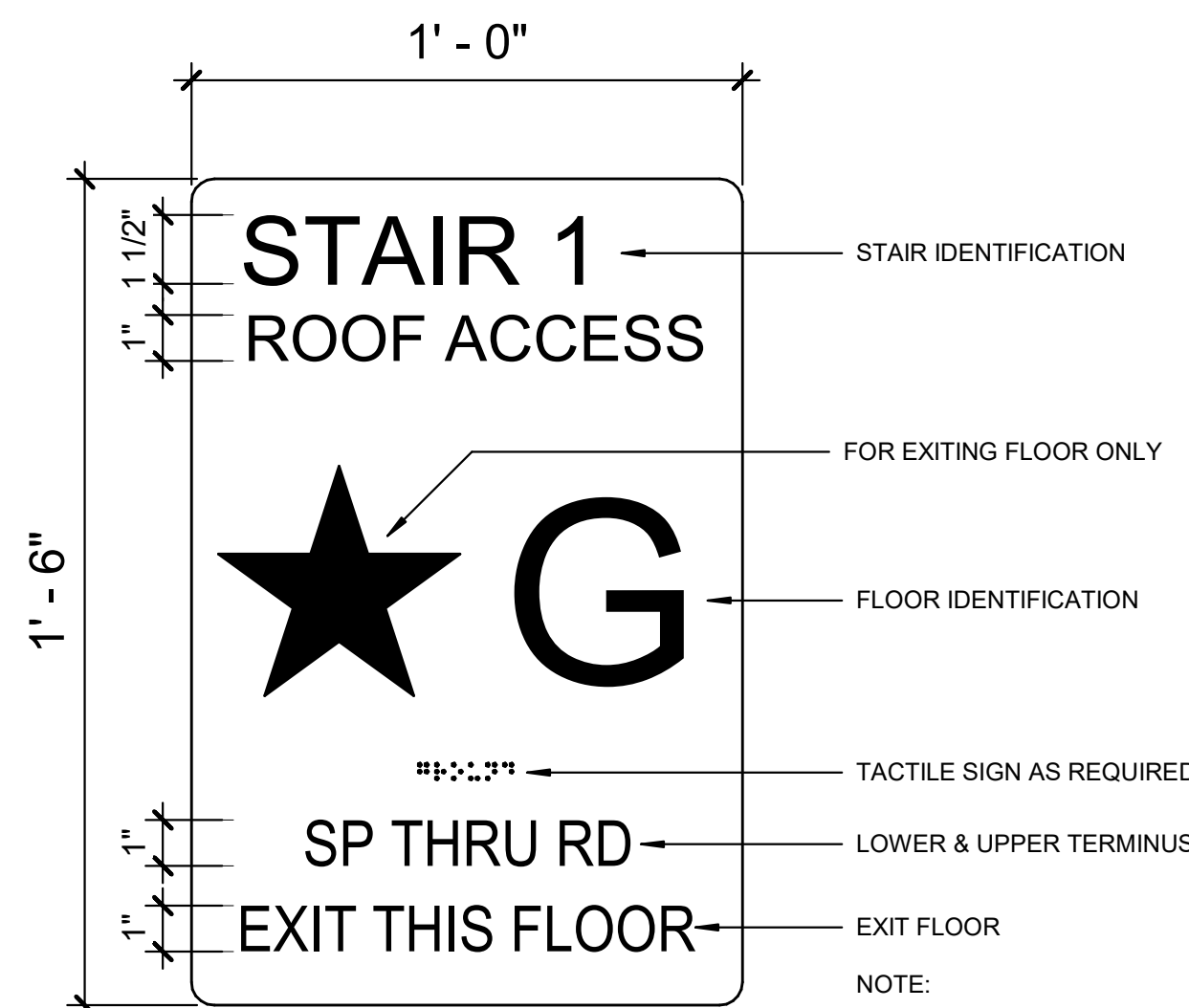
DETAIL - BICYCLE PARKING SHORT TERM TYP.
1" = 1'-0"

1



DETAIL - BICYCLE PARKING LONG TERM WALL RACK
1" = 1'-0"

7



DETAIL - FLOOR I.D. SIGN TYP.
3" = 1'-0"

4

[illegible]

DRAWN _____ **CR** _____

CHECKED _____ **PNK** _____

DATE 4/13/2023 10:50:38 AM

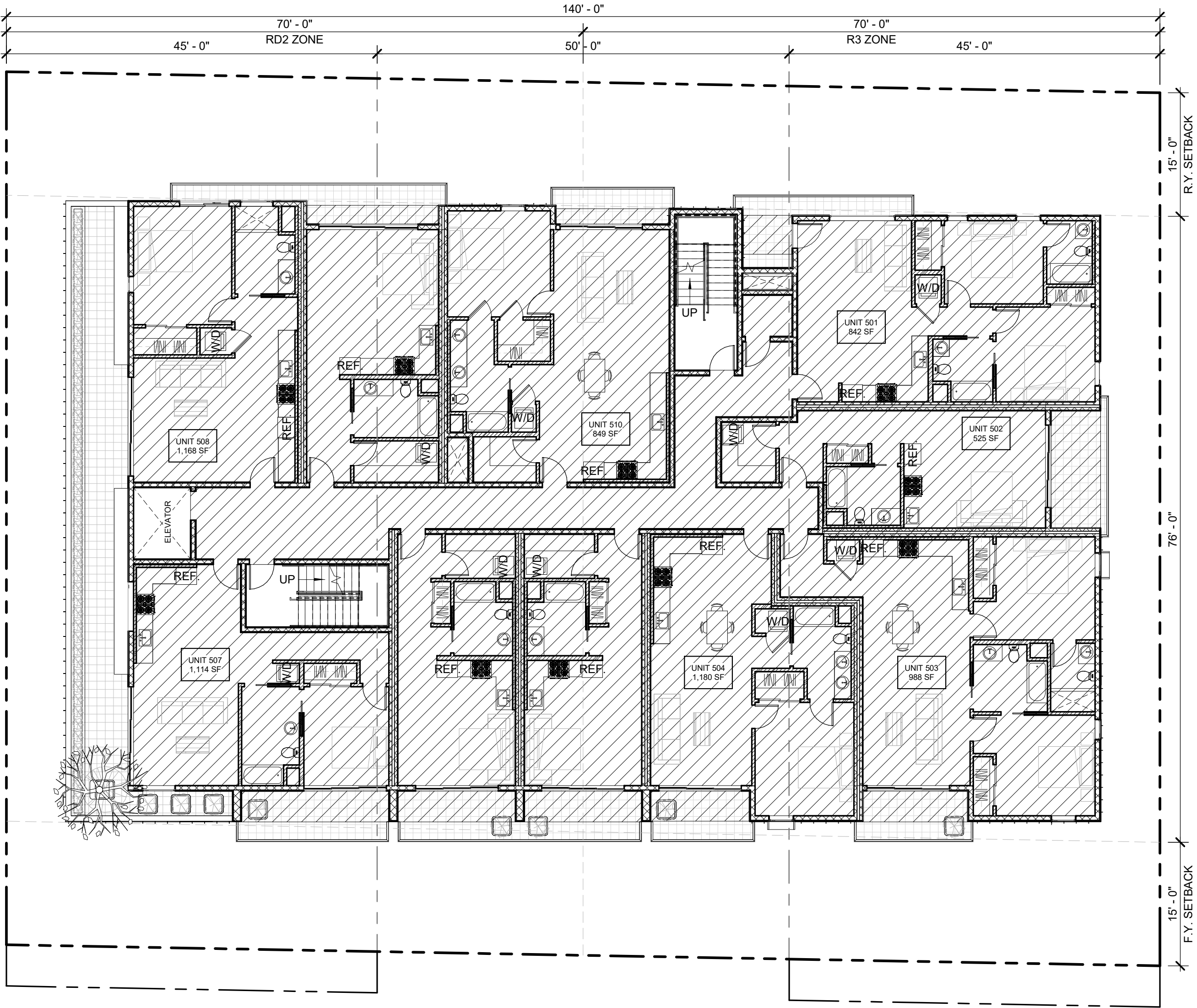
SCALE _____

JOB # 21-A001

A0.23

ZONING CODE FLOOR AREA		
PARKING LEVEL	379 SF	
FIRST FLOOR	3,328 SF	
SECOND FLOOR	8,680 SF	
THIRD FLOOR	8,680 SF	
FOURTH FLOOR	8,680 SF	
FIFTH FLOOR	8,080 SF	
TOTAL PROVIDED	37,827 SF	

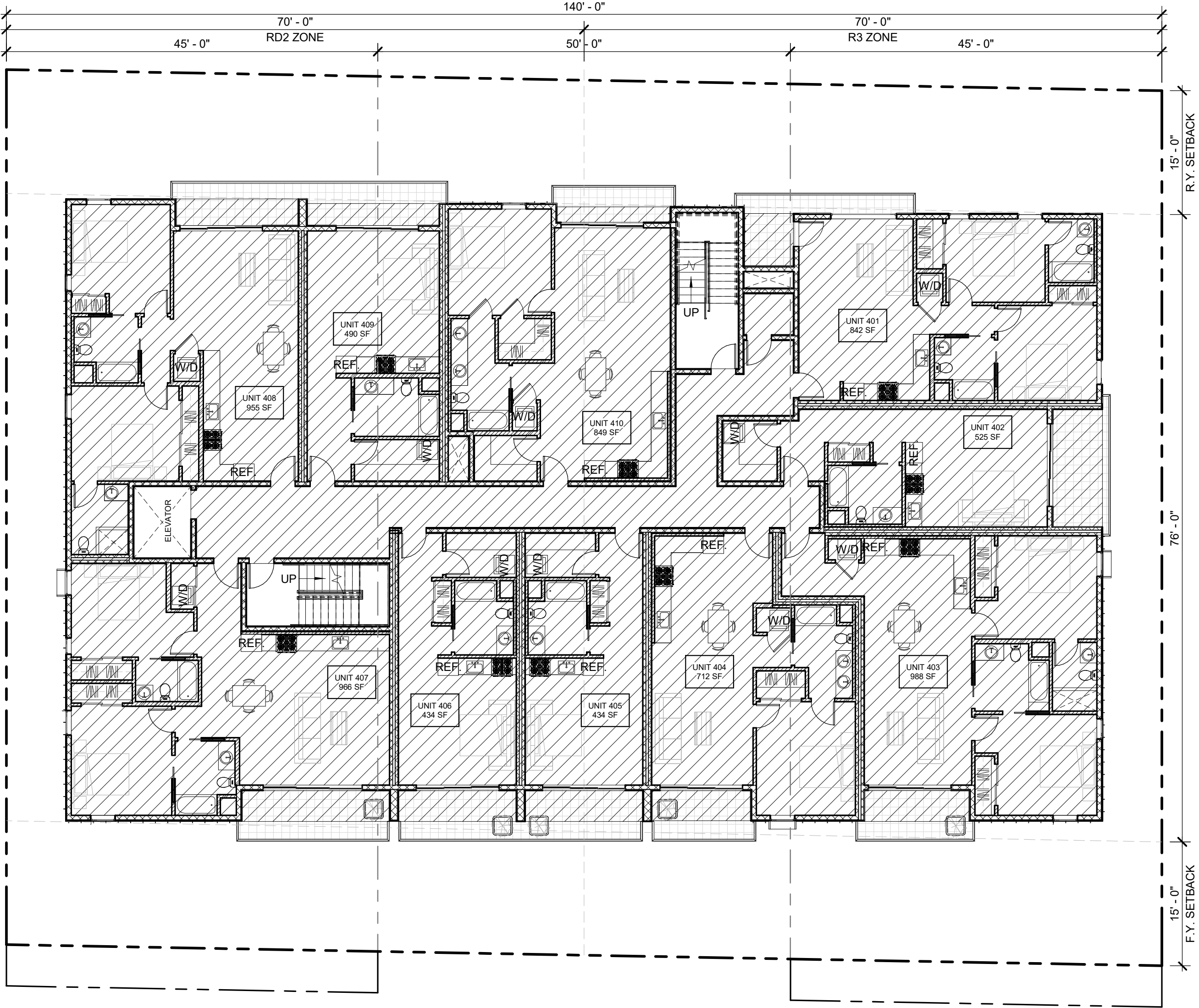
EXHIBIT "A"
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Case No. CPC-2023-582-CJ-DB-HCA-PH



KELTON AVE

ZONING CODE - FIFTH FLOOR
3/32" = 1'-0"

2



KELTON AVE

ZONING CODE - FOURTH FLOOR
3/32" = 1'-0"

1

breakformdesign

127 arena street, el segundo, ca 90245
[o] 310.322.3700

LICENSED ARCHITECT
NAMSEY DANHAM
No. C-34257
10/31/23
RENEWAL DATE
STATE OF CALIFORNIA

3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

SQUARE
FOOTAGE
BREAKDOWNS

DRAWN Author

CHECKED Checker

DATE 4/13/2023 10:51:04 AM

SCALE As indicated

JOB # 21-A001

A0.26.1

TOTAL PROVIDED 58,729 SF

70' - 0" RD2 ZONE **140' - 0"** **70' - 0"** R3 ZONE **45' - 0"**

15' - 0" F.Y. SETBACK **75' - 0"** **15' - 0"** F.Y. SETBACK

45' - 0" **50' - 0"** **70' - 0"** **45' - 0"**

UNIT 204 865 SF

UNIT 205 860 SF

UNIT 206 842 SF

UNIT 207 830 SF

UNIT 208 844 SF

UNIT 209 844 SF

UNIT 210 844 SF

UNIT 211 844 SF

UNIT 212 844 SF

UNIT 213 844 SF

UNIT 214 844 SF

UNIT 215 844 SF

UNIT 216 844 SF

UNIT 217 844 SF

UNIT 218 844 SF

UNIT 219 844 SF

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UNIT 320 844 SF

UNIT 321 844 SF

UNIT 322 844 SF

UNIT 323 844 SF

UNIT 324 844 SF

UNIT 325 844 SF

UNIT 326 844 SF

UNIT 327 844 SF

UNIT 328 844 SF

UNIT 329 844 SF

UNIT 330 844 SF

UNIT 331 844 SF

UNIT 332 844 SF

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UNIT 334 844 SF

UNIT 335 844 SF

UNIT 336 844 SF

UNIT 337 844 SF

UNIT 338 844 SF

UNIT 339 844 SF

UNIT 340 844 SF

UNIT 341 844 SF

UNIT 342 844 SF

UNIT 343 844 SF

UNIT 344 844 SF

UNIT 345 844 SF

UNIT 346 844 SF

UNIT 347 844 SF

UNIT 348 844 SF

UNIT 349 844 SF

UNIT 350 844 SF

UNIT 351 844 SF

UNIT 352 844 SF

UNIT 353 844 SF

UNIT 354 844 SF

UNIT 355 844 SF

UNIT 356 844 SF

UNIT 357 844 SF

UNIT 358 844 SF

UNIT 359 844 SF

UNIT 360 844 SF

UNIT 361 844 SF

UNIT 362 844 SF

UNIT 363 844 SF

UNIT 364 844 SF

UNIT 365 844 SF

UNIT 366 844 SF

UNIT 367 844 SF

UNIT 368 844 SF

UNIT 369 844 SF

UNIT 370 844 SF

UNIT 371 844 SF

UNIT 372 844 SF

UNIT 373 844 SF

UNIT 374 844 SF

UNIT 375 844 SF

UNIT 376 844 SF

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UNIT 380 844 SF

UNIT 381 844 SF

UNIT 382 844 SF

UNIT 383 844 SF

UNIT 384 844 SF

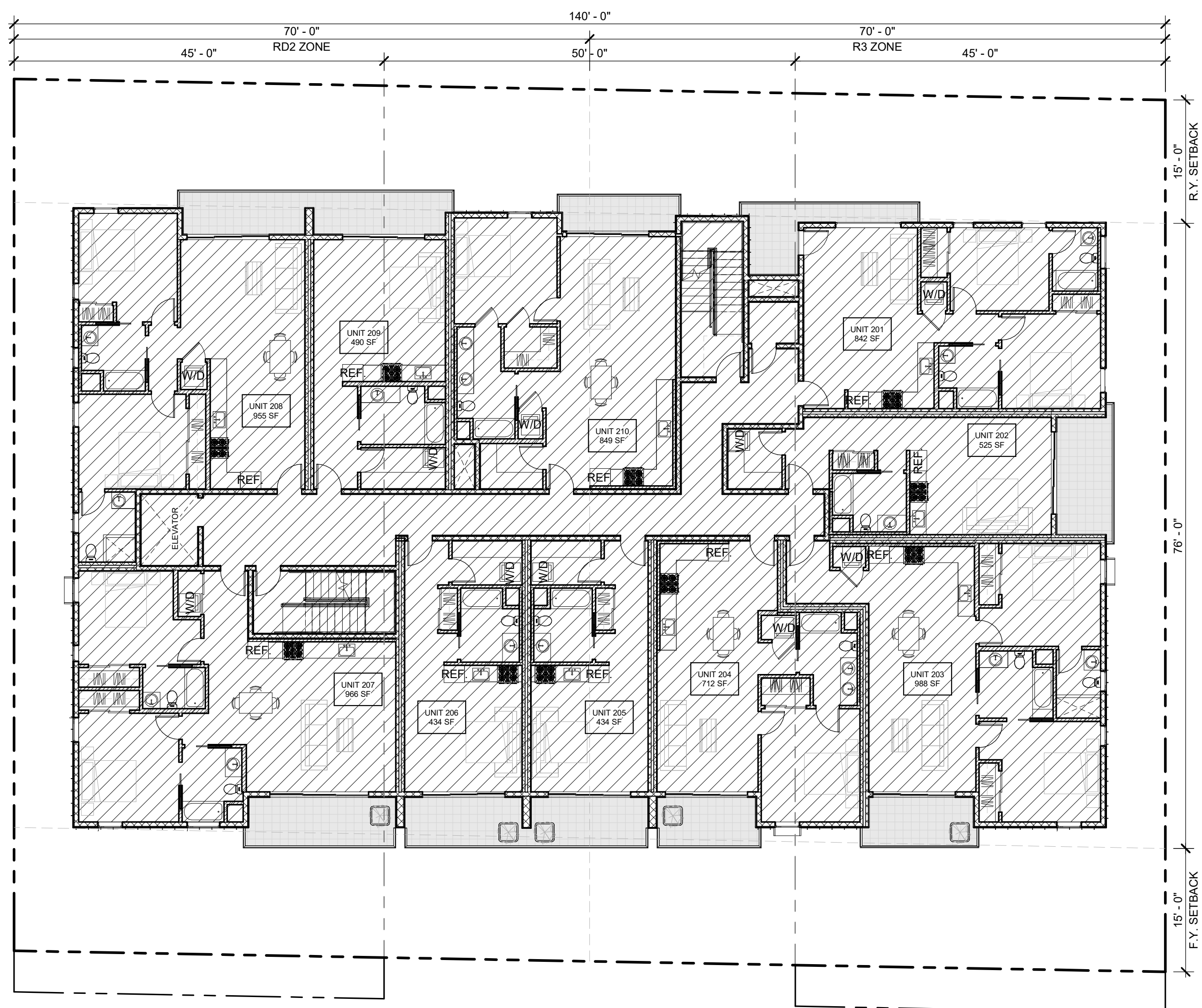
UNIT 385 844 SF

UNIT 386 844 SF

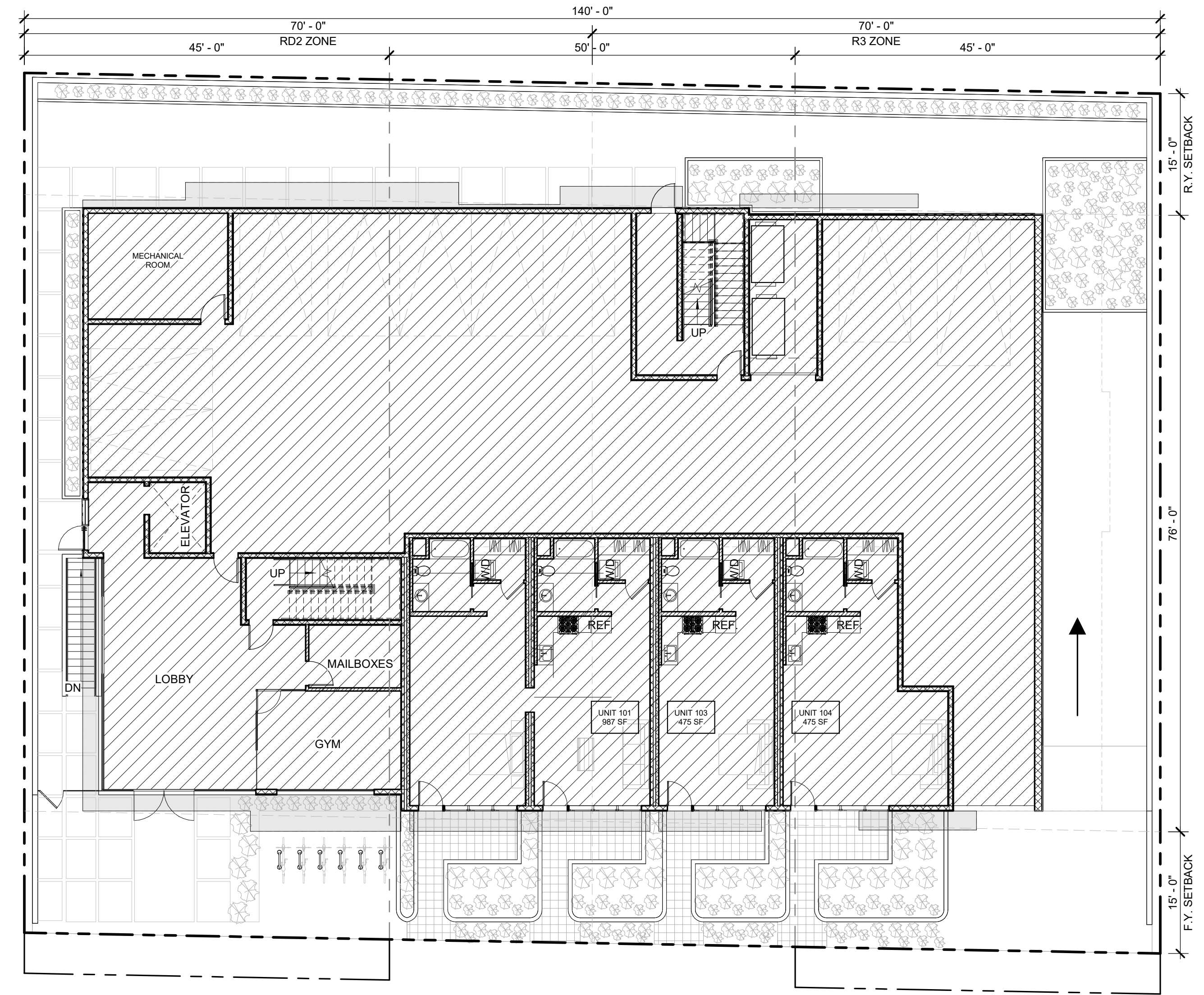
UNIT 387 844 SF

UNIT 388

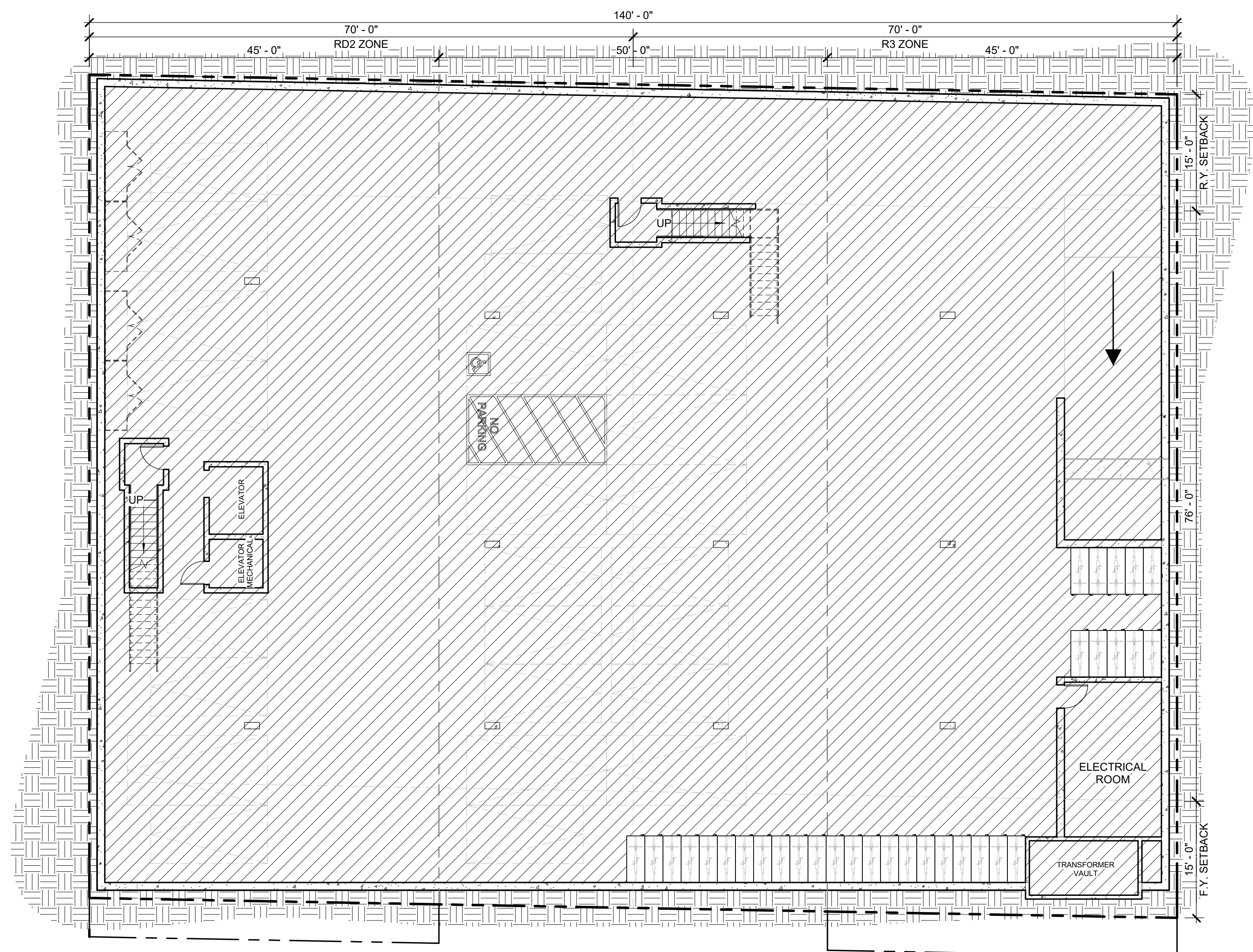
BUILDING CODE - THIRD FLOOR
3/32" = 1'-0"



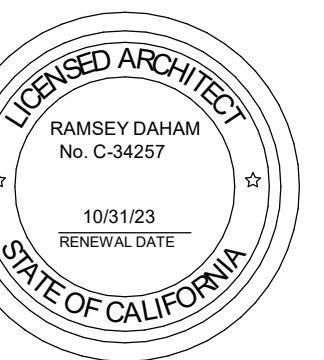
BUILDING CODE - SECOND FLOOR
3/32" = 1'-0"



BUILDING CODE - GROUND FLOOR
3/32" = 1'-0"



BUILDING CODE - PARKING LEVEL
3/32" = 1'-0"



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LOS ANGELES, CA 90034

[illegible]

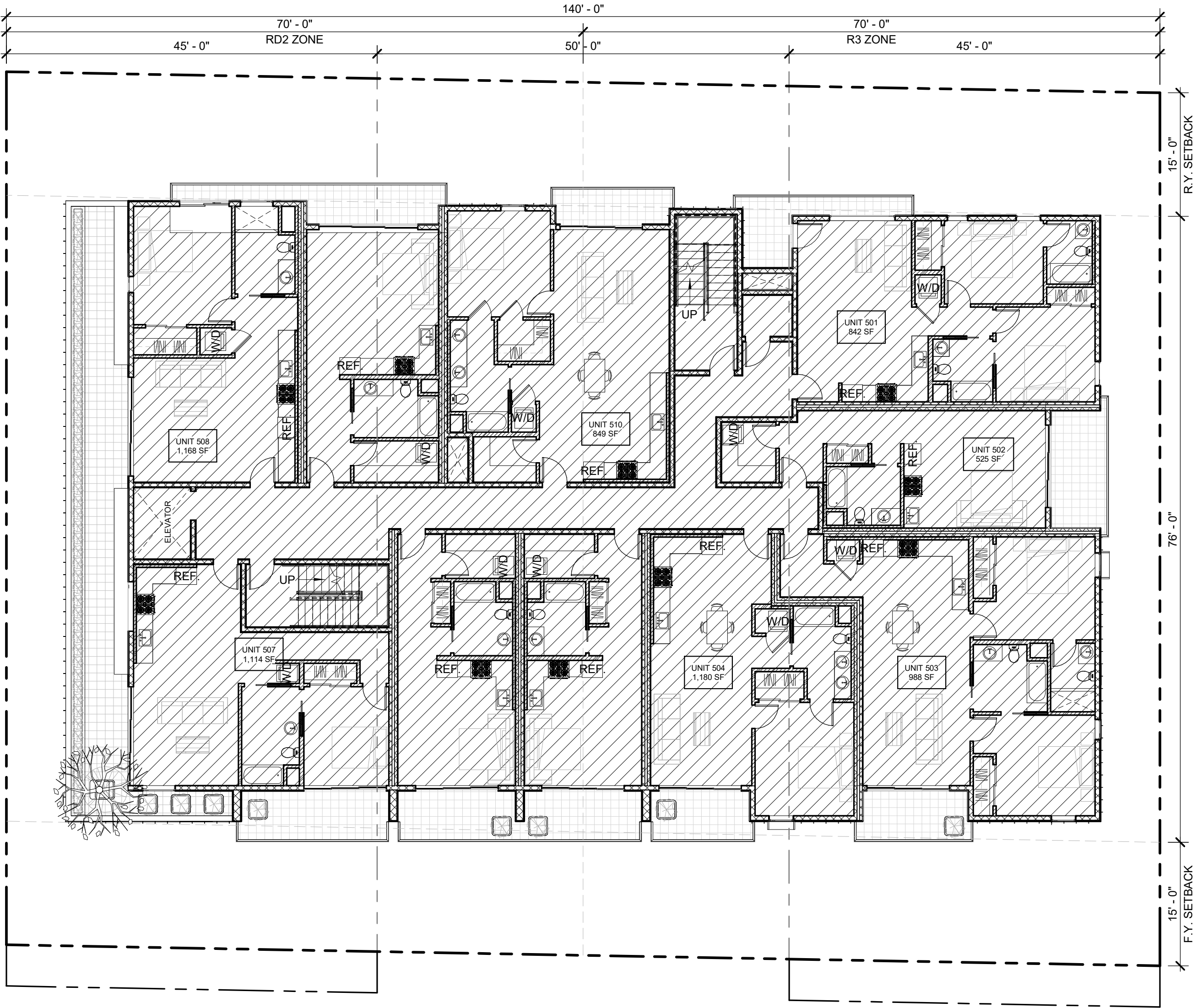
SQUARE FOOTAGE BREAKDOWNS

DRAWN	CR
CHECKED	PNK
DATE	4/13/2023 11:18:53 AM
SCALE	As indicated
JOB #	21-A001

A0.27

BUILDING CODE FLOOR AREA		
PARKING LEVEL -INCLUDED	13,789 SF	<div></div>
	N/A	<div></div>
FIRST FLOOR -INCLUDED	8,383 SF	<div></div>
	519 SF	<div></div>
SECOND FLOOR -INCLUDED	8,527 SF	<div></div>
	880 SF	<div></div>
THIRD FLOOR -INCLUDED	8,527 SF	<div></div>
	880 SF	<div></div>
FOURTH FLOOR -INCLUDED	8,527 SF	<div></div>
	880 SF	<div></div>
FIFTH FLOOR -INCLUDED	7,921 SF	<div></div>
	N/A SF	<div></div>
TOTAL PROVIDED	58,729 SF	

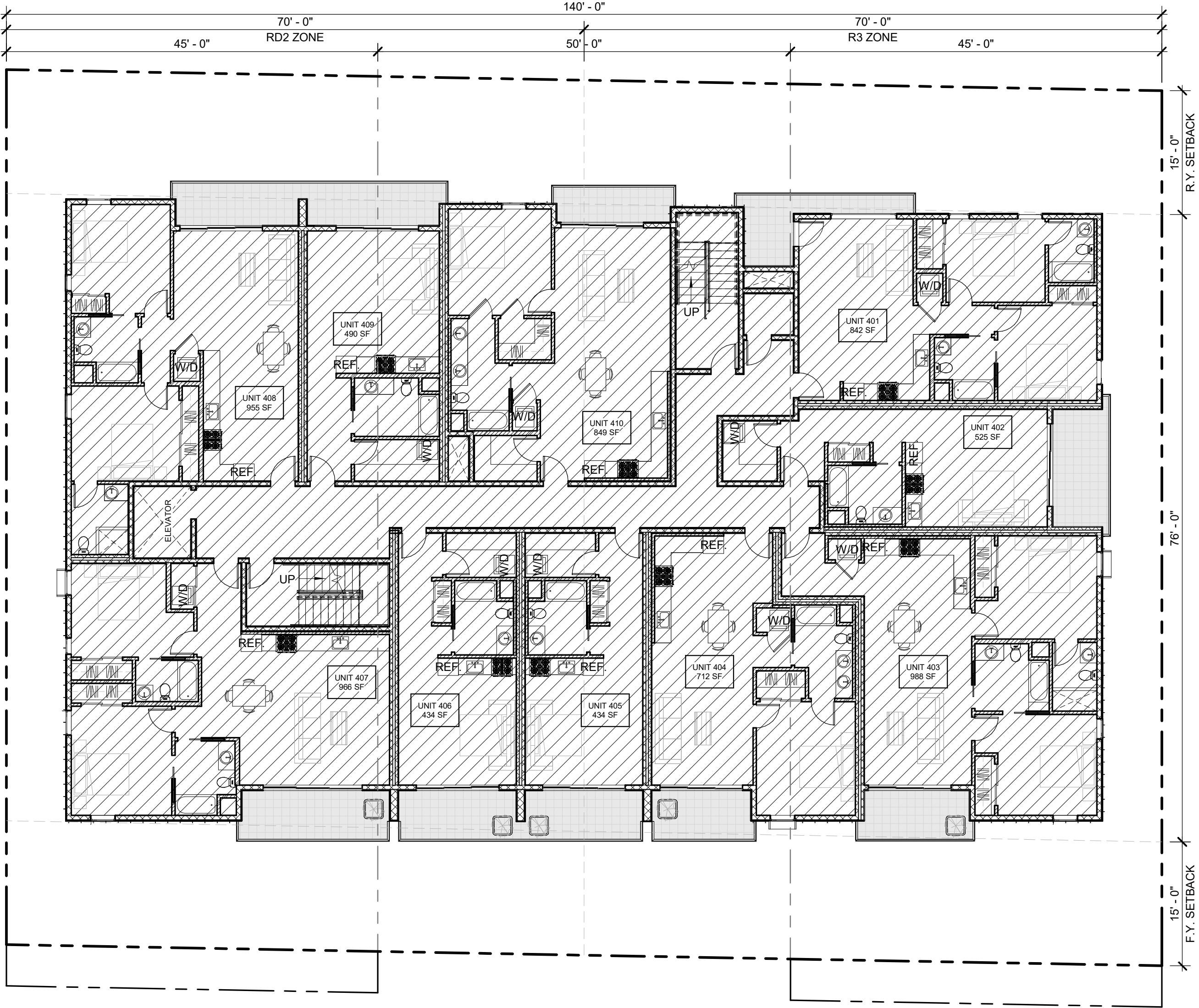
EXHIBIT "A"
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Case No. CPC-2023-582-CU-08-HCA-PMP



KELTON AVE

BUILDING CODE - FIFTH FLOOR
3/32" = 1'-0"

2



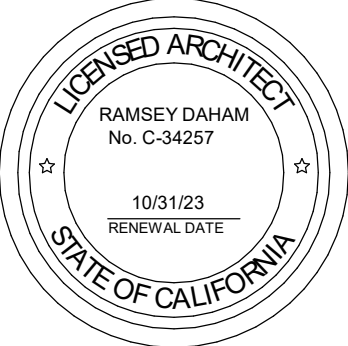
KELTON AVE

BUILDING CODE - FOURTH FLOOR
3/32" = 1'-0"

1

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3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule	
Revision Number	Revision Date

SQUARE
FOOTAGE
BREAKDOWNS

DRAWN	Author
CHECKED	Checker
DATE	4/13/2023 10:51:29 AM
SCALE	As indicated
JOB #	21-A001

A0.27.1

OPEN SPACE PROVIDED VS. REQUIRED			
PROVIDED		REQUIRED	
COMMON OPEN SPACE GROUND FLOOR:	1,977 SF	28 UNITS @ < 3 HABITABLE ROOMS (100 S.F.) (9 UNITS)(100 S.F.) =	2,800 SF
ROOF DECK RD2 ZONE: R3 ZONE:	1,767 SF 2,155 SF	14 UNITS @ 3 HABITABLE ROOMS (125 S.F.) (14 UNITS)(125 S.F.) =	1,750 SF
PRIVATE OPEN SPACE: RD2 ZONE: 27 UNITS x 50 SF R3 ZONE: 16 UNITS x 50 SF	1,350 SF 800 SF	0 UNITS @ > 3 HABITABLE ROOMS (175 S.F.) (0 UNITS)(175 S.F.) =	0 SF
TOTAL PROVIDED OPEN SPACE: RD2 ZONE: R3 ZONE:	3,117 SF 4,927 SF	TOTAL REQUIRED OPEN SPACE:	4,650 SF

*(OPEN SPACE PROVIDED IN THE RD2 ZONE DOES NOT QUALIFY AS USABLE OPEN SPACE PER LAMC 12.21 G.2)



KELTON AVE OPEN SPACE - FOURTH FLOOR
3/32" = 1'-0" 4



KELTON AVE OPEN SPACE - THIRD FLOOR
3/32" = 1'-0" 3

COMMON OPEN SPACE TREE COUNT			
PROVIDED		REQUIRED	
ON SITE	5 TREES	1 TREE PER EVERY 4 UNITS	
IN PARKWAY EXISTING NEW	2 TREES 4 TREES	43 UNITS / 4 =	10.75 TREES
TOTAL	11 TREES	TOTAL	10.75 TREES

COMMON OPEN SPACE PLANTING AREA	
ROOF DECK COMMON OPEN SPACE:	2,150 SF
GROUND FLOOR COMMON OPEN SPACE:	965 SF
REQUIRED PLANTING AREA: 25% OF THE COMMON OPEN SPACE	778.75 SF
PROVIDED PLANTING AREA	
ROOF DECK:	596 SF
GROUND FLOOR:	360 SF
TOTAL:	956 SF

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KELTON AVE OPEN SPACE - SECOND FLOOR
3/32" = 1'-0" 2



KELTON AVE OPEN SPACE - GROUND FLOOR
3/32" = 1'-0" 1

Revision Schedule	
Revision Number	Revision Date

OPEN SPACE
AREA
CALCULATIONS

DRAWN	CR
CHECKED	PNK
DATE	4/13/2023 11:01:24 AM
SCALE	3/32" = 1'-0"
JOB #	21-A001



KELTON AVE

OPEN SPACE - ROOF
3/32" = 1'-0"

2



KELTON AVE

OPEN SPACE - FIFTH FLOOR
3/32" = 1'-0"

1

[illegible]

OPEN SPACE AREA CALCULATIONS

RAWN CR

HECKED PNK

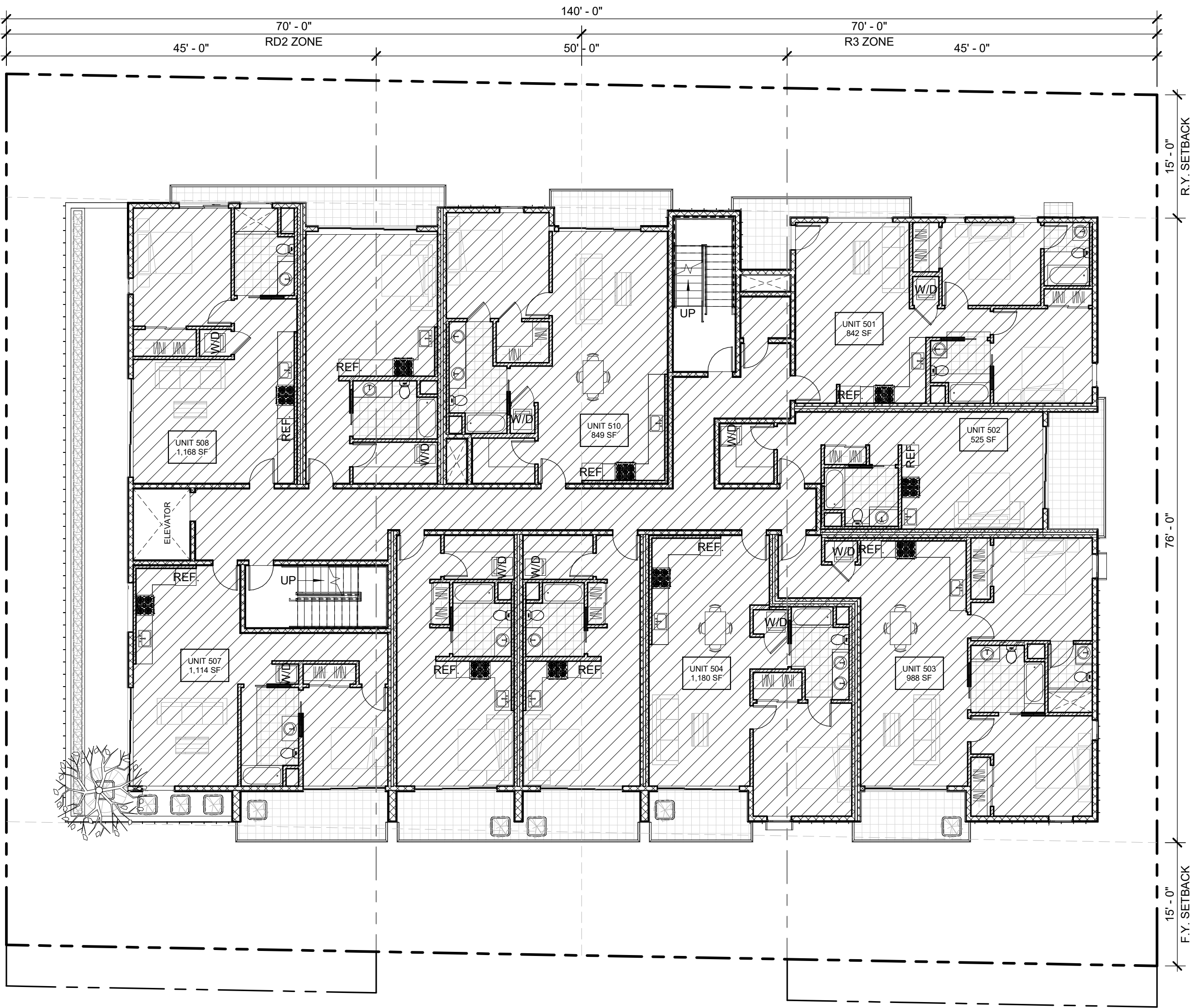
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SCALE $3/32" = 1'-0"$

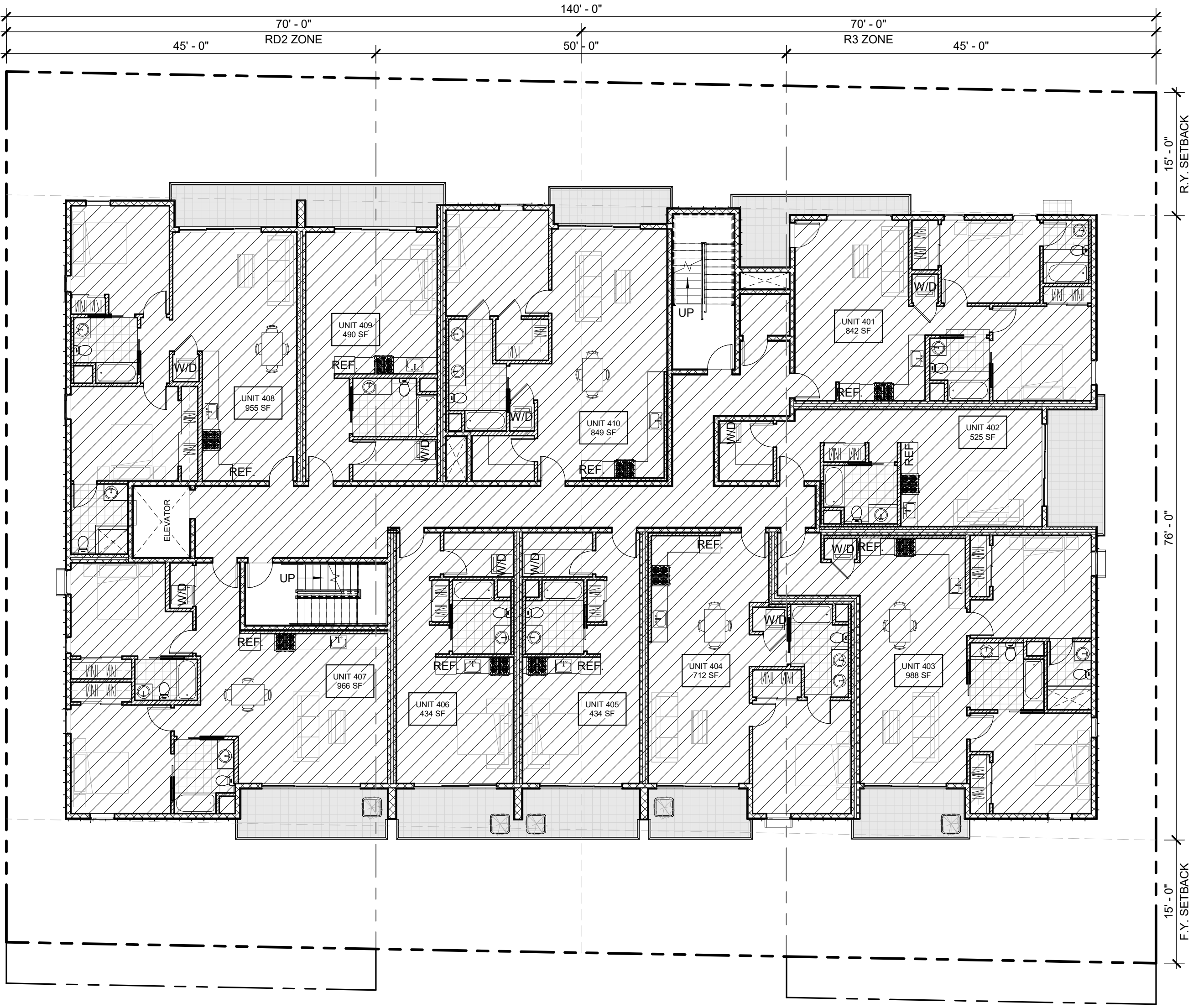
OB # 21-A001

F.A.R. CALCULATIONS		
PARKING LEVEL	379 SF	<div></div>
-INCLUDED	N/A	<div></div>
FIRST FLOOR	3,328 SF	<div></div>
-INCLUDED	519 SF	<div></div>
SECOND FLOOR	8,175 SF	<div></div>
-INCLUDED	880 SF	<div></div>
THIRD FLOOR	8,175 SF	<div></div>
-INCLUDED	880 SF	<div></div>
FOURTH FLOOR	8,175 SF	<div></div>
-INCLUDED	880 SF	<div></div>
FIFTH FLOOR	7,620 SF	<div></div>
-INCLUDED	N/A SF	<div></div>
TOTAL PROVIDED	39,011 SF	

EXHIBIT "A"
Page No. 12 of 32
Case No. CPC-2023-582-CU-DB-HCA-PHP



KELTON AVE
F.A.R. - FIFTH FLOOR
3/32" = 1'-0" 2



KELTON AVE
F.A.R. - FOURTH FLOOR
3/32" = 1'-0" 1

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LICENSED ARCHITECT
TRANSELY DANHAM
No. C-34257
10/31/23
RENEWAL DATE
STATE OF CALIFORNIA

3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

F.A.R. CALCULATIONS

DRAWN

Author

CHECKED

Checker

DATE

4/13/2023 10:52:24 AM

SCALE

As indicated

JOB #

21-A001

A0.30.1

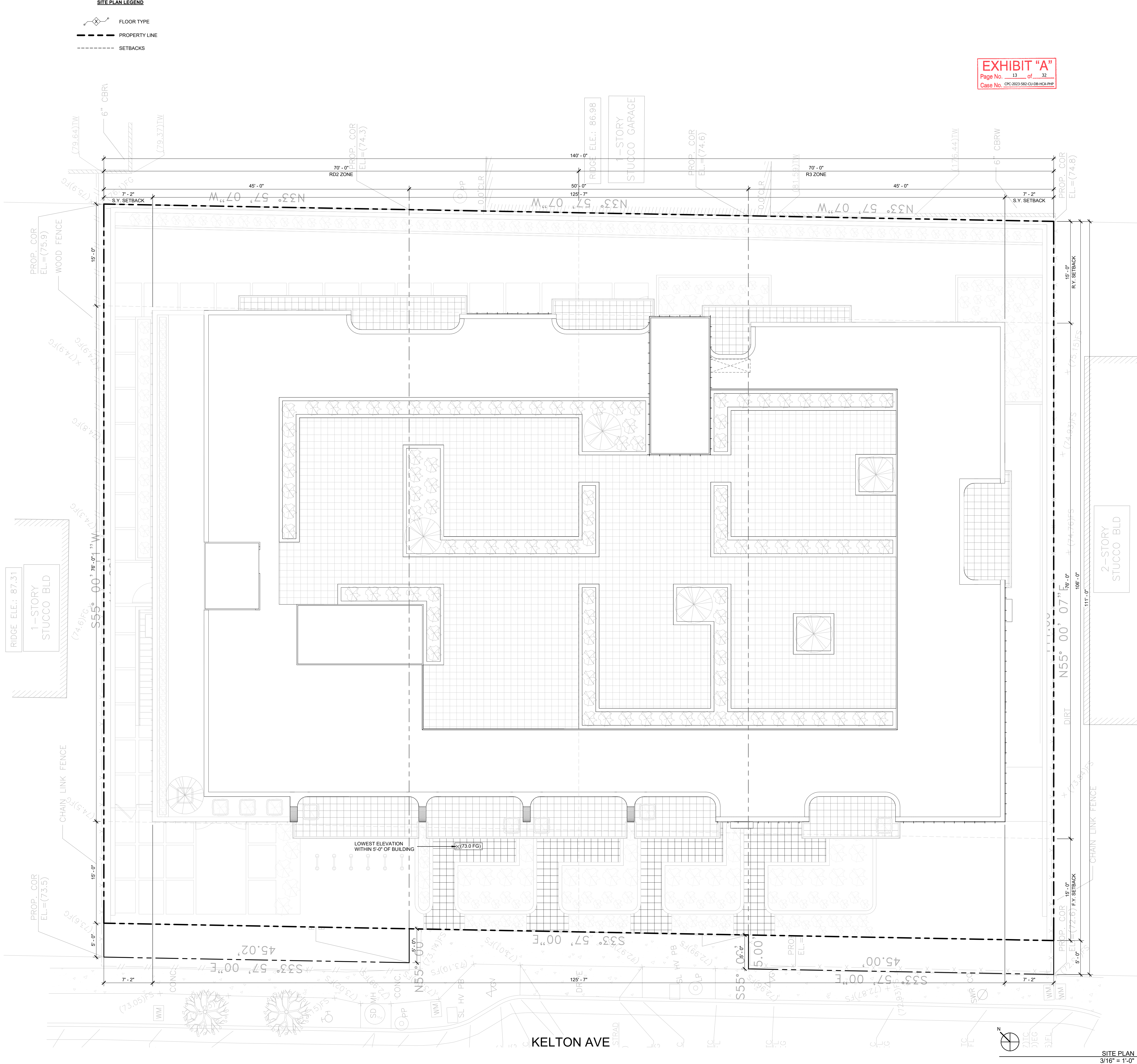
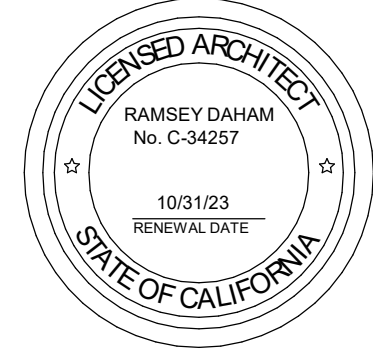


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SITE PLAN LEGEND
FLOOR TYPE
PROPERTY LINE
SETBACKS

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LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

SITE PLAN

DRAWN	CR
CHECKED	PNK
DATE	4/13/2023 10:52:29 AM
SCALE	As indicated
JOB #	21-A001

A1.00

SITE PLAN
3/16" = 1'-0"

- ASSEMBLY TYPES**
- | WALLS | FLOORS |
|--|---|
| 1 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.13) | 1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10A0.13) |
| 2 2x6 PLUMBING WALL ASSM. (21A0.13) | 2 CONC FLOOR PER STRC. W/ WOOD FINISH (11A0.13) |
| 3 1-HR 2x6 INTERIOR WALL ASSM. (3A0.13) | 3 CONC FLOOR PER STRC. W/ TILE FINISH (12A0.13) |
| 4 1-HR 2x6 EXTERIOR WALL ASSM. (4A0.13) | 4 WOOD JOIST PER STRC. W/ WOOD FINISH (13A0.13) |
| 5 1-HR DOUBLE WALL ASSM. (5A0.13) | 5 WOOD JOIST PER STRC. W/ TILE FINISH (14A0.13) |
| 6 CONC. WALL PER STRC. (6A0.13) | 6 WOOD JOIST W/ WOOD DECK PER SPEC. (15A0.13) |
| 7 CONC. RETAINING WALL PER STRC. (7A0.13) | 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16A0.13) |
| 8 CMU WALL PER STRC. (8A0.13) | |
| 9 2-HR INTERIOR CORRIDOR WALL ASSM. (9A0.13) | |

- FLOOR PLAN LEGEND**
- FLOOR TYPE
 - WINDOW TAG (A0.10 - SCHEDULE)
 - DOOR TAG (A0.08, A0.09 - SCHEDULE)
 - WALL TYPE
 - ELEVATION MARKER
 - PROPERTY LINE
 - ACCESSIBLE ROUTE
 - 1 HR
 - 2 HR
 - SMOKE DETECTOR
 - CARBON MONOXIDE
 - EXHAUST
 - NFPA - 14 CLASS - I STANDPIPE
 - ILLUMINATED EXIT SIGN
 - MB MASTER BEDROOM
 - BD BEDROOM
 - BA BATHROOM
 - LR LIVING ROOM
 - KI KITCHEN
 - DR DINING ROOM
 - PWR POWDER ROOM
 - CL CLOSET
 - WIC WALK IN CLOSET
 - LR LAUNDRY ROOM
 - BC BALCONY
 - EN ENTRY

EV PARKING CALCULATIONS

BASED ON 33 PROVIDED PARKING SPACES
STANDARD / COMPACT - 32
ADA - 1

EV PARKING SPACES

EV TOTAL:
32 x 30% = 9.6 → 10

EV READY:
32 x 25% = 8

EVCS:
32 x 10% = 3.2 → 4

ADA EV PARKING SPACES

ADA EV TOTAL:
1 x 30% = 0.30 → 1

ADA EV READY:
1 x 25% = 0.25 → 1

ADA EVCS:
1 x 10% = 0.10 → 1

PROVIDED EV SPACES

8 EV READY (9'x18' STALLS)

4 EVCS (9'x18' STALLS)

1 ADA EVCS (9'x18' STALL)

DEFINITIONS:

EVSE: ELECTRIC VEHICLE SUPPLY EQUIPMENT

EVCS: ELECTRIC VEHICLE CHARGING STATION

NOTE: DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE
SECTION 12.21A5 CHART NO. 5

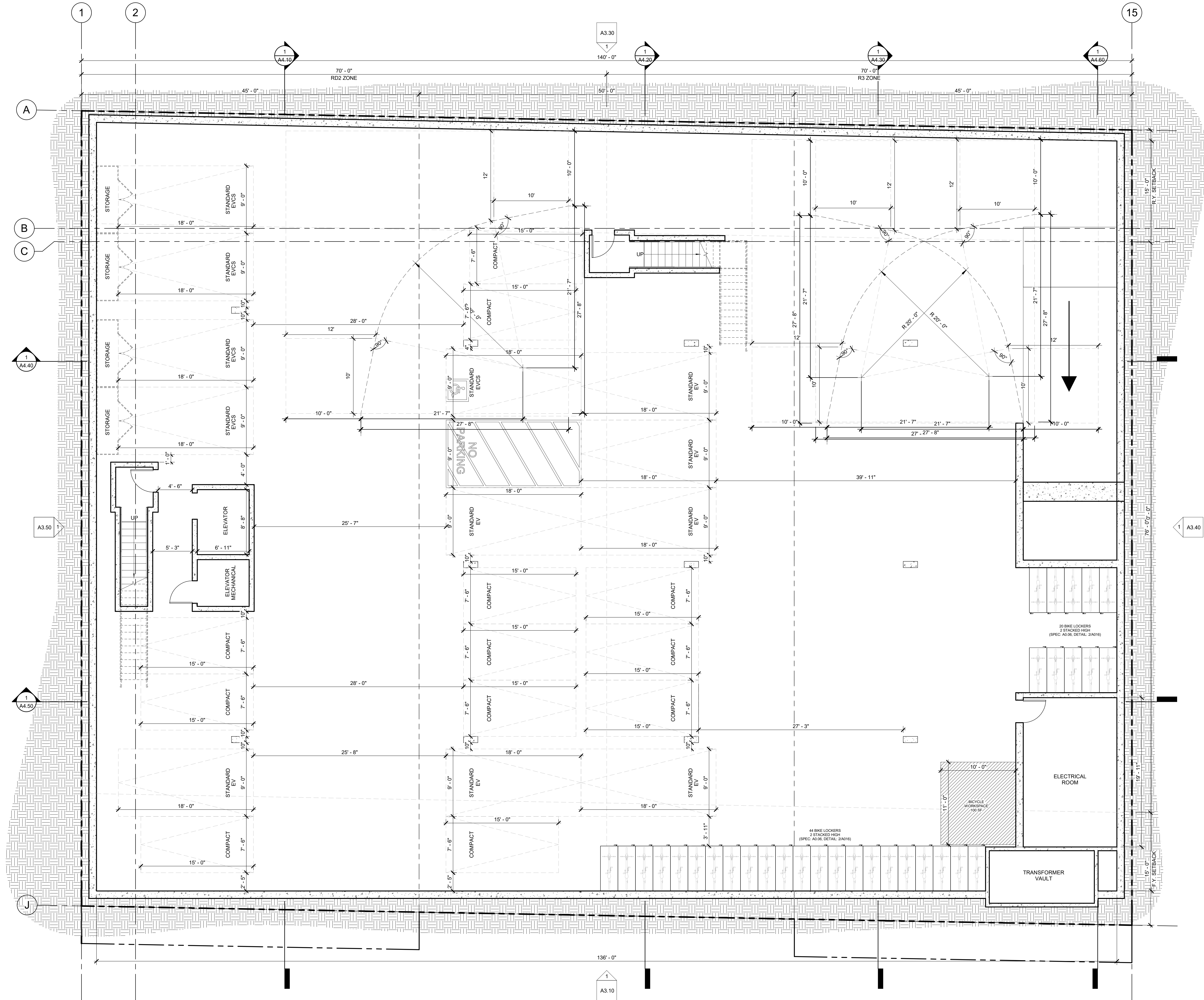
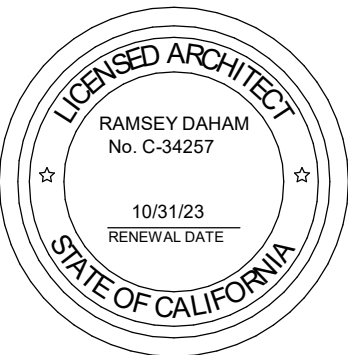


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LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

PROPOSED PLANS

DRAWN CR

CHECKED PNK

DATE 4/13/2023 10:52:33 AM

SCALE As indicated

JOB # 21-A001

A2.00

- ASSEMBLY TYPES**
- | WALLS | FLOORS |
|--|---|
| 1 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.13) | 1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10A0.13) |
| 2 2x6 PLUMBING WALL ASSM. (21A0.13) | 2 CONC FLOOR PER STRC. W/ WOOD FINISH (11A0.13) |
| 3 1-HR 2x6 INTERIOR WALL ASSM. (3A0.13) | 3 CONC FLOOR PER STRC. W/ TILE FINISH (12A0.13) |
| 4 1-HR 2x6 EXTERIOR WALL ASSM. (4A0.13) | 4 WOOD JOIST PER STRC. W/ WOOD FINISH (13A0.13) |
| 5 1-HR DOUBLE WALL ASSM. (5A0.13) | 5 WOOD JOIST PER STRC. W/ TILE FINISH (14A0.13) |
| 6 CONC. WALL PER STRC. (6A0.13) | 6 WOOD JOIST W/ WOOD DECK PER SPEC. (15A0.13) |
| 7 CONC. RETAINING WALL PER STRC. (7A0.13) | 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16A0.13) |
| 8 CMU WALL PER STRC. (8A0.13) | |
| 9 2-HR INTERIOR CORRIDOR WALL ASSM. (9A0.13) | |

- FLOOR PLAN LEGEND**
- | | |
|--|------------------------------------|
| | FLOOR TYPE |
| | WINDOW TAG (A0.08 - SCHEDULE) |
| | DOOR TAG (A0.08, A0.09 - SCHEDULE) |
| | WALL TYPE |
| | ELEVATION MARKER |
| | PROPERTY LINE |
| | ACCESSIBLE ROUTE |
| | 1 HR |
| | 2 HR |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE |
| | EXHAUST |
| | NFPA - 14 CLASS - I STANDPIPE |
| | ILLUMINATED EXIT SIGN |
| | MB MASTER BEDROOM |
| | BD BEDROOM |
| | BA BATHROOM |
| | LR LIVING ROOM |
| | KI KITCHEN |
| | DR DINING ROOM |
| | PWR POWDER ROOM |
| | CL CLOSET |
| | WIC WALK IN CLOSET |
| | LR LAUNDRY ROOM |
| | BC BALCONY |
| | EN ENTRY |

- EV PARKING CALCULATIONS**
- BASED ON 33 PROVIDED PARKING SPACES
STANDARD / COMPACT - 32
ADA - 1
- EV PARKING SPACES**
- EV TOTAL:
32 x 30% = 9.6 → 10
- EV READY:
32 x 25% = 8
- EVCS:
32 x 10% = 3.2 → 4
- ADA EV PARKING SPACES**
- ADA EV TOTAL:
1 x 30% = 0.30 → 1
- ADA EV READY:
1 x 25% = 0.25 → 1
- ADA EVCS:
1 x 10% = 0.10 → 1
- PROVIDED EV SPACES**
- 8 EV READY (9'x18' STALLS)
4 EVCS (9'x18' STALLS)
1 ADA EVCS (9'x18' STALL)
- DEFINITIONS:**
- EVSE: ELECTRIC VEHICLE SUPPLY EQUIPMENT
EVCS: ELECTRIC VEHICLE CHARGING STATION

FENCES, PLANTERS, AND RETAINING WALLS SHALL NOT EXCEED A HEIGHT OF 6 FT. ABOVE THE NATURAL GROUND LEVEL IN THE REQUIRED SIDE YARD.

NOTE: DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5 CHART NO. 5

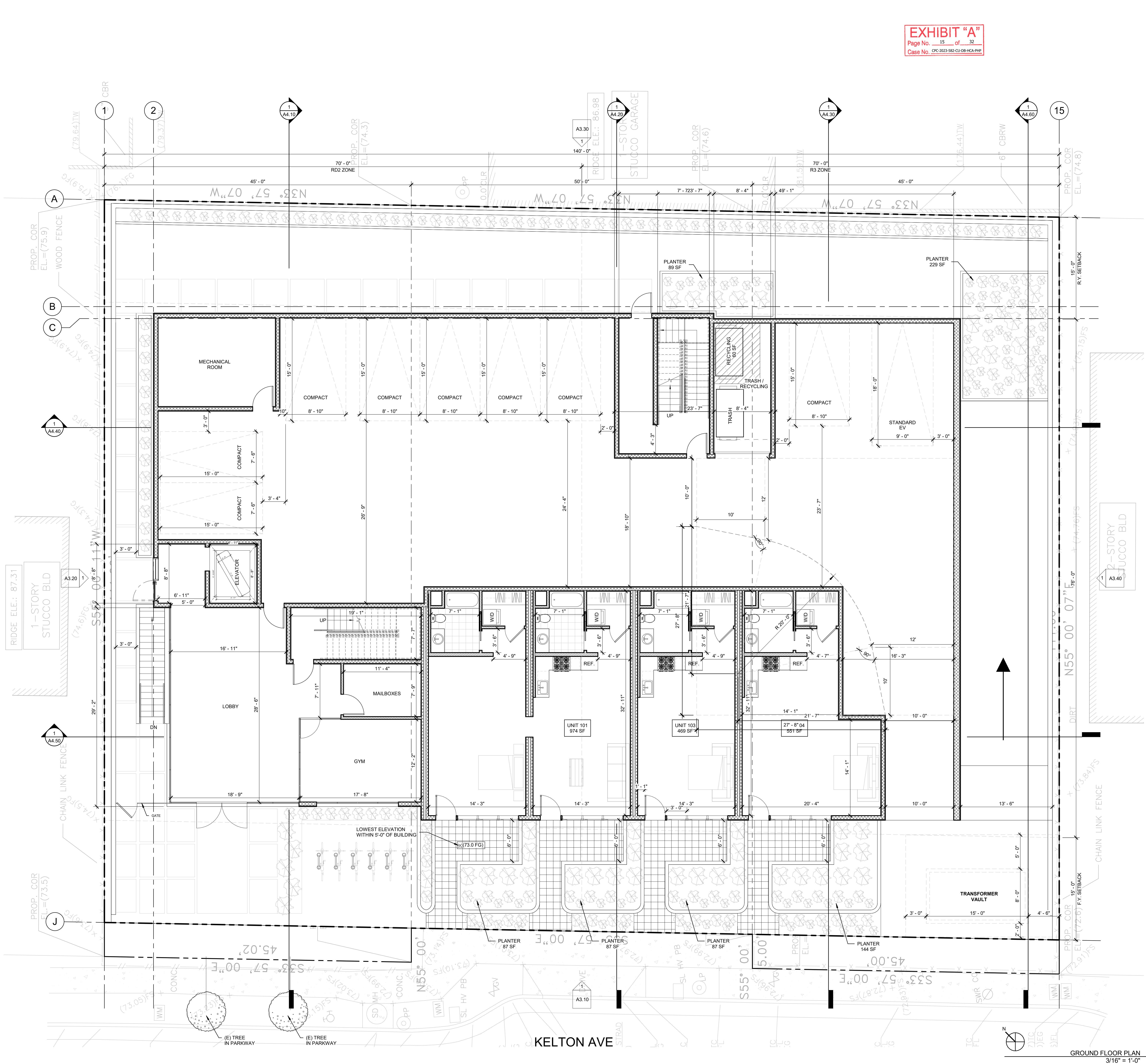
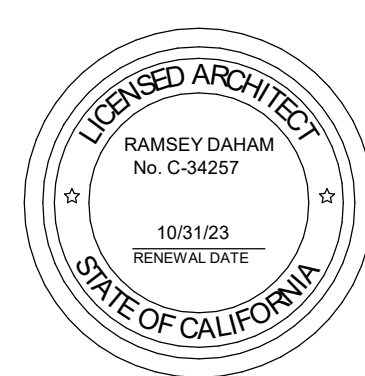


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Case No. CPC-2023-582-CU-DB-HCA-PWP

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Revision Schedule	
Revision Number	Revision Date

PROPOSED PLANS

DRAWN	CR
CHECKED	PNK
DATE	4/13/2023 10:52:35 AM
SCALE	As indicated
JOB #	21-A001

A2.10

- ASSEMBLY TYPES**
- | WALLS | FLOORS |
|---|--|
| 1 2x4 & 2x6 INTERIOR WALL ASSM. (11/A0.13) | 1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13) |
| 2 2x6 PLUMBING WALL ASSM. (2/A0.13) | 2 CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13) |
| 3 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13) | 3 CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13) |
| 4 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13) | 4 WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13) |
| 5 1-HR DOUBLE WALL ASSM. (5/A0.13) | 5 WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13) |
| 6 CONC. WALL PER STRC. (6/A0.13) | 6 WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13) |
| 7 CONC. RETAINING WALL PER STRC. (7/A0.13) | 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13) |
| 8 CMU WALL PER STRC. (8/A0.13) | |
| 9 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13) | |

- FLOOR PLAN LEGEND**
- FLOOR TYPE
 - WINDOW TAG (A0.10 - SCHEDULE)
 - DOOR TAG (A0.08, A0.09 - SCHEDULE)
 - WALL TYPE
 - ELEVATION MARKER
 - PROPERTY LINE
 - ACCESSIBLE ROUTE
 - 1 HR
 - 2 HR
 - SMD SMOKE DETECTOR
 - CM CARBON MONOXIDE
 - EXHAUST
 - NFPA - 14 CLASS - I STANDPIPE
 - ILLUMINATED EXIT SIGN
 - MB MASTER BEDROOM
 - BD BEDROOM
 - BA BATHROOM
 - LR LIVING ROOM
 - KI KITCHEN
 - DR DINING ROOM
 - PWR POWDER ROOM
 - CL CLOSET
 - WIC WALK IN CLOSET
 - LR LAUNDRY ROOM
 - BC BALCONY
 - EN ENTRY

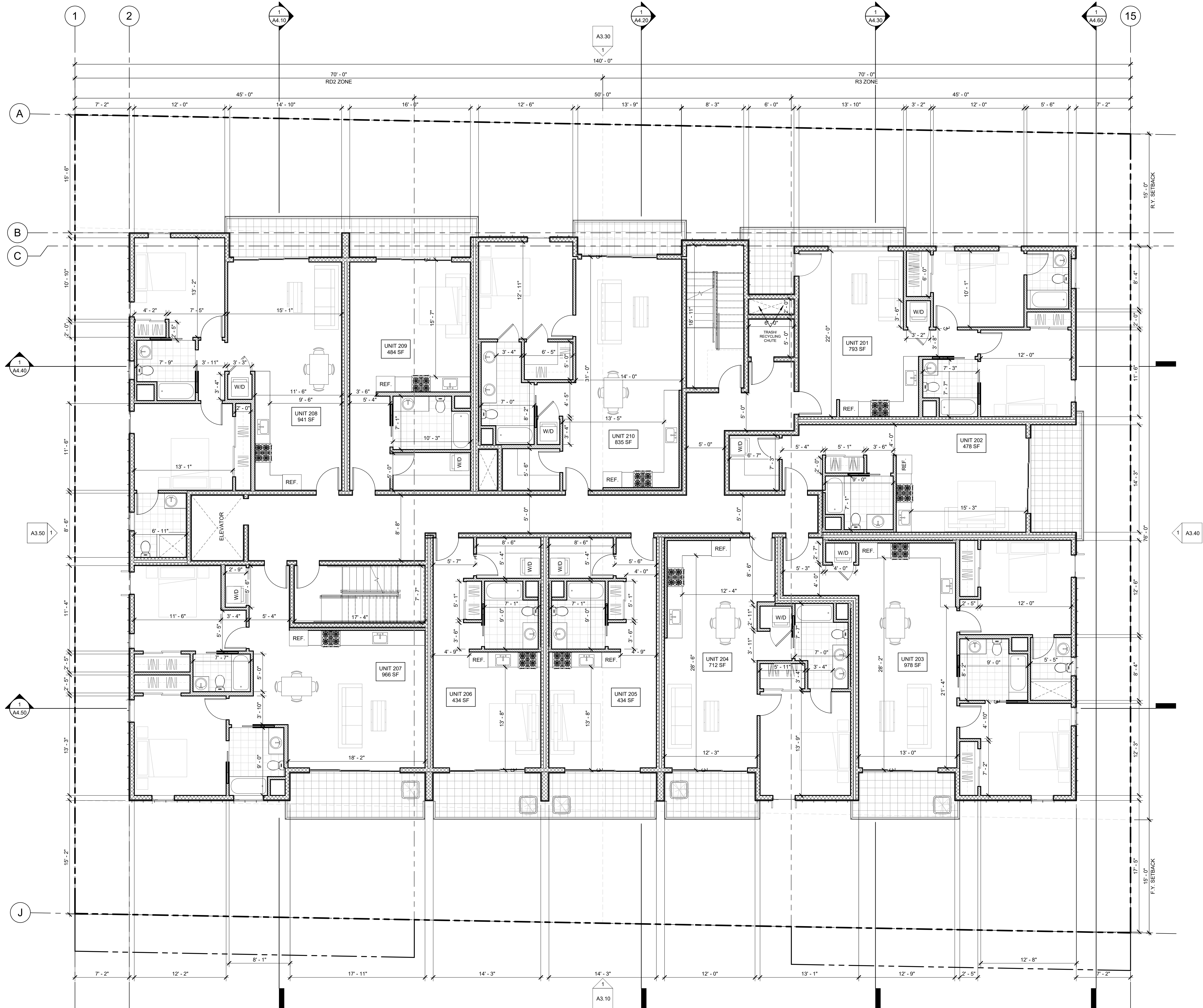
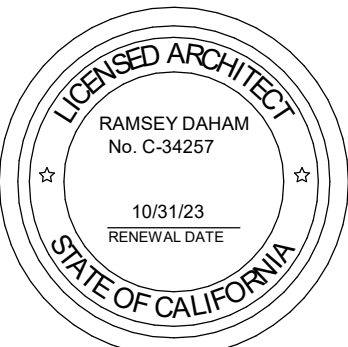


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Case No. CPC-2023-592 CU-06/HCA-PMP

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3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

PROPOSED PLANS

DRAWN CR
CHECKED PNK
DATE 4/13/2023 10:52:44 AM
SCALE As indicated
JOB # 21-A001

A2.20

SECOND FLOOR PLAN
3/16" = 1'-0"

- ASSEMBLY TYPES**
- | WALLS | FLOORS |
|---|--|
| 1 2x4 & 2x6 INTERIOR WALL ASSM. (11/A0.13) | 1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13) |
| 2 2x6 PLUMBING WALL ASSM. (2/A0.13) | 2 CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13) |
| 3 1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13) | 3 CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13) |
| 4 1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13) | 4 WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13) |
| 5 1-HR DOUBLE WALL ASSM. (5/A0.13) | 5 WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13) |
| 6 CONC. WALL PER STRC. (6/A0.13) | 6 WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13) |
| 7 CONC. RETAINING WALL PER STRC. (7/A0.13) | 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13) |
| 8 CMU WALL PER STRC. (8/A0.13) | |
| 9 2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13) | |

- FLOOR PLAN LEGEND**
- FLOOR TYPE
 - WINDOW TAG (A0.10 - SCHEDULE)
 - DOOR TAG (A0.08, A0.09 - SCHEDULE)
 - WALL TYPE
 - ELEVATION MARKER
 - PROPERTY LINE
 - ACCESSIBLE ROUTE
 - 1 HR
 - 2 HR
 - SMD SMOKE DETECTOR
 - CM CARBON MONOXIDE
 - EXHAUST
 - NFPA - 14 CLASS - I STANDPIPE
 - ILLUMINATED EXIT SIGN
 - MB MASTER BEDROOM
 - BD BEDROOM
 - BA BATHROOM
 - LR LIVING ROOM
 - KI KITCHEN
 - DR DINING ROOM
 - PWR POWDER ROOM
 - CL CLOSET
 - WIC WALK IN CLOSET
 - LR LAUNDRY ROOM
 - BC BALCONY
 - EN ENTRY

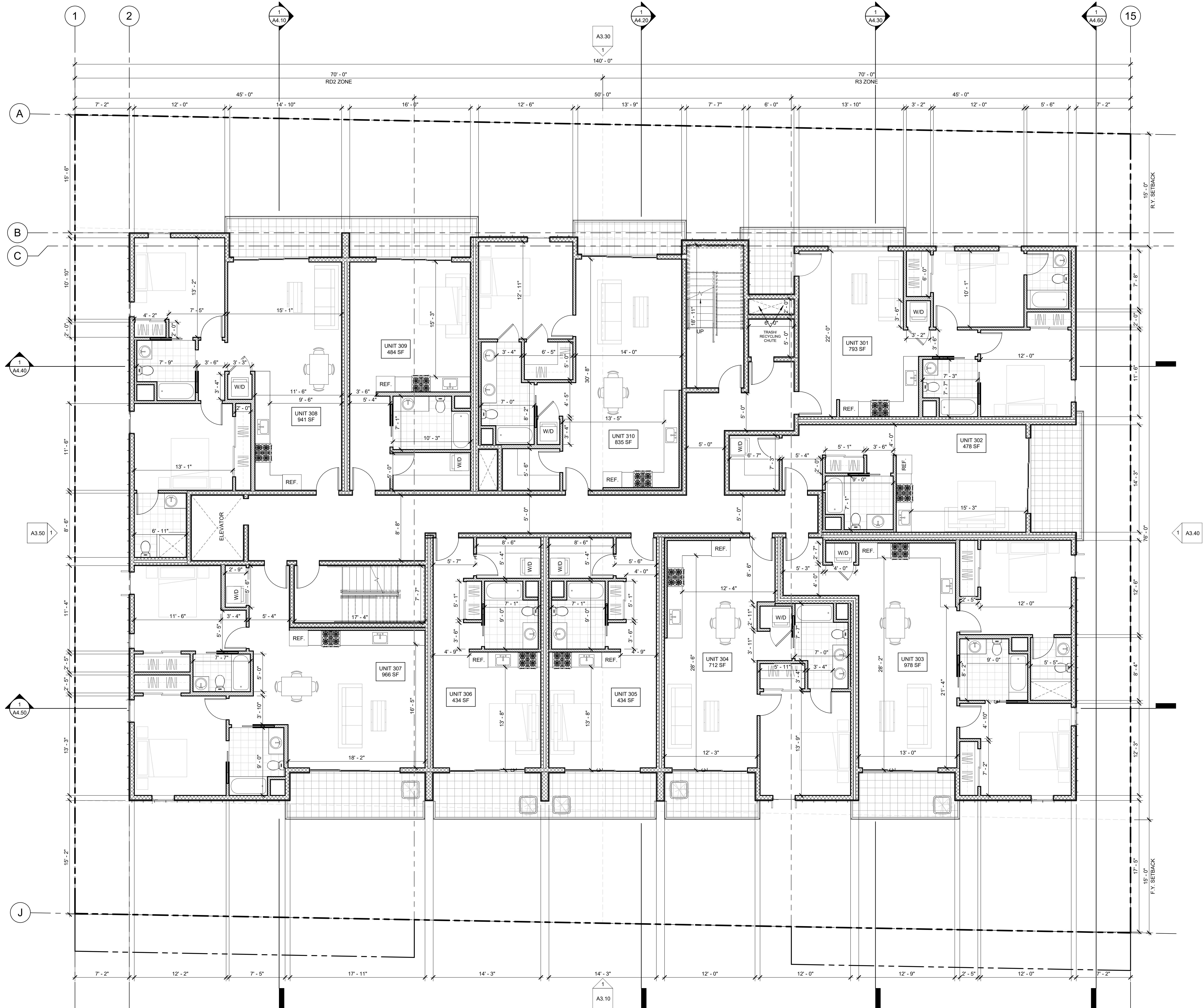
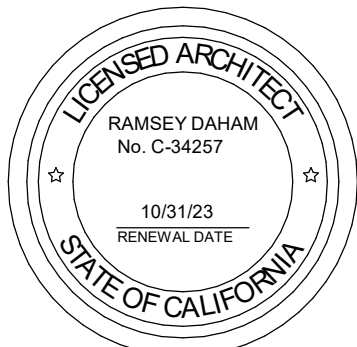


EXHIBIT "A"
Page No. 17 of 32
Case No. CPC 2023-582-CJ-DB-HCA-RHP

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127 arena street, el segundo, ca 90245
[O] 310.322.3700



3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule

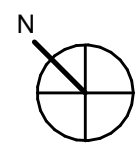
Revision Number	Revision Date

PROPOSED PLANS

DRAWN CR
CHECKED PNK
DATE 4/13/2023 10:52:53 AM
SCALE As indicated
JOB # 21-A001

A2.30

KELTON AVE



THIRD FLOOR PLAN
3/16" = 1'-0"

- ASSEMBLY TYPES**
- | WALLS | FLOORS |
|--|---|
| 1 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.13) | 1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10A0.13) |
| 2 2x6 PLUMBING WALL ASSM. (21A0.13) | 2 CONC FLOOR PER STRC. W/ WOOD FINISH (11A0.13) |
| 3 1-HR 2x6 INTERIOR WALL ASSM. (3A0.13) | 3 CONC FLOOR PER STRC. W/ TILE FINISH (12A0.13) |
| 4 1-HR 2x6 EXTERIOR WALL ASSM. (4A0.13) | 4 WOOD JOIST PER STRC. W/ WOOD FINISH (13A0.13) |
| 5 1-HR DOUBLE WALL ASSM. (5A0.13) | 5 WOOD JOIST PER STRC. W/ TILE FINISH (14A0.13) |
| 6 CONC. WALL PER STRC. (6A0.13) | 6 WOOD JOIST W/ WOOD DECK PER SPEC. (15A0.13) |
| 7 CONC. RETAINING WALL PER STRC. (7A0.13) | 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16A0.13) |
| 8 CMU WALL PER STRC. (8A0.13) | |
| 9 2-HR INTERIOR CORRIDOR WALL ASSM. (9A0.13) | |

- FLOOR PLAN LEGEND**
- FLOOR TYPE
 - WINDOW TAG (A0.10 - SCHEDULE)
 - DOOR TAG (A0.08, A0.09 - SCHEDULE)
 - WALL TYPE
 - ELEVATION MARKER
 - PROPERTY LINE
 - ACCESSIBLE ROUTE
 - 1 HR
 - 2 HR

- SD SMOKE DETECTOR
- CM CARBON MONOXIDE
- EXHAUST
- NFPA - 14 CLASS - I STANDPIPE
- ILLUMINATED EXIT SIGN
- MB MASTER BEDROOM
- BD BEDROOM
- BA BATHROOM
- LR LIVING ROOM
- KI KITCHEN
- DR DINING ROOM
- PWR POWDER ROOM
- CL CLOSET
- WIC WALK IN CLOSET
- LR LAUNDRY ROOM
- BC BALCONY
- EN ENTRY

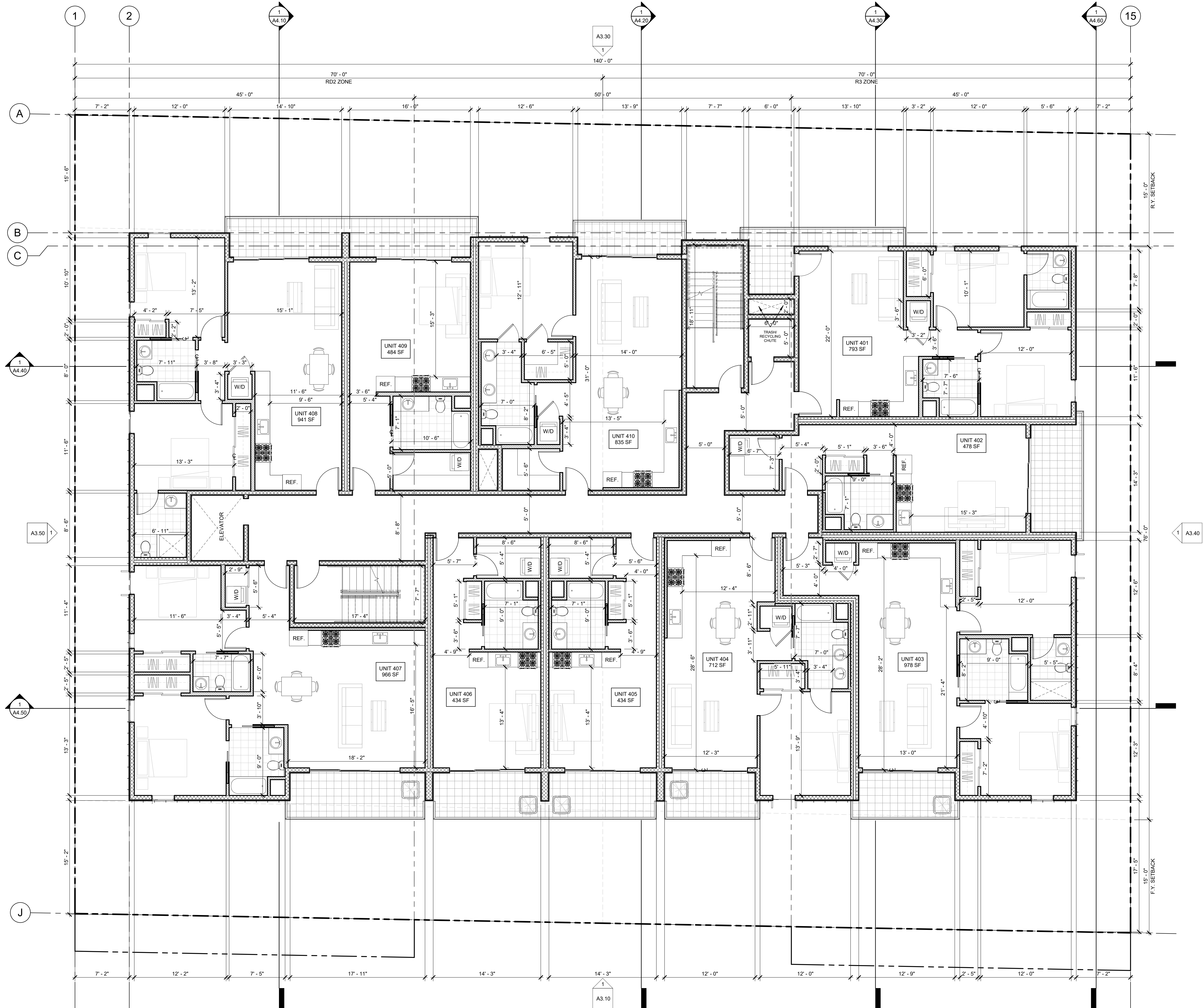
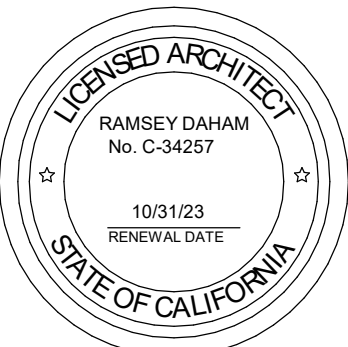


EXHIBIT "A"
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3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

PROPOSED PLANS

DRAWN CR

CHECKED PNK

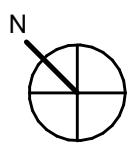
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SCALE As indicated

JOB # 21-A001

A2.40

KELTON AVE



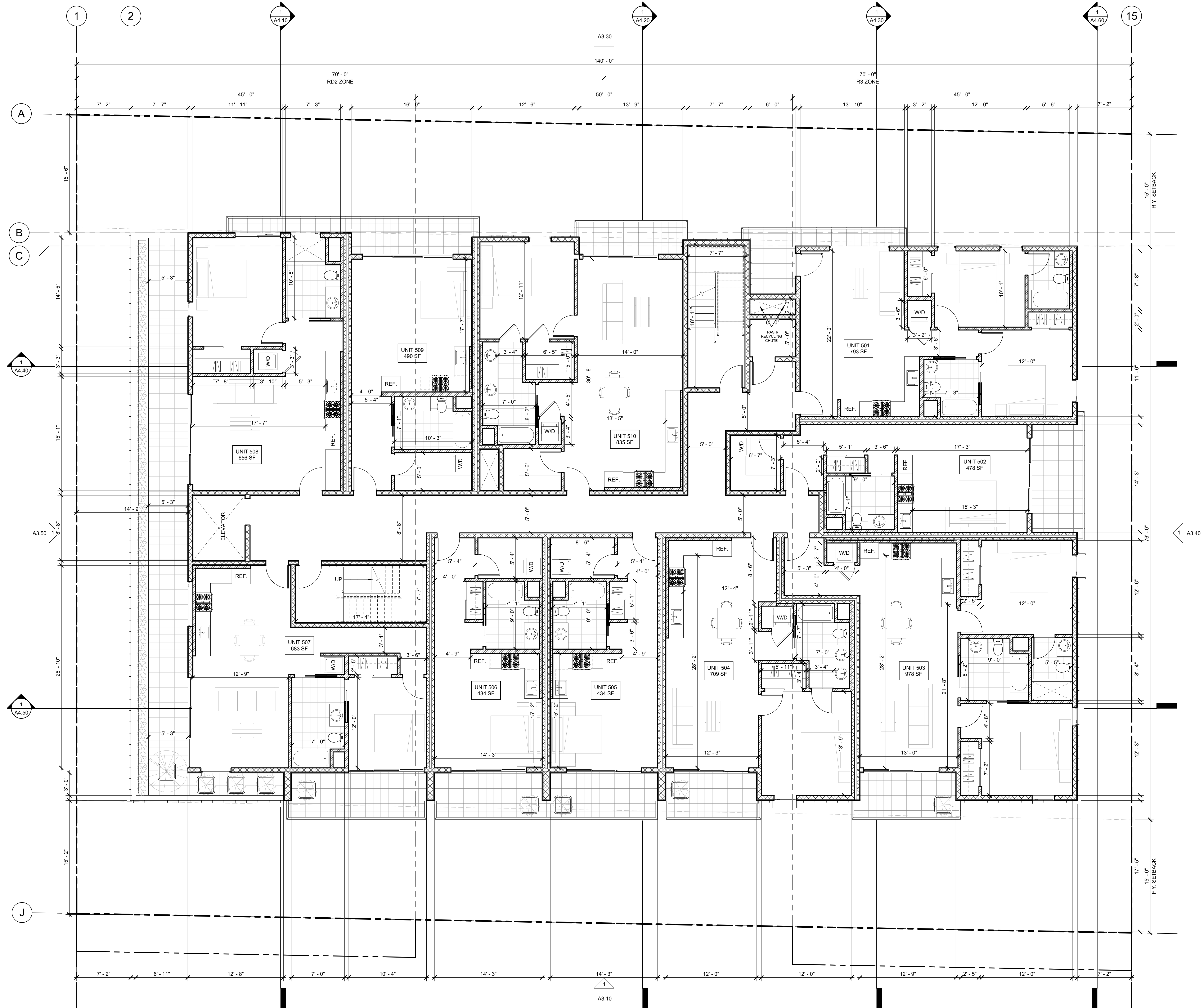
FOURTH FLOOR PLAN
3/16" = 1'-0"

1

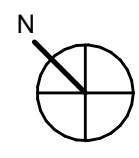
- ASSEMBLY TYPES**
- WALLS**
- 1 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.13)
 - 2 2x6 PLUMBING WALL ASSM. (21A0.13)
 - 3 1-HR 2x6 INTERIOR WALL ASSM. (3A0.13)
 - 4 1-HR 2x6 EXTERIOR WALL ASSM. (4A0.13)
 - 5 1-HR DOUBLE WALL ASSM. (5A0.13)
 - 6 CONC. WALL PER STRC. (6A0.13)
 - 7 CONC. RETAINING WALL PER STRC. (7A0.13)
 - 8 CMU WALL PER STRC. (8A0.13)
 - 9 2-HR INTERIOR CORRIDOR WALL ASSM. (9A0.13)
- FLOORS**
- 1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10A0.13)
 - 2 CONC FLOOR PER STRC. W/ WOOD FINISH (11A0.13)
 - 3 CONC FLOOR PER STRC. W/ TILE FINISH (12A0.13)
 - 4 WOOD JOIST PER STRC. W/ WOOD FINISH (13A0.13)
 - 5 WOOD JOIST PER STRC. W/ TILE FINISH (14A0.13)
 - 6 WOOD JOIST W/ WOOD DECK PER SPEC. (15A0.13)
 - 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16A0.13)

- FLOOR PLAN LEGEND**
- FLOOR TYPE
 - WINDOW TAG (A0.10 - SCHEDULE)
 - DOOR TAG (A0.08, A0.09 - SCHEDULE)
 - WALL TYPE
 - ELEVATION MARKER
 - PROPERTY LINE
 - ACCESSIBLE ROUTE
 - 1 HR
 - 2 HR

- SD SMOKE DETECTOR
- CM CARBON MONOXIDE
- EXHAUST
- NFPA - 14 CLASS - I STANDPIPE
- ILLUMINATED EXIT SIGN
- MB MASTER BEDROOM
- BD BEDROOM
- BA BATHROOM
- LR LIVING ROOM
- KI KITCHEN
- DR DINING ROOM
- PWR POWDER ROOM
- CL CLOSET
- WIC WALK IN CLOSET
- LR LAUNDRY ROOM
- BC BALCONY
- EN ENTRY



KELTON AVE

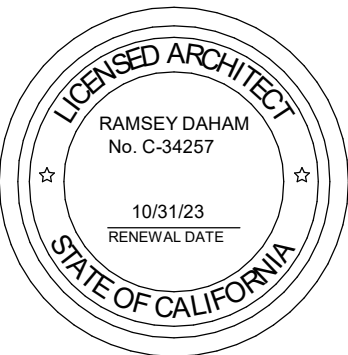


FIFTH FLOOR PLAN
3/16" = 1'-0"

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3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

PROPOSED PLANS

DRAWN CR
CHECKED PNK
DATE 4/13/2023 10:53:10 AM
SCALE As indicated
JOB # 21-A001

A2.50

- ASSEMBLY TYPES**
- | WALLS | FLOORS |
|--|---|
| 1 2x4 & 2x6 INTERIOR WALL ASSM. (11A0.13) | 1 CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10A0.13) |
| 2 2x6 PLUMBING WALL ASSM. (21A0.13) | 2 CONC FLOOR PER STRC. W/ WOOD FINISH (11A0.13) |
| 3 1-HR 2x6 INTERIOR WALL ASSM. (3A0.13) | 3 CONC FLOOR PER STRC. W/ TILE FINISH (12A0.13) |
| 4 1-HR 2x6 EXTERIOR WALL ASSM. (4A0.13) | 4 WOOD JOIST PER STRC. W/ WOOD FINISH (13A0.13) |
| 5 1-HR DOUBLE WALL ASSM. (5A0.13) | 5 WOOD JOIST PER STRC. W/ TILE FINISH (14A0.13) |
| 6 CONC. WALL PER STRC. (6A0.13) | 6 WOOD JOIST W/ WOOD DECK PER SPEC. (15A0.13) |
| 7 CONC. RETAINING WALL PER STRC. (7A0.13) | 7 WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16A0.13) |
| 8 CMU WALL PER STRC. (8A0.13) | |
| 9 2-HR INTERIOR CORRIDOR WALL ASSM. (9A0.13) | |

- FLOOR PLAN LEGEND**
- FLOOR TYPE
 - WINDOW TAG (A0.10 - SCHEDULE)
 - DOOR TAG (A0.08, A0.09 - SCHEDULE)
 - WALL TYPE
 - ELEVATION MARKER
 - PROPERTY LINE
 - ACCESSIBLE ROUTE
 - 1 HR
 - 2 HR
 - S SMOKE DETECTOR
 - CM CARBON MONOXIDE
 - EXHAUST
 - S NFPA - 14 CLASS - 1 STANDPIPE
 - ILLUMINATED EXIT SIGN
 - MB MASTER BEDROOM
 - BD BEDROOM
 - BA BATHROOM
 - LR LIVING ROOM
 - KI KITCHEN
 - DR DINING ROOM
 - PWR POWDER ROOM
 - CL CLOSET
 - WIC WALK IN CLOSET
 - LR LAUNDRY ROOM
 - BC BALCONY
 - EN ENTRY

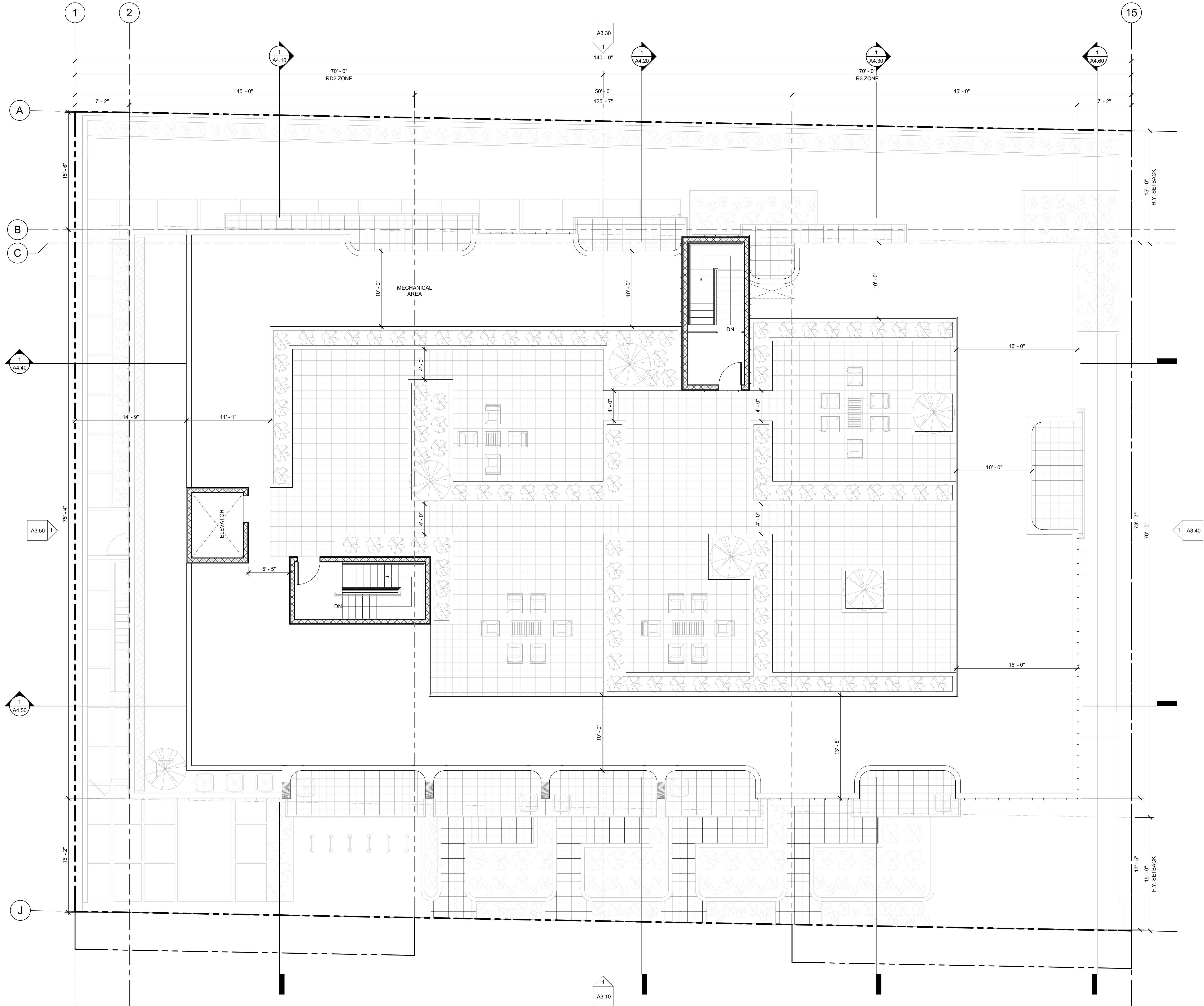


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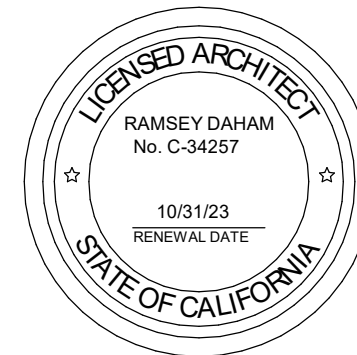
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Case No. CPC-2023-582 CU-08-HCA-PHP

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3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule

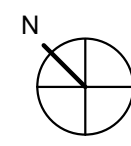
Revision Number	Revision Date

PROPOSED PLANS

DRAWN CR
CHECKED PNK
DATE 4/13/2023 10:53:15 AM
SCALE As indicated
JOB # 21-A001

A2.60

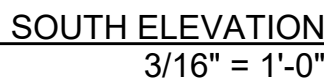
KELTON AVE



ROOF PLAN
3/16" = 1'-0"

1


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P.L.

TOP OF STAIR / ELEVATOR ACCESS 66' - 6"

TOP OF PARAPET

ROOF
58' - 6" 

FIFTH FLOOR
47' - 6"

FOURTH FLOOR
36' - 6"

THIRD FLOOR

SECOND FLOOR 14' - 6"

GROUND FLOOR 6" 

SUBTERRANEAN PARKING

WEST ELEVATION
3/16" = 1'-0"

1

Professional Seal of Ramsey Daham, Licensed Architect, State of California, No. C-34257, Renewal Date 10/31/23.

3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

[illegible]

ELEVATIONS

DRAWN CR

CHECKED PNK

DATE 4/13/2023 10:54:59 AM

SCALE As indicated

JOB # 21-A001

A3.20

STANDING SEAM

STUCCO WHITE

DARK GRAY METAL

1 HR

2 HR

X

WINDOW TAG

XXX

DOOR TAG

X-X'

ELEVATION MARKER

PROPERTY LINE (PL)

EXHIBIT "A"

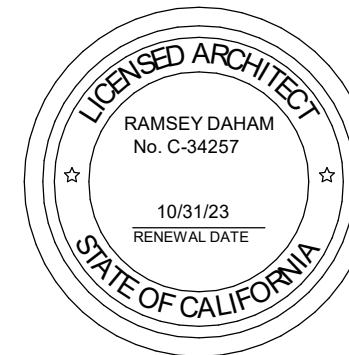
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Revision Schedule	
Revision Number	Revision Date

ELEVATIONS

DRAWN	CR
CHECKED	PNK
DATE	4/13/2023 10:55:51 AM
SCALE	As indicated
JOB #	21-A001

A3.30

NORTH ELEVATION
3/16" = 1'-0"

STANDING SEAM

STUCCO WHITE

DARK GRAY METAL

1 HR

2 HR

X

WINDOW TAG

XXX

DOOR TAG

X-X'

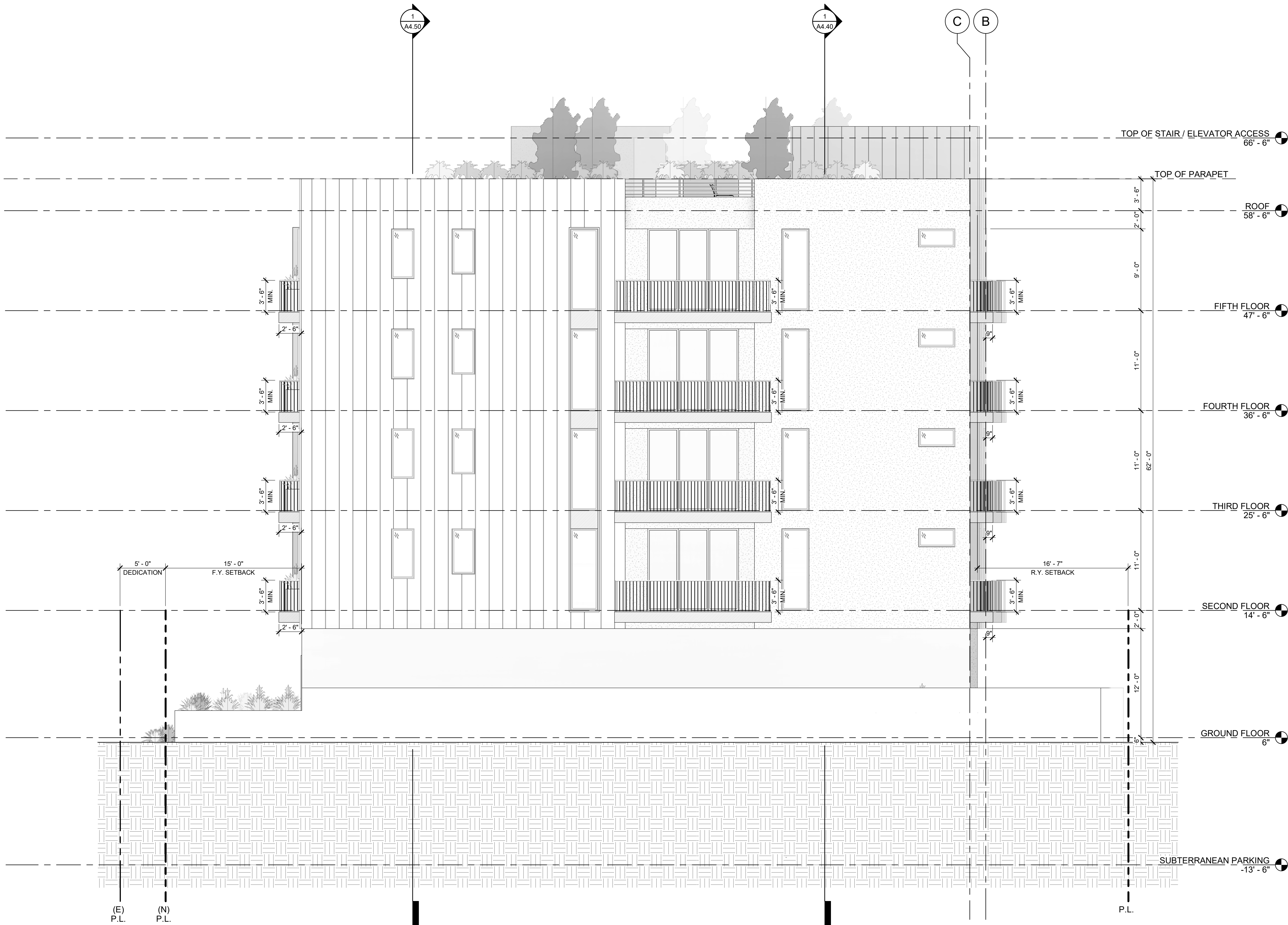
ELEVATION MARKER

PROPERTY LINE (PL)

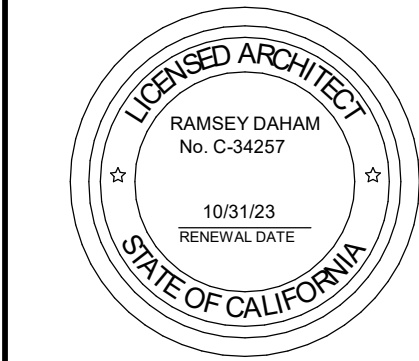
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EAST ELEVATION
3/16" = 1'-0"



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LOS ANGELES, CA 90034

Revision Schedule	
Revision Number	Revision Date

ELEVATIONS

DRAWN	CR
CHECKED	PNK
DATE	4/13/2023 10:56:49 AM
SCALE	As indicated
JOB #	21-A001

A3.40

- ASSEMBLY TYPES

WALLS

1

2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)

2

2x6 PLUMBING WALL ASSM. (2/A0.13)

3

1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)

4

1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)

5

1-HR DOUBLE WALL ASSM. (5/A0.13)

6

CONC. WALL PER STRC. (6/A0.13)

7

CONC. RETAINING WALL PER STRC. (7/A0.13)

8

CMU WALL PER STRC. (8/A0.13)

9

2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)

FLOORS

10

CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)

11

CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)

12

CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)

13

WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)

14

WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)

15

WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)

16

WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)

SECTION LEGEND

1 HR

2 HR

X'-X"

ELEVATION MARKER

PROPERTY LINE

EXISTING GRADE

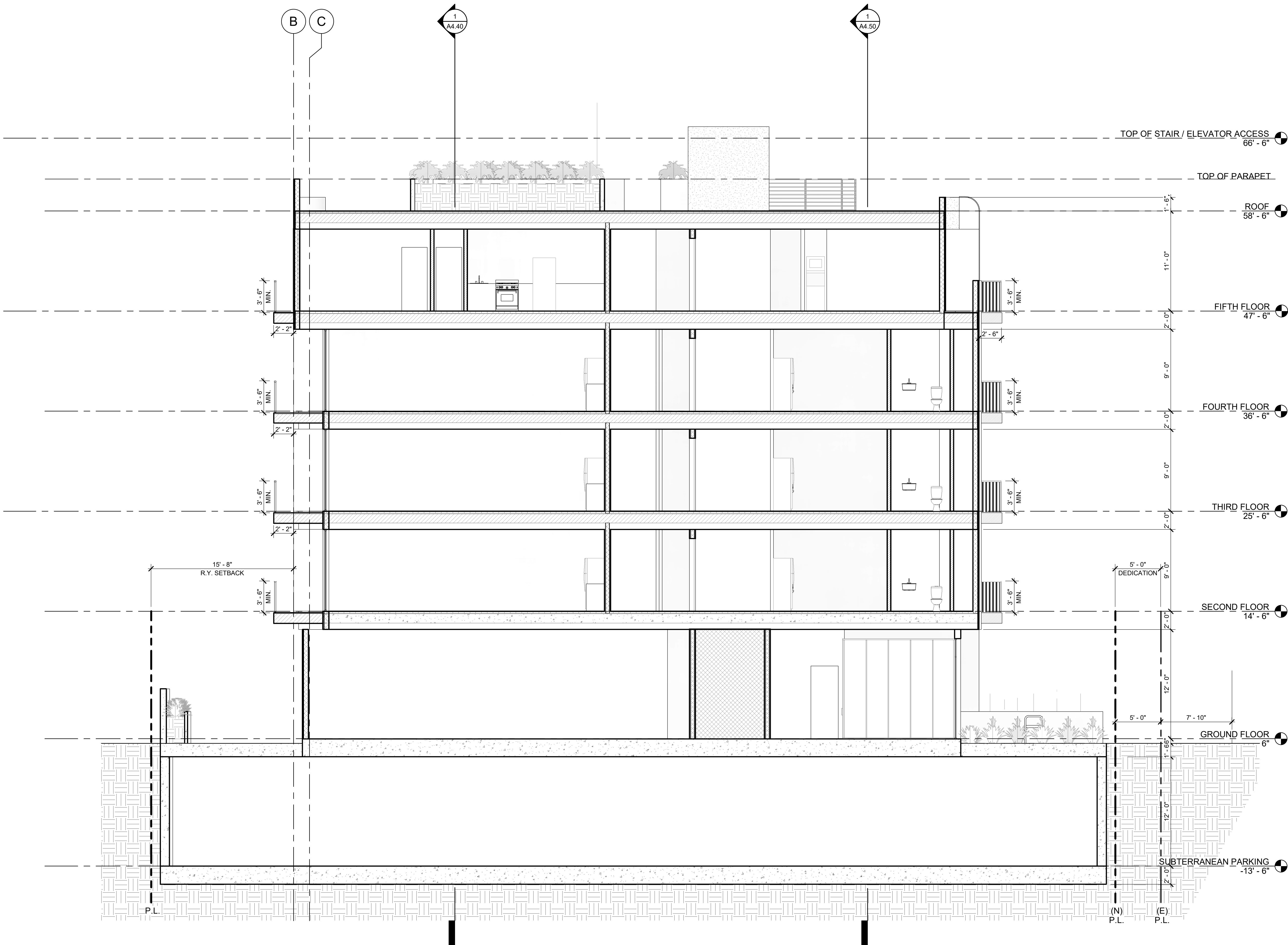
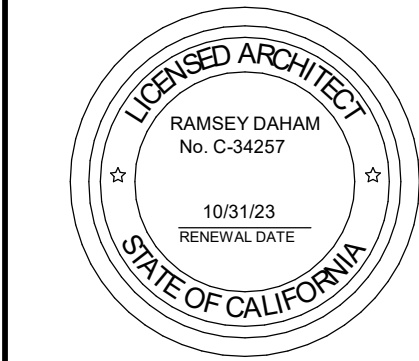


EXHIBIT "A"

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Case No. CPC-2023-582-CJ-08-HCA-PHP



3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule	
Revision Number	Revision Date

PROPOSED SECTIONS

DRAWN	CR
CHECKED	PNK
DATE	4/13/2023 10:57:00 AM
SCALE	As indicated
JOB #	21-A001

A4.10

PROPOSED SECTION A
3/16" = 1'-0"

- ASSEMBLY TYPES

WALLS

1

2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)

2

2x6 PLUMBING WALL ASSM. (2/A0.13)

3

1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)

4

1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)

5

1-HR DOUBLE WALL ASSM. (5/A0.13)

6

CONC. WALL PER STRC. (6/A0.13)

7

CONC. RETAINING WALL PER STRC. (7/A0.13)

8

CMU WALL PER STRC. (8/A0.13)

9

2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)

FLOORS

10

CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)

11

CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)

12

CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)

13

WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)

14

WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)

15

WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)

16

WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)

SECTION LEGEND

1 HR

2 HR

X'-X"

ELEVATION MARKER

PROPERTY LINE

EXISTING GRADE

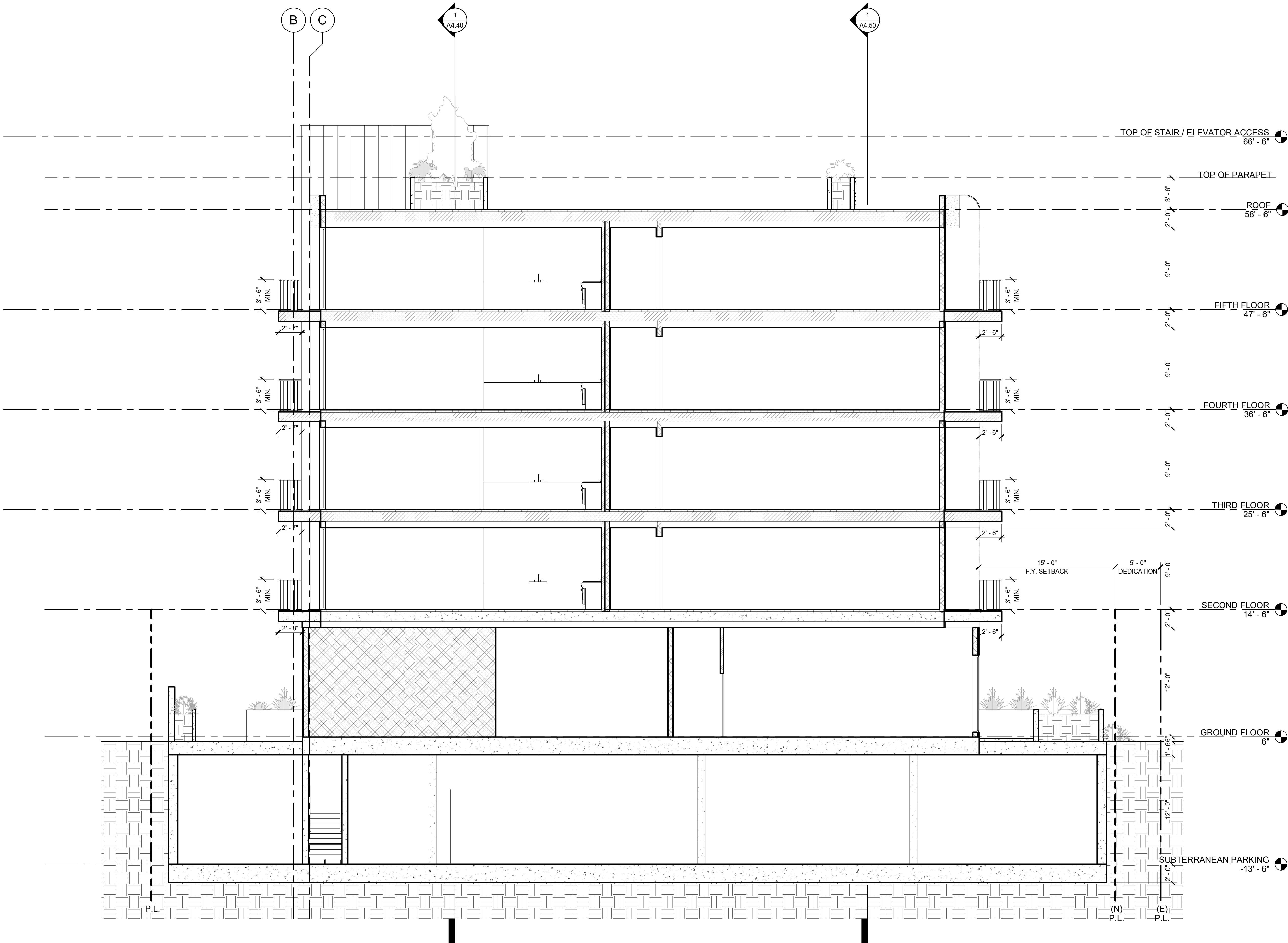
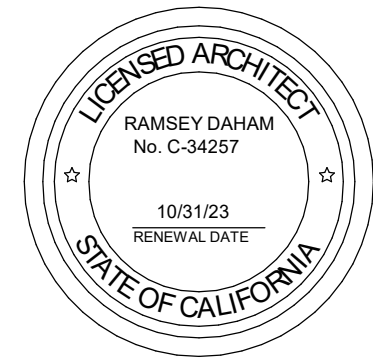


EXHIBIT "A"
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Case No. CPC-2023-582-CU-08-HCA-1HP



3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule	
Revision Number	Revision Date

PROPOSED SECTIONS

DRAWN CR
CHECKED PNK
DATE 4/13/2023 10:57:10 AM
SCALE As indicated
JOB # 21-A001

A4.20

PROPOSED SECTION B
3/16" = 1'-0"

- ASSEMBLY TYPES

WALLS

1

2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)

2

2x6 PLUMBING WALL ASSM. (2/A0.13)

3

1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)

4

1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)

5

1-HR DOUBLE WALL ASSM. (5/A0.13)

6

CONC. WALL PER STRC. (6/A0.13)

7

CONC. RETAINING WALL PER STRC. (7/A0.13)

8

CMU WALL PER STRC. (8/A0.13)

9

2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)

FLOORS

10

CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)

11

CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)

12

CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)

13

WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)

14

WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)

15

WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)

16

WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)

SECTION LEGEND

1 HR

2 HR

X'-X"

ELEVATION MARKER

PROPERTY LINE

EXISTING GRADE

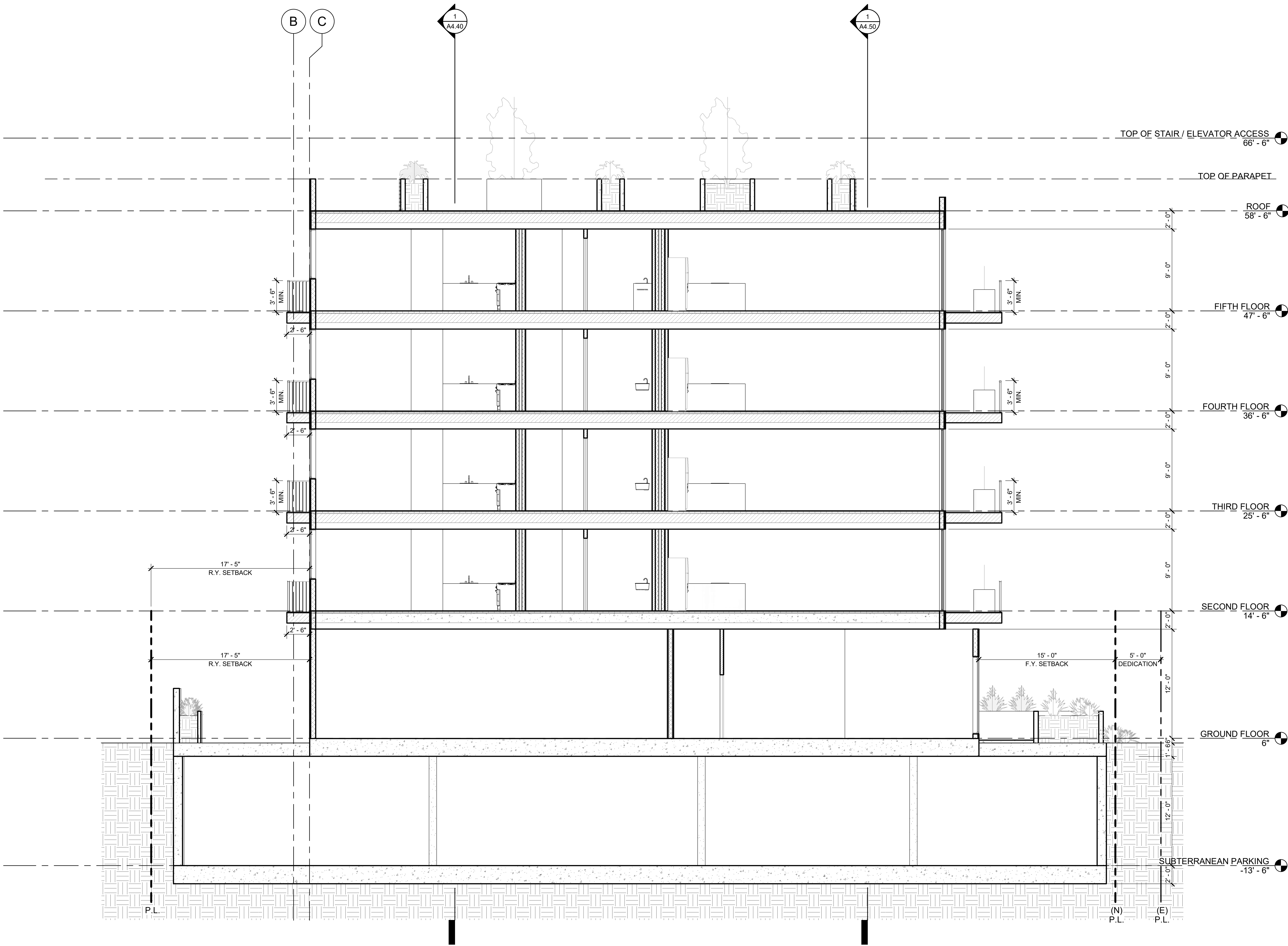


EXHIBIT "A"
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Case No. OPC-2023-582-CU-DB-HCA-PHP

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127 arena street, el segundo, ca 90245
[O] 310.322.3700

LICENSED ARCHITECT
RAMSEY DAWAH
No. C-34257
10/31/23
RENEWAL DATE
STATE OF CALIFORNIA

3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

PROPOSED SECTIONS

DRAWN

CR

CHECKED

PNK

DATE

4/13/2023 10:57:19 AM

SCALE

As indicated

JOB #

21-A001

A4.30

PROPOSED SECTION C
3/16" = 1'-0"

1

- ASSEMBLY TYPES

WALLS

1

2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)

2

2x6 PLUMBING WALL ASSM. (2/A0.13)

3

1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)

4

1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)

5

1-HR DOUBLE WALL ASSM. (5/A0.13)

6

CONC. WALL PER STRC. (6/A0.13)

7

CONC. RETAINING WALL PER STRC. (7/A0.13)

8

CMU WALL PER STRC. (8/A0.13)

9

2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)

FLOORS

10

CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)

11

CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)

12

CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)

13

WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)

14

WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)

15

WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)

16

WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)

SECTION LEGEND

1 HR

2 HR

X'-X"

ELEVATION MARKER

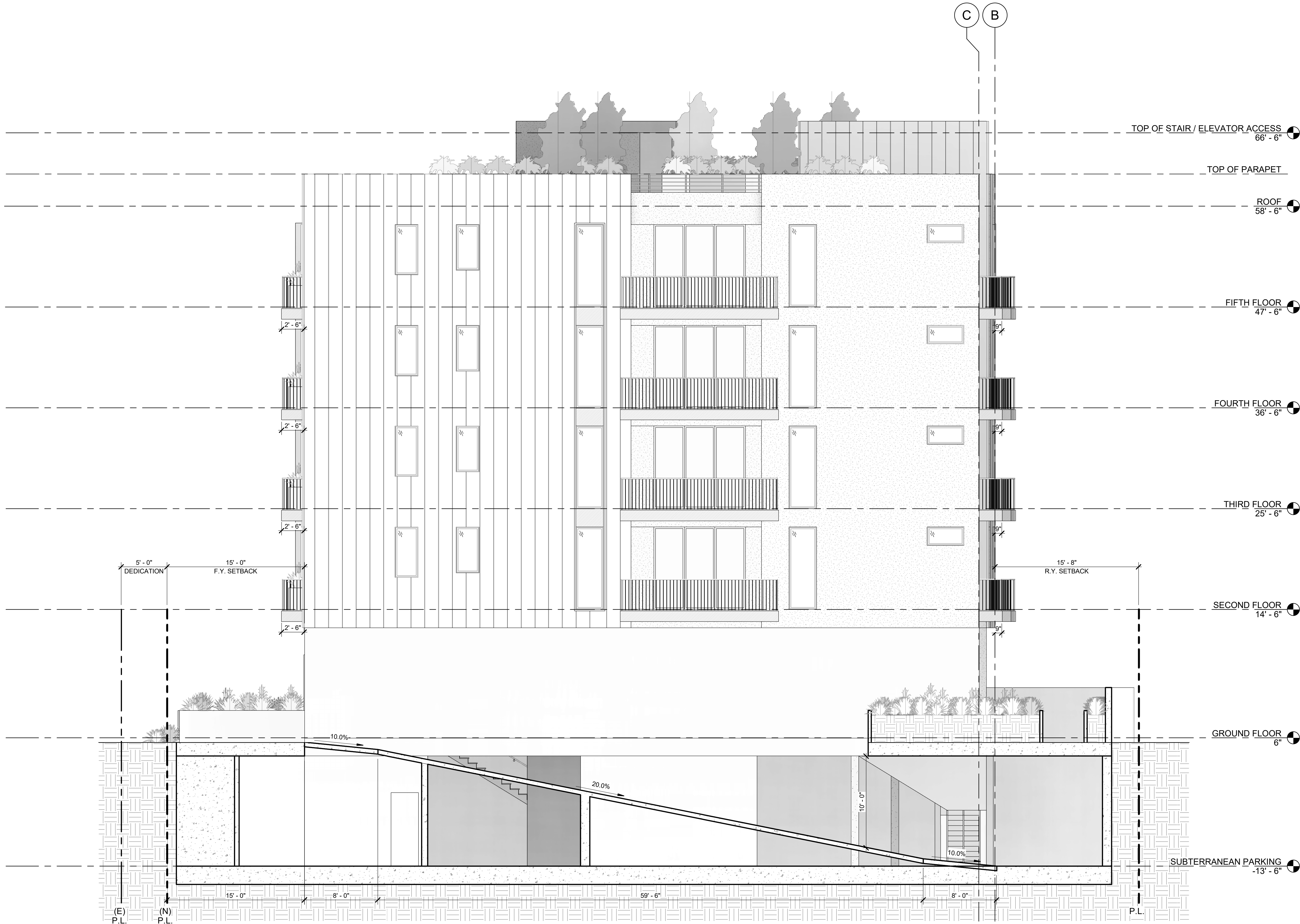
PROPERTY LINE

EXISTING GRADE

EXHIBIT "A"

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127 arena street, el segundo, ca 90245

[310.322.3700]

LICENSED ARCHITECT

RAMSEY DAWHAN

No. C-34257

10/31/23

RENEWAL DATE

STATE OF CALIFORNIA

3676 & 3704 KELTON AVE.

LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

PROPOSED SECTIONS

DRAWN

CR

CHECKED

PNK

DATE

4/13/2023 10:58:25 AM

SCALE

As indicated

JOB #

21-A001

A4.60

RAMP SECTION

3/16" = 1'-0"

1

- ASSEMBLY TYPES

WALLS

1

2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)

2

2x6 PLUMBING WALL ASSM. (2/A0.13)

3

1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)

4

1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)

5

1-HR DOUBLE WALL ASSM. (5/A0.13)

6

CONC. WALL PER STRC. (6/A0.13)

7

CONC. RETAINING WALL PER STRC. (7/A0.13)

8

CMU WALL PER STRC. (8/A0.13)

9

2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)

FLOORS

10

CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)

11

CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)

12

CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)

13

WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)

14

WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)

15

WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)

16

WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)

SECTION LEGEND

1 HR

2 HR

X'-X"

ELEVATION MARKER

PROPERTY LINE

EXISTING GRADE

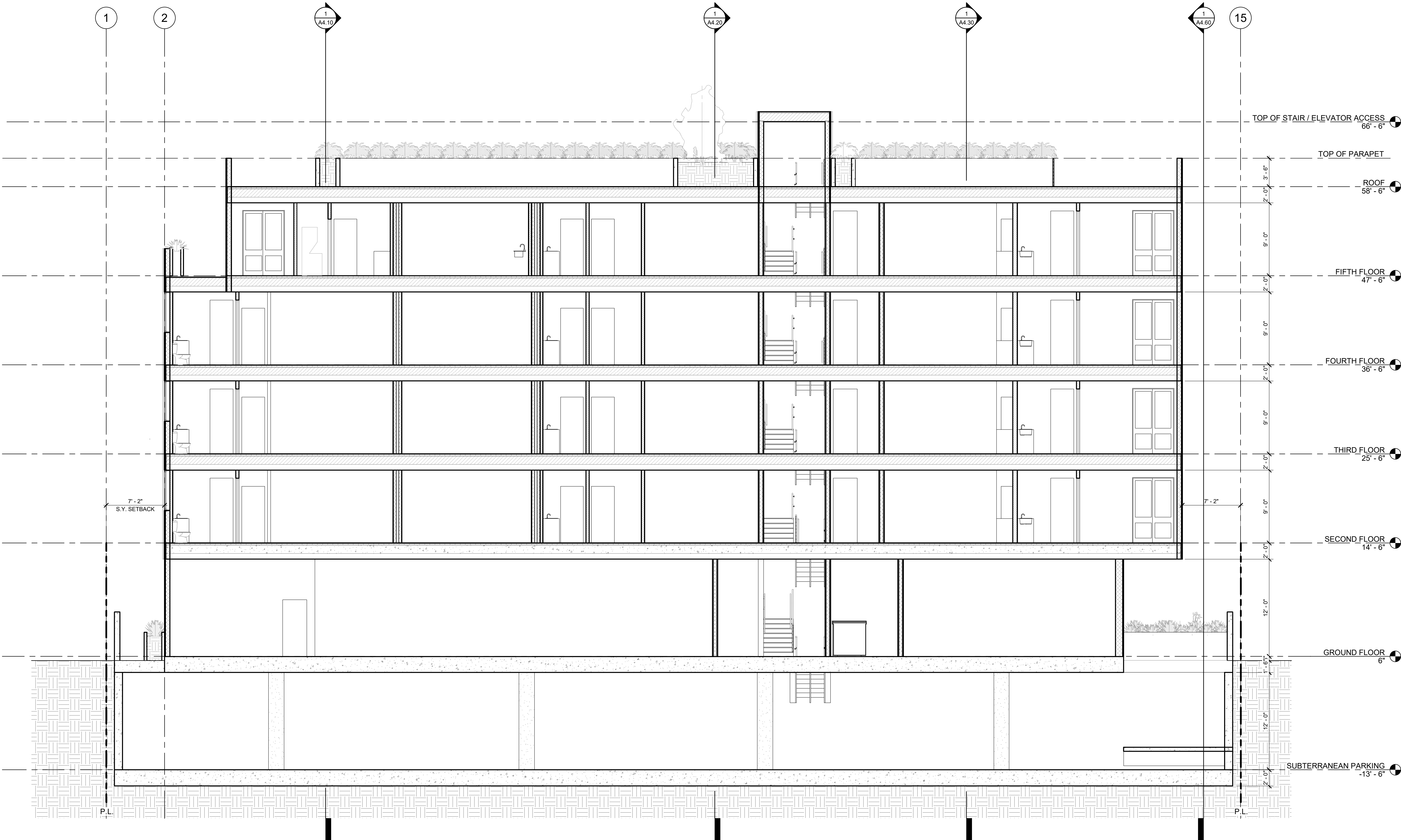
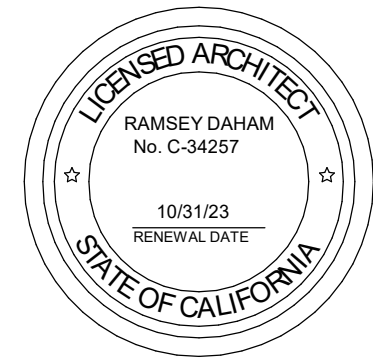


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Case No. CPC-2023-582-CU-DB-HCA-RFP



3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule	
Revision Number	Revision Date

PROPOSED SECTIONS

DRAWN CR
CHECKED PNK
DATE 4/13/2023 10:58:34 AM
SCALE As indicated
JOB # 21-A001

A4.40

PROPOSED SECTION D
3/16" = 1'-0"

- ASSEMBLY TYPES

WALLS

1

2x4 & 2x6 INTERIOR WALL ASSM. (1/A0.13)

2

2x6 PLUMBING WALL ASSM. (2/A0.13)

3

1-HR 2x6 INTERIOR WALL ASSM. (3/A0.13)

4

1-HR 2x6 EXTERIOR WALL ASSM. (4/A0.13)

5

1-HR DOUBLE WALL ASSM. (5/A0.13)

6

CONC. WALL PER STRC. (6/A0.13)

7

CONC. RETAINING WALL PER STRC. (7/A0.13)

8

CMU WALL PER STRC. (8/A0.13)

9

2-HR INTERIOR CORRIDOR WALL ASSM. (9/A0.13)

FLOORS

10

CONC FLOOR PER STRC. W/ POLISHED CONC. FINISH (10/A0.13)

11

CONC FLOOR PER STRC. W/ WOOD FINISH (11/A0.13)

12

CONC FLOOR PER STRC. W/ TILE FINISH (12/A0.13)

13

WOOD JOIST PER STRC. W/ WOOD FINISH (13/A0.13)

14

WOOD JOIST PER STRC. W/ TILE FINISH (14/A0.13)

15

WOOD JOIST W/ WOOD DECK PER SPEC. (15/A0.13)

16

WOOD JOIST PER STRC. W/ METAL ROOFING PER SPEC. (16/A0.13)

SECTION LEGEND

1 HR

2 HR

ELEVATION MARKER

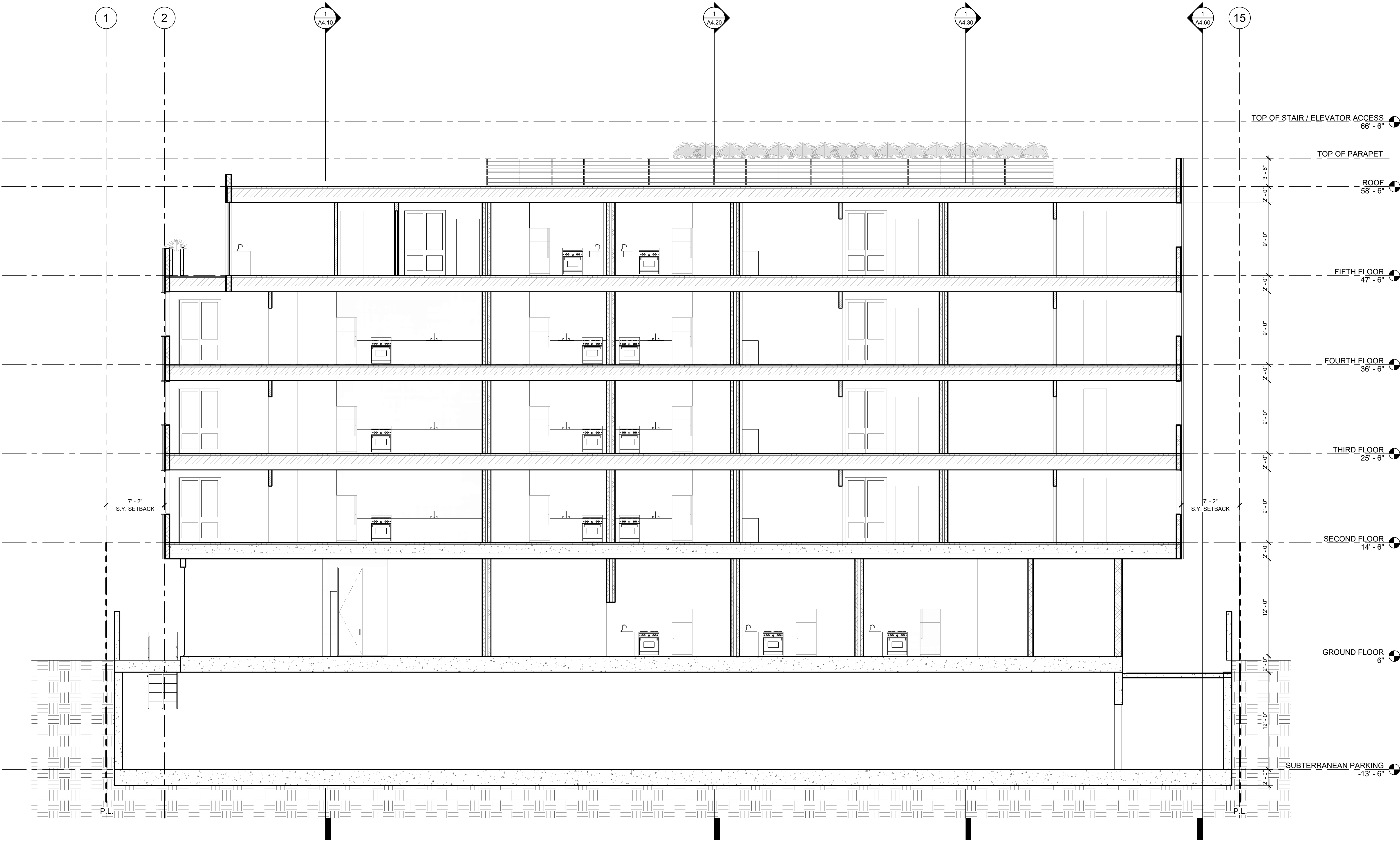
PROPERTY LINE

EXISTING GRADE

EXHIBIT "A"

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Case No. CPC-2023-580-CU-DB-HCA-PHP



PLANTING NOTES

1. QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS.
2. ALL HEADER AND BAMBOO ROOT BARRIERS SHALL BE LOCATED BY THE ARCHITECT ON SITE.
3. ONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS AND DETAILS.
4. ONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
6. THE CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES LISTED FOR CONVENIENCE OF CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED.
7. REMOVE ALL DEBRIS, WEEDS, EXCESS MATERIAL AND ROCKS LARGER THAN 1" IN DIAMETER FROM PLANTING AREAS PRIOR TO PREPARATION & AGAIN PRIOR TO PLANTING.
8. SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD, PLANT PIT DIMENSIONS, SOIL PREPARATION, AND BACKFILL REQUIREMENTS.
9. ALL PLANT MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
10. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
11. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION SCHEDULES.
12. GROUNDCOVER PLANTING SHALL BE CONTINUOUS UNDER ALL TREES AND SHRUBS. GROUNDCOVER SHALL BE PLANTED ACCORDING TO SPACING ON PLANT LEGEND.
13. TREES SHALL BE LOCATED A MINIMUM OF 5' FROM WALLS, OVERHEADS, WALKS, HEADERS, AND OTHER TREES WITHIN THE PROJECT. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTORS LIEABILITY TO RELOCATE THE MATERIALS.

14. ALL PLANTING AREAS SHALL BE LOOSENEED TO A DEPTH OF 8". APPLY 4 C.Y. OF ORGANIC AMENDMENT AND 15 LBS. OF 10-10-10 FERTILIZER PER 1000 S.F. AND BLEND WITH THE TOP 6" OF SOIL. THIS AMENDMENT IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
15. FOR ALL TREES AND SHURB PLANTING, THE FOLLOWING PREPARED SOIL MIX SHALL BE USED FOR BACKFILL IN THE PLANTERS. THIS MIX IS FOR BIDDING PURPOSES, AND SHALL BE SUPERCEDED BY RECOMMENDATIONS OF THE SOIL ANALYSIS REPORT.
SITE SOIL - 6 PARTS BY VOLUME
ORGANIC AMENDMENT - 4 PARTS BY VOLUME
SOIL CONDITIONER / FERTILIZER 10-10-10-1LB. PER C.Y. OF MIX
IRON SULFATE - 2 LBS. PER C.Y.OF MIX
16. TURF IS NOT ALLOWED ON SLOPES GREATER THAN 25% WHERE THE TOE OF THE SLOPE IS ADJACENT TO AN IMPERMEABLE HARDSCAPE..
17. RECIRCULATING WATER SYSTEMS SHALL BE USED FOR WATER FEATURES.
18. A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVER, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.
19. FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
20. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE THAT COMPLYS WITH THE PERFORMANCE APPROACH.
- DATE _____ SIGNED _____
21. AT THE TIME OF FINAL INSPECTION THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

IRRIGATION NOTES

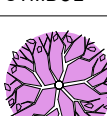




1. CONTRACTOR IS TO AUGMENT EXISTING IRRIGATION SYSTEM. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING LANDSCAPE AND IRRIGATION DAMAGED FROM CONSTR4UCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH A FULLY FUNCTIONAL AND EFFICIENT IRRIGATION SYSTEM PER THE CONTAINED CONDITIONS.

2. ALL NEW TREES REQUIRE INDIVIDUAL POP-UP STREAM BUBBLERS, MIN. 2 PER TREE, WITHIN 4' OF TREE. TREE IRRIGATION SHALL BE ON A SEPARATE VALVE.
3. SPRAY OR ROTOR HEADS SHALL BE ON POP-UPS; 6" FOR LAWN, LOW GROUNDCOVER OR PARKED CAR OVERHANG AREAS, 12" FOR SHRUB AREAS. HEADS ON RISERS ARE ONLY ALLOWED ADJACENT TO WALLS WITH LIMITED SPACE FOR POP-UPS.
4. LOCATE SPRAY HEADS 24" FROM NON-PERVIOUS PAVING TO PREVENT OVERSPRAY. EXCEPTION ALLOWED IF ADJACENT SURFACE IS PERMEABLE OR IF USING ALTERNATIVE TECHNOLOGY IRRIGATION. ROTATOR OR ROTARY HEADS MAYBE LOCATED 12" FROM PAVING.
5. CONTRACTOR SHALL REPLACE ANY EXISTING IRRIGATION CONTROLLER WITH A MODULE AND SENSOR TO PROVIDE WEATHER BASED INFORMATION THAT WILL AUTOMATE THE IRRIGATION RUNTIMES BASED ON WEATHER. SEE HUNTER SOLAR SYNC, RAINBIRD ET MANAGER ORS EQUIVALENT.
6. THE PLANTING AND IRRIGATION SYSTEM SHALL BE COMPLETED BY THE DEVELOPER/BUILDER PRIOR TO THE CLOSE OF ESCROW OF 50 PERCENT OF THE UNITS OF THE PROJECT OR PHASE.
7. SIXTY DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION, THE LANDSCAPE PROFESSIONAL SHALL SUBMIT TO THE HOMEOWNERS/PROPERTY OWNERS ASSOCIATION A CERTIFICATE OF SUBSTANTIAL COMPLETION (12.40 G LAMC.)
8. THE DEVELOPER/BUILDER SHALL GUARANTEE ALL TRESS AND IRRIGATION FOR A PERIOD OF SIX MONTHS AND ALL OTHER PLANS FOR A PERIOD OF 60 DAYS AFTER LANDSCAPE AND IRRIGATION INSTALLATION.

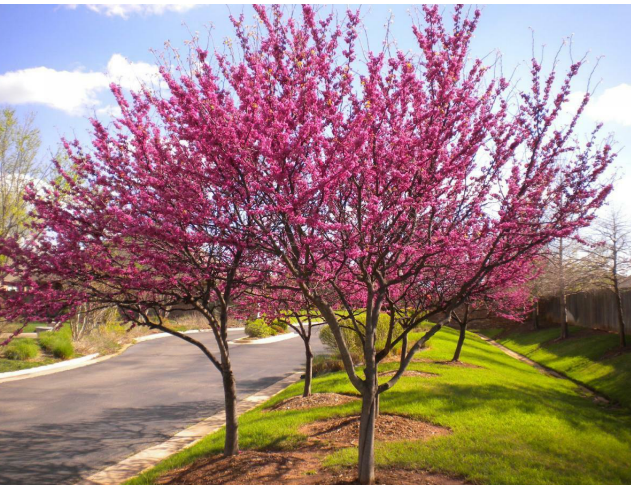
STATEMENTS AND CERTIFICATION

1. I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.
2. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
3. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE SIGNER OF THE LANDSCAPE PLANS, THE SIGNER OF THE IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
4. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

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Case No. CPC-2023-SB-CU-DB-HCA-PHP

PLANTING LEGEND								
SYMBOL	QTY.	SIZE	SPREAD	BOTANICAL NAME / COMMON NAME	NATIVE	WUCOLS WATER USE TYPES	WATER USE VALUES	HYDRO ZONE
	9	10'	10'	CERCIS OCCIDENTALIS / WESTERN REDBUD	NO	LOW	0.4	1
	100	12"	6" - 9"	DASYLIROION SPP. / DESERT SPOON	NO	VERY LOW	0.2	1
	186	24" - 36"	24" - 48"	SANSEVIERIA SPP. / MOTHER-IN-LAW'S TONGUE	NO	LOW	0.3	1
	71	36" - 48"	24" - 36"	TRADESCANTIA PALLIDA / SPIDERWORT	NO	MEDIUM	0.4	2
	73	12"	3' - 5'	PENNISETUM SETACEUM / FOUNTAIN GRASS	NO	LOW	0.3	1

 CERCIS OCCIDENTALIS / WESTERN REDBUD



 POZO BLUE SAGE / SALVIA 'POZO BLUE'



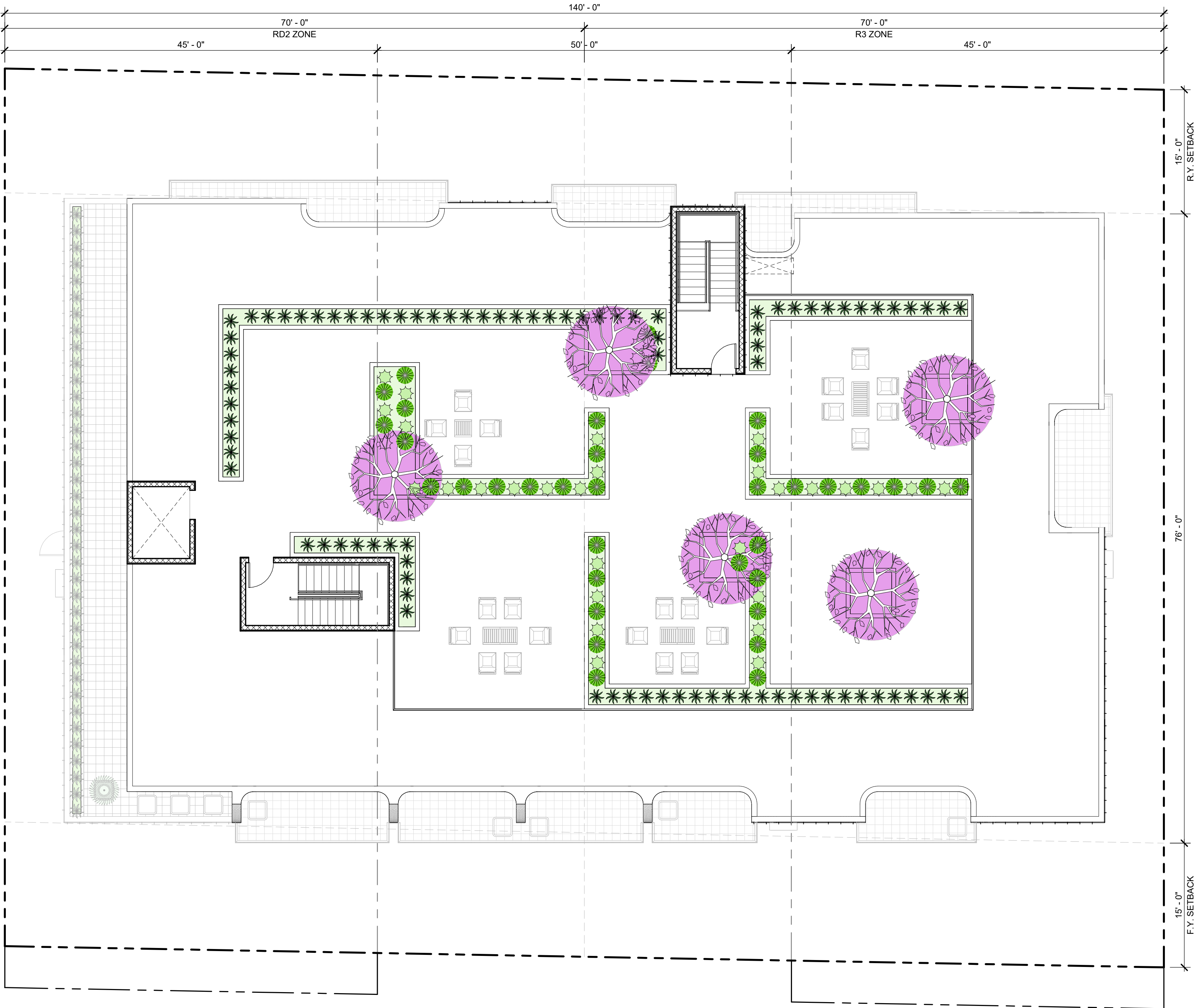
 BLADDERPOD / PERITOMA ARBOREA



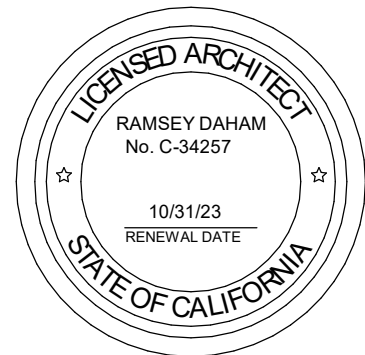
 CALIFORNIA GRAY RUSH - JUNCUS PATENS



 CANYON PRINCE WILD RYE / ELYMUS CONDENSATUS



KELTON AVE



3676 & 3704 KELTON AVE.
LOS ANGELES, CA 90034

Revision Schedule

Revision Number	Revision Date

LANDSCAPE PLAN

DRAWN	CR
CHECKED	PNK
DATE	4/13/2023 11:04:20 AM
SCALE	As indicated
JOB #	21-A001

L1.10